

GENERAL SPECIFICATION

NOTE

All work to comply with the NCC (BCA) 2016 with referenced documents.

NOTE: the BCA has been updated to the National Construction Codes (NCC) and reference should be made to the current issue at the date of the Construction Certificate, which will be the code in force for construction of the project.

DEMOLITION:

Demolition & asbestos (if found) - generally; to AS2601 Demolition of Structures. Asbestos (if found) to be removed by licensed asbestos removal contractor, to Workcover NSW guidelines, codes of practice (NOHSC 2002, NSW OH&S Act 2000).

Refer also to DA condition no.32 regarding demolition and waste disposal.

Waste Bins - obtain Council approval prior to placing on public property including rear laneway.

SETOUT (Surveyor to certify) - verify & report:

Verify boundaries and setout prior to construction. Report discrepancies immediately to Architect and await instructions prior to commencing work on site.

STORMWATER

Connect to street stormwater system.

TREES & LANDSCAPING:

Refer to Landscape architect plans

PLUMBING STACKS - to be concealed:

All plumbing stacks, vent pipes and the like are to be concealed from view.

Windows, Doors, Glass & Glazing:

Generally to AS1288 2006 - obtain required certificates & submit to PCA on completion.

NCC (BCA) requirements to be met regarding glass impact mitigation (Vol.2 pt.3.6.4) and window opening restrictors for child safety (Vol.2 pt.3.9.2.5)

Waterproofing (domestic wet areas):

Generally to AS3740 2010

Damp Proof Courses & Flashings:

To AS/NZS2904 1995 - non standard junctions TFD.



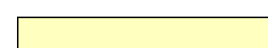
UTILITY & COUNCIL SERVICES:

* Conduct a "Dial Before You Dig on 1100" to obtain relevant service diagrammes (maintain a copy on site).

* Apply for all necessary permits.

LEGEND & NOTES

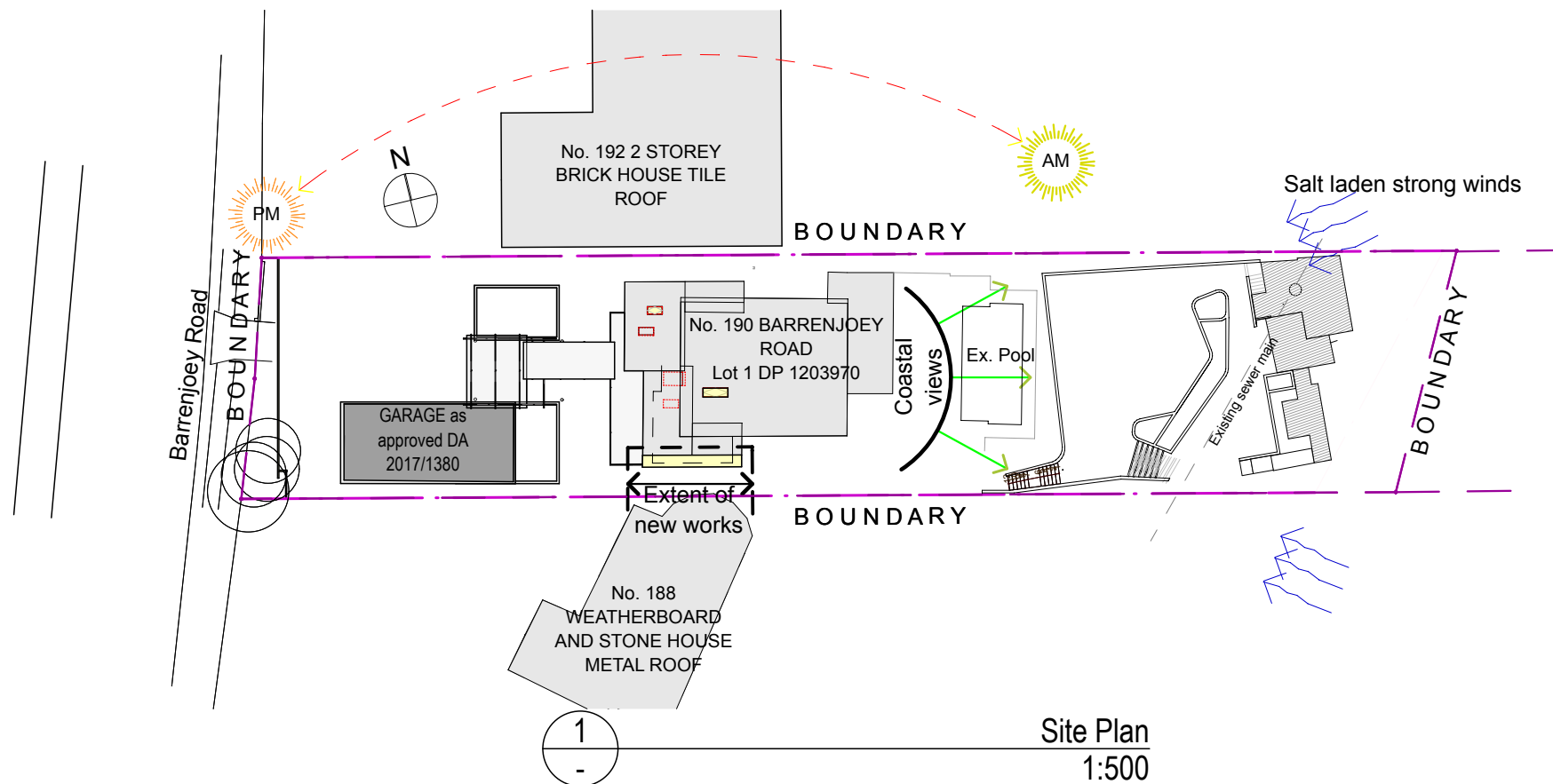
ATO	As Turns Out (dimension to suit site)
COS	COS - Check On Site - check figured dimensions against site and report discrepancies
EQ.	Equal Set Out (dimensions)
FW	Floor Waste - fall in floor finish to outlet connected to drainage stack
SA	Smoke Alarm to AS 3786 (1993, 2014) on ceiling to BCA requirements, mains powered.
TFD	To Future Detail (Manufacturer's &/or shop-drawings &/or installation details - obtain prior to ordering & fabrication).
TED	To Structural Engineers drawings and spec. (latest issue)
TBC	To Be Confirmed with owner prior to ordering or fabrication (e.g. colours and finishes)

	Existing construction, to be retained UNO
	Existing construction, to be demolished & made good to adjacent (dashed line)
	New construction (coloured, shaded or hatched)

ENERGY & BASIX - Water Efficiency & Thermal Ratings

LIGHTING; The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

PLUMBING FIXTURES; The applicant must ensure new shower heads have a flow rate no greater than 9 litres per minute or a 3 star water rating. The applicant must ensure new toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.



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AMENDMENTS:
NOT FOR CONSTRUCTION

P1	Preliminary for DA	24-02/20
REV	DESCRIPTION	DATE

PRELIMINARY
NOT FOR CONSTRUCTION

Project Name

NEW LANDSCAPE

Site Address

190 BARRENJOEY ROAD
NEWPORT
NSW 2106

DRAWN BY: AS Date: 25/2/20 Scale: as noted Status: Amended Design

APPROVED BY
Nominated Architect Furio Valich ARBN 3317

/Volumes/Public/acadodd/1709_190Barrenjoey Road_Landscape/IA_DA 2020/1709_200217_190 Barrenjoey Rd_DA2.pln
PLOT: Tuesday, 25 February 2020 11:05 am

The builder will check and verify all dimensions and report all errors and omissions to the Architect. Drawings not to be used for construction purposes until issued marked "For Construction" Do not scale the drawings use figured dimensions. Drawings Copyright 2016 Gordon Valich Architecture Pty.Ltd.

