

TRUE NORTH:

SITE AREA = 335.1 m<sup>2</sup>

LOT 7 DP

347397

 All workmanship & Intakrias stall be in accordance with the requirements or current eutrons including amendments of the National Construction Code, relevant Australian Standards & loca council requirements.

New materials are to be used throughout unless otherwise noted.

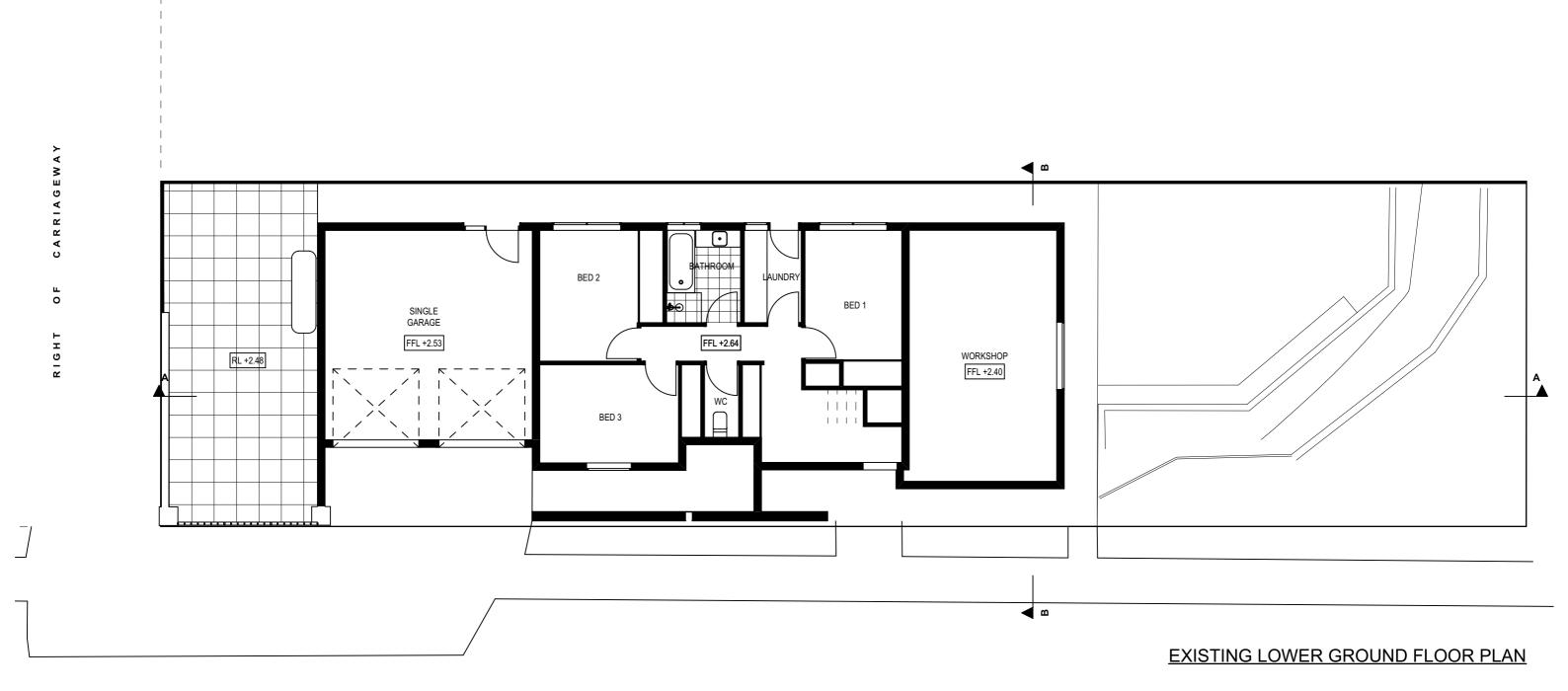
Concrete footings, slab, structural beams or any other structural members are to be designed by a prediction continuous. by a practicing engineer.

JJ Drafting Australia P/L.

	REV:	DATE:	DESCRIPTION:
	Α	18/01/2023	SLIDING DOORS IN THE GARAGE REMOVED
	В	20/02/2024	DECK ENCLOSED
3	С	28/02/2024	DECK ENCLOSED REVISION
1			
au			

4	PROPOSED ALTERATIONS AND ADDITIONS
+	138 LAGOON STREET NARRABEEN NSW 2101
1	CLIENT: CHAPMAN
╛	
-1	DRAWING TITLE: SITE ANALYSIS DI AN

DATE: JULY/23	DRAWN BY:	SCALE: 1:200 @ A3		
JOB No: 1186/23	CHECKED BY:	DRAWING No: DA.01		







NOTES (E & OE)

• All structures including stormwater & drainage to engineer's details.

• Do not obtain dimensions by scaling drawings.

• All dimensions are to be checked on site prior to starting work.

• These drawings are to be read in conjunction with all other consultant's drawings and specifications.

• All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.

• New materials are to be used throughout unless otherwise noted.

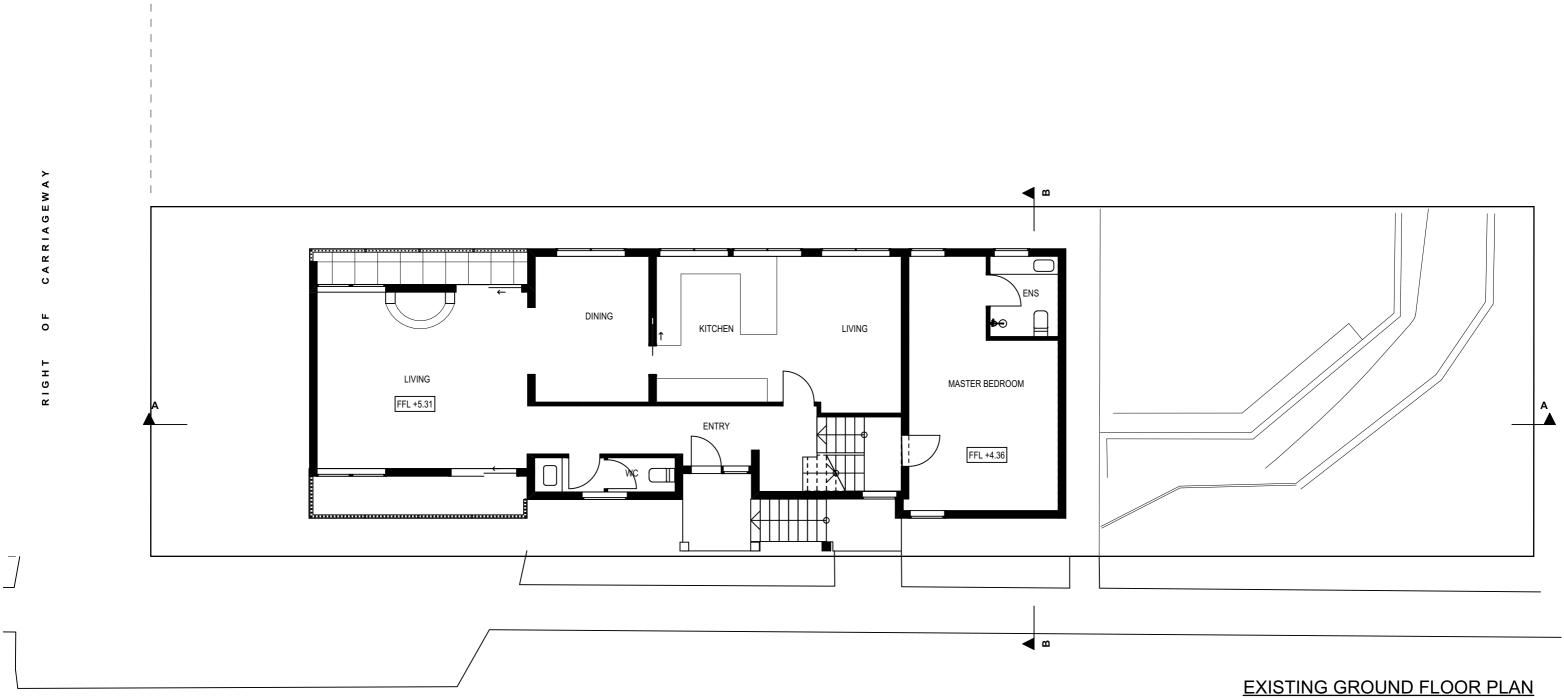
• Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

# JJ Drafting Australia P/L.

	REV:	DATE:	DESCRIPTION:
	Α	18/01/2023	SLIDING DOORS IN THE GARAGE REMOVED
	В	20/02/2024	DECK ENCLOSED
	С	28/02/2024	DECK ENCLOSED REVISION
اي			
╛			

	PROPOSED ALTERATIONS AND ADDITIONS
$\frac{1}{2}$	138 LAGOON STREET NARRABEEN NSW 2101
	CLIENT: CHAPMAN
	DRAWING TITLE: EXISTING LOWER GROUND FLOOR PLAN

DATE:	DRAWN BY:	SCALE:		
JULY/23	HR	1:100 @ A3		
JOB No:	CHECKED BY:	DRAWING No:		
1186/23	JJ	DA.02		



## TRUE NORTH:



NOTES (E & OE)

• All structures including stormwater & drainage to engineer's details.

• Do not obtain dimensions by scaling drawings.

• All dimensions are to be checked on site prior to starting work.

• These drawings are to be read in conjunction with all other consultant's drawings and specifications.

• All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.

• New materials are to be used throughout unless otherwise noted.

