
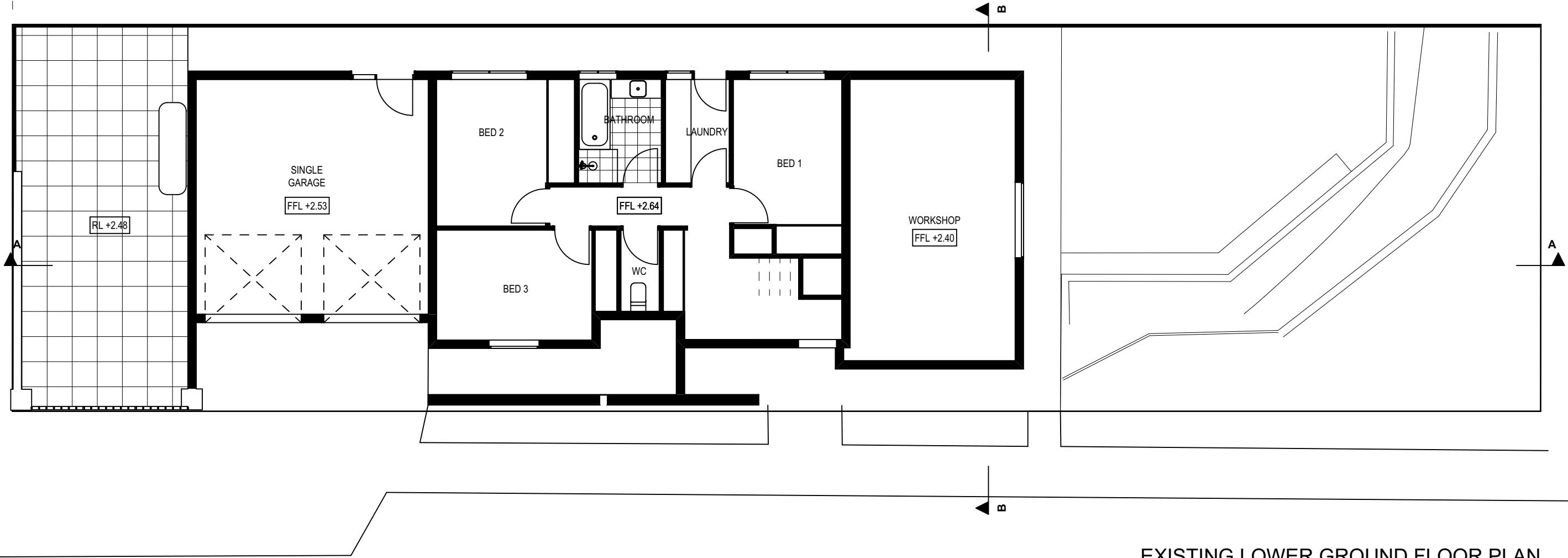


PROPOSED SITE ANALYSIS PLAN

| | |
|----------------------------------|--------|
| LOT | 7 |
| DP | 347397 |
| SITE AREA = 335.1 m ² | |

| TRUE NORTH:  | NOTES (E & OE) <ul style="list-style-type: none">• All structures including stormwater & drainage to engineer's details.• Do not obtain dimensions by scaling drawings.• All dimensions are to be checked on site prior to starting work.• These drawings are to be read in conjunction with all other consultant's drawings and specifications.• All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.• New materials are to be used throughout unless otherwise noted.• Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer. | <div>JJ Drafting Australia P/L.</div> <div>26/90 Mona Vale Road, Mona Vale, NSW, 2103 PO Box 687, Dee Why, NSW, 2099 Mob. 0414 717 541 Email. jjdraft@tpg.com.au www.jjdrafting.com.au ACN 651 693 346</div> | <table><tr><th>REV:</th><th>DATE:</th><th>DESCRIPTION:</th></tr><tr><td>A</td><td>18/01/2023</td><td>SLIDING DOORS IN THE GARAGE REMOVED</td></tr><tr><td>B</td><td>20/02/2024</td><td>DECK ENCLOSED</td></tr><tr><td>C</td><td>28/02/2024</td><td>DECK ENCLOSED REVISION</td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table> | REV: | DATE: | DESCRIPTION: | A | 18/01/2023 | SLIDING DOORS IN THE GARAGE REMOVED | B | 20/02/2024 | DECK ENCLOSED | C | 28/02/2024 | DECK ENCLOSED REVISION | | | | | | | | | | <table><tr><td>PROPOSED ALTERATIONS AND ADDITIONS 138 LAGOON STREET NARRABEEN NSW 2101 CLIENT: CHAPMAN</td></tr><tr><td>DRAWING TITLE: SITE ANALYSIS PLAN</td></tr></table> | PROPOSED ALTERATIONS AND ADDITIONS 138 LAGOON STREET NARRABEEN NSW 2101 CLIENT: CHAPMAN | DRAWING TITLE: SITE ANALYSIS PLAN | <table><tr><td>DATE: JULY/23</td></tr><tr><td>JOB No: 1186/23</td></tr></table> | DATE: JULY/23 | JOB No: 1186/23 | <table><tr><td>DRAWN BY: HR</td></tr><tr><td>CHECKED BY: JJ</td></tr></table> | DRAWN BY: HR | CHECKED BY: JJ | <table><tr><td>SCALE: 1:200 @ A3</td></tr><tr><td>DRAWING No: DA.01</td></tr></table> | SCALE: 1:200 @ A3 | DRAWING No: DA.01 |
|---|--|---|--|-------|--------------|--------------|---|------------|-------------------------------------|---|------------|---------------|---|------------|------------------------|--|--|--|--|--|--|--|--|--|---|--|--------------------------------------|---|------------------|--------------------|---|-----------------|-------------------|---|----------------------|----------------------|
| | | | REV: | DATE: | DESCRIPTION: | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| A | 18/01/2023 | SLIDING DOORS IN THE GARAGE REMOVED | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| B | 20/02/2024 | DECK ENCLOSED | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| C | 28/02/2024 | DECK ENCLOSED REVISION | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| PROPOSED ALTERATIONS AND ADDITIONS 138 LAGOON STREET NARRABEEN NSW 2101 CLIENT: CHAPMAN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| DRAWING TITLE: SITE ANALYSIS PLAN | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| DATE: JULY/23 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| JOB No: 1186/23 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| DRAWN BY: HR | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| CHECKED BY: JJ | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SCALE: 1:200 @ A3 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| DRAWING No: DA.01 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

RIGHT OF CARRIAGEWAY



EXISTING LOWER GROUND FLOOR PLAN

TRUE NORTH:



NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

JJ Drafting
Australia P/L.

26/90 Mona Vale Road, Mona Vale, NSW, 2103
PO Box 687, Dee Why, NSW, 2099
Mob. 0414 717 541 | Email. jjdraft@tpg.com.au
www.jjdrafting.com.au
ACN 651 693 346

| REV: | DATE: | DESCRIPTION: |
|------|------------|-------------------------------------|
| A | 18/01/2023 | SLIDING DOORS IN THE GARAGE REMOVED |
| B | 20/02/2024 | DECK ENCLOSED |
| C | 28/02/2024 | DECK ENCLOSED REVISION |
| | | |
| | | |
| | | |
| | | |

PROPOSED ALTERATIONS AND ADDITIONS
138 LAGOON STREET NARRABEEN NSW 2101
CLIENT:
CHAPMAN

DRAWING TITLE:
EXISTING LOWER GROUND FLOOR PLAN

DATE:
JULY/23

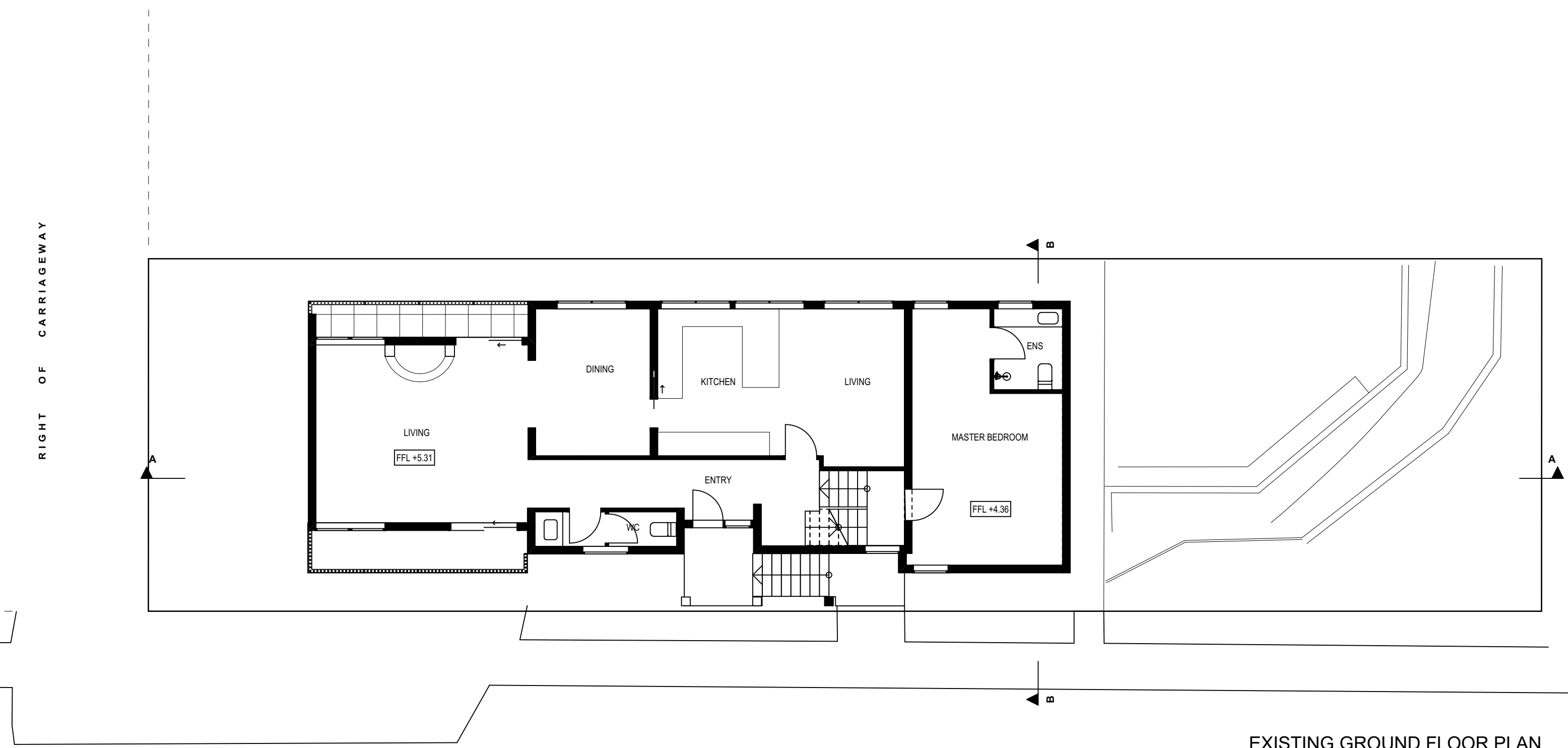
JOB No:
1186/23

DRAWN BY:
HR

CHECKED BY:
JJ

SCALE:
1:100 @ A3

DRAWING No:
DA.02



EXISTING GROUND FLOOR PLAN

TRUE NORTH:



NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

JJ Drafting
Australia P/L.