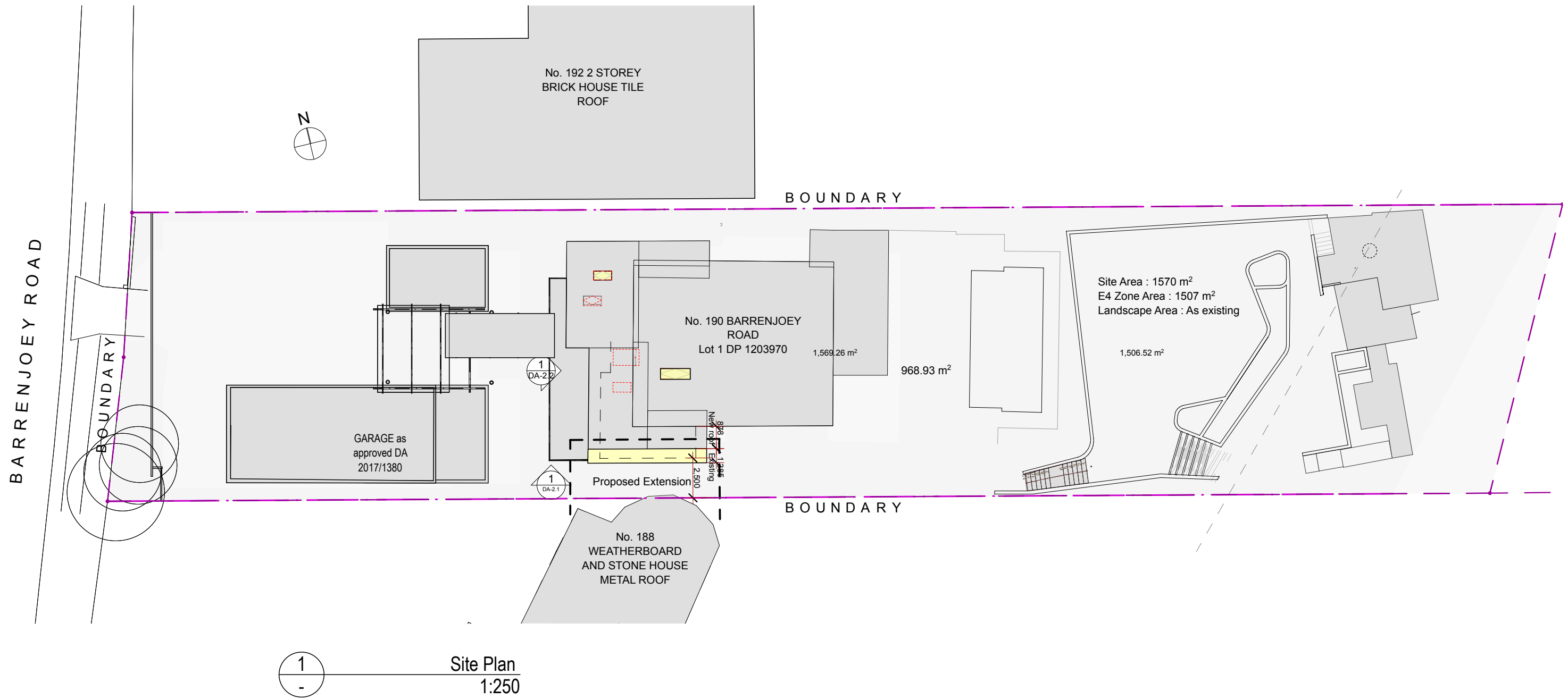
DRAWING TITLE:
DA Extension -
Site Analysis

Project No:
1511

ISSUE:
P1

Drawing No.:

DA-0.0



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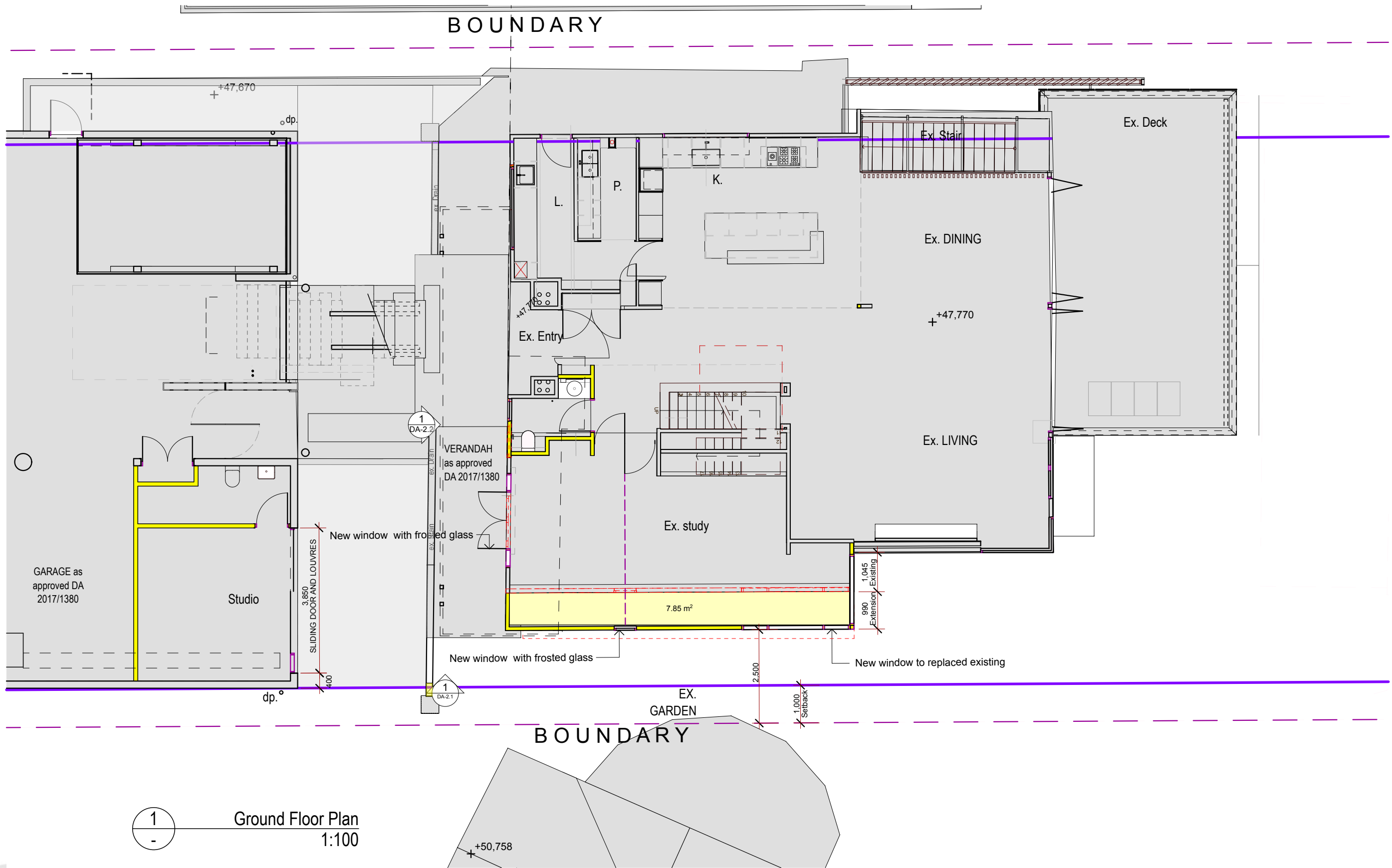
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P1	Preliminary for DA	24-02/20