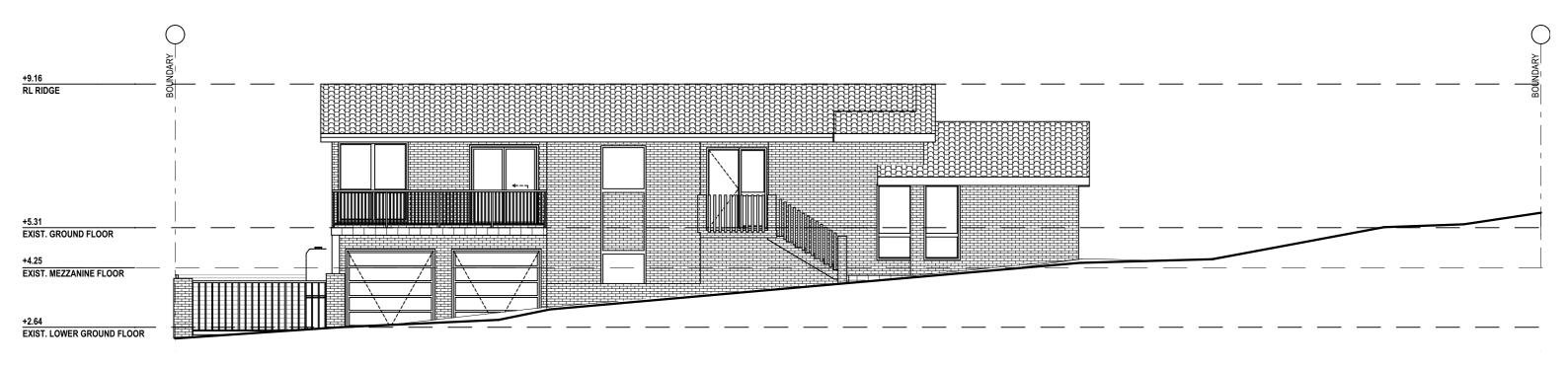
• Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

# JJ Drafting Australia P/L.

	REV:	DATE:	DESCRIPTION:
	Α	18/01/2023	SLIDING DOORS IN THE GARAGE REMOVED
	В	20/02/2024	DECK ENCLOSED
,	С	28/02/2024	DECK ENCLOSED REVISION
u l			

	PROPOSED ALTERATIONS AND ADDITIONS	
$\frac{1}{2}$	138 LAGOON STREET NARRABEEN NSW 2101	
	CLIENT: CHAPMAN	
	DRAWING TITLE: EXISTING GROUND FLOOR PLAN	

DATE:	DRAWN BY:	SCALE:		
JULY/23	HR	1:100 @ A3		
JOB No:	CHECKED BY:	DRAWING No:		
1186/23	JJ	DA.03		

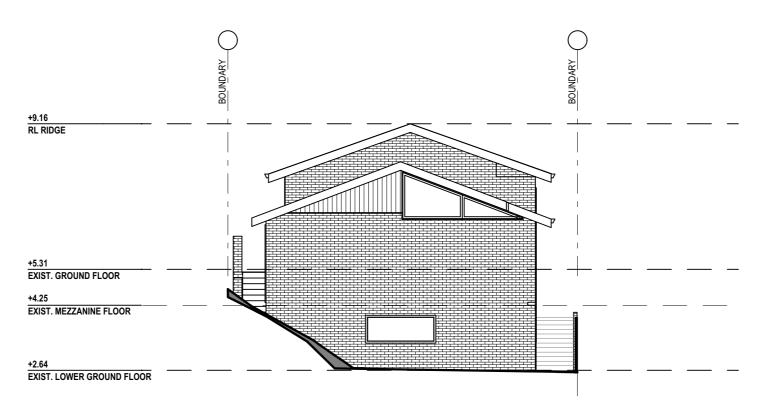


# **EXISTING NORTH WEST ELEVATION**



# **EXISTING SOUTH EAST ELEVATION**

NOTES (E & OE)  All structures including stormwater & drainage to engineer's details.  Do not obtain dimensions by scaling drawings.  All dimensions are to be checked on site prior to starting work.  These drawings are to be read in conjunction with all other consultant's drawings specifications.	JJ Drafting Australia P/L. 26/90 Mona Vale Road, Mona Vale, NSW, 2103	A 18 B 20	DATE: 8/01/2023 0/02/2024 8/02/2024	DESCRIPTION: SLIDING DOORS IN THE GARAGE REMOVED DECK ENCLOSED DECK ENCLOSED REVISION	PROPOSED ALTERATIONS AND ADDITIONS 138 LAGOON STREET NARRABEEN NSW 2101 CLIENT:	DATE: JULY/23	DRAWN BY:	SCALE: 1:100 @ A3
<ul> <li>All workmanship &amp; materials shall be in accordance with the requirements of curr including amendments of the National Construction Code, relevant Australian Stand</li> </ul>	editions	,   <u> </u>			CHAPMAN	JOB No:	CHECKED BY:	DRAWING No:
council requirements.  New materials are to be used throughout unless otherwise noted.  Concrete footings, slab, structural beams or any other structural members are to by a practicing engineer.	designed Mob. 0414 717 541   Email. jjdraft@tpg.com.au  www.jjdrafting.com.au	u			DRAWING TITLE: EXISTING ELEVATIONS SHEET 1	1186/23	JJ	DA.04



**EXISTING NORTH EAST ELEVATION** 



## TRUE NORTH:



- NOTES (E & OE)

   All structures including stormwater & drainage to engineer's details.

   Do not obtain dimensions by scaling drawings.

   All dimensions are to be checked on site prior to starting work.

   These drawings are to be read in conjunction with all other consultant's drawings and specifications.

   All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.

   New materials are to be used throughout unless otherwise noted.

   Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

JJ Drafting Australia P/L.
26/90 Mona Vale Road, Mona Vale, NSW, 2103
PO Box 687, Dee Why, NSW, 2099

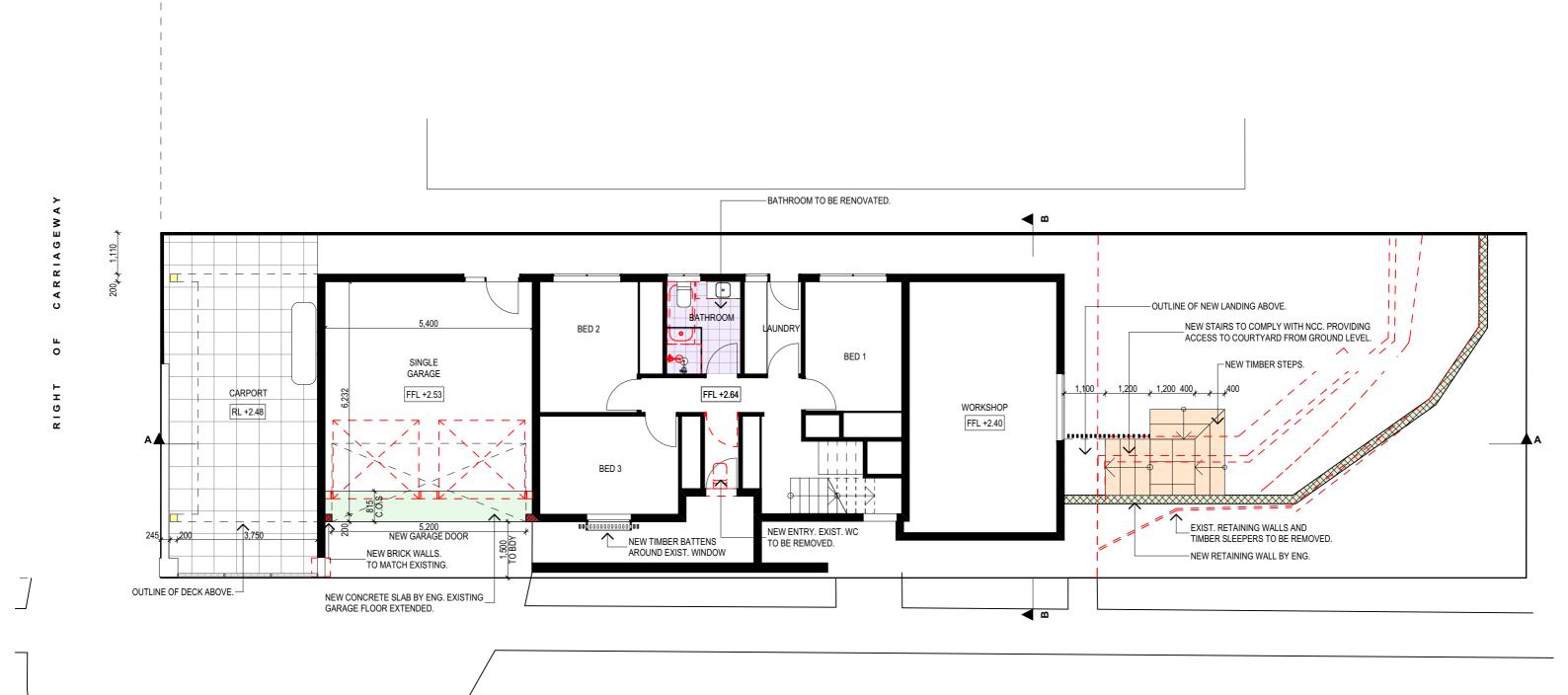
REV: DATE: A 18/01/2023 B 20/02/2024 C 28/02/2024

Australia P/L.				
26/90 Mona Vale Road, Mona Vale, NSW, 2103				
PO Box 687, Dee Why, NSW, 2099				
Mob. 0414 717 541   Email. jjdraft@tpg.com.au				
www.jjdrafting.com.au				
ACN 651 693 346				

DESCRIPTION:	PROPO
SLIDING DOORS IN THE GARAGE REMOVED	138 L
DECK ENCLOSED	
DECK ENCLOSED REVISION	CLIENT
	CHAP
	DDAMA
	DRAWIN
	EXIST

PROPOSED ALTERATIONS AND ADDITIONS
138 LAGOON STREET NARRABEEN NSW 2101
CLIENT: CHAPMAN
DRAWING TITLE: EXISTING ELEVATIONS SHEET 2
EAISTING ELEVATIONS SHEET Z

DATE:	DRAWN BY:	SCALE:
JULY/23	HR	1:100 @ A3
OB No:	CHECKED BY:	DRAWING No:
1186/23	JJ	DA.05



# PROPOSED LOWER GROUND FLOOR PLAN

## TRUE NORTH:



NOTES (E & OE)

All structures including stormwater & drainage to engineer's details.

Do not obtain dimensions by scaling drawings.

All dimensions are to be checked on site prior to starting work.

These drawings are to be read in conjunction with all other consultant's drawings and specifications.

specifications.

• All workmanship & materials shall be in accordance with the requirements of current editions. • All workinalisting a materials stall be in accordance with the legitlements of current eductors including amendments of the National Construction Code, relevant Australian Standards & local council requirements.

• New materials are to be used throughout unless otherwise noted.

• Concrete footings, slab, structural beams or any other structural members are to be designed by a concreticing construction.

