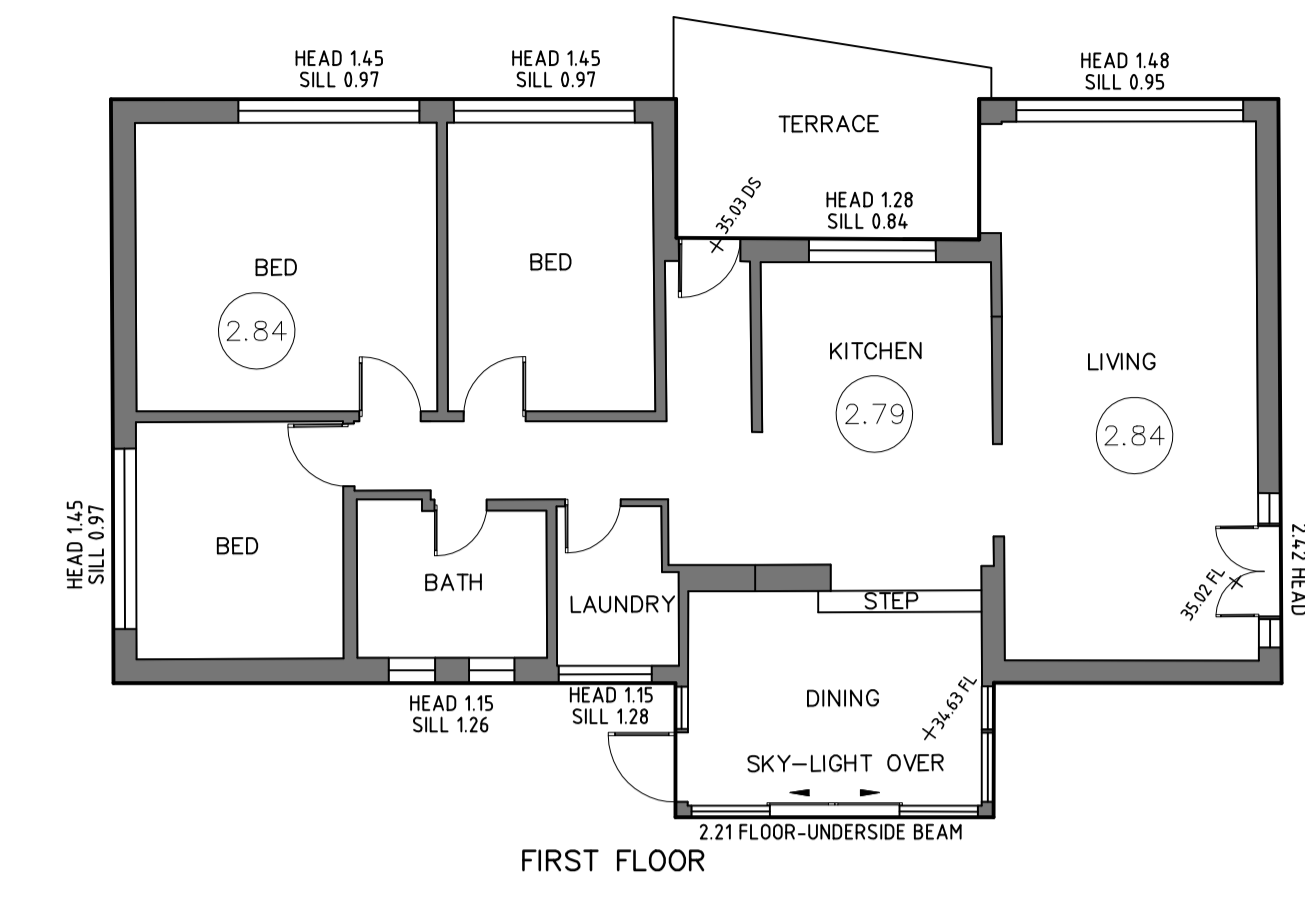
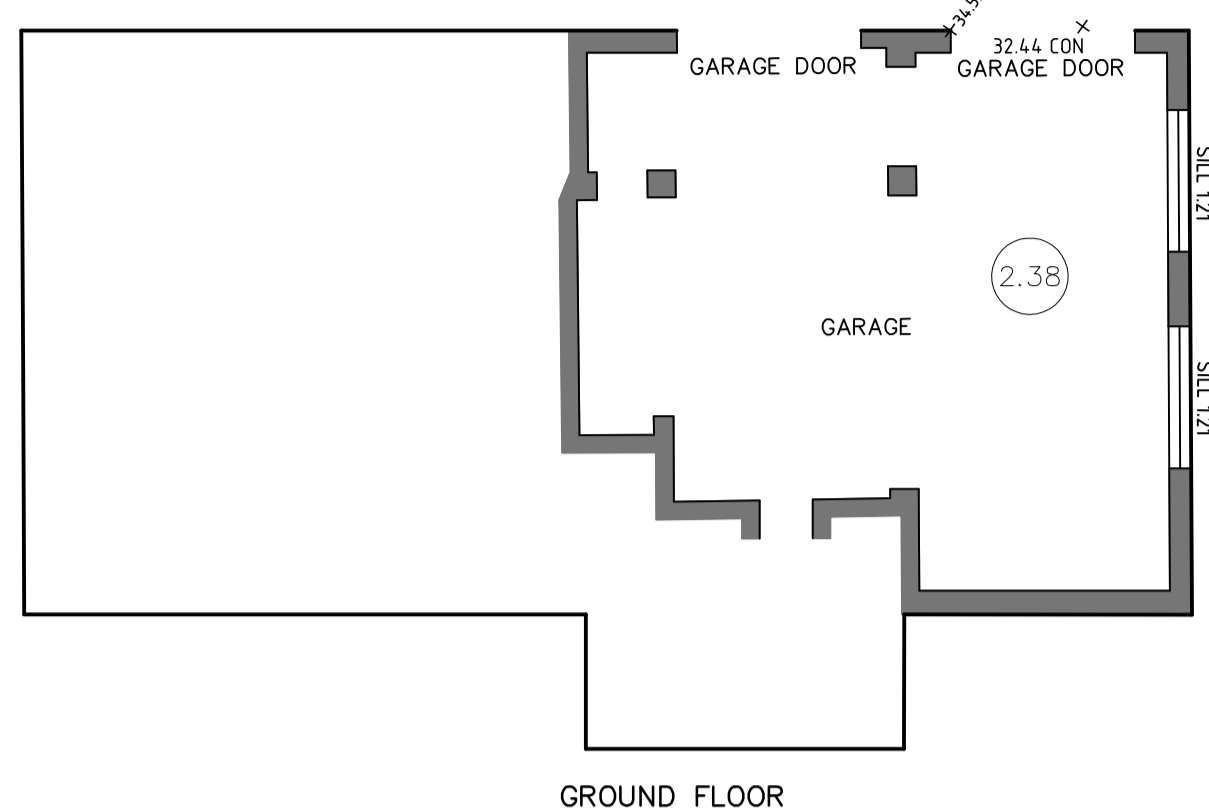