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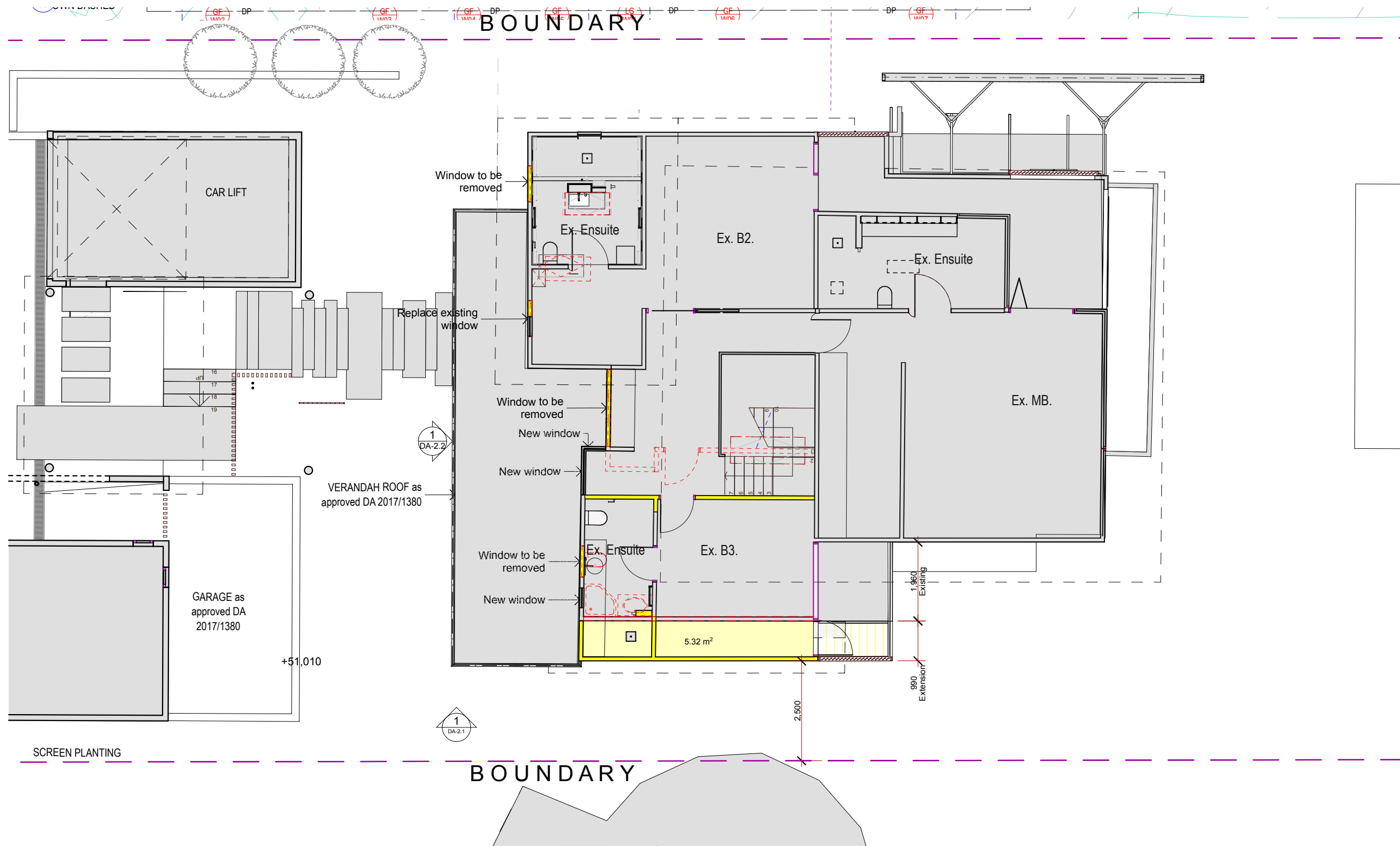
Project Name
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 Site Address
190 BARRENJOEY ROAD
NEWPORT
NSW 2106

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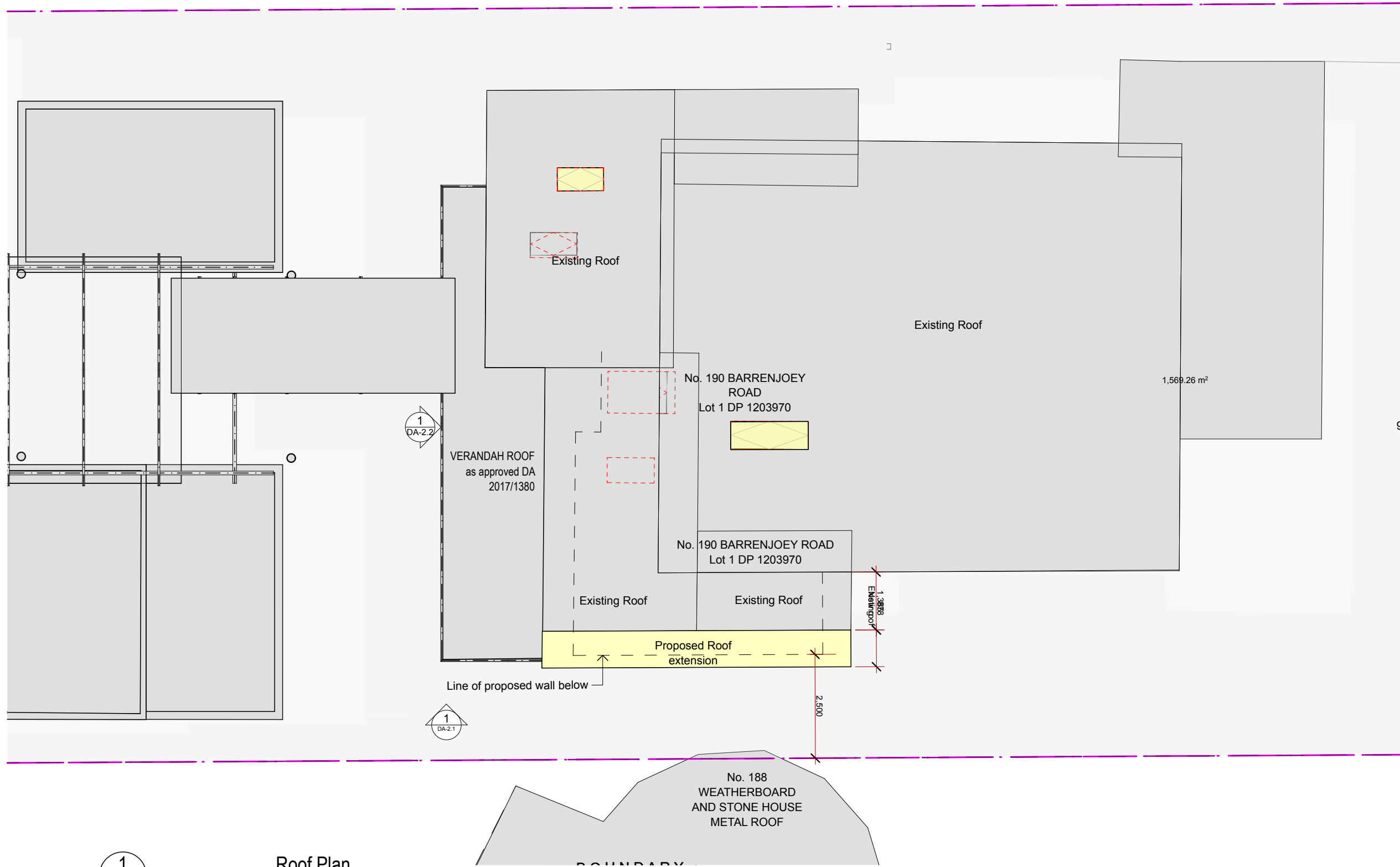
DRAWING TITLE: **DA Extension - Site Plan** ISSUE: **P1**
 Project No: **1511** Drawing No.: **DA-1.0**



1
-
Ground Floor Plan
1:100



1 First Floor Plan
- 1:100



1
-

Roof Plan
1:100

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PRELIMINARY
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Project Name

NEW LANDSCAPE

Site Address

**190 BARRENJOEY ROAD
NEWPORT
NSW 2106**

DRAWN BY: AS
Date: 25/2/20
Scale: as noted
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DRAWING TITLE:
DA Extension -
Roof Floor Plan demo/prop