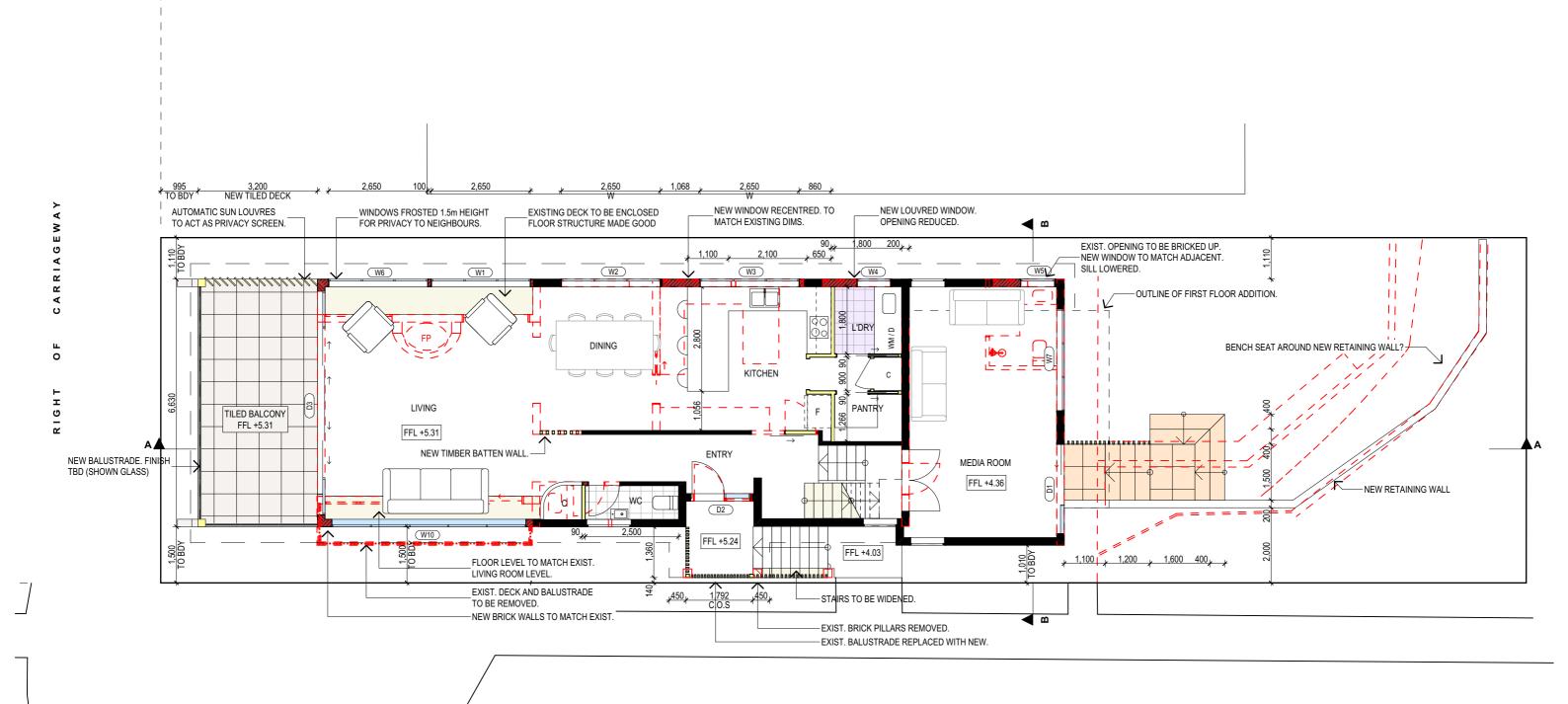
by a practicing engineer.

# JJ Drafting Australia P/L.

	REV:	DATE:	DESCRIPTION:
	Α	18/01/2023	SLIDING DOORS IN THE GARAGE REMOVED
	В	20/02/2024	DECK ENCLOSED
,	С	28/02/2024	DECK ENCLOSED REVISION
u l			

PROPOSED ALTERATIONS AND ADDITIONS	[
138 LAGOON STREET NARRABEEN NSW 2101	
CLIENT: CHAPMAN	L
DRAWING TITLE: PROPOSED LOWER GROUND FLOOR PLAN	'

DATE:	DRAWN BY:	SCALE:
JULY/23	HR	1:100 @ A3
JOB No:	CHECKED BY:	DRAWING No:
1186/23	JJ	DA.06



DESCRIPTION:

DECK ENCLOSED REVISION

20/02/2024 28/02/2024 SLIDING DOORS IN THE GARAGE REMOVED DECK ENCLOSED

## PROPOSED GROUND FLOOR PLAN

GROUND FLOOR CALCULATIONS

EXISTING FLOOR AREA 113.66m<sup>2</sup> PROPOSED FLOOR AREA 117.32m<sup>2</sup>

TRUE NORTH:

NOTES (E & OE)

All structures including stormwater & drainage to engineer's details.

Do not obtain dimensions by scaling drawings.
All dimensions are to be checked on site prior to starting work.

New materials are to be used throughout unless otherwise noted.
 Concrete footings, slab, structural beams or any other structural members are to be designed.

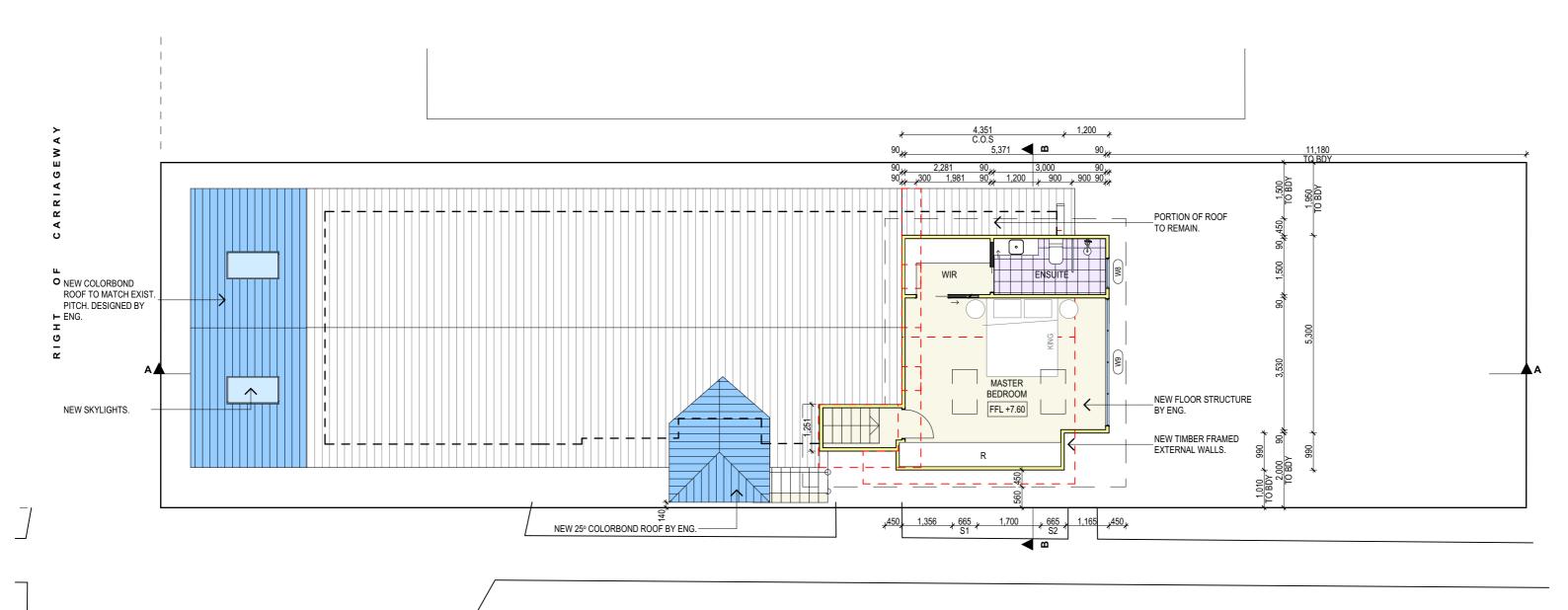
by a practicing engineer.

JJ Drafting REV: DATE:
A 18/01/2023

Australia P/L.	В
6/90 Mona Vale Road, Mona Vale, NSW, 2103	С
PO Box 687, Dee Why, NSW, 2099	
ob. 0414 717 541   Email. jjdraft@tpg.com.au	
www.jjdrafting.com.au	
ACN 651 693 346	

PROPOSED ALTERATIONS AND ADDITIONS 138 LAGOON STREET NARRABEEN NSW 2101 CLIENT: CHAPMAN	
DRAWING TITLE: PROPOSED GROUND FLOOR PLAN	

DATE:	DRAWN BY:	SCALE:
JULY/23	HR	1:100 @ A3
JOB No:	CHECKED BY:	DRAWING No:
1186/23	JJ	DA.07



# PROPOSED FIRST FLOOR PLAN

@ A3

## FIRST FLOOR CALCULATIONS

PROPOSED FLOOR AREA

32.8m<sup>2</sup>

## TRUE NORTH:

NOTES (E & OE)

All structures including stormwater & drainage to engineer's details.

Do not obtain dimensions by scaling drawings.

All dimensions are to be checked on site prior to starting work.

These drawings are to be read in conjunction with all other consultant's drawings and specifications.

All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code relevant Australian Standards & local

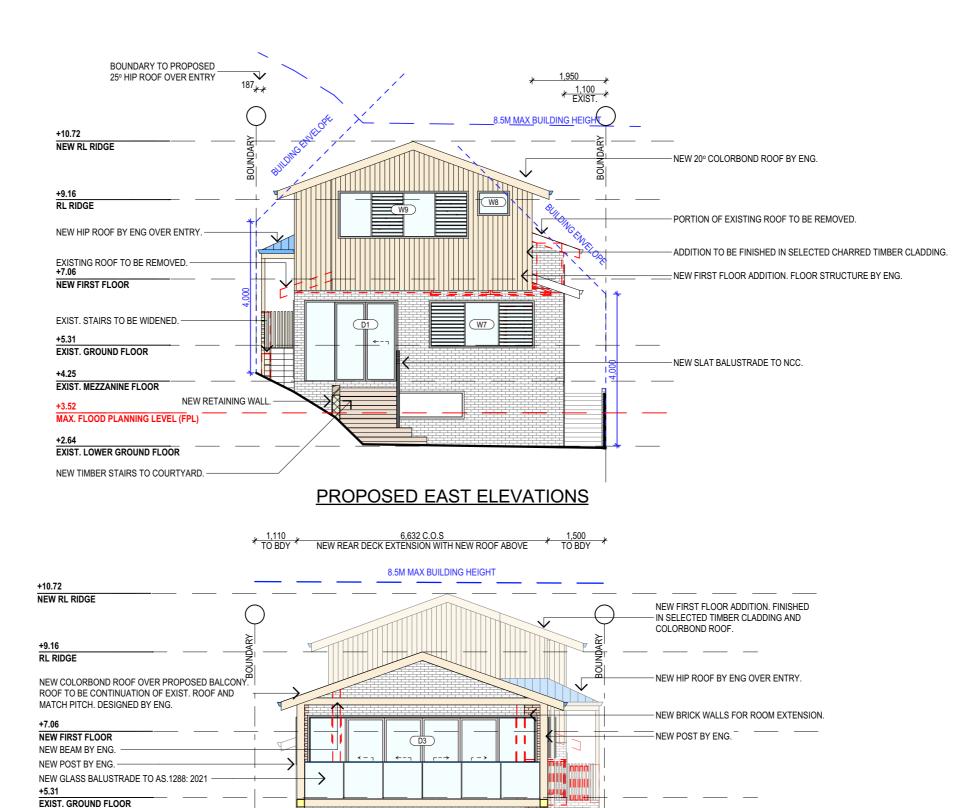
 All working amendments of the National Construction Code, relevant Australian Standards & local council requirements.
 New materials are to be used throughout unless otherwise noted.
 Concrete footings, slab, structural beams or any other structural members are to be designed by a precision construction construction. by a practicing engineer.