MCA (Approx True)



INTERNAL FLOOR

B	ISSUE B	10/03/20
A	PRELIMINARY	04/03/20

BOUNDARIES SHOWN HEREON HAVE BEEN DEFINED FOR DESIGN AND DA PURPOSES AND ARE MY OPINION ONLY. OFFSETS FROM STRUCTURES TO BOUNDARY SHOULD NOT BE USED FOR CONSTRUCTION SETOUT.

IF CONSTRUCTION ON OR NEAR BOUNDARIES IS UNDERTAKEN THE BOUNDARIES OF THE LAND SHOULD BE MARKED OR THE WORKS SETOUT BY A REGISTERED SURVEYOR.

TREE SIZES ARE ESTIMATES ONLY.

THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF CHRIS & JACQUI LEVINGS

RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.

EXCEPT WHERE SHOWN BY DIMENSION LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY.

ONLY VISIBLE SERVICES HAVE BEEN LOCATED. UNDERGROUND SERVICES HAVE NOT BEEN LOCATED. DIAL BEFORE YOU DIG SERVICES (db 1100) SHOULD BE USED AND A FULL UTILITY INVESTIGATION, INCLUDING A UTILITY LOCATION SURVEY, SHOULD BE UNDERTAKEN BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA.

CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR.