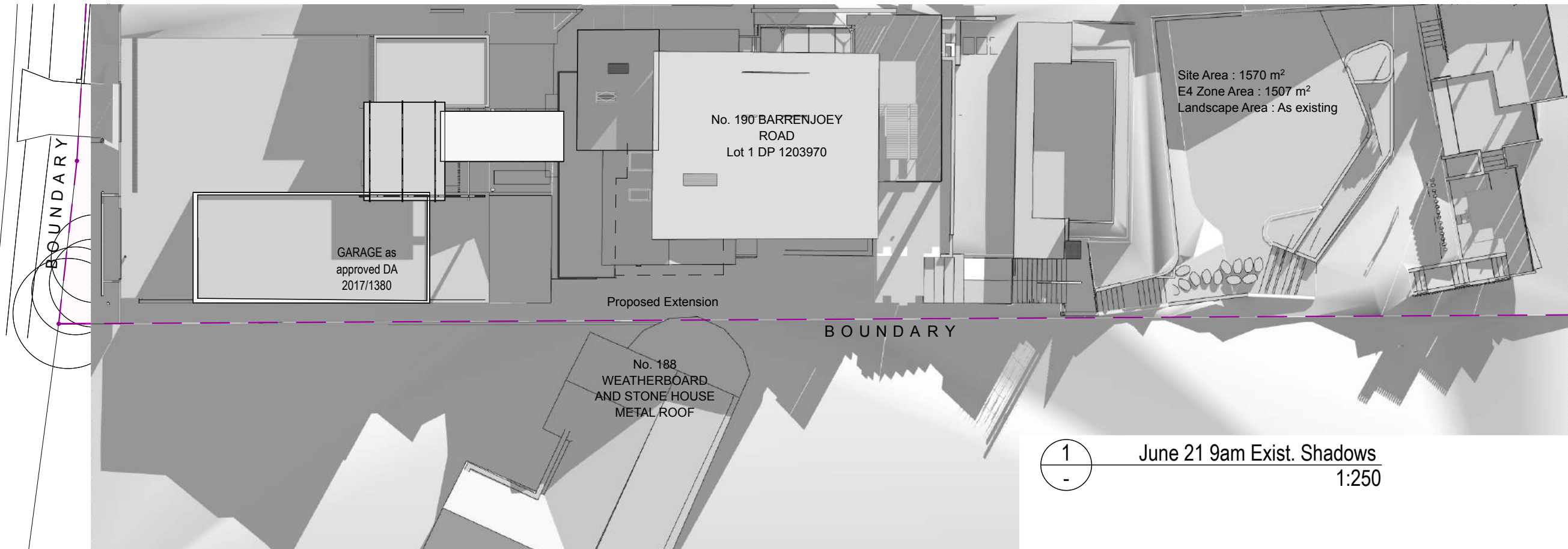
ISSUE:
P1

Project No:
1511

DA-1.3

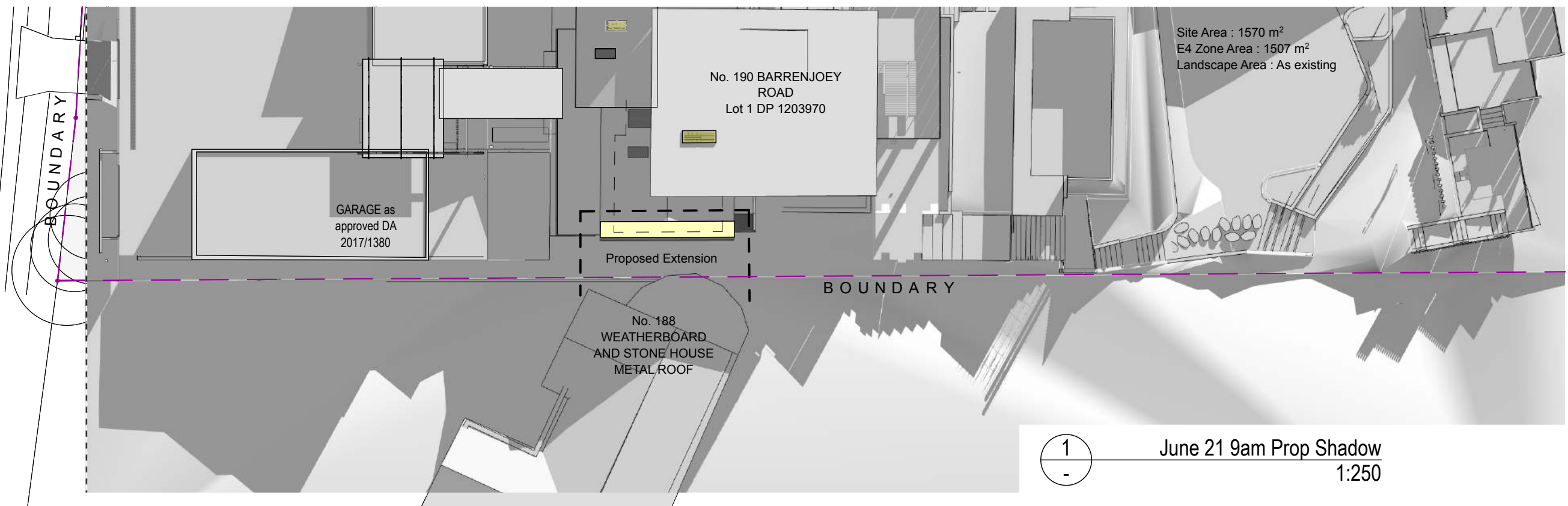
Drawing No.:

BARRENJOEY ROAD

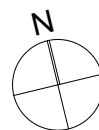


1 June 21 9am Exist. Shadows
- 1:250

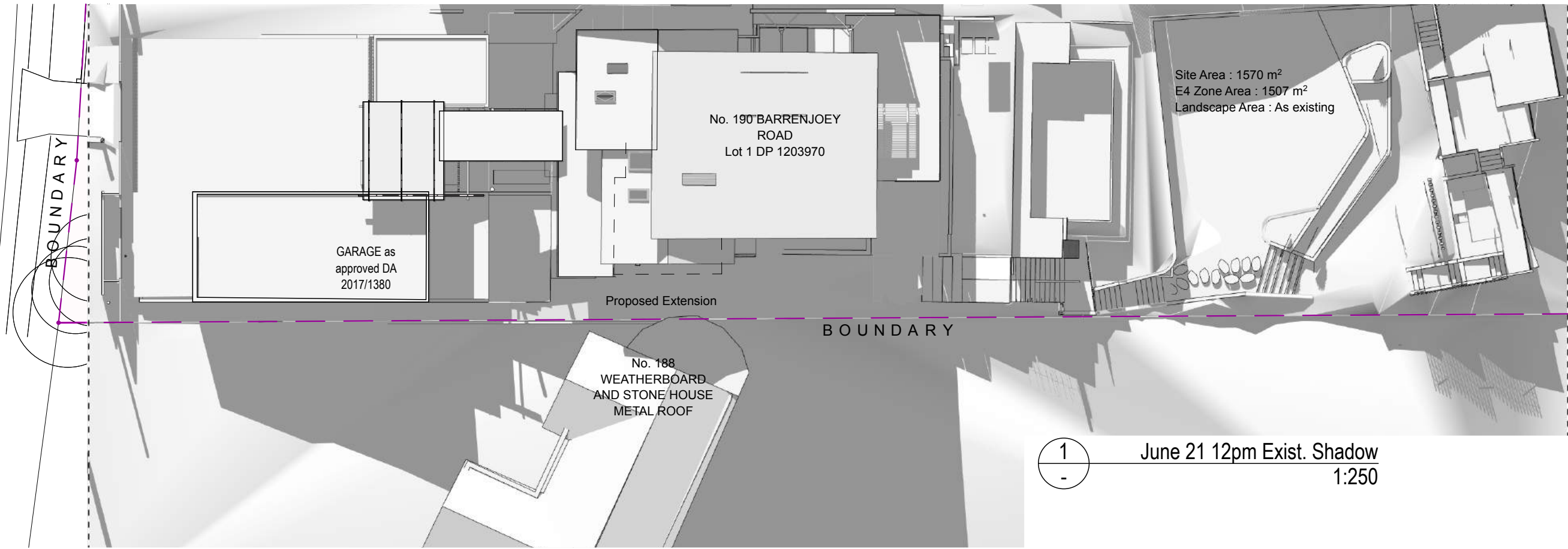
BARRENJOEY ROAD



1 June 21 9am Prop Shadow
- 1:250



BARRENJOEY ROAD



Site Area : 1570 m²
 E4 Zone Area : 1507 m²
 Landscape Area : As existing

No. 190 BARRENJOEY ROAD
 Lot 1 DP 1203970

GARAGE as approved DA 2017/1380

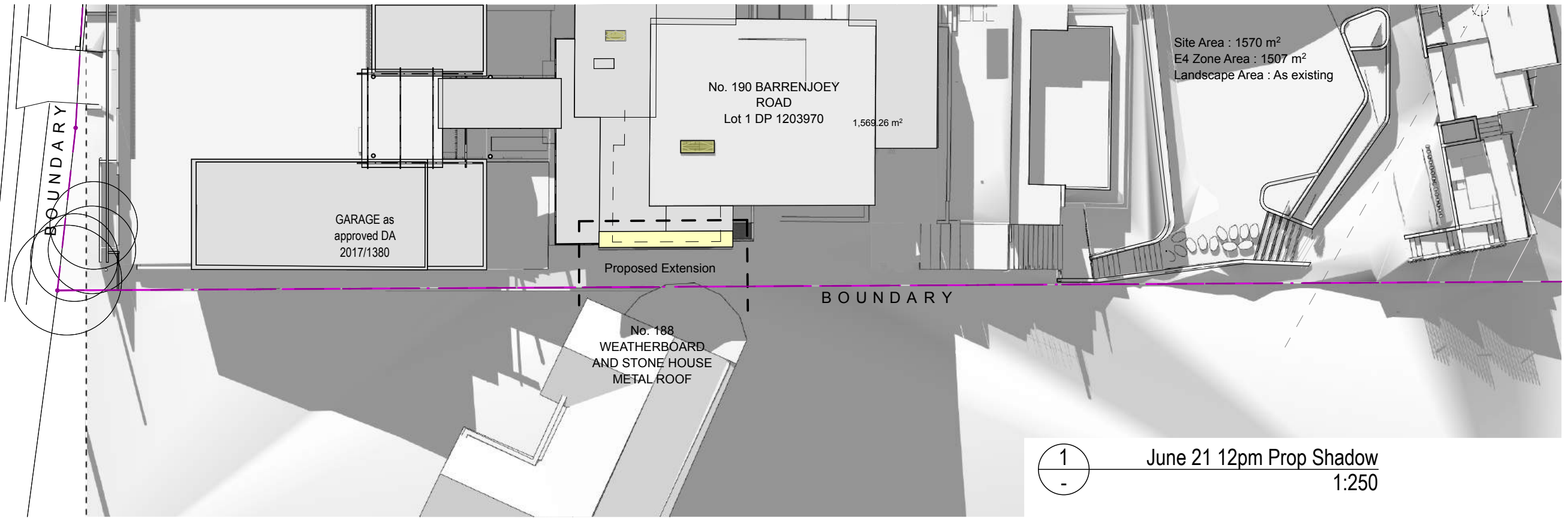
Proposed Extension

BOUNDARY

No. 188 WEATHERBOARD AND STONE HOUSE METAL ROOF

1 June 21 12pm Exist. Shadow
 - 1:250

BARRENJOEY ROAD



Site Area : 1570 m²
 E4 Zone Area : 1507 m²
 Landscape Area : As existing

No. 190 BARRENJOEY ROAD
 Lot 1 DP 1203970

1,569.26 m²

GARAGE as approved DA 2017/1380

Proposed Extension

BOUNDARY

No. 188 WEATHERBOARD AND STONE HOUSE METAL ROOF

1 June 21 12pm Prop Shadow
 - 1:250

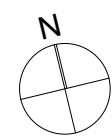
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AMENDMENTS:
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REV	DESCRIPTION	DATE
P1	Preliminary for DA	24-02/20



PRELIMINARY
 NOT FOR CONSTRUCTION

Project Name
NEW LANDSCAPE
 Site Address
190 BARRENJOEY ROAD
NEWPORT
NSW 2106

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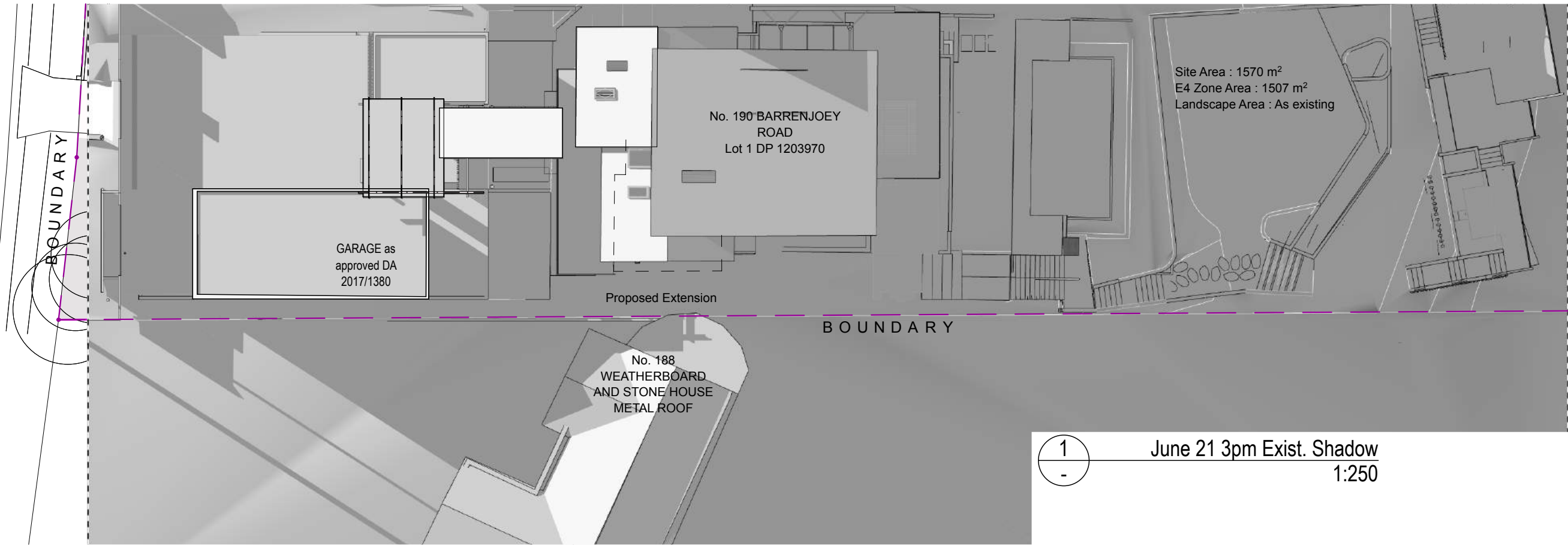
DRAWING TITLE:
DA Extension -
Shadows 12pm

Project No:
1511

ISSUE:
P1

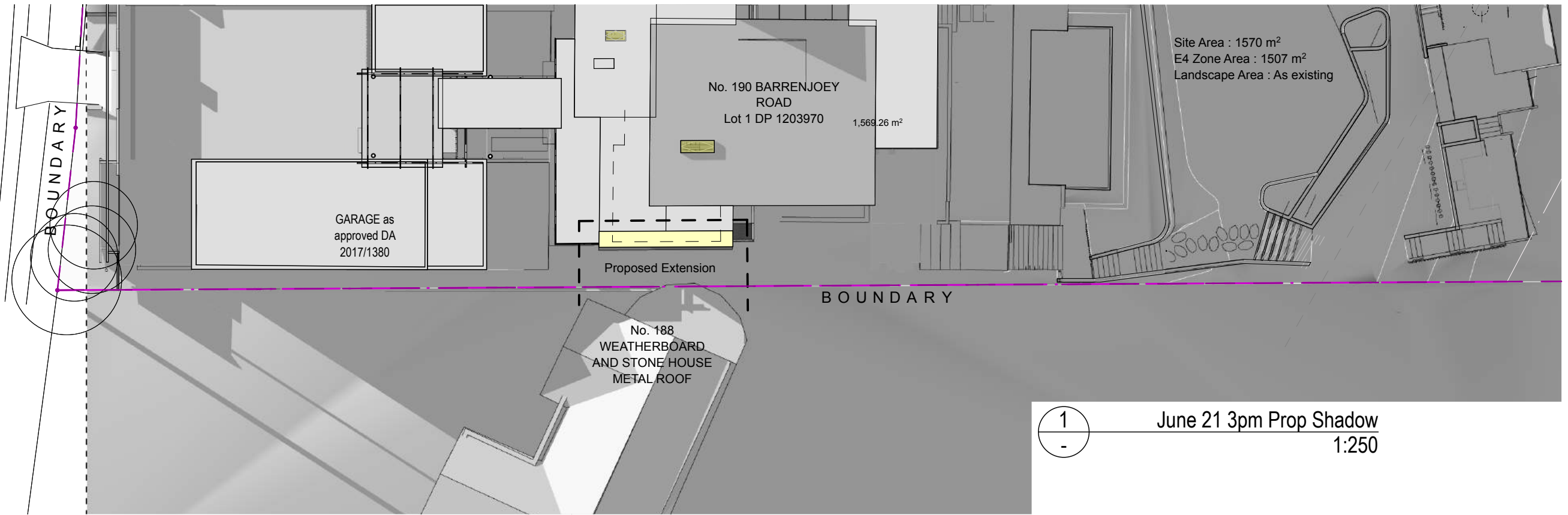
Drawing No.:
DA-1.5

BARRENJOEY ROAD

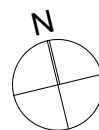


1 June 21 3pm Exist. Shadow
- 1:250

BARRENJOEY ROAD



1 June 21 3pm Prop Shadow
- 1:250



CONSTRUCTION MANAGEMENT PLAN

SCOPE OF WORKS.

- Site establishment: to facilitate the investigation of the existing site and services for the construction of the parking area, a work zone will be created as indicated on the floor plan, the work zone will consist of the following:

- Temporary fence,
- Appropriate warning signage and traffic control as required,
- Initial establishment of work zone,
- Service investigation & footing construction

Plant & Equipment:

As required for the excavation and construction of the proposed parking area.