# JJ Drafting Australia P/L.

	REV:	DATE:	DESCRIPTION:
	Α	18/01/2023	SLIDING DOORS IN THE GARAGE REMOVED
	В	20/02/2024	DECK ENCLOSED
:	С	28/02/2024	DECK ENCLOSED REVISION
u l			

DATE:	DRAWN BY:	SCALE:
2101 JULY/23	HR	1:100 @ A3
JOB No:	CHECKED BY:	DRAWING No:
	11	D.4.00
1186/23	JJ	DA.08
W	W 0404	W 2101 JULY/23 HR  JOB No: CHECKED BY:





## PROPOSED WEST ELEVATION

## NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
   Do not obtain dimensions by scaling drawings.
   All dimensions are to be checked on site prior to starting work.
- specifications.

   All workmanship & materials shall be in accordance with the requirements of current editions New materials are to be used throughout unless otherwise noted.
   Concrete footings, slab, structural beams or any other structural members are to be designed.
- by a practicing engineer.
- JJ Drafting <sup>Australia</sup> P/L. 26/90 Mona Vale Road, Mona Vale, NSW, 2103 PO Box 687, Dee Why, NSW, 2099 Mob. 0414 717 541 | Email. jjdraft@tpg.com.au

www.jjdrafting.com.au

ACN 651 693 346

EXIST. MEZZANINE FLOOR

MAX. FLOOD PLANNING LEVEL (FPL)

EXIST. LOWER GROUND FLOOR

+3.52

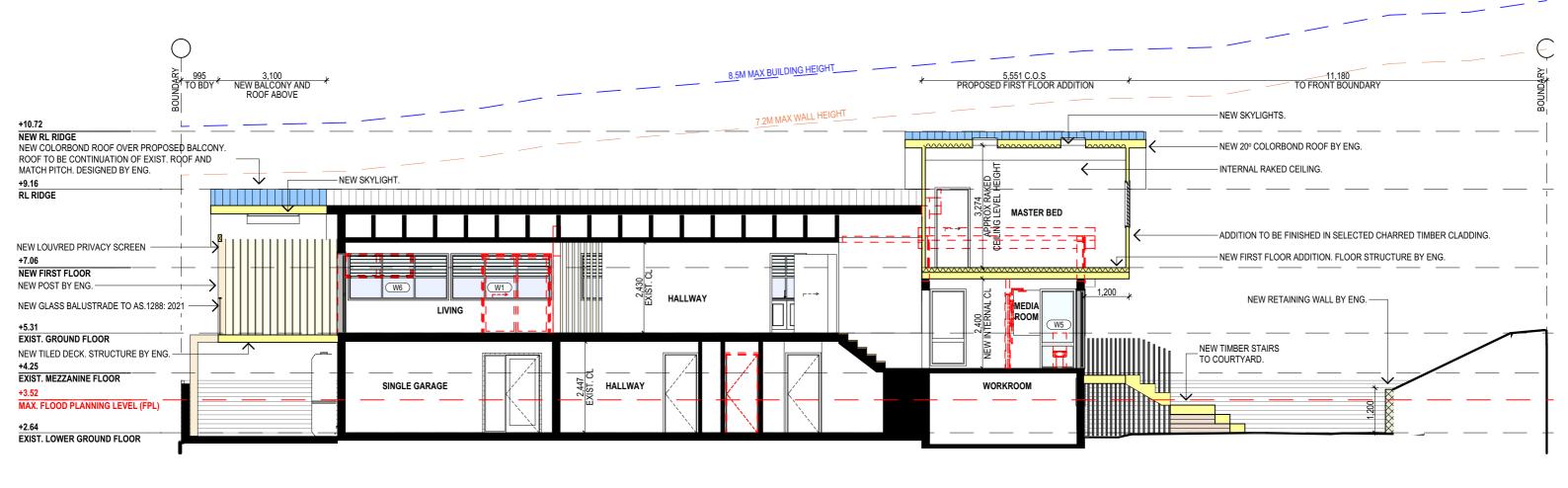
+2.64

	REV:	DATE:	DESCRIPTION:
	Α	18/01/2023	SLIDING DOORS IN THE GARAGE REMOVED
	В	20/02/2024	DECK ENCLOSED
,	С	28/02/2024	DECK ENCLOSED REVISION
u l			
- 1			

PROPOSED ALTERATIONS AND ADDITIONS 138 LAGOON STREET NARRABEEN NSW 2101 CLIENT: CHAPMAN	
DRAWING TITLE: PROPOSED ELEVATIONS SHEET 2	

NEW TILED DECK BY ENG.

DATE:	DRAWN BY:	SCALE:
JULY/23	HR	1:100 @ A3
JOB No:	CHECKED BY:	DRAWING No:
1186/23	JJ	DA.10



# **SECTION A**

#### NOTES (E & OE) All structures including stormwater & drainage to engineer's details. Do not obtain dimensions by scaling drawings. All dimensions are to be checked on site prior to starting work. These drawings are to be read in conjunction with all other consultant's drawings and specifications. REV: DATE: JJ Drafting Australia P/L. DESCRIPTION: PROPOSED ALTERATIONS AND ADDITIONS DATE: DRAWN BY: SCALE: A 18/01/2023 B 20/02/2024 SLIDING DOORS IN THE GARAGE REMOVED 138 LAGOON STREET NARRABEEN NSW 2101 1:100 @ A3 JULY/23 HR DECK ENCLOSED C 28/02/2024 DECK ENCLOSED REVISION specifications. • All workmanship & materials shall be in accordance with the requirements of current editions. 26/90 Mona Vale Road, Mona Vale, NSW, 2103 CHAPMAN PO Box 687, Dee Why, NSW, 2099 • All working an indefined strain be in accordance with the requirements of content editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements. • New materials are to be used throughout unless otherwise noted. • Concrete footings, slab, structural beams or any other structural members are to be designed by a contribition analysis. CHECKED BY: DRAWING No: JOB No: Mob. 0414 717 541 | Email. jjdraft@tpg.com.au DRAWING TITLE: 1186/23 JJ DA.11 www.jjdrafting.com.au **SECTION**

ACN 651 693 346

by a practicing engineer.

## **BASIX REQUIREMENTS**

## BASIX INCLUSIONS FOR 138 LAGOON STREET NARRABEEN

#### LIGHTING

40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS

SHOWER RATING MIN. 3 STARS MIN 3 STARS WC RATING

CONSTRUCTION ADDITIONAL INSULATION REQUIRED (R-VALUE)

Suspended floor above garage: Framed (R0.70)

R1.30 (or R1.70 including construction)

R1.16 (or R1.70 including construction) External wall: Brick veneer

External wall: other/undecided R1.70 (including construction)

Internal wall shared with garage; cavity brick wall (R0.67)

Ceiling: R1.74 (up). Roof: foil backed blanket (55mm). Medium

solar absorptanced 0.475 - 0.70)

## **SPECIFICATION NOTES**

- INSTALL TO MANUFACTURERS SPECIFICATIONS & AS 2589

- BRICK VENEER WALLS WITH SELECTED BRICKS TO DWELLING.
- ROOF AND WALL CLADDING INSTALLATION TO NCC 2022 ABCB HOUSING PROVISIONS PART 7 & AS 1562 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING.

### CONDENSATION MANAGEMENT:

- GROUND FLOOR TO BE REINFORCED CONCRETE SLAB IN ACCORDANCE WITH AS2870.

- FIRST FLOOR TO BE TIMBER FRAMED FINISHED WITH T&G HARDWOOD FLOORING.

GUARANTEED ELEXIBLE WATERPROOF MEMBRANE TO ALL WET AREA FLOORS & SHOWER WALLS TO MANUFACTURED SPECIFICATIONS AND INSTALLATION INSTRUCTIONS.

- SHALL BE INSTALLED TO COMPLY WITH AS1684 AS AMENDED FOR TIMBER COMPONENTS OR AS3620. FOR LIGHTWEIGHT STEEL FRAMING SECTIONS OR AS PER THE NASH ALTERNATIVES TO AS 3623.

ANT CAPS:
- SHALL BE INSTALLED IN ACCORDANCE WITH AS3660.

- COLORBOND ROOF CLADDING
- METAL ROOF DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH NCC 2022 ABCB HOUSING

- SHALL BE IN ACCORDANCE WITH NCC VOL.1 PART B1.4 OR VOL.2 PART 3.2.3.

- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT EDITIONS OF THE

#### BRICK AND BLOCKWORK:

## **GLAZING - DOORS & WINDOWS**

Standard aluminium, single clear (or U-value: 7.63, SHGC: 0.75)

W1, W2, W3, W4, W6, W7, W8, W9, D1, D2

Standard aluminium, single pyrolytic low-e.

(or U-value: 5.7. SHGC: 0.47)

- FOOTINGS TO BE IN ACCORDANCE WITH AS1480.
- FOOTINGS TO BE IN ACCORDANCE WITH NCC VOL.2 PARTS 3.2.3, 3.2.4 AND 3.2.5 ALL REINFORCEMENTS SHALL CONFORM TO AS1302, AS1303 AND AS1304.
- RESIDENTIAL SLABS, FOOTINGS AND CONCRETE STRUCTURES TO NCC 2022 ABCB HOUSING PROVISIONS PART 3 & 4, AS 2870 RESIDENTIAL SLABS AND FOOTING & AS 3600 CONCRETE STRUCTURES

#### CARPENTRY

- TIMBER TO COMPLY WITH AS1170 2 OR AS4055
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS1684 AND 1720 AS APPLICABLE. -TERMITE MANAGEMENT INSTALLATION OF PERIMETER & COLLARS TO NCC 2022 - ABCB HOUSING PROVISIONS PART 3.4 & AS 3660.1 TERMITE MANAGEMENT - NEW BUILDING WORK

## TIMBER FRAMING:

-ALL EXTERNAL TIMBER FRAMED WALLS TO BE WRAPPED IN A BREATHABLE VAPOUR PERMEABLE MEMBRANE THAT COMPLIES, INSTALLED WITH AS/NZS 4200.1 & AS/NZS 4200.2.- TO COMPLY WITH NCC VOI 2 PART 3 4

TIMBER FRAMING INSTALLATION TO NCC 2022 - ABCB HOUSING PROVISIONS PART 6, AS 1684 RESIDENTIAL TIMBER FRAMED CONSTRUCTION & AS/NZS 1170 STRUCTURAL DESIGN ACTIONS. - GROUND FLOOR TIMBERS SHALL BE ONLY OF HARDWOOD, CYPRESS PINE OR PRESSURE TREATED

RADIATA OR CANADA PINE BELOW A HEIGHT OF 300mm ABOVE FINISHED GROUND LEVEL AND MUST NOT BE BUILT INTO BRICKWORK

- SUBFLOOR VENTILATION SHALL CONFORM TO NCC VOL.2 PART 3.4.1
- IN BUSHFIRE PRONE AREAS SPECIAL CONDITIONS APPLY.
- WHERE TERMITE BARRIERS NEED TO BE INSPECTED, 400mm CLEARANCE IS REQUIRED BETWEEN THE UNDERSIDE OF BEARER AND GROUND SURFACE.
- USE TREATED TIMBER WHERE REQUIRED FOR DURABILITY - DO NOT USE TIMBER UNSUITABLE FOR EXPOSURE TO MOISTURE IN EXPOSED LOCATION.
- PROVIDE STRUCTURE BRACING IN ACCORDANCE WITH AS1684
- PROVIDE STRUCTURE TIEDOWN IN ACCORDANCE WITH AS1684
- USE GALVANISED FIXINGS WHERE EXPOSED TO WEATHER.