26/90 Mona Vale Road, Mona Vale, NSW, 2103
PO Box 687, Dee Why, NSW, 2099
Mob. 0414 717 541 | Email. jldraft@tpg.com.au
www.jldrafting.com.au
ACN 651 693 346

| REV: | DATE: | DESCRIPTION: |
|------|------------|-------------------------------------|
| A | 18/01/2023 | SLIDING DOORS IN THE GARAGE REMOVED |
| B | 20/02/2024 | DECK ENCLOSED |
| C | 28/02/2024 | DECK ENCLOSED REVISION |
| | | |
| | | |
| | | |
| | | |

PROPOSED ALTERATIONS AND ADDITIONS
138 LAGOON STREET NARRABEEN NSW 2101
CLIENT:
CHAPMAN

DRAWING TITLE:
EXISTING GROUND FLOOR PLAN

DATE:
JULY/23

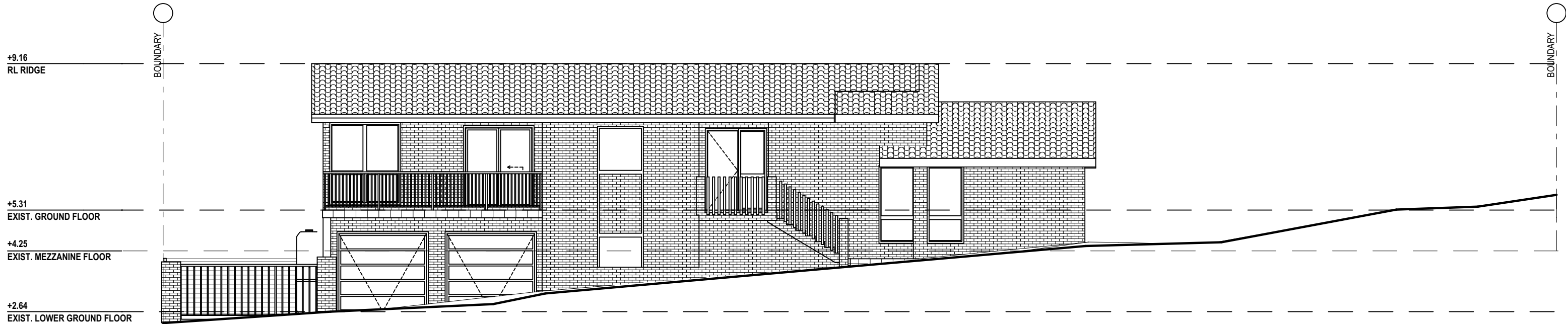
DRAWN BY:
HR

SCALE:
1:100 @ A3

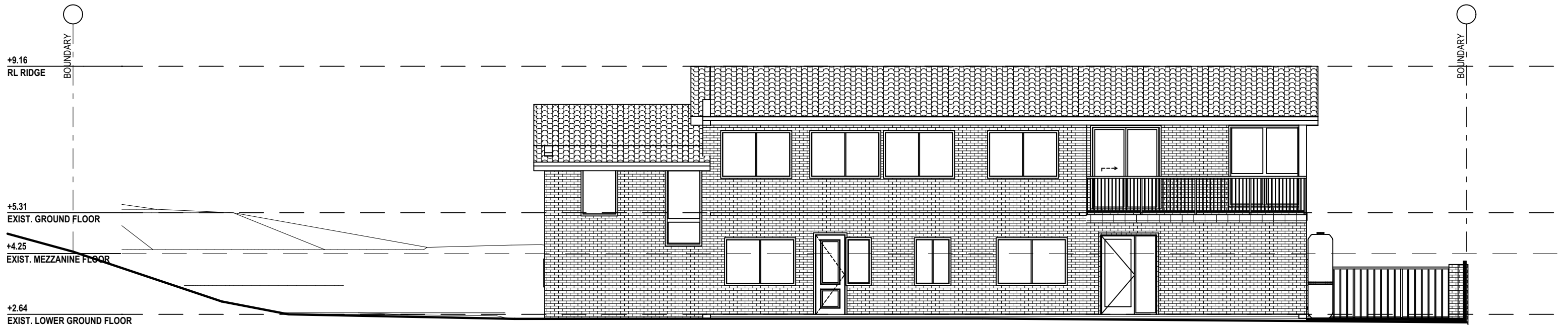
JOB No:
1186/23

CHECKED BY:
JJ

DRAWING No:
DA.03



EXISTING NORTH WEST ELEVATION



EXISTING SOUTH EAST ELEVATION

NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

JJ Drafting
Australia P/L.

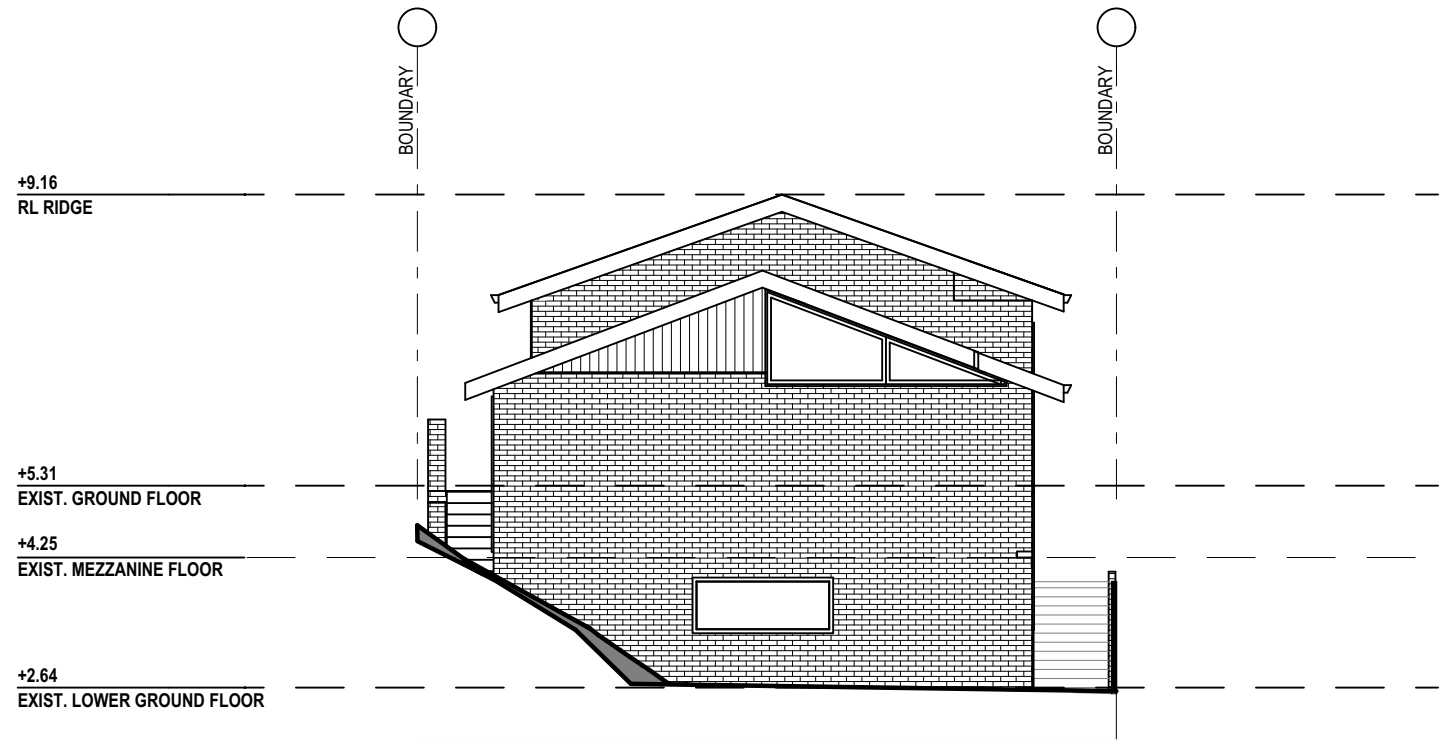
26/90 Mona Vale Road, Mona Vale, NSW, 2103
PO Box 687, Dee Why, NSW, 2099
Mob. 0414 717 541 | Email. jjdraft@tpg.com.au
www.jjdrafting.com.au
ACN 651 693 346

| REV: | DATE: | DESCRIPTION: |
|------|------------|-------------------------------------|
| A | 18/01/2023 | SLIDING DOORS IN THE GARAGE REMOVED |
| B | 20/02/2024 | DECK ENCLOSED |
| C | 28/02/2024 | DECK ENCLOSED REVISION |
| | | |
| | | |
| | | |
| | | |

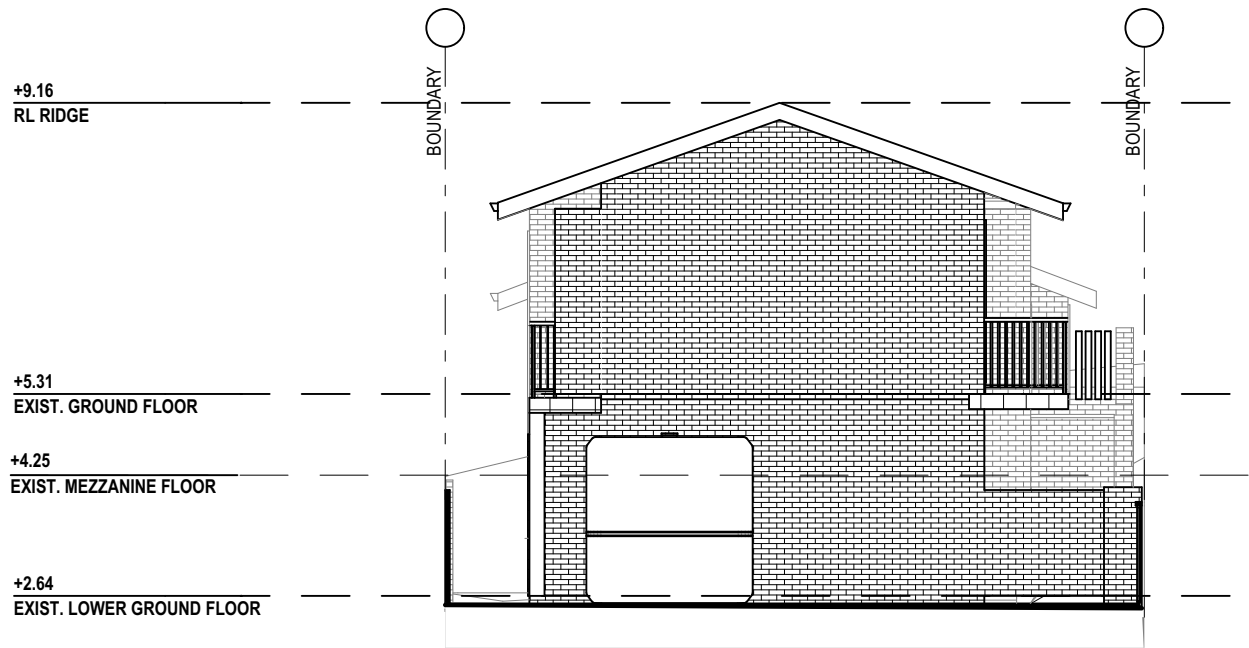
PROPOSED ALTERATIONS AND ADDITIONS
138 LAGOON STREET NARRABEEN NSW 2101
CLIENT:
CHAPMAN

DRAWING TITLE:
EXISTING ELEVATIONS SHEET 1

| | | |
|--------------------|-------------------|-----------------------------|
| DATE: JULY/23 | DRAWN BY: HR | SCALE: 1:100 @ A3 |
| JOB No: 1186/23 | CHECKED BY: JJ | DRAWING No: DA.04 |



EXISTING NORTH EAST ELEVATION



EXISTING SOUTH WEST ELEVATION

TRUE NORTH:



NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

JJ Drafting
Australia P/L.