SEDIMENT AND EROSION CONTROL

1. Soil erosion and sediment control measures to be constructed and maintained as indicated. Location and extent of soil and water management devices are diagrammatic.
2. The contractor shall implement all soil erosion and sediment control measures relating to a particular upstream catchment prior to stripping of topsoil from that catchment. Where it is necessary to undertake stripping in order to construct a sediment control device sufficient ground shall be stripped to allow construction.

3. The contractor shall inform all the subcontractors and all employees of the responsibility in minimising the potential for soil erosion and pollution to downstream areas,
4. The contractor shall regularly maintain sediment and erosion control structure and densit such structures prior to the reduction in capacity of 30. The sediment shall be disposed of on the site in a manner approved by the local council erosion and sediment control policy
5. Topsoil and spoil shall be stockpiled in non hazard areas and protected from surface runoff by diversion drains or similar. Stockpiles shall be surrounded on downstream sides by silt fencing. Stockpiles in non hazard areas and protected from surface runoff by diversion drains or similar. Stockpiles shall be suitable compacted to inhibit erosion. Where the stockpiling period exceeds four weeks, the stockpile shall be seeded to encourage vegetation growth.

6. Topsoil shall be re spread and stabilised as soon as possible,
7. The contractor shall temporarily rehabilitate within 40 days any disturbed areas. Where final shaping has occurred the contractor shall provide final rehabilitation within 20 days,
9. The contractor is to comply with the Clean Waters Act at all the times.

TREE AND BUSHLAND PRESERVATION

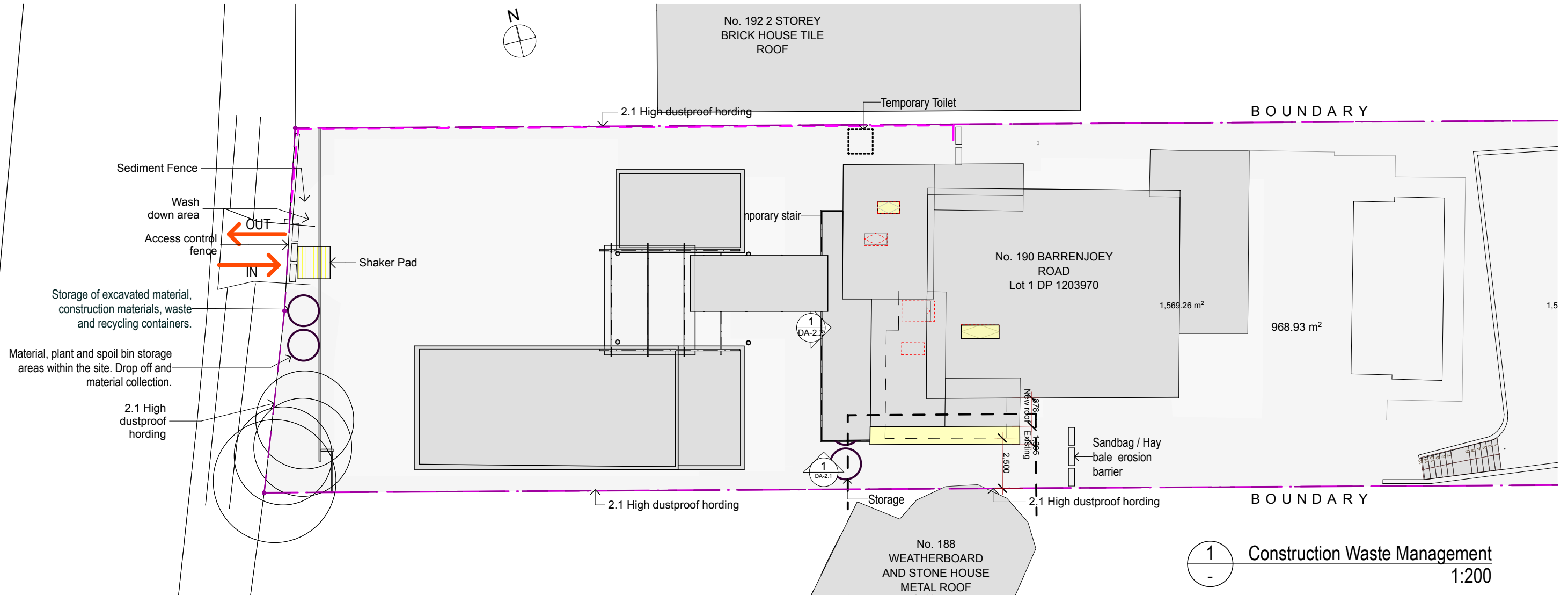
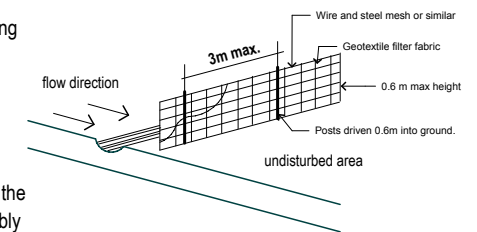
Trees that are to remain must be protected during construction.

Any trenching shall be done manually with the minimal disturbance to the tree; provide sharp cuts of the tree roots, where required. Any works required within this zone shall be under the direction of a suitably qualified Arborist.

Wood chip mulch must be installed to a depth of 75mm within the fenced off protection area. trees must be watered once per week during construction activities near,

WASTE NOTES:

1. Construction waste material to be reused or recycled on site with architects approval



1 Construction Waste Management
1:200



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AMENDMENTS:

NOT FOR CONSTRUCTION

REV	DESCRIPTION	DATE
P1	Preliminary for DA	24-02/20

PRELIMINARY
NOT FOR CONSTRUCTION

Project Name

NEW LANDSCAPE

Site Address

**190 BARRENJOEY ROAD
NEWPORT
NSW 2106**

DRAWN BY: AS Date: 25/2/20 Scale: as noted Status: Amended Design

APPROVED BY
Nominated Architect Furio Valich ARBN 3317

/Volumes/Public/cadodd1709_190Barrenjoey Road_Landscape/A_DA 2020/1709_200217_190 Barrenjoey Rd_DA2.pln
PLOT: Tuesday, 25 February 2020 11:05 am

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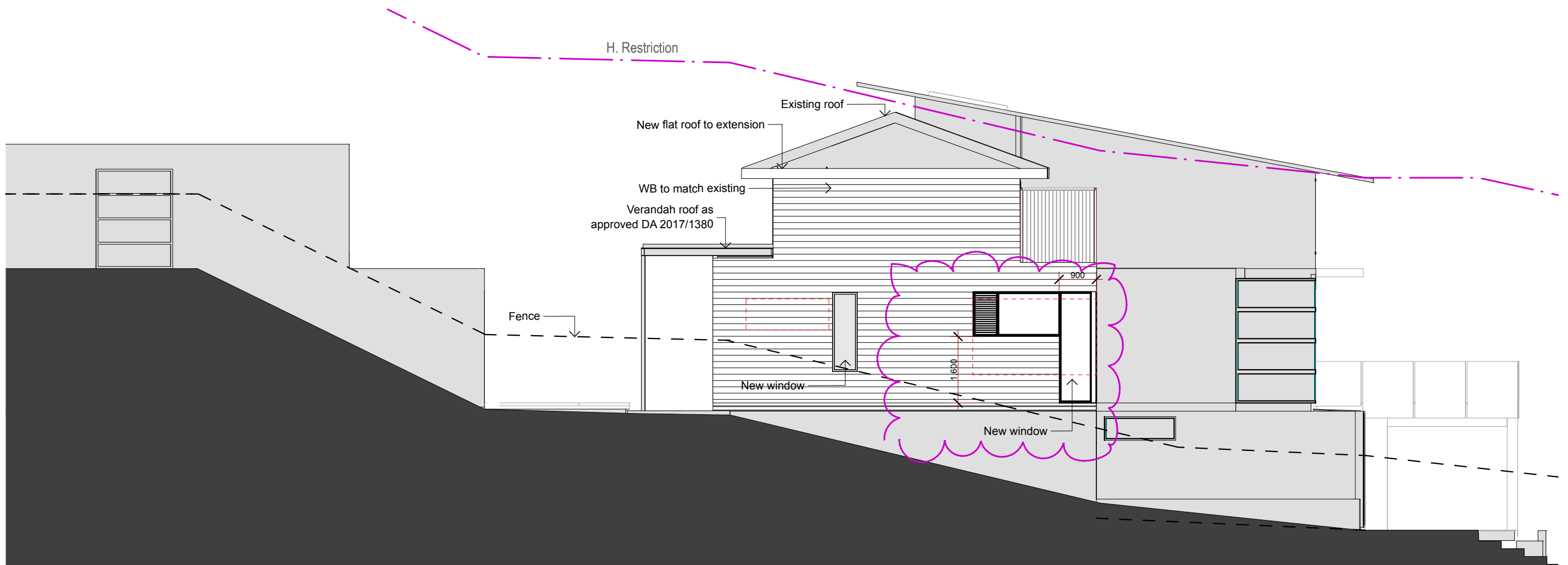
DRAWING TITLE:
**DA Extension -
Construction & Sediment Management**