-ALL STEEL FRAMING TO NCC 2022 - ABCB HOUSING PROVISIONS PART 6, AS 4100 STEEL STRUCTURES, AS/NZS 4600 COLD-FORMED STEEL STRUCTURES & NASH STANDARD

TERMITE CONTROL:
- TO BE IN ACCORDANCE WITH TO AS3660.1 SHALL BE IN ACCORDANCE WITH NCC VOL.2 PART 3.1.4 OR VOL.1 PART B1.4.

- FLASHING AND CAPPINGS: - SELECTION AND INSTALLATION OF METAL RAINWATER GOODS REFER TO AS2180
- FLASH PROJECTIONS ABOVE THE ROOF WITH TWO PART FLASHINGS CONSISTING OF AN APRON
- FLASHING AND OVER FLASHING, WITH AT LEAST 100mm OVERLAP. - PROVIDE FOR INDEPENDENT MOVEMENT BETWEEN ROOF AND PROJECTION.
- DAMP PROOF COURSE AND FLASHINGS TO NCC 2022 ABCB HOUSING PROVISIONS PART 5, 7 & 12 & AS/NZS 2904 DAMP-PROOF COURSES AND FLASHINGS.

## **CONCRETE BLOCKS OR BRICKS:**

TO COMPLY WITH TO AS4455 MASONRY BUILDING BLOCKS/PAVER.

- 40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS

26/90 Mona Vale Road, Mona Vale, NSW, 2103 PO Box 687, Dee Why, NSW, 2099 Mob. 0414 717 541 | Email. iidraft@tpg.com.au www.iidrafting.com.au

ACN 651 693 346

	REV:	DATE:	DESCRIPTION:			
	Α	18/01/2023	SLIDING DOORS IN THE GARAGE REMOVED			
	В	20/02/2024	DECK ENCLOSED			
	С	28/02/2024	DECK ENCLOSED REVISION			
ار						
1						

PROPOSED ALTERATIONS AND ADDITIONS 138 LAGOON STREET NARRABEEN NSW 2101
CLIENT: CHAPMAN
DRAWING TITLE:
SPECIFICATIONS / BASIX

ر450 450 ر

- ALL FRAMED WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH AS2047-48 FOR ALUMINIUM

- ALL WINDOWS ARE TO BE RESTRICTED IN ACCORDANCE WITH NCC 2022 - ABCB HOUSING PROVISIONS

- PROVIDE LIFT-OFF HINGES WHERE THE TOILET PAN IS WITHIN 1.2 METRES OF THE HINGED SIDE OF THE

- RELATIONSHIP OF RISER TO GOING SHALL BE RETWEEN 1:2 AND 1:1 35 LINLESS OTHERWISE DIRECTED

- BALUSTRADES SHALL BE PROVIDED TO ALL LANDINGS, RAMPS, DECKS, ROOFS AND OTHER ELEVATED

- THE HEIGHT OF BALLISTRADE MUST BE A MINIMUM OF 1m HIGH ABOVE LANDING AND NOT LESS THAN

865mm ABOVE THE NOSINGS OF ANY STAIR TREADS OR FLOOR RAMP AND HAVE NO OPENING GREATER

THE HEIGHT OF RAI LISTRADE TO THE NEW STAIRCASES IS TO BE MEASURED A MINIMUM 865mm ABOVE

ALL BALUSTRADES & PRIVACY SCREENS TO COMPLY WITH NCC 2022 - ABCB HOUSING PROVISIONS

- MATERIALS TO BE USED FOR SURFACES OF FLOORS, STAIR LANDING, STEPS AND NOSINGS SHALL BE

- ALL STAIRS PROVIDING ACCESS TO COMPLY WITH NCC 2022 - ABCR HOUSING PROVISIONS PART 11 AS

IN ACCORDANCE WITH THE CLASSIFICATIONS FOR SLIP RESISTANCE AS APPLY IN AS4586 AND HB198.

ALL WINDOW GLAZING AND DOOR GLAZING TO BE INSTALLED IN ACCORDANCE TO NCC 2022 - ABCB

HOUSING PROVISIONS PART 8, AS 1288 GLASS IN BUILDINGS, AS/NZS 2208 SAFETY GLAZING MATERIALS

SHOWER SCREEN/MIRRORS / WARDROBE GLASS INSTALLATION TO NCC 2022 - HOUSING PROVISIONS

- GLASS BALUSTRADE INSTALLATION TO NCC 2022 - HOUSING PROVISIONS PART 11, AS 1288 GLASS IN

BUILDINGS, AS/NZS 2208 SAFETY GLAZING MATERIALS IN BUILDINGS & AS 1170 STRUCTURAL DESIGN

TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED OR AS PERMITTED IN

PLATFORMS WHERE THE VERTICAL DISTANCE FROM THAT LEVEL IS MORE THAN 1m ABOVE THE

THE NOSING LINE AND HAVE NO OPENING GREATER NO OPENING GREATER THAN 125mm

4586 INCLUDING SLIP RESISTANCE P3 / R10 FOR DRY OR P4 / R11 FOR WET.

NEW DOWNPIPES TO BE CONNECTED INTO EXISTING STORMWATER LINE

IN BUILDINGS & AS 2047 WINDOWS AND EXTERNAL DOORS IN BUILDINGS.

- TO COMPLY WITH AS/NZS 2179 FOR METAL AND AS1273 FOR UPVC COMPONENTS.

PART 11.3.7 & PART 11.3.8 PROTECTION OF OPENABLE WINDOWS WHERE SURFACE BELOW IS MORE

WEATHER STRIPPING IS TO BE PROVIDED TO ALL EXTERNAL WINDOWS AND DOORS.

DOOR IN ACCORDANCE WITH NCC 2022 - ABCB HOUSING PROVISIONS PART 10.4.

BOUNDARY TO PROPOSED 25° HIP ROOF OVER ENTRY

NEW 25° HIP ROOF BY ENG OVER ENTRY.

EXISTING ROOF TO BE REMOVED.

EXIST. STAIRS TO BE WIDENED.

EXIST. GROUND FLOOR

EXIST MEZZANINE FLOOR

MAX. FLOOD PLANNING LEVEL (FPL)

THAN 2M

STORMWATER:

DOORS & WINDOWS:

WINDOWS AND AS2047 FOR TIMBER WINDOWS.

ALUMINIUM FRAMED WINDOWS AND DOORS

STAIRS, HANDRAILS AND BALUSTRADES:

ADJOINING FLOOR OR FINISHED GROUND LEVEL.

PART 11. AS 1684. AS 1170. AS 1288 & AS/NZS 2208

EAVES GUTTERS, VALLEY GUTTERS AND DOWPIPES

- IN ACCORDANCE WITH NCC VOL 2 PART 3.5.3

- MINIMUM SLOPE OF EAVES AND GUTTERS 1:200

GLAZING: - NCC VOL.1 PARTS B 1.4, D 3.12, F1.13 OR NCC VOL.2 PART 3.6

- COLORBOND GUTTERS AND DOWNPIPES

PART 8. AS 1288 & AS/NZS 2208.

**EXIST. LOWER GROUND FLOOR** 

NEW RI RIDGE

+9.16

+4.25

+2 64

RL RIDGE

NEW FIRST FLOOR

## WATERPROOFING FOR EXTERNAL TILED BALCONIES:

WATERPROOFING TO COMPLY WITH AS4654

8.5M MAX BUILDING HEIGHT

잃뽀

MASTER

BED

MEDIA

ROOM

WORKSHOP

## FIRE SAFETY, SMOKE DETECTORS/ALARMS:

- PROVIDE HARDWIRED & INTERCONNECTED SMOKE ALARM DEVICES COMPLYING WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT ACT AND/OR STATE OR TERRITORY REGULATIONS MUST BE FITTED IN THE LOCATIONS REQUIRED AND APPROVED BY THE AUTHORITY. SMOKE ALARMS TO BE INSTALLED TO NCC 2022 – ABCB HOUSING PROVISIONS PART 9.5, NSW 9.5.1 & AS 3786. - INSTALLATIONS IN BUILDINGS OTHER THAN CLASS 1 AND 10 MUST BE INSTALLED AND MANAGED TO

NEW 20° COLORBOND ROOF BY ENG

PORTION OF EXISTING ROOF TO BE REMOVED.

ADDITION TO BE FINISHED IN SELECTED CHARRED TIMBER CLADDING

NEW FIRST FLOOR ADDITION FLOOR

NEW SLAT BALUSTRADE TO NCC.

**SECTION B** 

INTERNAL RAKED CEILING.

STRUCTURE BY FNG

COMPLY WITH NCC SPEC. E2.2a. - FIRE SEPARATING WALL, A WALL WITHIN 900MM OF BOUNDARY INSTALLATION CERTIFICATE FRL60/60/60) INCL ACOUSTIC SOUND (RW) + CTR50 TO NCC 2022 - ABCB HOUSING PROVISIONS PART 9 &

PART 10.7 AS 1530 ALL PARTS - BUSHFIRE-PRONE AREAS CERTIFICATE FOR BUILDING - NCC 2022 - VOL. 2 PART NSW H7D4 CONSTRUCTION IN BUSHFIRE PRONE AREAS - AS 3959 CONSTRUCTION OF BUILDING IN BUSHFIRE-

- ALL WASTE SHALL BE TAKEN AWAY BY TRUCKS TO A SUITABLE LANDFILL OR RECYCLE DEPOT.
- ALL WASTE SHALL BE COVERED DURING TRANSPORTATION.

PRONE AREAS & PLANNING FOR BUSHFIRE PROTECTION 2019

WASTE GENERATED DURING CONSTRUCTION SHALL BE PLACED IN STEEL BINS AND TAKEN AWAY BY AN APPROVED CONTRACTOR TO A APPROVED LANDFILL SITE.

## SEDIMENT CONTROL:

- A FILTER CLOTH SYSTEM SHALL BE INSTALLED TO STOP ANY SEDIMENT ENTERING COUNCILS STORMWATER SYSTEM

#### SWIMMING POOLS & SAFETY:

-POOL PLUMBING/CIRCULATION TO COMPLY WITH NCC 2022 PART NSW H7D2, AS 1926.3 SWIMMING POOL SAFETY - WATER RECIRCULATION SYSTEMS

- ALL POOL FENCING TO BE INSTALLED TO: NCC 2022 NSW H7D2, AS 1926.1 - 2012 - SAFETY BARRIERS FOR SWIMMING POOLS, AS 1926.2 - 20007 - LOCATION OF SAFETY BARRIERS FOR SWIMMING POOLS, AS 1170 STRUCTURAL DESIGN ACTIONS AND IF GLASS POOL FENCING TO ADDITIONALLY COMPLY WITH AS 1288 - 2021 GLASS IN BUILDINGS. AS/NZS 2208 - SAFETY GLASS.