26/90 Mona Vale Road, Mona Vale, NSW, 2103
PO Box 687, Dee Why, NSW, 2099
Mob. 0414 717 541 | Email. jjdraft@tpg.com.au
www.jjdrafting.com.au
ACN 651 693 346

| REV: | DATE: | DESCRIPTION: |
|------|------------|-------------------------------------|
| A | 18/01/2023 | SLIDING DOORS IN THE GARAGE REMOVED |
| B | 20/02/2024 | DECK ENCLOSED |
| C | 28/02/2024 | DECK ENCLOSED REVISION |
| | | |
| | | |
| | | |
| | | |

PROPOSED ALTERATIONS AND ADDITIONS
138 LAGOON STREET NARRABEEN NSW 2101
CLIENT:
CHAPMAN

DRAWING TITLE:
EXISTING ELEVATIONS SHEET 2

DATE:
JULY/23

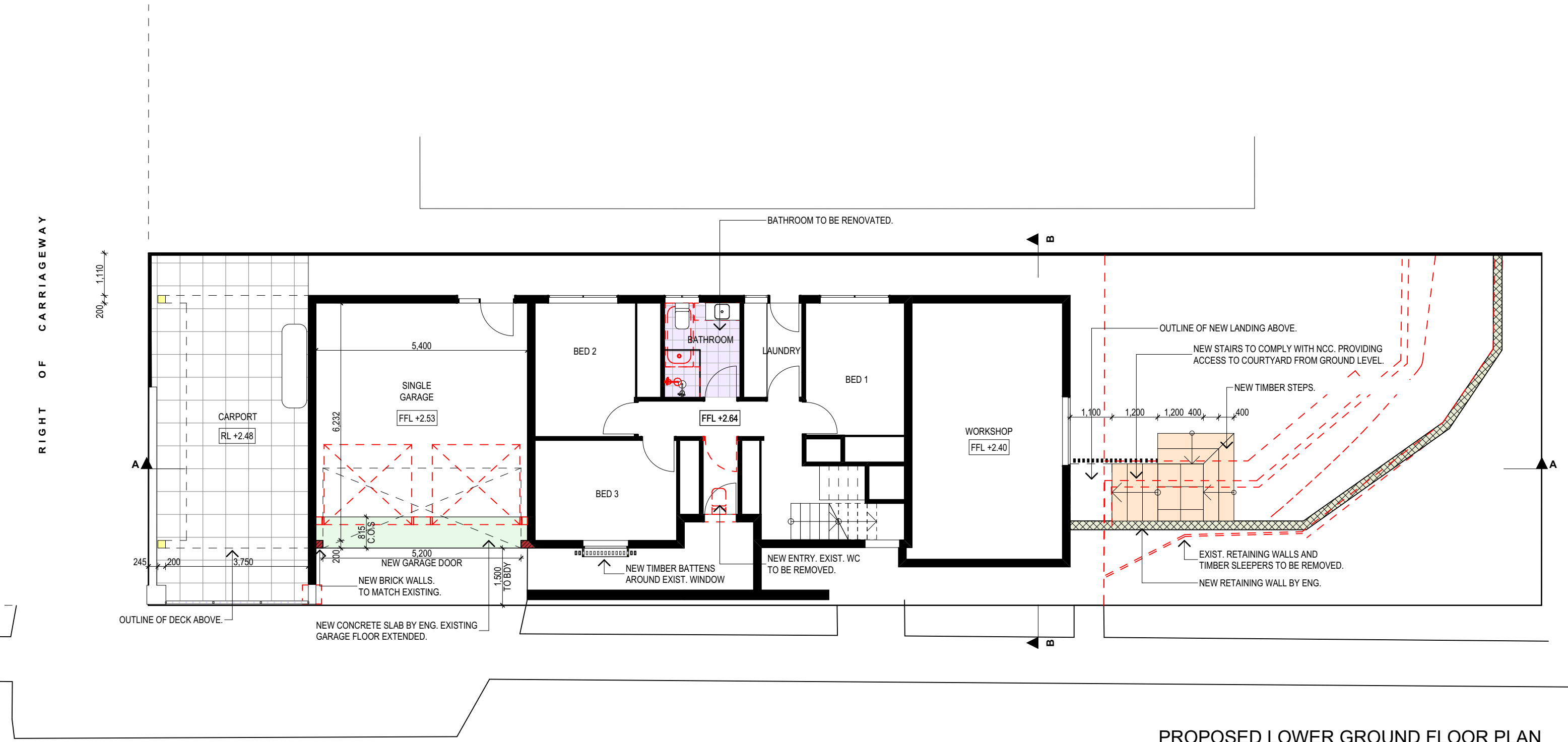
DRAWN BY:
HR

SCALE:
1:100 @ A3

JOB No:
1186/23

CHECKED BY:
JJ

DRAWING No:
DA.05



PROPOSED LOWER GROUND FLOOR PLAN

TRUE NORTH:



NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

JJ Drafting
Australia P/L.

26/90 Mona Vale Road, Mona Vale, NSW, 2103
PO Box 687, Dee Why, NSW, 2099
Mob. 0414 717 541 | Email. jjdraft@tpg.com.au
www.jjdrafting.com.au
ACN 651 693 346

| REV: | DATE: | DESCRIPTION: |
|------|------------|-------------------------------------|
| A | 18/01/2023 | SLIDING DOORS IN THE GARAGE REMOVED |
| B | 20/02/2024 | DECK ENCLOSED |
| C | 28/02/2024 | DECK ENCLOSED REVISION |
| | | |
| | | |
| | | |
| | | |

PROPOSED ALTERATIONS AND ADDITIONS
138 LAGOON STREET NARRABEEN NSW 2101
CLIENT:
CHAPMAN

DRAWING TITLE:
PROPOSED LOWER GROUND FLOOR PLAN

DATE:
JULY/23

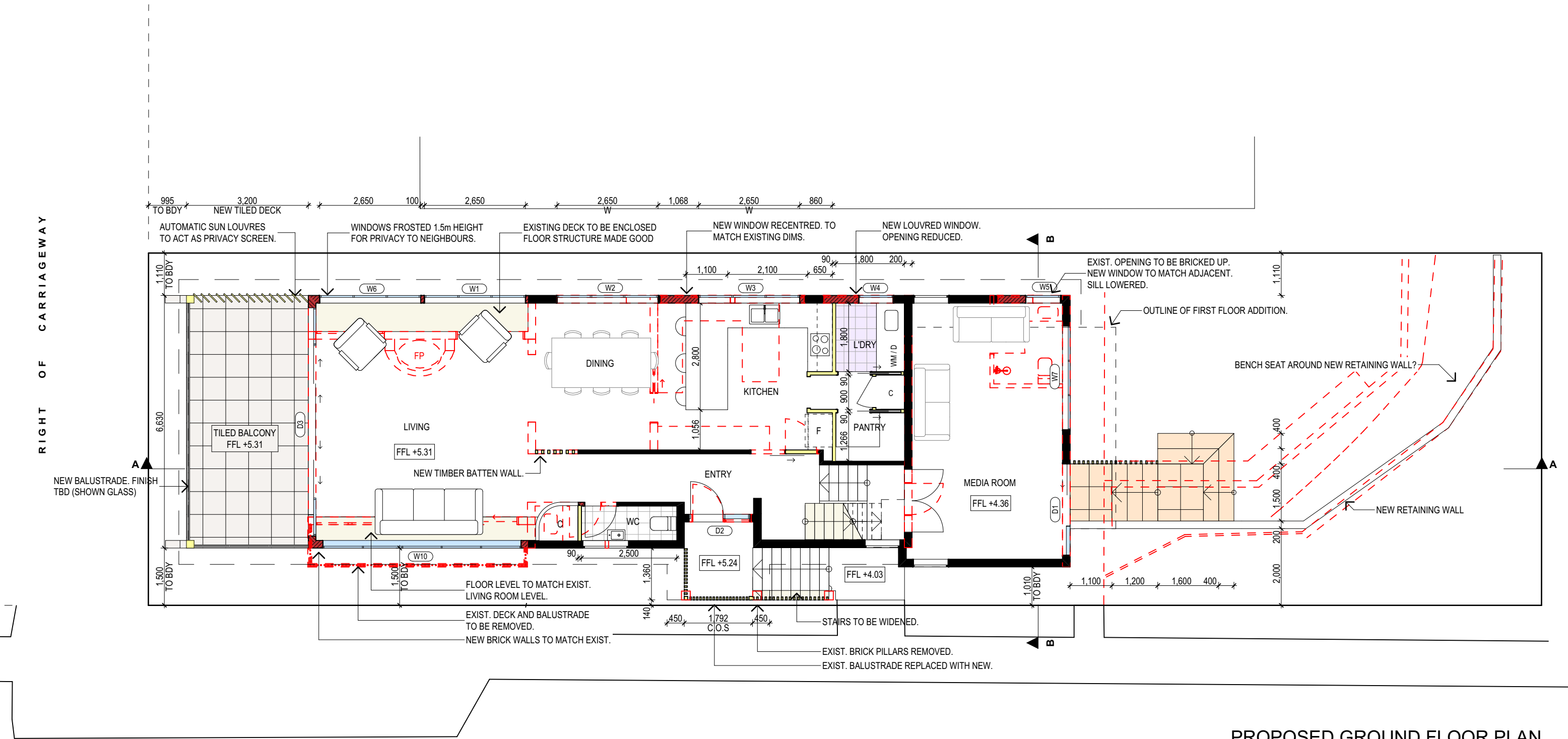
JOB No:
1186/23

DRAWN BY:
HR

CHECKED BY:
JJ

SCALE:
1:100 @ A3

DRAWING No:
DA.06



PROPOSED GROUND FLOOR PLAN

| GROUND FLOOR CALCULATIONS | |
|---------------------------|----------------------|
| EXISTING FLOOR AREA | 113.66m ² |
| PROPOSED FLOOR AREA | 117.32m ² |

TRUE NORTH:

NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

JJ Drafting
Australia P/L.

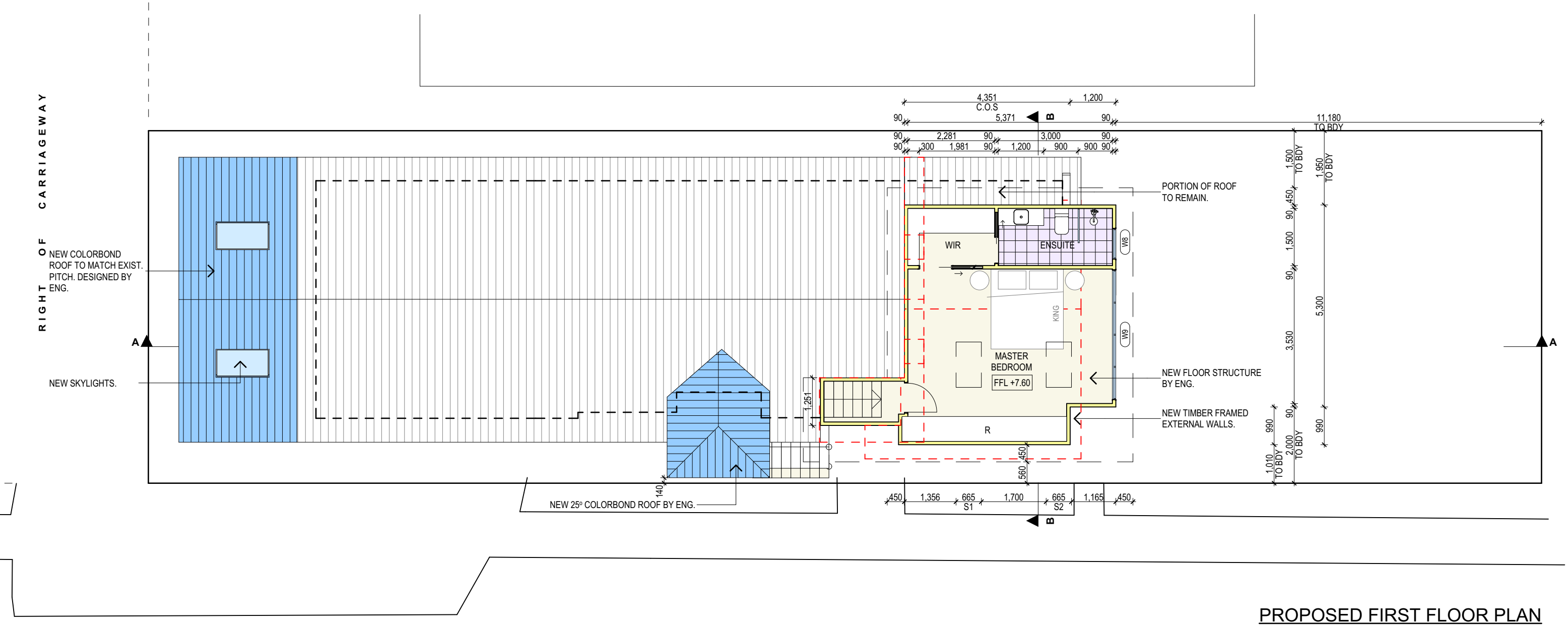
26/90 Mona Vale Road, Mona Vale, NSW, 2103
PO Box 687, Dee Why, NSW, 2099
Mob. 0414 717 541 | Email. jjdraft@tpg.com.au
www.jjdrafting.com.au
ACN 651 693 346