THIS PLAN IS ONLY TO BE USED FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS.

CONTOURS SHOWN DEPICT THE TOPOGRAPHY. EXCEPT AT SPOT LEVELS SHOWN, THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.

CONTOUR INTERVAL - 0.5 metre. SPOT LEVELS SHOULD BE ADOPTED.

POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY (NOT TO SCALE).

THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:100.

DO NOT SCALE OFF THIS PLAN / FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS.

IF ACCURATE TRUE NORTH IS REQUIRED A FURTHER SURVEY WOULD BE NECESSARY.

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THIS NOTICE MUST NOT BE ERASED.

MICHAEL K JOYCE
REGISTERED SURVEYOR ID 8268

Waterview
SURVEYING SERVICES

1A Mona Street Mona Vale NSW 2103
ACN 610 583 572
michael@wvsurveying.com.au
0474 843 180

Vertical Datum

DATUM: AUSTRALIAN HEIGHT DATUM (AHD)
B.M. SSM 52318
R.L. 43.71
SOURCE: S.C.I.M.S. 22/2/2020

Client Details

CHRIS & JACQUI LEVINGS
9 GLADE STREET
BALGOWLSH NSW 2093

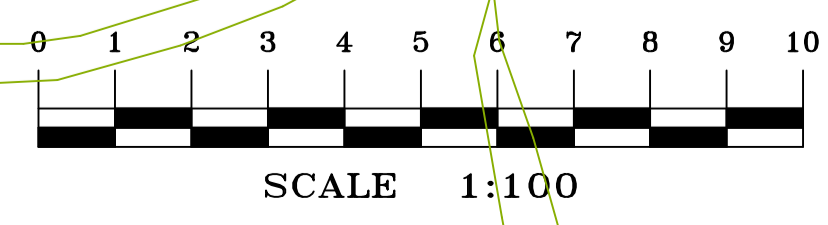
Drawing Title

DETAIL AND LEVELS OVER
9 GLADE STREET
BALGOWLSH NSW 2093
BEING LOT 15B IN DP.31138

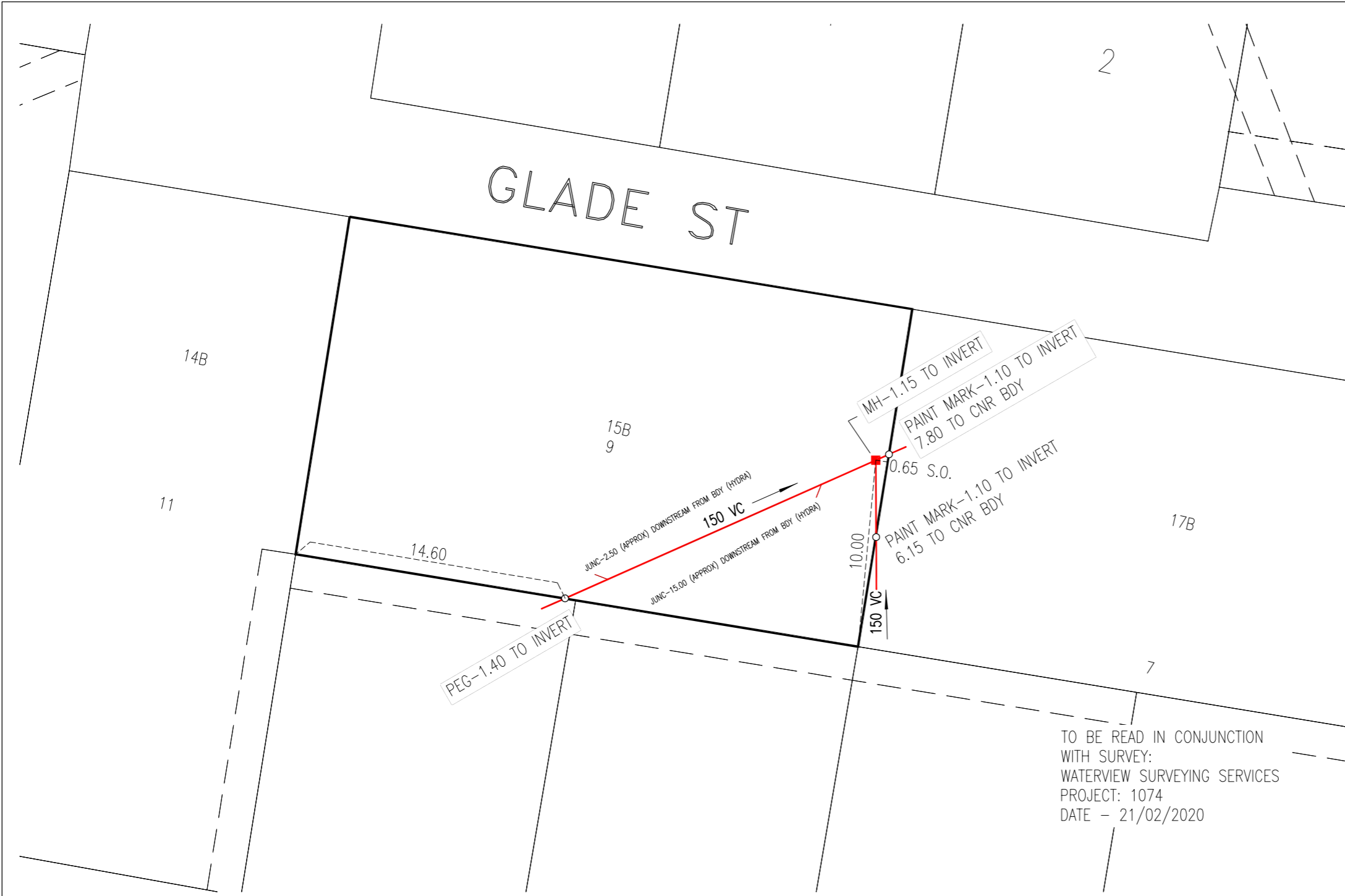
PROJECT: 1074	PAGE 1 OF 1
Date of survey 21/02/2020	Drawing No. 1074detail 1
Scale 1:100 @ A1	Rev. B