- AS 2783 USE OF REINFORCED CONCRETE FOR SMALL SWIMMING POOLS

### MISCELLANEOUS ITEMS:

- ALLOW FOR SEPARATE TAPS FOR THE WASHING MACHINE AND KEEP THEM SEPARATE FROM THOSE OF THE LAUNDRY TUB. A DEDICATED LAUNDRY SPACE COMPRISING OF ONE WASHTUB AND A SPACE FOR A WASHING MACHINE MUST BE PROVIDED IN ACCORDANCE WITH NCC 2022 - ABCB HOUSING PROVISIONS

- GAS FIRE SUPPLY AND INSTALLATION TO COMPLY WITH NCC 2022 - ABCB HOUSING PROVISIONS PART 12.4 AS/NZS 5601 GAS INSTALLATIONS

## NOTE:

ALL PLANS ARE TO BE READ IN CONJUNCTION AND COMPLY WITH THE BASIX CERTIFICATE, BUSHFIRE AND GEOTECH REPORTS.

DATE DRAWN BY SCALE: JULY/23 HR 1:100 @ A3 CHECKED BY DRAWING No: JOB No: 1186/23 JJ **DA.12** 

- These drawings are to be read in conjunction with all other consultant's drawings and

- MIN 3 STARS
- INSULATION
- Concrete slab on ground floor
- Floor above existing dwelling or building
- External wall: Framed (Weatherboard, fibro, Metal clad)

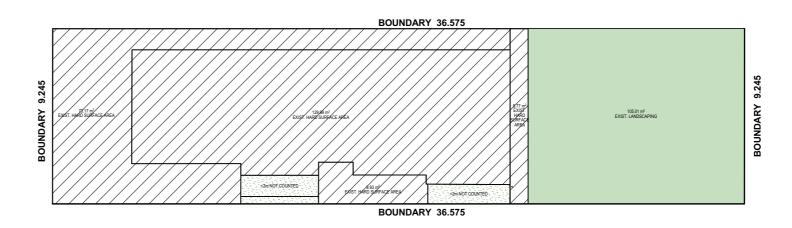
- Raked ceiling, pitched/skillions roof; framed
- INTERNAL LINING
   PROVIDE PLASTERBOARD LINING.
- **EXTERNAL WALLS:**
- ALL EXTERNAL WALL CLADDINGS MUST BE COMPLIANT WITH THE REQUIREMENTS OF NCC 2022 ABCB HOUSING PROVISIONS PART 7, AS1684 AND ALL RELEVANT CODEMARK CERTIFICATES.
- CONDENSATION MANAGEMENT MUST BE ADHERED TO IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS PART 10.8.

- ALL WATERPROOFING TO NCC 2022 ABCB HOUSING PROVISIONS PART 10, AS3740 AND PROVIDE A
- WATERPROOF INSTALLATION NCC (2022): HOUSING PROVISIONS PART 10, AS 3740 WATERPROOFING OF DOMESTIC WET AREAS (INTERNAL) & AS 4654 WATERPROOF MEMBRANES FOR EXTERNAL USE.

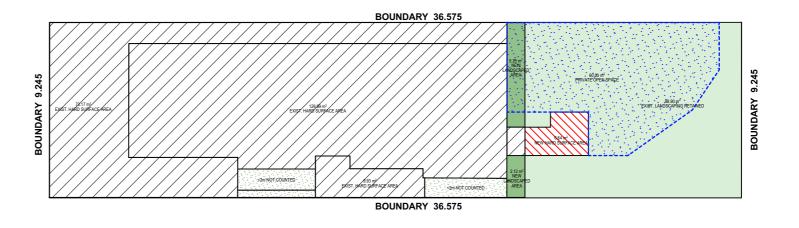
- PROFILED STEEL ROOF:
- PROVISIONS PART 7, AS 1562.
- ROOF TILES OR SHINGLES:
- NCC VOL.2 PART 3.5.2.
- MASONRY STRUCTURES TO NCC 2022 ABCB HOUSING PROVISIONS PART 5 & AS 3700 MASONRY
  - NOTES (E & OE)
  - All structures including stormwater & drainage to engineer's de
    Do not obtain dimensions by scaling drawings.
    All dimensions are to be checked on site prior to starting work.
  - All workmanship & materials shall be in accordance with the requirements of current editions uding amendments of the National Construction Code, relevant Australian Sta
  - ouncil requirements.

    New materials are to be used throughout unless otherwise noted.

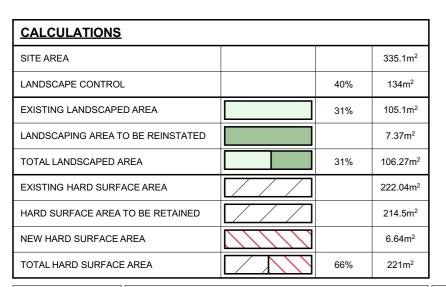
    Concrete footings, slab, structural beams or any other structural members are to be designed. by a practicing engineer



# **EXISTING LANDSCAPING CALCULATIONS**



## PROPOSED LANDSCAPING CALCULATIONS



## TRUE NORTH:

- NOTES (E & OE)

  All structures including stormwater & drainage to engineer's details.

  Do not obtain dimensions by scaling drawings.

  All dimensions are to be checked on site prior to starting work.

  These drawings are to be read in conjunction with all other consultant's drawings and specifications.

  All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code relevant Australian Standards & local
- All workinalisting a materials stall be in accordance with the legitlements of current eductors including amendments of the National Construction Code, relevant Australian Standards & local council requirements.

   New materials are to be used throughout unless otherwise noted.

   Concrete footings, slab, structural beams or any other structural members are to be designed by a concreticing construction. by a practicing engineer.

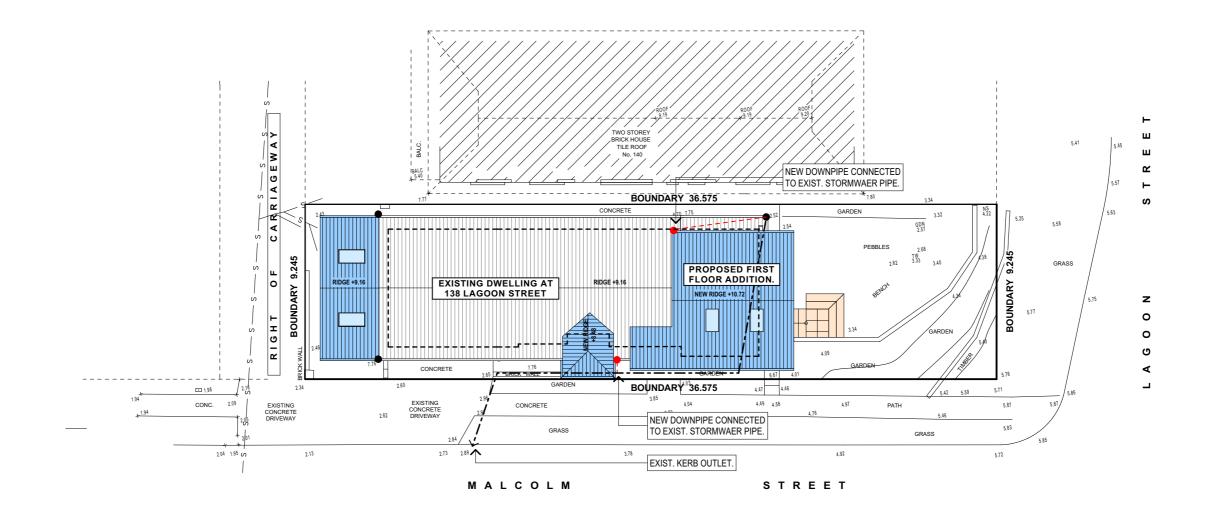
# JJ Drafting Australia P/L. 26/90 Mona Vale Road, Mona Vale, NSW, 2103 PO Box 687, Dee Why, NSW, 2099

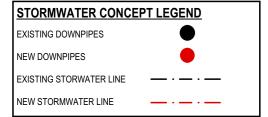
Mob. 0414 717 541 | Email. jjdraft@tpg.com.au www.jjdrafting.com.au ACN 651 693 346

	REV:	DATE:	DESCRIPTION:
	Α	18/01/2023	SLIDING DOORS IN THE GARAGE REMOVED
	В	20/02/2024	DECK ENCLOSED
03	С	28/02/2024	DECK ENCLOSED REVISION
au			

PROPOSED ALTERATIONS AND ADDITIONS	DATE:
138 LAGOON STREET NARRABEEN NSW 2101	JU
CLIENT:	
CHAPMAN	JOB No:
DRAWING TITLE:	11
I ANDSCAPED AREA CAI CUI ATION PLAN	1 '''

DATE:	DRAWN BY:	SCALE:
JULY/23	HR	1:1, 1:200 @ A3
JOB No:	CHECKED BY:	DRAWING No:
1186/23	JJ	DA.13





# **STORMWATER CONCEPT PLAN**

## TRUE NORTH:



- NOTES (E & OE)

  All structures including stormwater & drainage to engineer's details.

  Do not obtain dimensions by scaling drawings.

  All dimensions are to be checked on site prior to starting work.
- specifications.

   All workmanship & materials shall be in accordance with the requirements of current editions
- All working amendments of the National Construction Code, relevant Australian Standards & local council requirements.
   New materials are to be used throughout unless otherwise noted.
   Concrete footings, slab, structural beams or any other structural members are to be designed by a precision construction construction. by a practicing engineer.