| REV: | DATE: | DESCRIPTION: |
|------|------------|-------------------------------------|
| A | 18/01/2023 | SLIDING DOORS IN THE GARAGE REMOVED |
| B | 20/02/2024 | DECK ENCLOSED |
| C | 28/02/2024 | DECK ENCLOSED REVISION |
| | | |
| | | |
| | | |
| | | |

PROPOSED ALTERATIONS AND ADDITIONS
138 LAGOON STREET NARRABEEN NSW 2101
CLIENT:
CHAPMAN

DRAWING TITLE:
PROPOSED GROUND FLOOR PLAN

| | | |
|--------------------|-------------------|----------------------|
| DATE: JULY/23 | DRAWN BY: HR | SCALE: 1:100 @ A3 |
| JOB No: 1186/23 | CHECKED BY: JJ | DRAWING No: DA.07 |



PROPOSED FIRST FLOOR PLAN

| | |
|--------------------------|--------------------|
| FIRST FLOOR CALCULATIONS | |
| PROPOSED FLOOR AREA | 32.8m ² |

TRUE NORTH:

NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

JJ Drafting
Australia P/L.

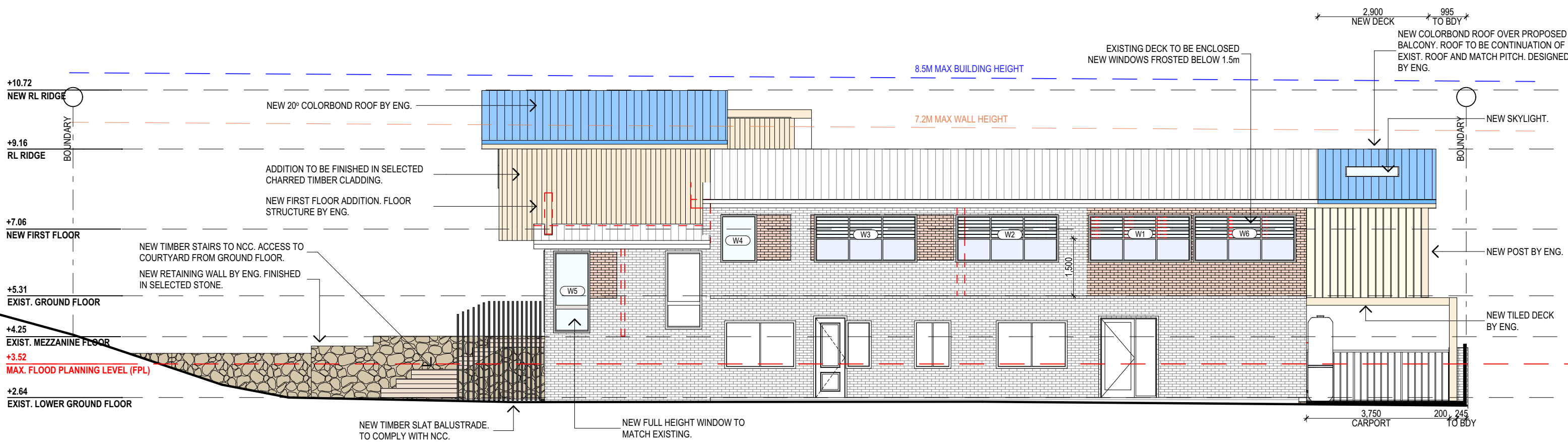
26/90 Mona Vale Road, Mona Vale, NSW, 2103
PO Box 687, Dee Why, NSW, 2099
Mob. 0414 717 541 | Email. jjdraft@tpg.com.au
www.jjdrafting.com.au
ACN 651 693 346

| REV: | DATE: | DESCRIPTION: |
|------|------------|-------------------------------------|
| A | 18/01/2023 | SLIDING DOORS IN THE GARAGE REMOVED |
| B | 20/02/2024 | DECK ENCLOSED |
| C | 28/02/2024 | DECK ENCLOSED REVISION |
| | | |
| | | |
| | | |
| | | |

| | | | |
|--|--------------------|-------------------|-----------------------------|
| PROPOSED ALTERATIONS AND ADDITIONS 138 LAGOON STREET NARRABEEN NSW 2101 CLIENT: CHAPMAN | DATE: JULY/23 | DRAWN BY: HR | SCALE: 1:100 @ A3 |
| | JOB No: 1186/23 | CHECKED BY: JJ | DRAWING No: DA.08 |



PROPOSED SOUTH ELEVATION



PROPOSED NORTH ELEVATION

| NOTES (E & OE) | |
|--|--|
| ● All structures including stormwater & drainage to engineer's details. | |
| ● Do not obtain dimensions by scaling drawings. | |
| ● All dimensions are to be checked on site prior to starting work. | |
| ● These drawings are to be read in conjunction with all other consultant's drawings and specifications. | |
| ● All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements. | |
| ● New materials are to be used throughout unless otherwise noted. | |
| ● Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer. | |

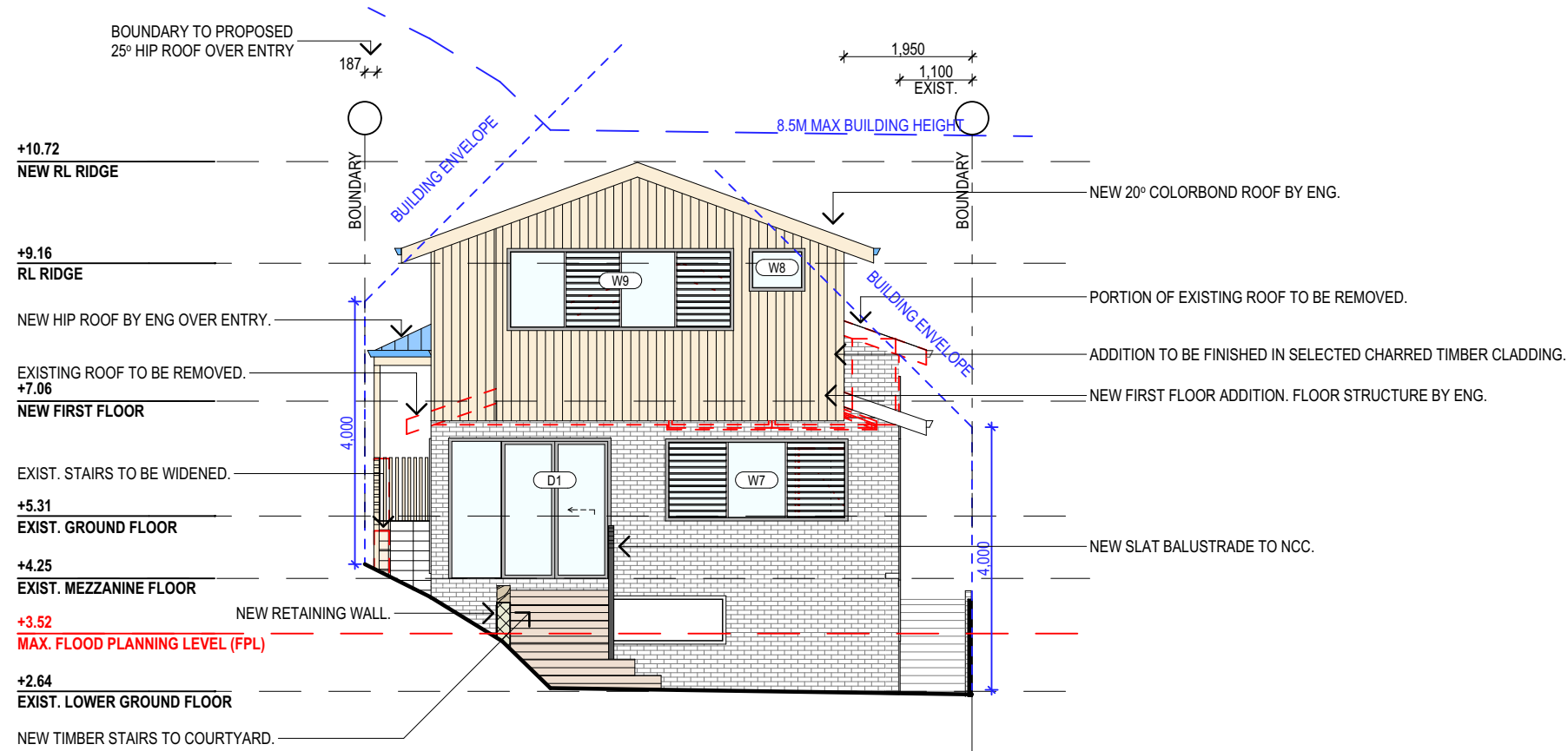
JJ Drafting
Australia P/L.