TITLE INDICATES THAT LOT 15B IN D.P.31138 IS SUBJECT TO:

- RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- T59670 EASEMENT TO DRAIN WATER 0.9 WIDE AFFECTING THE PART OF THE LAND SHOWN IN THE PLAN WITH T57435




- LEGEND
- BL BALCONY
 - CL CENTERLINE
 - CON CONCRETE
 - DK DECK
 - DS DOOR SILL LEVEL
 - EB EDGE OF BITUMEN
 - ELO ELECTRICITY OVERHEAD
 - FL FLOOR LEVEL
 - GRT GRATE
 - HL HOOD LEVEL
 - NS NATURAL SURFACE
 - PAV PAVING
 - PLM TREE-PALM-DIA,SPREAD,HEIGHT
 - PP POWER POLE NETWORK
 - RF ROOF
 - RR ROOF RIDGE
 - SIP SEWER INSPECTION PIT
 - SL SILL LEVEL
 - SMH SEWER MAN HOLE
 - STR STAIRS
 - TEL TELSTRA
 - TFCE TOP OF FENCE
 - TG TOP OF GUTTER
 - TIL TILE
 - TKB TOP OF KERB
 - TR TREE-DIA,SPREAD,HEIGHT
 - TRW TOP OF RETAINING WALL