# JJ Drafting <sup>Australia</sup> P/L.

26/90 Mona Vale Road, Mona Vale, NSW, 2103 PO Box 687, Dee Why, NSW, 2099 Mob. 0414 717 541 | Email. jjdraft@tpg.com.au www.jjdrafting.com.au ACN 651 693 346

	REV:	DATE:	DESCRIPTION:
	Α	18/01/2023	SLIDING DOORS IN THE GARAGE REMOVED
	В	20/02/2024	DECK ENCLOSED
,	С	28/02/2024	DECK ENCLOSED REVISION
u l			

,			
	PROPOSED ALTERATIONS AND ADDITIONS	DATE:	DRAWN BY:
1	138 LAGOON STREET NARRABEEN NSW 2101	JULY/23	HR
ı	CLIENT:		
1	CHAPMAN	JOB No:	CHECKED BY:
1	DRAWING TITLE:	1186/23	11
l	ROOF & STORMWATER CONCEPT PLAN	1100/23	33

SCALE:

1:200 @ A3

**DA.14** 

DRAWING No:

## **NOTES**

#### DESIGNATED SITE MANAGER/BUILDER

PRIOR TO COMMENCEMENT OF WORK A SITE MANAGER OR BUILDER MUST BE NOMINATED. THE SITE MANAGER OR BUILDER WILL BE RESPONSIBLE AND LIABLE FOR ALL WORKS CARRIED OUT ON THE SITE. THIS ASSUMES THE RESPONSIBILITY FOR THE ACTIONS OF ALL SUBCONTRACTED PARTIES AS WELL AS ADVISING THEM OF COUNCIL'S REQUIREMENTS WHEN CARRYING OUT

#### TOPSOIL MANAGEMENT

PRIOR TO THE STRIPPING OF TOPSOIL, THE VEGETATIVE COVER MUST BE REDUCED BY EITHER SLASHING OR MOWING. ALL TOPSOIL IS TO BE RETAINED AND PROTECTED FOR REUSE ON SITE. SOIL STOCKPILES MUST NOT BE LOCATED ON NATURE STRIPS, FOOTPATHS, ROADWAYS, KERBS, ACCESSWAYS, WITHIN DRAINAGE LINES/FLOWS/PATHS OR AROUND OR AGAINST TREE SHRUBS. SEDIMENT CONTROL MEASURES MUST BE INCORPORATED WITH ANY RESULTING STOCKPILE. THE STOCKPILE CAN BE PROTECTED FROM EROSION BY COVERING IT WITH AN MPERVIOUS MATERIAL, IN CONJUNCTION WITH THE INSTALLATION OF A SEDIMENT FENCE AROUND IT. IF STOCKPILES ARE TO REMAIN FOR MORE THAN ONE MONTH THEY ARE TO BE GRASSED IMMEDIATELY AND STABILISED WITHIN FOURTEEN DAYS. SURPLUS TOPSOIL MUST BE REASONABLY REMOVED FROM SITE.

#### **BUILDING MATERIAL STOCKPILING**

SUFFICIENT AREA MUST BE ALLOCATED WITHIN THE SITE FOR SUCH STORAGE OF BUILDING MATERIALS, DEMOLITION WASTE, WASTE CONTAINERS, ETC. AS WILL BE REQUIRED.

A SEDIMENT FENCE SHOULD BE LOCATED ALONG THE DOWNSLOPE BOUNDARY(S) OF THE SITE ON THE CONSTRUCTION SIDE OF THE TURF FILTER STRIP OR NATIVE VEGETATION, AND AROUND ALL STOCKPILES OF MATERIAL ON THE SITE.

ALL TRUCKS/UTES MUST COVER THEIR LOADS AT ALL TIMES. APPROPRIATE METHODS ARE TO BE EMPLOYED TO PREVENT BLOWING DUST CREATING AN UNACCEPTABLE HAZARD OR NUISANCE ON THE SITE OR DOWN WIND. PRODUCTION OF DUST CAN BE MINIMISED BY LIMITING AREA OF EARTHWORKS, WATERING AND PROGRESSIVE VEGETATION. WHERE DUST IS CREATED AS A RESULT WORKS AND/OR SOIL EXPOSURE, THE BARE SOIL AREAS MUST BE WATERED, DURING AND/OR AT THE END OF EACH DAY TO LAY THE DUST. EARTH MOVING ACTIVITIES SHOULD BE AVOIDED WHERE WINDS ARE SUFFICIENTLY STRONG ENOUGH TO RAISE VISIBLE

#### EROSION & SEDIMENT CONTROLS

APPROPRIATE EROSION AND SEDIMENT CONTROLS MUST BE IMPLEMENTED ON ALL SITES THAT INVOLVE SOIL DISTURBANCE. THE MEASURES MUST BE IN PLACE PRIOR TO THE COMMENCEMENT OF WORK. THOSE CONTROLS ARE TO BE MONITORED AND MAINTAINED IN ORDER TO SERVE THEIR INTENDED FUNCTION FOR THE DURATION OF THE WORKS OR UNTIL SUCH TIME AS THE SITE IS FULLY STABILISED. IF ANY CONTROLS ARE DAMAGED OR BECOME INEFFECTIVE DURING THE COURSE OF THE WORKS THEY ARE TO BE REINSTATED OR REPLACED IMMEDIATELY. SUFFICIENT ACCESS TO THESE CONTROLS MUST BE PROVIDED IN CASE OF THE

## SEDIMENT TRAPS

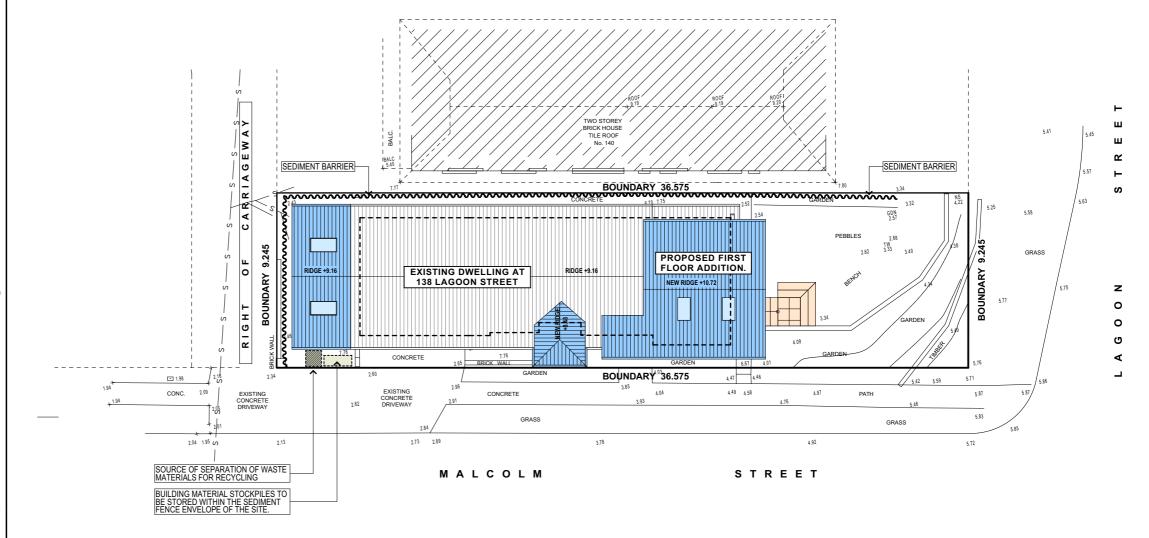
WHERE A SEDIMENT FENCE IS NOT USED APPROPRIATE SEDIMENT TRAPS SHOULD BE LOCATED. AT ALL POINTS WHERE STORMWATER LEAVES THE CONSTRUCTION SITE OR LEAVES THE GUTTER AND ENTERS THE DRAINAGE SYSTEM. A COMMON TECHNIQUE IS THE GRAVEL SAUSAGE.

#### **DIVERSION CHANNELS**

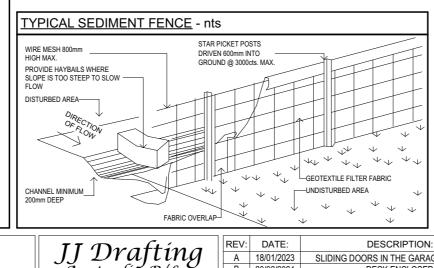
A DIVERSION CHANNEL IS AN EXCAVATED EARTH DITCH OR PATH. THESE STRUCTURES ARE USED TO INTERCEPT AND DIRECT RUN-OFF TO A DESIRED LOCATION WHERE POSSIBLE. ALL STORMWATER RUN-OFF FLOWING ONTO DISTURBED AREAS, INCLUDING STOCKPILES, MUST BE INTERCEPTED, DIVERTED AND/OR SAFELY DISPOSED OF. THIS CAN BE ACHIEVED BY CONSTRUCTING A TEMPORARY EARTH BANK AROUND THE UPSLOPE EXTENT OF THE CONSTRUCTION SITE WHERE THE DIVERSION DOES NOT AFFECT THE NEIGHBOURING

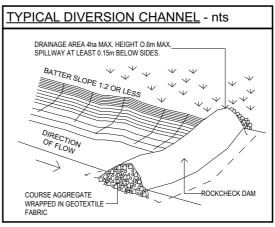
#### VEHICLE MOVEMENTS

TO LIMIT DISTURBANCE TO THE SITE AND TRACKING OF MATERIAL ONTO THE STREET ALL VEHICLES AND PLANT EQUIPMENT ARE TO USE A SINGLE ENTRY/EXIT POINT UNLESS COUNCIL HAS APPROVED ALTERNATIVE ARRANGEMENTS. ACCESS POINTS AND PARKING AREAS ARE TO BE STABILISED WITH COMPACTED SUB-GRADE ASAP AFTER THEIR FORMATION. IF SPILLAGE DOES OCCUR IT IS TO BE CONTAINED IMMEDIATELY AND CAREFULLY REMOVED. THE AREA AFFECTED IS TO BE RESTORED TO A STANDARD EQUAL TO OR BETTER THAN ITS PREVIOUS CONDITION. ALL VEHICLES ARE TO BE WASHED PRIOR TO EXISTING THE SITE. THIS SERVES THE PURPOSE OF REMOVING SITE MATERIAL ON THE VEHICLE AND PREVENTS IT FROM BEING DEPOSITED ON THE ROAD NETWORK ADJACENT TO THE SITE AND THUS, THE STORMWATER SYSTEM. NO VEHICLE ASSOCIATED WITH THE WORK IS TO BE PARKED ON A FOOTPATH OR PUBLIC RESERVE. ALL VEHICLES VISITING THE SITE DURING DEMOLITION, EXCAVATION AND/OR CONSTRUCTION WORKS, ARE TO COMPLY WITH THE PARKING REQUIREMENTS IN THAT AREA.