26/90 Mona Vale Road, Mona Vale, NSW, 2103
PO Box 687, Dee Why, NSW, 2099
Mob. 0414 717 541 | Email. jjdraft@tpg.com.au
www.jjdrafting.com.au
ACN 651 693 346

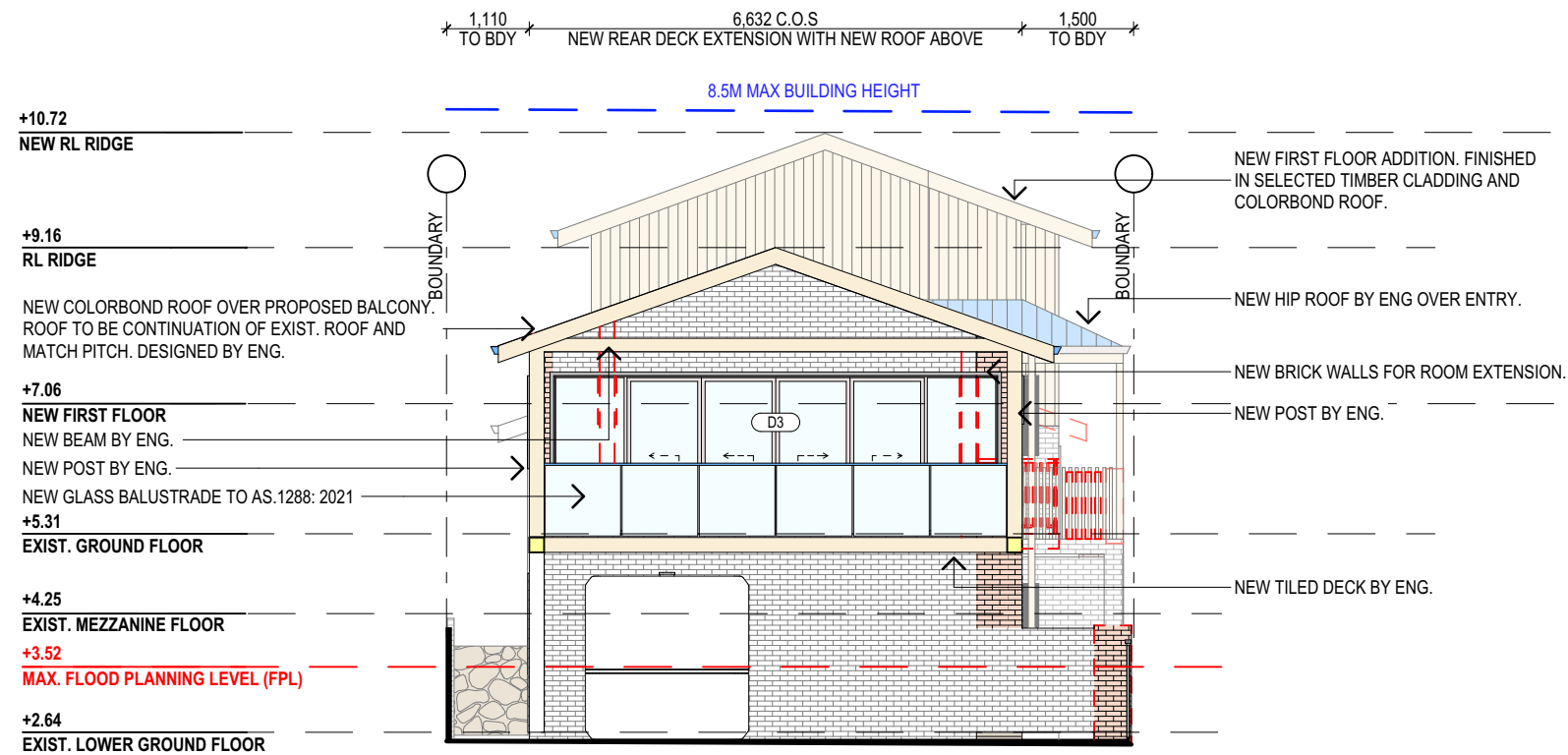
| REV: | DATE: | DESCRIPTION: |
|------|------------|-------------------------------------|
| A | 18/01/2023 | SLIDING DOORS IN THE GARAGE REMOVED |
| B | 20/02/2024 | DECK ENCLOSED |
| C | 28/02/2024 | DECK ENCLOSED REVISION |
| | | |
| | | |
| | | |

| | |
|--|---|
| PROPOSED ALTERATIONS AND ADDITIONS 138 LAGOON STREET NARRABEEN NSW 2101 CLIENT: CHAPMAN | DRAWING TITLE: PROPOSED ELEVATIONS SHEET 1 |
|--|---|

| | | |
|--------------------|-------------------|----------------------|
| DATE: JULY/23 | DRAWN BY: HR | SCALE: 1:100 @ A3 |
| JOB No: 1186/23 | CHECKED BY: JJ | DRAWING No: DA.09 |



PROPOSED EAST ELEVATIONS



PROPOSED WEST ELEVATION

NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

JJ Drafting
Australia P/L.

26/90 Mona Vale Road, Mona Vale, NSW, 2103
PO Box 687, Dee Why, NSW, 2099
Mob. 0414 717 541 | Email. jjdraft@tpg.com.au
www.jjdrafting.com.au
ACN 651 693 346

| REV: | DATE: | DESCRIPTION: |
|------|------------|-------------------------------------|
| A | 18/01/2023 | SLIDING DOORS IN THE GARAGE REMOVED |
| B | 20/02/2024 | DECK ENCLOSED |
| C | 28/02/2024 | DECK ENCLOSED REVISION |
| | | |
| | | |
| | | |
| | | |

PROPOSED ALTERATIONS AND ADDITIONS
138 LAGOON STREET NARRABEEN NSW 2101
CLIENT:
CHAPMAN

DRAWING TITLE:
PROPOSED ELEVATIONS SHEET 2

DATE:
JULY/23

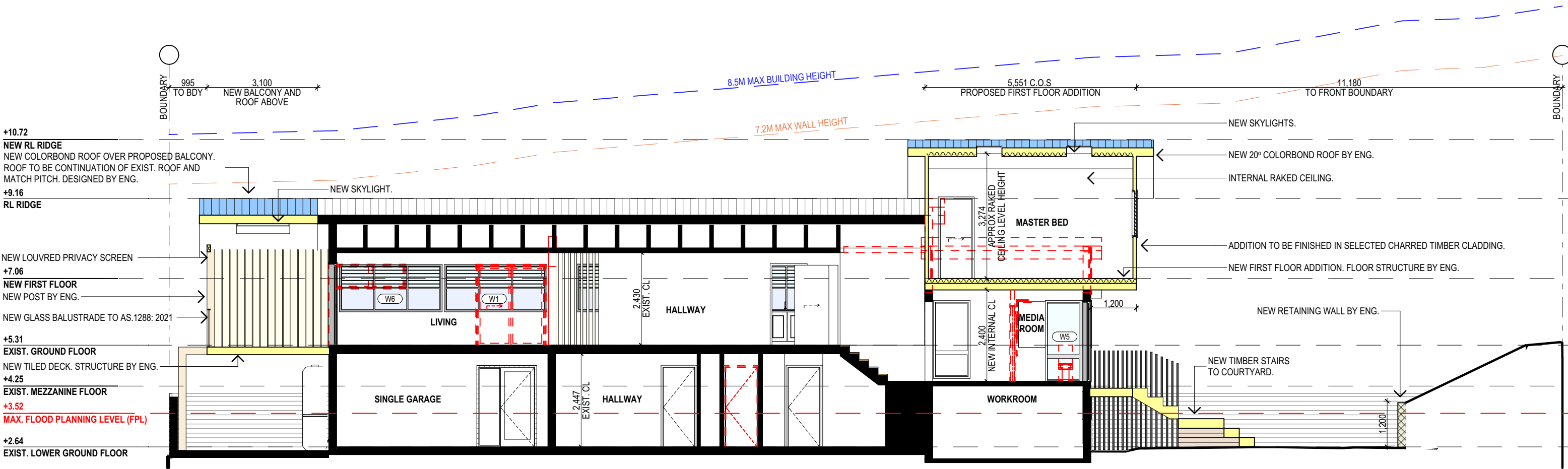
JOB No:
1186/23

DRAWN BY:
HR

CHECKED BY:
JJ

SCALE:
1:100 @ A3

DRAWING No:
DA.10



SECTION A

NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

JJ Drafting
Australia P/L.

26/90 Mona Vale Road, Mona Vale, NSW, 2103
PO Box 687, Dee Why, NSW, 2099
Mob. 0414 717 541 | Email. jjdraft@tpg.com.au
www.jjdrafting.com.au
ACN 651 693 346

| REV: | DATE: | DESCRIPTION: |
|------|------------|-------------------------------------|
| A | 18/01/2023 | SLIDING DOORS IN THE GARAGE REMOVED |
| B | 20/02/2024 | DECK ENCLOSED |
| C | 28/02/2024 | DECK ENCLOSED REVISION |

PROPOSED ALTERATIONS AND ADDITIONS
138 LAGOON STREET NARRABEEN NSW 2101
CLIENT:
CHAPMAN

DRAWING TITLE:
SECTION

DATE:
JULY/23

JOB No:
1186/23

DRAWN BY:
HR

CHECKED BY:
JJ

SCALE:
1:100 @ A3

DRAWING No:
DA.11

| CALCULATIONS | | | |
|-----------------------------------|-------------|-----|----------------------|
| SITE AREA | | | 335.1m ² |
| LANDSCAPE CONTROL | | 40% | 134m ² |
| EXISTING LANDSCAPED AREA | <div></div> | 31% | 105.1m ² |
| LANDSCAPING AREA TO BE REINSTATED | <div></div> | | 7.37m ² |
| TOTAL LANDSCAPED AREA | <div></div> | 31% | 106.27m ² |
| EXISTING HARD SURFACE AREA | <div></div> | | 222.04m ² |
| HARD SURFACE AREA TO BE RETAINED | <div></div> | | 214.5m ² |
| NEW HARD SURFACE AREA | <div></div> | | 6.64m ² |
| TOTAL HARD SURFACE AREA | <div></div> | 66% | 221m ² |

TRUE NORTH:

NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

JJ Drafting
Australia P/L.

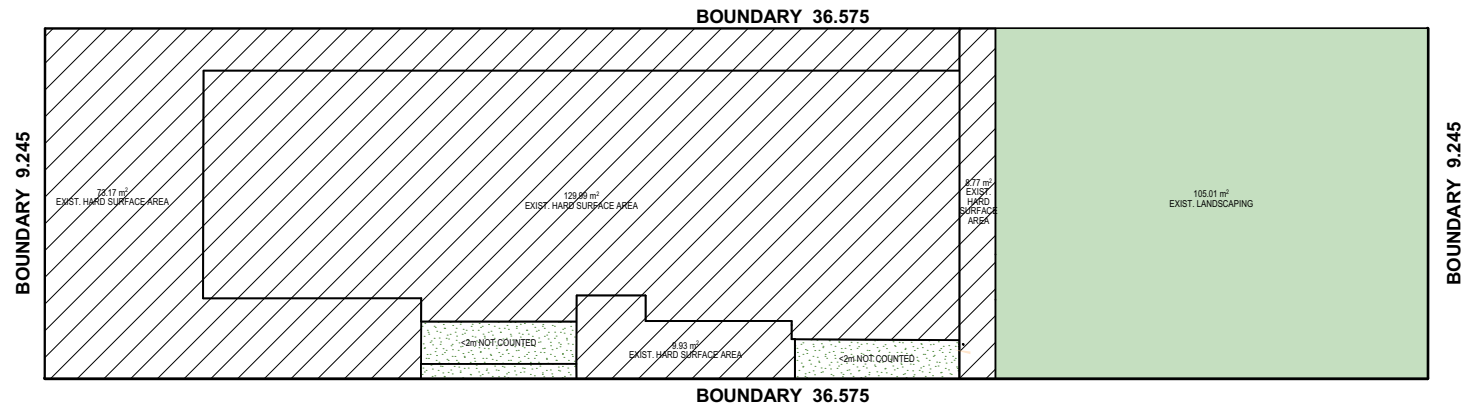
26/90 Mona Vale Road, Mona Vale, NSW, 2103
PO Box 687, Dee Why, NSW, 2099
Mob. 0414 717 541 | Email. jjdraft@tpg.com.au
www.jjdrafting.com.au
ACN 651 693 346

| REV: | DATE: | DESCRIPTION: |
|------|------------|-------------------------------------|
| A | 18/01/2023 | SLIDING DOORS IN THE GARAGE REMOVED |
| B | 20/02/2024 | DECK ENCLOSED |
| C | 28/02/2024 | DECK ENCLOSED REVISION |
| | | |
| | | |
| | | |
| | | |