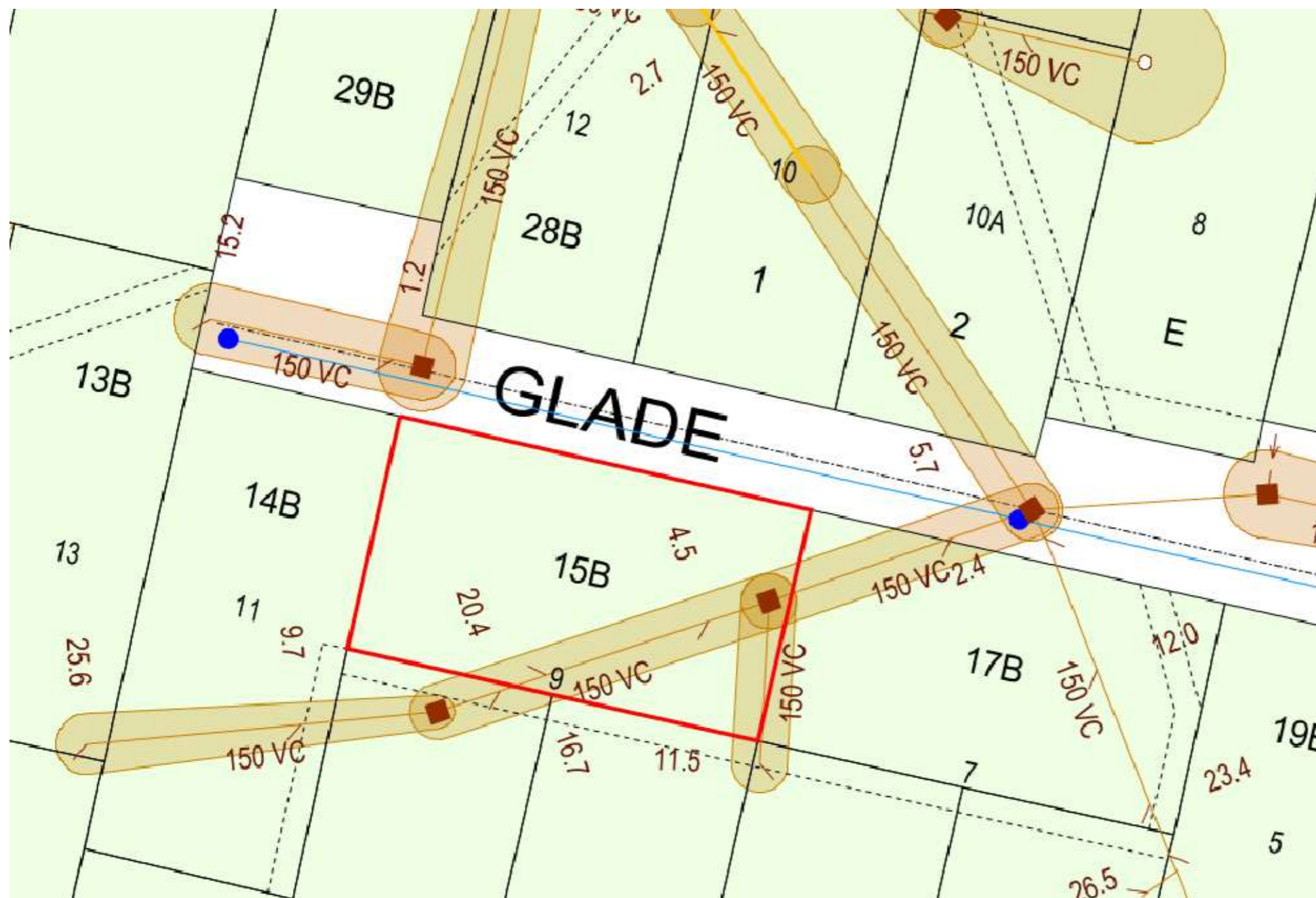
- NOTES:
1. I, MARC GAUDRY OF MGP BUILDING & INFRASTRUCTURE SERVICES PTY LTD BEING ACCREDITED TO CARRY OUT A SERVICE PROTECTION REPORT, CERTIFY THAT THE INFORMATION SHOWN ON THIS REPORT HAS BEEN PREPARED IN ACCORDANCE WITH THE RELEVANT INSTRUCTIONS AND ACCEPT FULL RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION ON THIS REPORT.
SIGN: *Marc Gaudry*
 2. FOR THE PURPOSE OF THIS REPORT, "BOUNDARY" REFERS TO THE ACTUAL PROPERTY BOUNDARY AS IDENTIFIED IN THE PROPERTY SURVEY PLAN. PHYSICAL MEASUREMENTS HAVE BEEN TAKEN FROM FIXED STRUCTURES (FENCES, RETAINING WALLS, BUILDINGS ETC) AND USED TO TIE THE LOCATION OF THE SYDNEY WATER ASSET(S) TO THE PROPERTY BOUNDARY.
 3. NO BOUNDARY SURVEY HAS BEEN UNDERTAKEN. BEARINGS, DIMENSIONS AND AREA ARE FROM TITLE ONLY AND ARE SUBJECT TO CONFIRMATION BY BOUNDARY SURVEY.
 4. SOME SURFACE EVIDENCE MAY NOT HAVE BEEN IDENTIFIED AT THE TIME OF THE SURVEY DUE TO SITE IMPEDIMENTS.
 5. SERVICES BETWEEN SURFACE EVIDENCE (SUCH AS MANHOLES) HAVE BEEN ASSUMED TO BE STRAIGHT UNLESS PLANS INDICATE OTHERWISE.
 6. WHERE THE LOCATION OF A SERVICE COULD NOT BE CONFIRMED DUE TO LACK OF INTERNAL/EXTERNAL ACCESS, LACK OF ACCESS TO THE MAINTENANCE STRUCTURES, LACK OF SURFACE EVIDENCE; THE SERVICES HAVE BEEN PLOTTED FROM SYDNEY WATER RECORDS AND NOTATED ACCORDINGLY. MGP IS TO BE CONTACTED AT THE CONSTRUCTION PHASE OF THE PROJECT TO CONFIRM THE LOCATION OF THE ASSETS AND PLACEMENT OF RECOVERABLE MARKS ONCE THESE ASSETS ARE EXPOSED BY THE DEVELOPER
 7. SEWER LOCATIONS MARKS ARE NOT NECESSARILY ON BOUNDARY.
 8. DO NOT SCALE FROM THIS PLAN, USE DIMENSIONS ONLY.
 9. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE STATED.
 10. THIS STATEMENT IS AN INTEGRAL PART OF THIS PLAN. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS STATEMENT BEING INCLUDED IN FULL WILL RENDER THE INFORMATION INVALID AND NOT SUITABLE FOR USE.
 11. PLEASE NOTE THE ZONE OF INFLUENCE IS 1 IN 1.
 12. DATA OBTAINED IN THIS REPORT HAS BEEN TAKEN USING ON-SITE INSPECTION SONAR DETECTION, SURVEY & SYDNEY WATER HYDRA RECORDS.
 13. STRATA: ROCK / SOIL
PIPE SIZE: 150
PIPE TYPE: VC