## **EROSION & SEDIMENT CONTROL PLAN**





### TRUE NORTH:

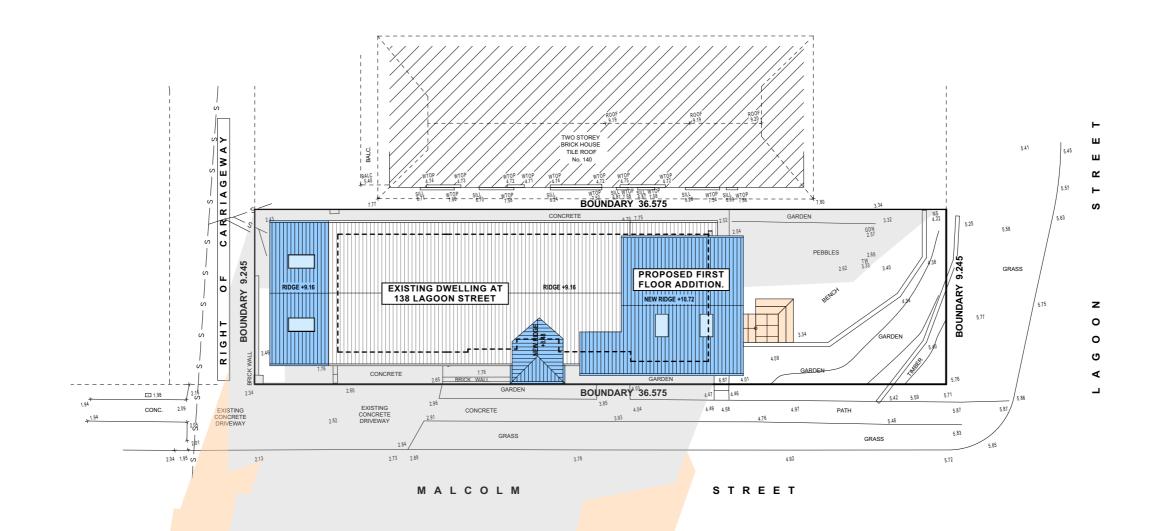


- NOTES (E & OE)
- All structures including stormwater & drainage to engineer's details
  Do not obtain dimensions by scaling drawings.
  All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and
- All workmanship & materials shall be in accordance with the requirements of current editions
- New materials are to be used throughout unless otherwise noted.
  Concrete footings, slab, structural beams or any other structural members are to be designed. by a practicing engineer.
- 26/90 Mona Vale Road, Mona Vale, NSW, 2103 PO Box 687, Dee Why, NSW, 2099 Mob. 0414 717 541 | Email. jjdraft@tpg.com.au www.jjdrafting.com.au ACN 651 693 346

Ăustraliă P/L.

REV:	DATE:	DESCRIPTION:
Α	18/01/2023	SLIDING DOORS IN THE GARAGE REMOVED
В	20/02/2024	DECK ENCLOSED
С	28/02/2024	DECK ENCLOSED REVISION

_				
	PROPOSED ALTERATIONS AND ADDITIONS 138 LAGOON STREET NARRABEEN NSW 2101 CLIENT:	DATE: JULY/23	DRAWN BY:	SCALE: 1:200 @ A3
CHAPMAN		JOB No:	CHECKED BY:	DRAWING No:
ı	DRAWING TITLE: EROSION & SEDIMENT CONTROL / WASTE	1186/23	JJ	DA.15
	MANAGEMENT PLAN			



SHADOWS JUNE 21 - 9AM

## 21 JUNE SHADOW DIAGRAM LEGEND EXISTING SHADOWS

NEW SHADOWS

TRUE NORTH:



- NOTES (E & OE)

   All structures including stormwater & drainage to engineer's details.

   Do not obtain dimensions by scaling drawings.

   All dimensions are to be checked on site prior to starting work.

   These drawings are to be read in conjunction with all other consultant's drawings and specifications.

   All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.

   New materials are to be used throughout unless otherwise noted.

   Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

- by a practicing engineer.

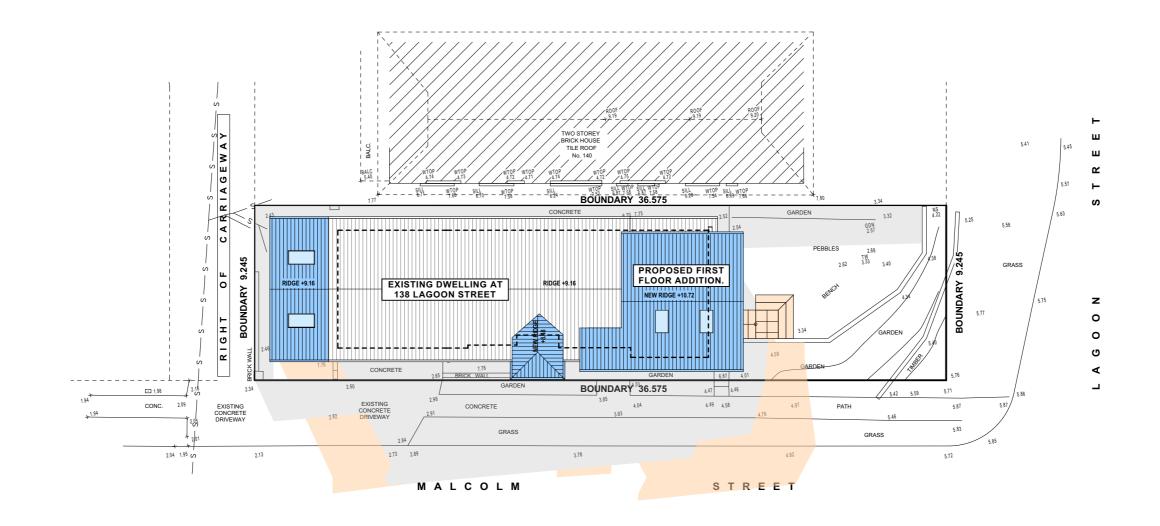
$\int_{\cdot}$	IJ Au	D str	γ al	af ia	ti P/	nę L.	J
6/90	Mona	Vale Ro	oad,	Mona	Vale,	NSW,	2103
			_				

PO Box 687, Dee Why, NSW, 2099 Mob. 0414 717 541 | Email. jjdraft@tpg.com.au www.jjdrafting.com.au ACN 651 693 346

	REV:	DATE:	DESCRIPTION:			
	Α	18/01/2023	SLIDING DOORS IN THE GARAGE REMOVED			
	В	20/02/2024	DECK ENCLOSED			
	С	28/02/2024	DECK ENCLOSED REVISION			
,						
1						

PROPOSED ALTERATIONS AND ADDITIONS 138 LAGOON STREET NARRABEEN NSW 2101 CLIENT: CHAPMAN	
DRAWING TITLE: SHADOW DIAGRAM JUNE 21 9:00 am	

DATE:	DRAWN BY:	SCALE:
JULY/23	HR	1:200 @ A3
JOB No:	CHECKED BY:	DRAWING No:
1186/23	JJ	DA.16



DESCRIPTION:

## SHADOWS JUNE 21 - 12PM

# 21 JUNE SHADOW DIAGRAM LEGEND

EXISTING SHADOWS

NEW SHADOWS





- NOTES (E & OE)

  All structures including stormwater & drainage to engineer's details.

  Do not obtain dimensions by scaling drawings.

  All dimensions are to be checked on site prior to starting work.

  These drawings are to be read in conjunction with all other consultant's drawings and specifications.

  All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.

  New materials are to be used throughout unless otherwise noted.

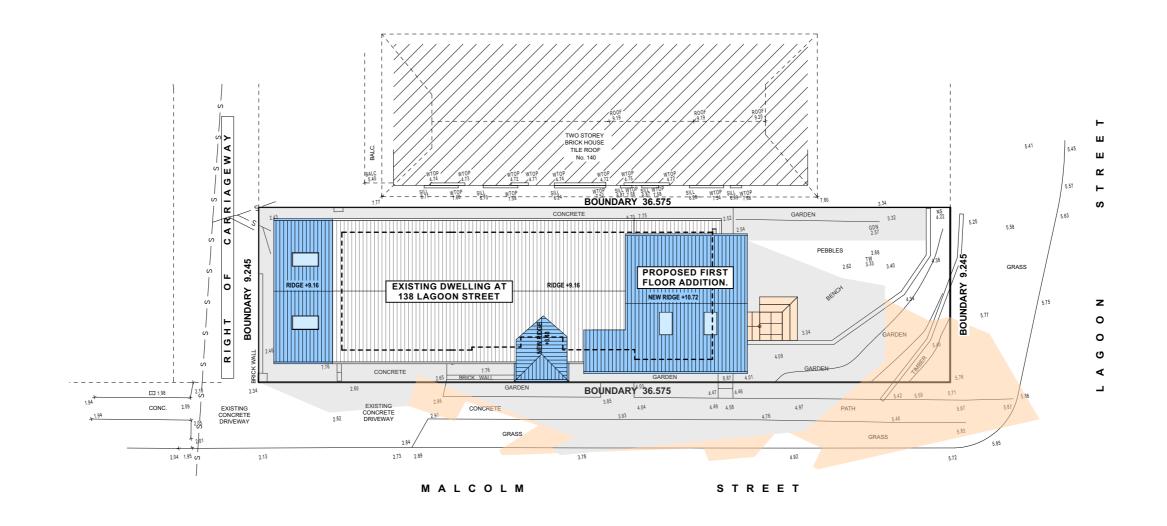
  Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

# II Draftina REV: DATE:

l	JJ Drajiing	Α	18/01/2023	SLIDING DOORS IN THE GARAGE REMOVED
l	Australia P/L.	В	20/02/2024	DECK ENCLOSED
l	26/90 Mona Vale Road, Mona Vale, NSW, 2103	С	28/02/2024	DECK ENCLOSED REVISION
l	PO Box 687, Dee Why, NSW, 2099			
l	Mob. 0414 717 541   Email. jjdraft@tpg.com.au			
l	www.jjdrafting.com.au			
	ACN 651 693 346			

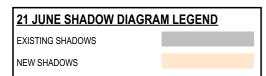
PROPOSED ALTERATIONS AND ADDITIONS	DATE:
138 LAGOON STREET NARRABEEN NSW 2101	JUL
CLIENT:	
CHAPMAN	JOB No:
DRAWING TITLE:	118
SHADOW DIAGRAM JUNE 21 12 noon	'''

DATE:	DRAWN BY:	SCALE:
JULY/23	HR	1:200 @ A3
JOB No:	CHECKED BY:	DRAWING No:
1186/23	JJ	DA.17



DESCRIPTION:

# SHADOWS JUNE 21 - 3PM



## TRUE NORTH:

- NOTES (E & OE)

   All structures including stormwater & drainage to engineer's details.

   Do not obtain dimensions by scaling drawings.

   All dimensions are to be checked on site prior to starting work.

   These drawings are to be read in conjunction with all other consultant's drawings and specifications.

   All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.

   New materials are to be used throughout unless otherwise noted.

   Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer. by a practicing engineer.

JJ Drafting
26/90 Mona Vale Road, Mona Vale, NSW, 2103
PO Roy 687 Dog Why NSW 2000

JJ Drajiing	Α	18/01/2023	SLIDING DOORS IN THE GARAGE REMOVED
Australia P/L.	В	20/02/2024	DECK ENCLOSED
26/90 Mona Vale Road, Mona Vale, NSW, 2103	С	28/02/2024	DECK ENCLOSED REVISION
PO Box 687, Dee Why, NSW, 2099			
lob. 0414 717 541   Email. jjdraft@tpg.com.au			
www.jjdrafting.com.au			
ACN 651 693 346			

REV: DATE:

PROPOSED ALTERATIONS AND ADDITIONS	DATE:
138 LAGOON STREET NARRABEEN NSW 2101	JUL
CLIENT:	
CHAPMAN	JOB No:
DRAWING TITLE:	118
SHADOW DIAGRAM JUNE 21 3:00 pm	

DATE:	DRAWN BY:	SCALE:
JULY/23	HR	1:200 @ A3
OB No:	CHECKED BY:	DRAWING No:
1186/23	JJ	DA.18