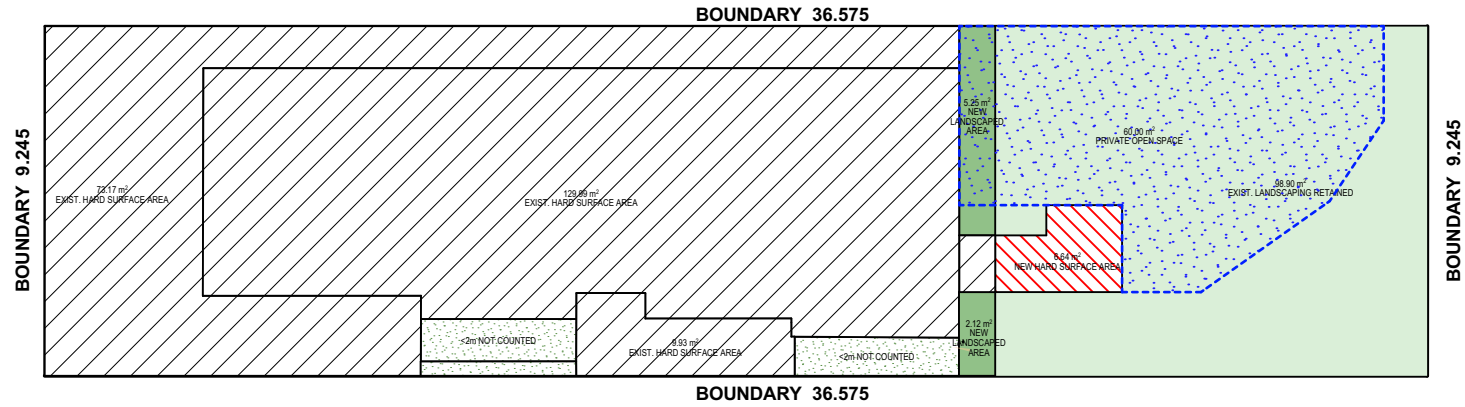
PROPOSED ALTERATIONS AND ADDITIONS
138 LAGOON STREET NARRABEEN NSW 2101
CLIENT:
CHAPMAN

DRAWING TITLE:
LANDSCAPED AREA CALCULATION PLAN

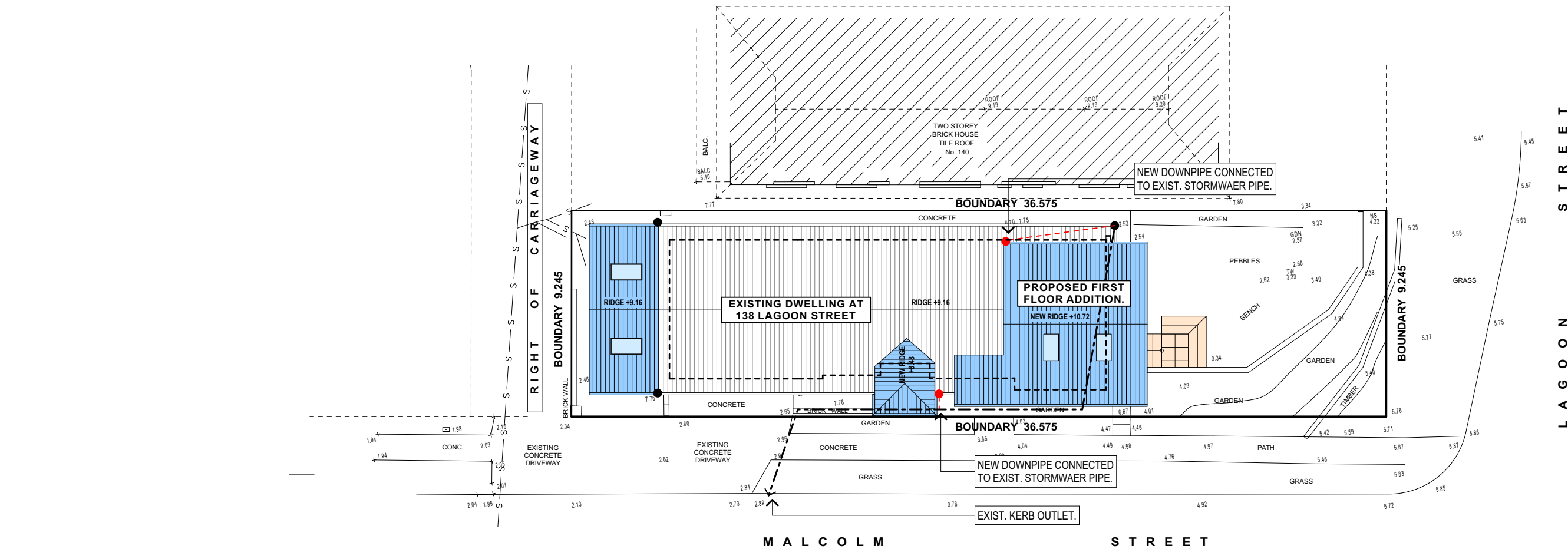
| | | |
|--------------------|-------------------|---------------------------|
| DATE: JULY/23 | DRAWN BY: HR | SCALE: 1:1, 1:200 @ A3 |
| JOB No: 1186/23 | CHECKED BY: JJ | DRAWING No: DA.13 |



EXISTING LANDSCAPING CALCULATIONS



PROPOSED LANDSCAPING CALCULATIONS



STORMWATER CONCEPT LEGEND

- EXISTING DOWNPIPES
- NEW DOWNPIPES
- EXISTING STORWATER LINE
- NEW STORMWATER LINE

STORMWATER CONCEPT PLAN

TRUE NORTH:



NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

JJ Drafting
Australia P/L.

26/90 Mona Vale Road, Mona Vale, NSW, 2103
PO Box 687, Dee Why, NSW, 2099
Mob. 0414 717 541 | Email. jjdraft@tpg.com.au
www.jjdrafting.com.au
ACN 651 693 346

| REV: | DATE: | DESCRIPTION: |
|------|------------|-------------------------------------|
| A | 18/01/2023 | SLIDING DOORS IN THE GARAGE REMOVED |
| B | 20/02/2024 | DECK ENCLOSED |
| C | 28/02/2024 | DECK ENCLOSED REVISION |
| | | |
| | | |
| | | |

PROPOSED ALTERATIONS AND ADDITIONS
138 LAGOON STREET NARRABEEN NSW 2101
CLIENT:
CHAPMAN

DRAWING TITLE:
ROOF & STORMWATER CONCEPT PLAN

DATE:
JULY/23

DRAWN BY:
HR

SCALE:
1:200 @ A3

JOB No:
1186/23

CHECKED BY:
JJ

DRAWING No:
DA.14

NOTES

DESIGNATED SITE MANAGER/BUILDER

PRIOR TO COMMENCEMENT OF WORK A SITE MANAGER OR BUILDER MUST BE NOMINATED. THE SITE MANAGER OR BUILDER WILL BE RESPONSIBLE AND LIABLE FOR ALL WORKS CARRIED OUT ON THE SITE. THIS ASSUMES THE RESPONSIBILITY FOR THE ACTIONS OF ALL SUBCONTRACTED PARTIES AS WELL AS ADVISING THEM OF COUNCIL'S REQUIREMENTS WHEN CARRYING OUT WORKS.

TOPSOIL MANAGEMENT

PRIOR TO THE STRIPPING OF TOPSOIL, THE VEGETATIVE COVER MUST BE REDUCED BY EITHER SLASHING OR MOWING. ALL TOPSOIL IS TO BE RETAINED AND PROTECTED FOR REUSE ON SITE. SOIL STOCKPILES MUST NOT BE LOCATED ON NATURE STRIPS, FOOTPATHS, ROADWAYS, KERBS, ACCESSWAYS, WITHIN DRAINAGE LINES/FLOWS/PATHS OR AROUND OR AGAINST TREE SHRUBS. SEDIMENT CONTROL MEASURES MUST BE INCORPORATED WITH ANY RESULTING STOCKPILE. THE STOCKPILE CAN BE PROTECTED FROM EROSION BY COVERING IT WITH AN IMPERVIOUS MATERIAL, IN CONJUNCTION WITH THE INSTALLATION OF A SEDIMENT FENCE AROUND IT. IF STOCKPILES ARE TO REMAIN FOR MORE THAN ONE MONTH THEY ARE TO BE GRASSED IMMEDIATELY AND STABILISED WITHIN FOURTEEN DAYS. SURPLUS TOPSOIL MUST BE REASONABLY REMOVED FROM SITE.

BUILDING MATERIAL STOCKPILING

SUFFICIENT AREA MUST BE ALLOCATED WITHIN THE SITE FOR SUCH STORAGE OF BUILDING MATERIALS, DEMOLITION WASTE, WASTE CONTAINERS, ETC. AS WILL BE REQUIRED.

SEDIMENT FENCES

A SEDIMENT FENCE SHOULD BE LOCATED ALONG THE DOWNSLOPE BOUNDARY(S) OF THE SITE, ON THE CONSTRUCTION SIDE OF THE TURF FILTER STRIP OR NATIVE VEGETATION, AND AROUND ALL STOCKPILES OF MATERIAL ON THE SITE.

DUST CONTROL

ALL TRUCKS/UTES MUST COVER THEIR LOADS AT ALL TIMES. APPROPRIATE METHODS ARE TO BE EMPLOYED TO PREVENT BLOWING DUST CREATING AN UNACCEPTABLE HAZARD OR NUISANCE ON THE SITE OR DOWN WIND. PRODUCTION OF DUST CAN BE MINIMISED BY LIMITING AREA OF EARTHWORKS, WATERING AND PROGRESSIVE VEGETATION. WHERE DUST IS CREATED AS A RESULT WORKS AND/OR SOIL EXPOSURE, THE BARE SOIL AREAS MUST BE WATERED, DURING AND/OR AT THE END OF EACH DAY TO LAY THE DUST. EARTH MOVING ACTIVITIES SHOULD BE AVOIDED WHERE WINDS ARE SUFFICIENTLY STRONG ENOUGH TO RAISE VISIBLE DUST.

EROSION & SEDIMENT CONTROLS

APPROPRIATE EROSION AND SEDIMENT CONTROLS MUST BE IMPLEMENTED ON ALL SITES THAT INVOLVE SOIL DISTURBANCE. THE MEASURES MUST BE IN PLACE PRIOR TO THE COMMENCEMENT OF WORK. THOSE CONTROLS ARE TO BE MONITORED AND MAINTAINED IN ORDER TO SERVE THEIR INTENDED FUNCTION FOR THE DURATION OF THE WORKS OR UNTIL SUCH TIME AS THE SITE IS FULLY STABILISED. IF ANY CONTROLS ARE DAMAGED OR BECOME INEFFECTIVE DURING THE COURSE OF THE WORKS THEY ARE TO BE REINSTATED OR REPLACED IMMEDIATELY. SUFFICIENT ACCESS TO THESE CONTROLS MUST BE PROVIDED IN CASE OF THE NEED TO REPAIR.