SITE PLAN
SCALE 1:250

LEGEND:			
SEWER MAIN		RODDING POINT	R.P.
MAINTENANCE HOLE		VENT SHAFT (Induct or Educt)	V.S
ASSET INDICATOR	PEG	VERTICAL RISER	VERT
Water Servicing Coordinator		Drawing	
<div><div>building & infrastructure services</div><div>pty ltd</div><div>pty ltd</div></div>		SERVICE PROTECTION REPORT 9 GLADE ST BALGOWLAH HEIGHTS 2093	
Suite 203, 18 Aquatic Drive, Frenchs Forest NSW 2086 T: 02 9451 7555 F: 02 9451 8555 E: info@mgp.com.au		JUNCTION (PCP) CONCRETE ENCASED SECTION LAMP HOLE	
		Drawn By	DS/EC
		Date	16/2/2021
		Design By	MG
		Scale	1:250
		Approved	MG
		Sheet	1 OF 2
		Job.No.	2021-0056
		Dwg.No.	SPR1
		Issue	1

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PIPE SIZE: 150
PIPE TYPE: VC

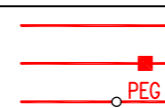


SERVICE LOCATION PRINT

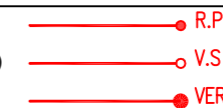
NOT TO SCALE

LEGEND:

SEWER MAIN
MAINTENANCE HOLE
ASSET INDICATOR



RODDING POINT
VENT SHAFT (Induct or Educt)
VERTICAL RISER



JUNCTION (PCP)
CONCRETE ENCASED SECTION
LAMP HOLE



Water Servicing Coordinator

mgp
building & infrastructure services
pty ltd

Suite 203, 18 Aquatic Drive, Frenchs Forest NSW 2086
T: 02 9451 7555 F: 02 9451 8555 E: info@mgp.com.au

Drawing

SERVICE PROTECTION REPORT
9 GLADE ST
BALGOWLAH HEIGHTS
2093

Drawn By	DS/EC	Date	16/2/2021
Design By	MG	Scale	1:250
Approved	MG	Sheet	2 OF 2

Job.No.	2021-0056
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Dwg.No.	SPR1	Issue	1
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