Project No:
1511

ISSUE:
P1

Drawing No.:

DA-1.7



1
-
South Elevation
1:100

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AMENDMENTS:

NOT FOR CONSTRUCTION

REV	DESCRIPTION	DATE
a	Amended window	27-03/20
P1	Preliminary for DA	24-02/20

**Development
Application**

NOT FOR CONSTRUCTION

Project Name

NEW LANDSCAPE

Site Address

**190 BARRENJOEY ROAD
NEWPORT
NSW 2106**

DRAWN BY: AS
Date: 27/3/20
Scale: as noted
Status: Amended Design

APPROVED BY:
Nominated Architect Furio Valich ARBN 3317

/Volumes/Public/cadodd1709_190Barrenjoey Road_Landscape /A_DA 2020/1709_200217_190 Barrenjoey Rd_DA2.pln
PLOT: Friday, 27 March 2020 1:34 pm

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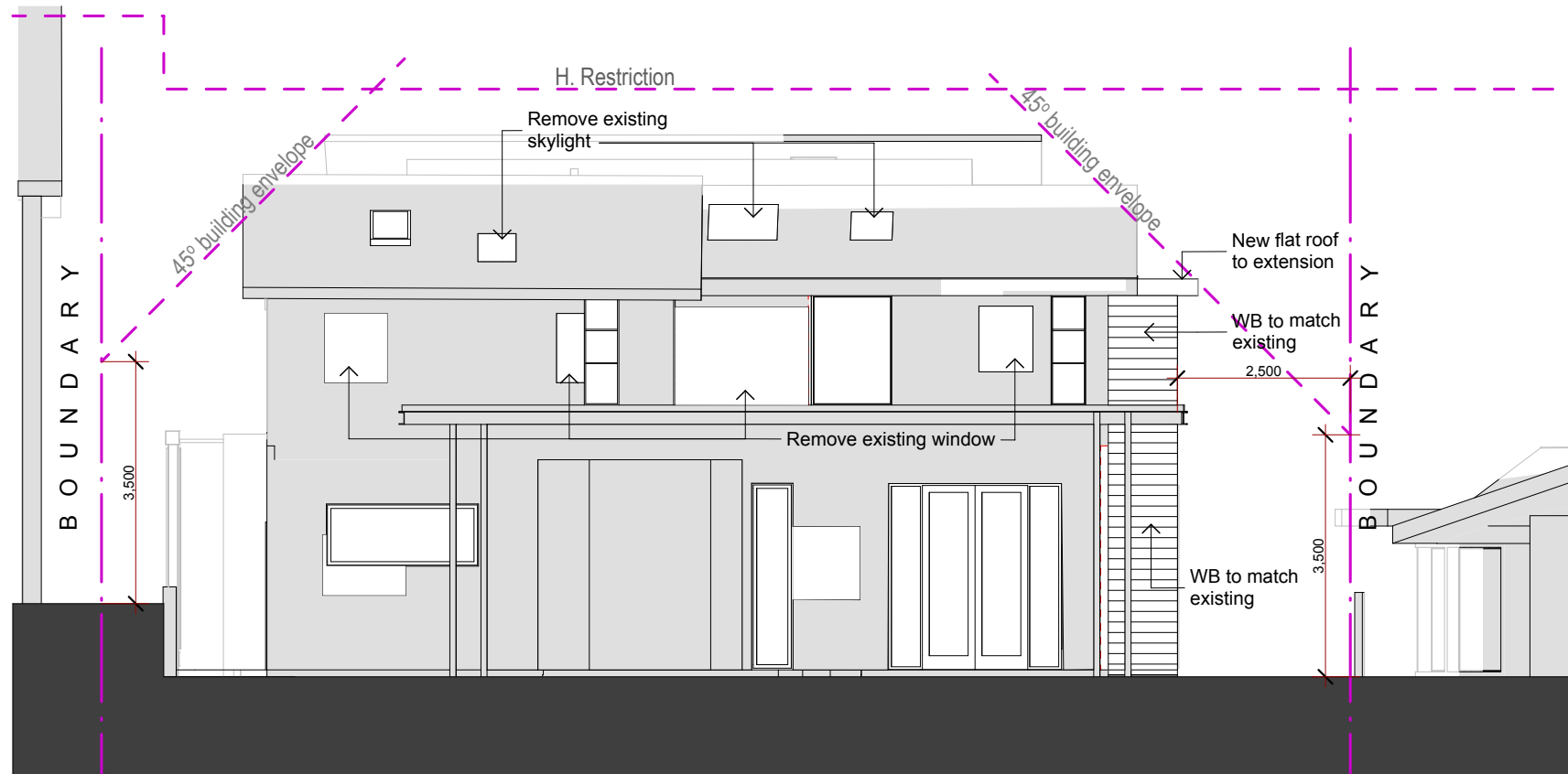
DRAWING TITLE:
**DA Extension -
Elevations**

Project No:
1511

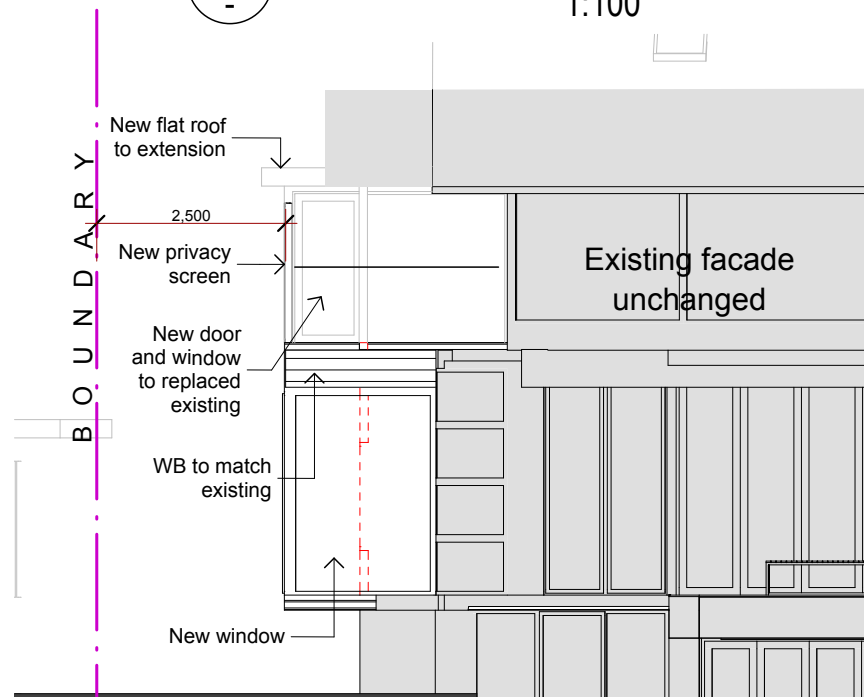
ISSUE:
a.