SEDIMENT TRAPS

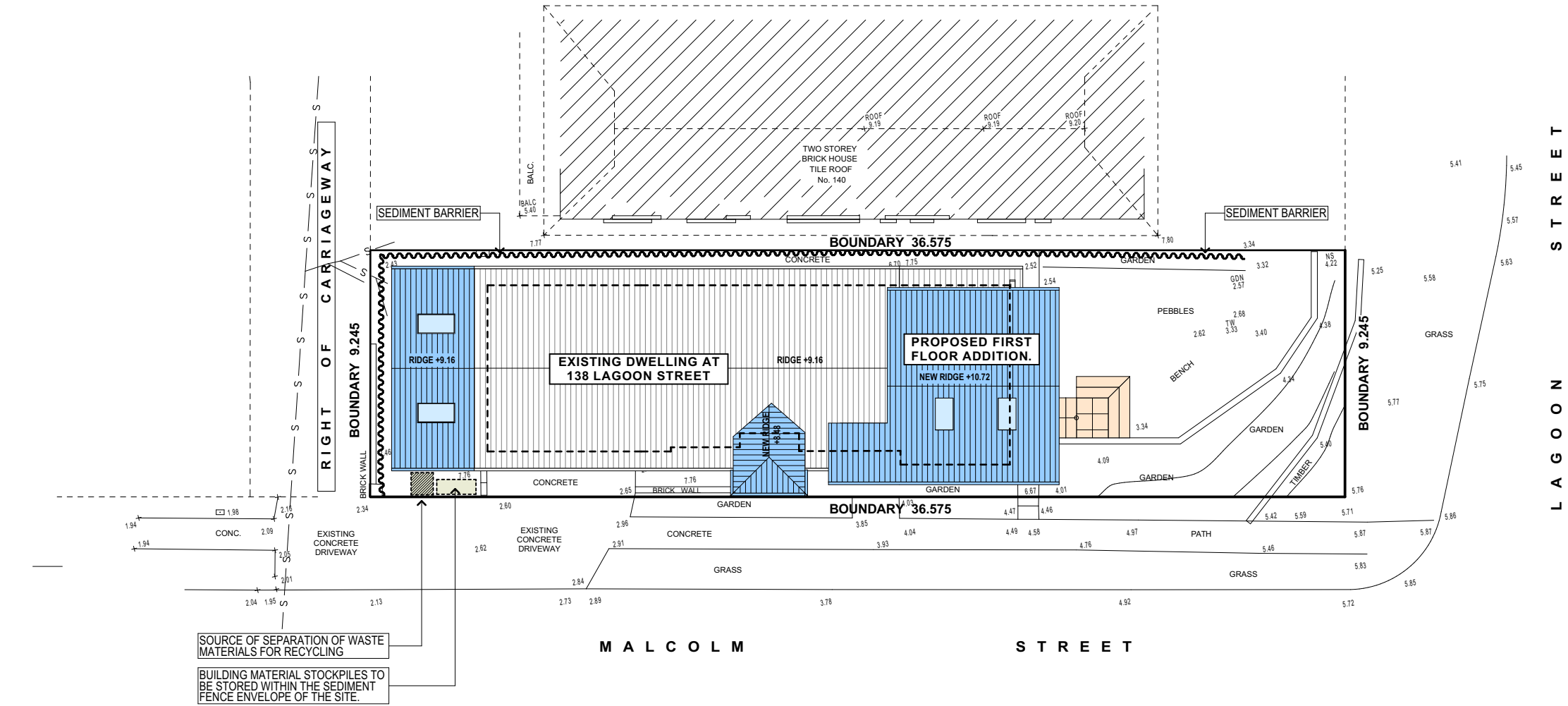
WHERE A SEDIMENT FENCE IS NOT USED APPROPRIATE SEDIMENT TRAPS SHOULD BE LOCATED AT ALL POINTS WHERE STORMWATER LEAVES THE CONSTRUCTION SITE OR LEAVES THE GUTTER AND ENTERS THE DRAINAGE SYSTEM. A COMMON TECHNIQUE IS THE GRAVEL SAUSAGE.

DIVERSION CHANNELS

A DIVERSION CHANNEL IS AN EXCAVATED EARTH DITCH OR PATH. THESE STRUCTURES ARE USED TO INTERCEPT AND DIRECT RUN-OFF TO A DESIRED LOCATION WHERE POSSIBLE. ALL STORMWATER RUN-OFF FLOWING ONTO DISTURBED AREAS, INCLUDING STOCKPILES, MUST BE INTERCEPTED, DIVERTED AND/OR SAFELY DISPOSED OF. THIS CAN BE ACHIEVED BY CONSTRUCTING A TEMPORARY EARTH BANK AROUND THE UPSLOPE EXTENT OF THE CONSTRUCTION SITE WHERE THE DIVERSION DOES NOT AFFECT THE NEIGHBOURING PROPERTIES.

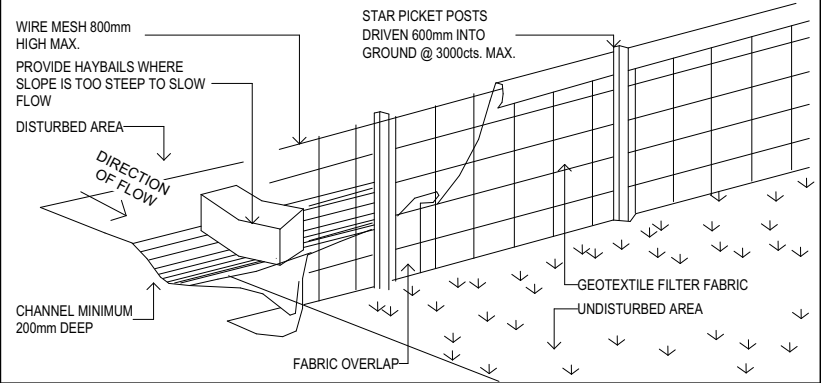
VEHICLE MOVEMENTS

TO LIMIT DISTURBANCE TO THE SITE AND TRACKING OF MATERIAL ONTO THE STREET ALL VEHICLES AND PLANT EQUIPMENT ARE TO USE A SINGLE ENTRY/EXIT POINT UNLESS COUNCIL HAS APPROVED ALTERNATIVE ARRANGEMENTS. ACCESS POINTS AND PARKING AREAS ARE TO BE STABILISED WITH COMPACTED SUB-GRADE ASAP AFTER THEIR FORMATION. IF SPILLAGE DOES OCCUR IT IS TO BE CONTAINED IMMEDIATELY AND CAREFULLY REMOVED. THE AREA AFFECTED IS TO BE RESTORED TO A STANDARD EQUAL TO OR BETTER THAN ITS PREVIOUS CONDITION. ALL VEHICLES ARE TO BE WASHED PRIOR TO EXISTING THE SITE. THIS SERVES THE PURPOSE OF REMOVING SITE MATERIAL ON THE VEHICLE AND PREVENTS IT FROM BEING DEPOSITED ON THE ROAD NETWORK ADJACENT TO THE SITE AND THUS, THE STORMWATER SYSTEM. NO VEHICLE ASSOCIATED WITH THE WORK IS TO BE PARKED ON A FOOTPATH OR PUBLIC RESERVE. ALL VEHICLES VISITING THE SITE DURING DEMOLITION, EXCAVATION AND/OR CONSTRUCTION WORKS, ARE TO COMPLY WITH THE PARKING REQUIREMENTS IN THAT AREA.

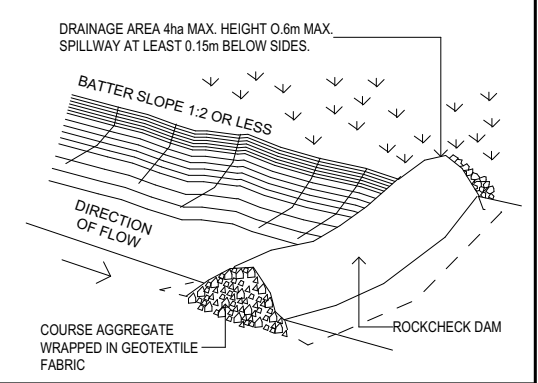


EROSION & SEDIMENT CONTROL PLAN

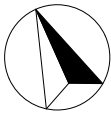
TYPICAL SEDIMENT FENCE - nts



TYPICAL DIVERSION CHANNEL - nts



TRUE NORTH:



NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

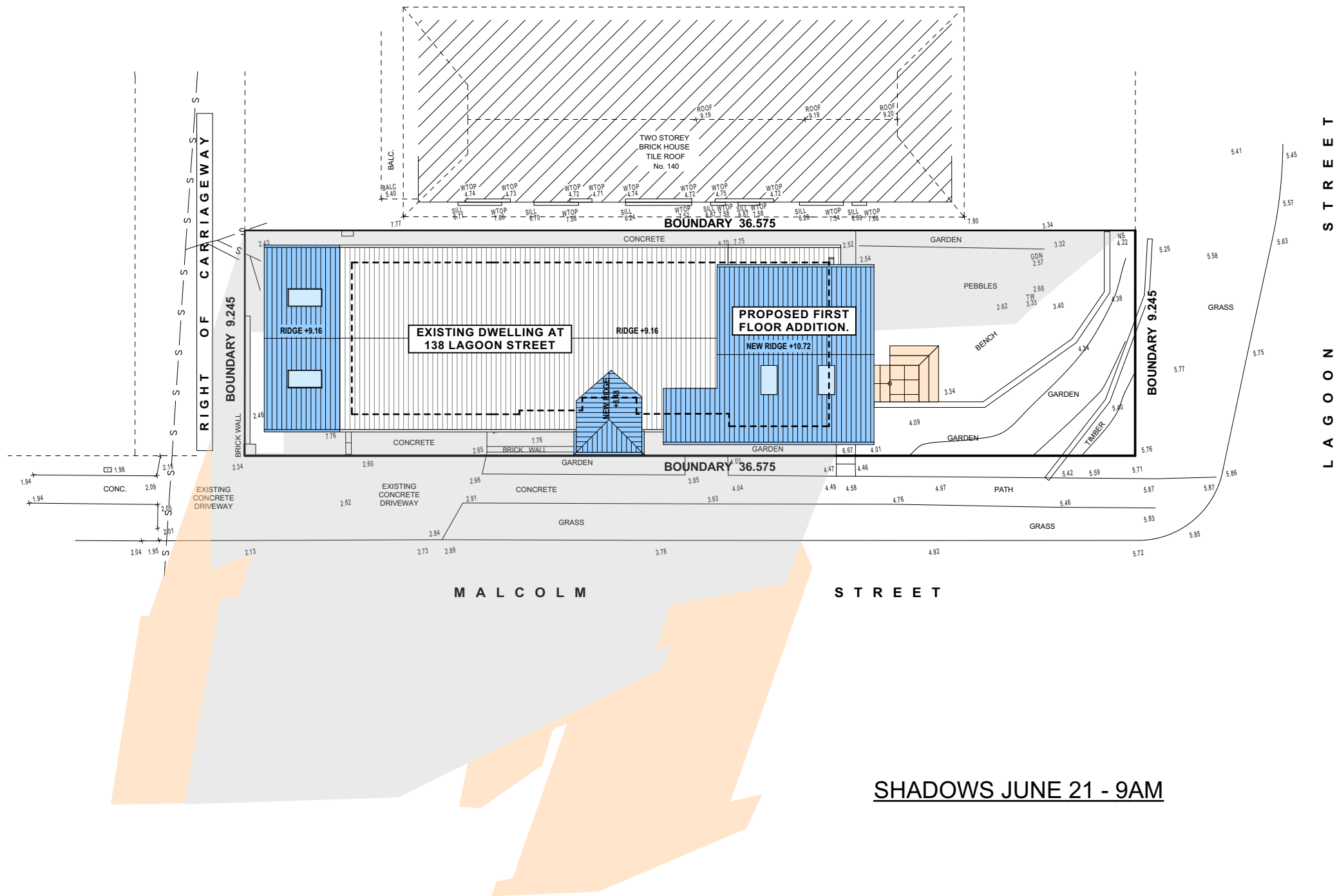
JJ Drafting
Australia P/L.

26/90 Mona Vale Road, Mona Vale, NSW, 2103
PO Box 687, Dee Why, NSW, 2099
Mob. 0414 717 541 | Email. jjdraft@tpg.com.au
www.jjdrafting.com.au
ACN 651 693 346

| REV: | DATE: | DESCRIPTION: |
|------|------------|-------------------------------------|
| A | 18/01/2023 | SLIDING DOORS IN THE GARAGE REMOVED |
| B | 20/02/2024 | DECK ENCLOSED |
| C | 28/02/2024 | DECK ENCLOSED REVISION |
| | | |
| | | |
| | | |

| | |
|--|--|
| PROPOSED ALTERATIONS AND ADDITIONS 138 LAGOON STREET NARRABEEN NSW 2101 CLIENT: CHAPMAN | DRAWING TITLE: EROSION & SEDIMENT CONTROL / WASTE MANAGFMFNT PI AN |
|--|--|

| | | |
|--------------------|-------------------|----------------------|
| DATE: JULY/23 | DRAWN BY: HR | SCALE: 1:200 @ A3 |
| JOB No: 1186/23 | CHECKED BY: JJ | DRAWING No: DA.15 |



21 JUNE SHADOW DIAGRAM LEGEND

EXISTING SHADOWS

NEW SHADOWS

TRUE NORTH:



NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

JJ Drafting
Australia P/L.

26/90 Mona Vale Road, Mona Vale, NSW, 2103
PO Box 687, Dee Why, NSW, 2099
Mob. 0414 717 541 | Email. jjdraft@tpg.com.au
www.jjdrafting.com.au
ACN 651 693 346

| REV: | DATE: | DESCRIPTION: |
|------|------------|-------------------------------------|
| A | 18/01/2023 | SLIDING DOORS IN THE GARAGE REMOVED |
| B | 20/02/2024 | DECK ENCLOSED |
| C | 28/02/2024 | DECK ENCLOSED REVISION |
| | | |
| | | |
| | | |
| | | |

PROPOSED ALTERATIONS AND ADDITIONS
138 LAGOON STREET NARRABEEN NSW 2101
CLIENT:
CHAPMAN

DRAWING TITLE:
SHADOW DIAGRAM JUNE 21 9:00 am

DATE:
JULY/23

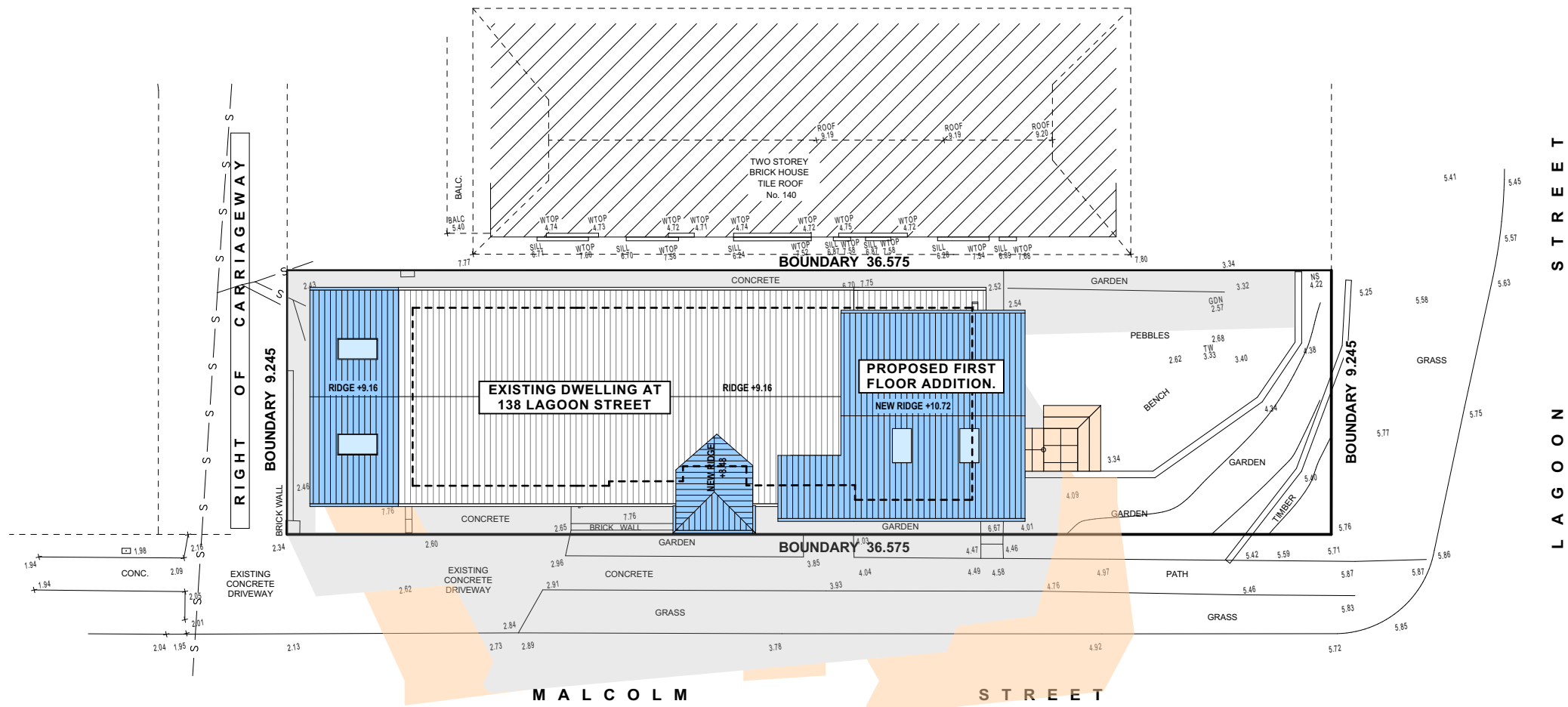
JOB No:
1186/23

DRAWN BY:
HR

CHECKED BY:
JJ

SCALE:
1:200 @ A3

DRAWING No:
DA.16



SHADOWS JUNE 21 - 12PM

21 JUNE SHADOW DIAGRAM LEGEND

EXISTING SHADOWS

NEW SHADOWS

TRUE NORTH:



NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

JJ Drafting
Australia P/L.

26/90 Mona Vale Road, Mona Vale, NSW, 2103
PO Box 687, Dee Why, NSW, 2099
Mob. 0414 717 541 | Email. jjdraft@tpg.com.au
www.jjdrafting.com.au
ACN 651 693 346

| REV: | DATE: | DESCRIPTION: |
|------|------------|-------------------------------------|
| A | 18/01/2023 | SLIDING DOORS IN THE GARAGE REMOVED |
| B | 20/02/2024 | DECK ENCLOSED |
| C | 28/02/2024 | DECK ENCLOSED REVISION |
| | | |
| | | |
| | | |
| | | |

PROPOSED ALTERATIONS AND ADDITIONS
138 LAGOON STREET NARRABEEN NSW 2101
CLIENT:
CHAPMAN

DRAWING TITLE:
SHADOW DIAGRAM JUNE 21 12 noon

DATE:
JULY/23

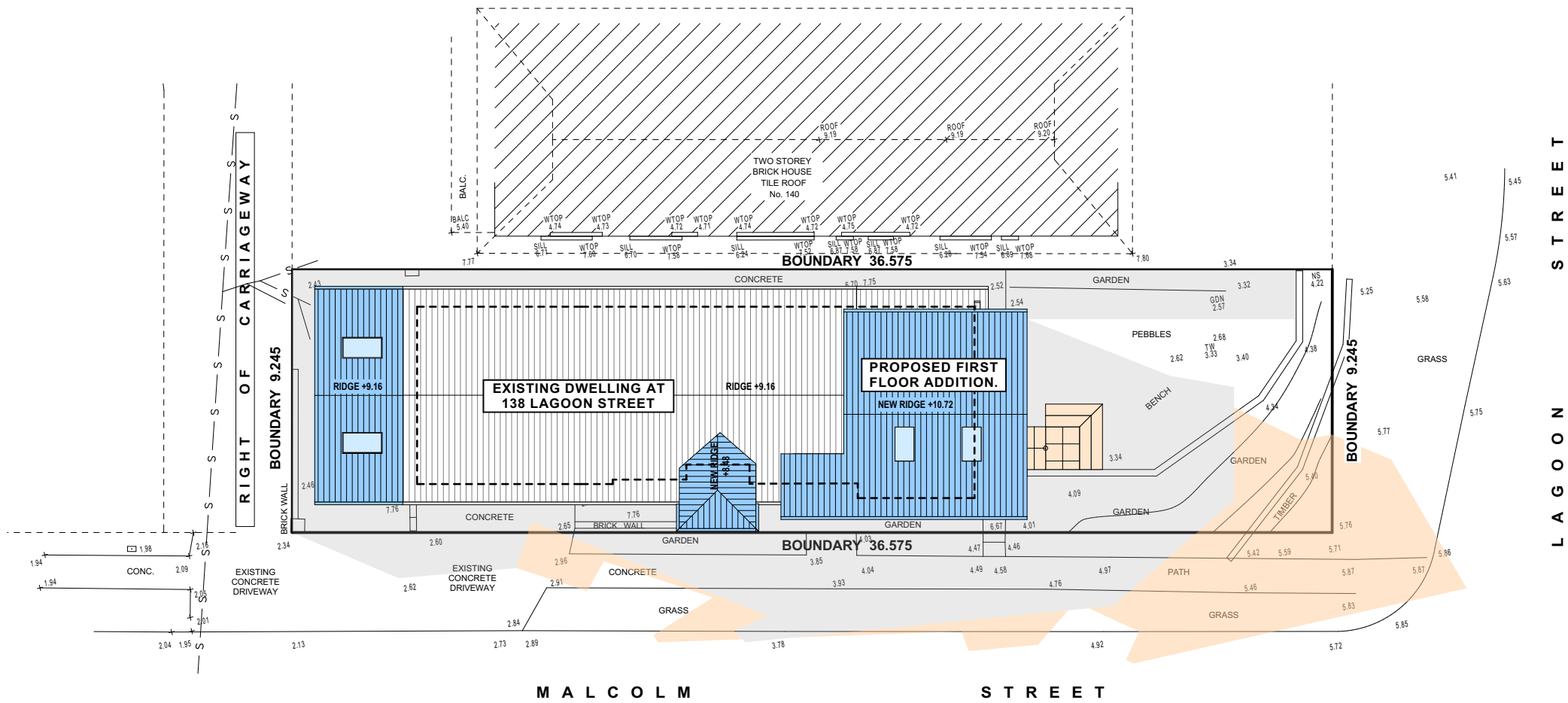
JOB No:
1186/23

DRAWN BY:
HR

CHECKED BY:
JJ

SCALE:
1:200 @ A3

DRAWING No:
DA.17



SHADOWS JUNE 21 - 3PM

21 JUNE SHADOW DIAGRAM LEGEND

EXISTING SHADOWS

NEW SHADOWS

TRUE NORTH:



NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

*JJ Drafting
Australia P/L.*

26/90 Mona Vale Road, Mona Vale, NSW, 2103
PO Box 687, Dee Why, NSW, 2099
Mob. 0414 717 541 | Email. jjdraft@tpg.com.au
www.jjdrafting.com.au
ACN 651 693 346

| REV: | DATE: | DESCRIPTION: |
|------|------------|-------------------------------------|
| A | 18/01/2023 | SLIDING DOORS IN THE GARAGE REMOVED |
| B | 20/02/2024 | DECK ENCLOSED |
| C | 28/02/2024 | DECK ENCLOSED REVISION |
| | | |
| | | |
| | | |
| | | |

PROPOSED ALTERATIONS AND ADDITIONS
138 LAGOON STREET NARRABEEN NSW 2101
CLIENT:
CHAPMAN

DRAWING TITLE:
SHADOW DIAGRAM JUNE 21 3:00 pm

DATE:
JULY/23

JOB No:
1186/23

DRAWN BY:
HR

CHECKED BY:
JJ

SCALE:
1:200 @ A3

DRAWING No:
DA.18