Drawing No.:

DA-2.1



1 House West Elevation
1:100



2 House East Elevation
1:100

AMENDMENTS:

NOT FOR CONSTRUCTION

REV	DESCRIPTION	DATE
A	East Elevation Added	15-04/20
P1	Preliminary for DA	24-02/20

Project Name

NEW LANDSCAPE

Site Address

**190 BARRENJOEY ROAD
NEWPORT
NSW 2106**

DRAWN BY:
AS

Date:
15/4/20

Scale:
as noted

Status:
Amended Design

APPROVED BY
Nominated Architect Furio Valich ARBN 3317

/Users/landres/Documents/GV Architecture/ACAD/17/09_190Barrenjoey Road_Landscape IA /DA 2020/1709_200327_190 Barrenjoey Rd_DA2.pln
PLOT: Wednesday, 15 April 2020 12:02 pm

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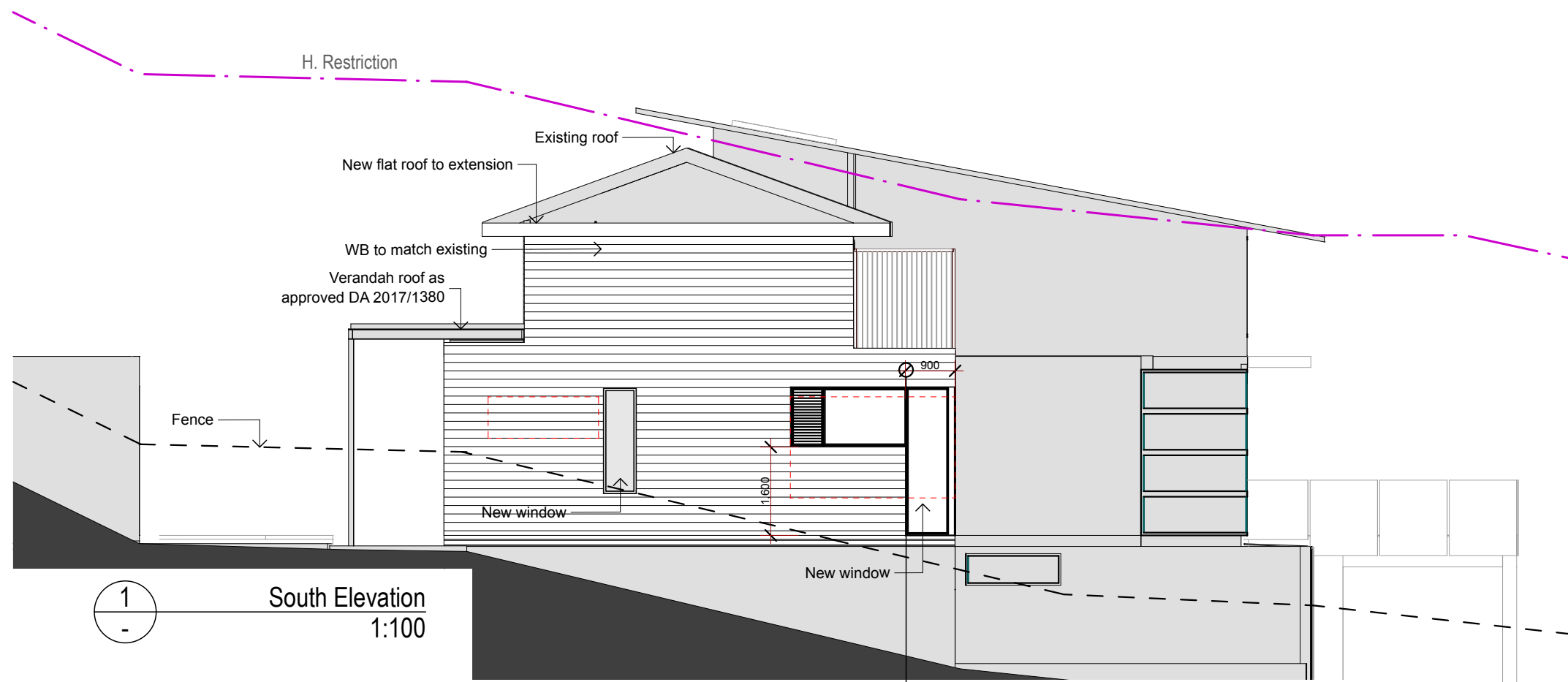
DRAWING TITLE:
**DA Extension -
Elevation**

Project No:
1511

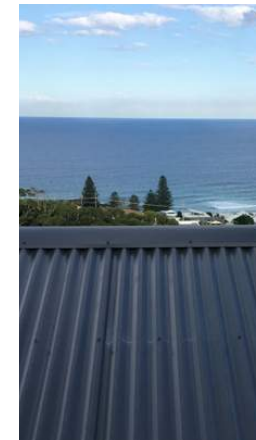
ISSUE:
a

Drawing No.:

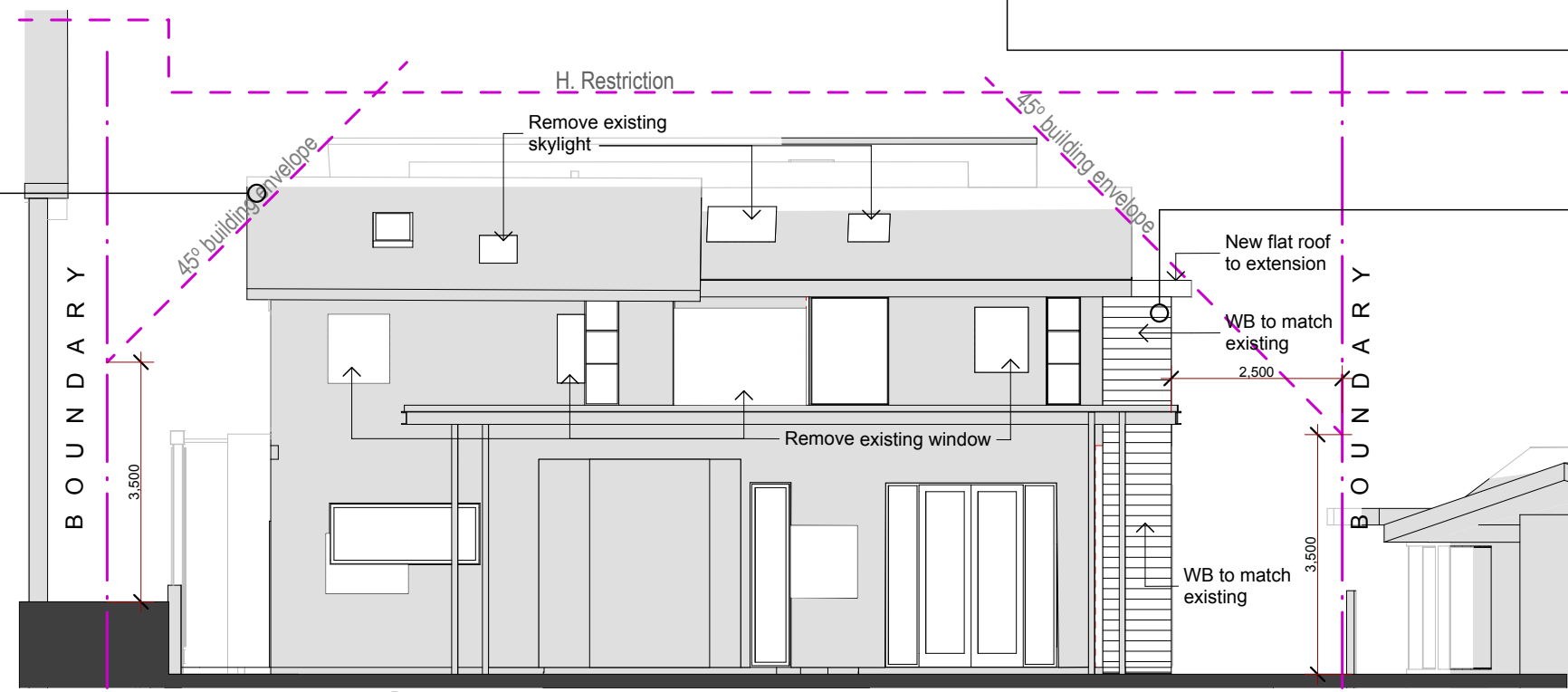
DA-2.2



1 - South Elevation
1:100



3 - Corrugated roof



2 - House West Elevation
1:100



1 - Weatherboard to match existing

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AMENDMENTS:
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REV	DESCRIPTION	DATE
a	Amended window	27-03/20
P1	Preliminary for DA	24-02/20

Development Application

NOT FOR CONSTRUCTION

Project Name
NEW LANDSCAPE
Site Address
**190 BARRENJOEY ROAD
NEWPORT
NSW 2106**

DRAWN BY: AS Date: 31/3/20 Scale: as noted Status: Amended Design
APPROVED BY
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PLOT: Tuesday, 31 March 2020 11:32 am
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DRAWING TITLE:
**DA Extension -
Schedule of Colours & Materials**

Project No:
1511

ISSUE:
a
Drawing No.:
DA-2.3



1
-

East View

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NEWPORT
NSW 2106**

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AS	25/2/20	as noted	Amended Design

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DRAWING TITLE:
**DA Extension -
Photomontage**

ISSUE:

Project No:
1511

Drawing No.:
DA SK