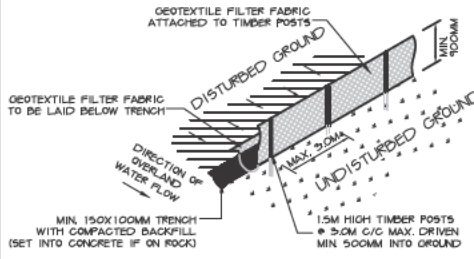


SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED REGULARLY BY THE SITE MANAGER.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300MM WIDE X 300MM DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 80% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEP DAILY.
6. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT) BETWEEN POST AT 3.0M CENTRES. FABRIC SHALL BE BURIED 150MM ALONG ITS LOWER EDGE.
7. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.



TEMPORARY SECURITY FENCING

TEMPORARY SECURITY FENCING TO THE PERIMETER OF BOUNDARY WHERE REQUIRED TO PREVENT PUBLIC ACCESS ONTO SITE.

CUT & FILL BATTERS

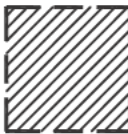
ALL GROUND LINES ARE APPROXIMATE. EXTENT OF CUT AND FILL BATTERS WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED SITE SPECIFIC

SEDIMENT FENCE

WASTE STORAGE AREA



MATERIAL STORAGE AREA



PORTABLE TOILET



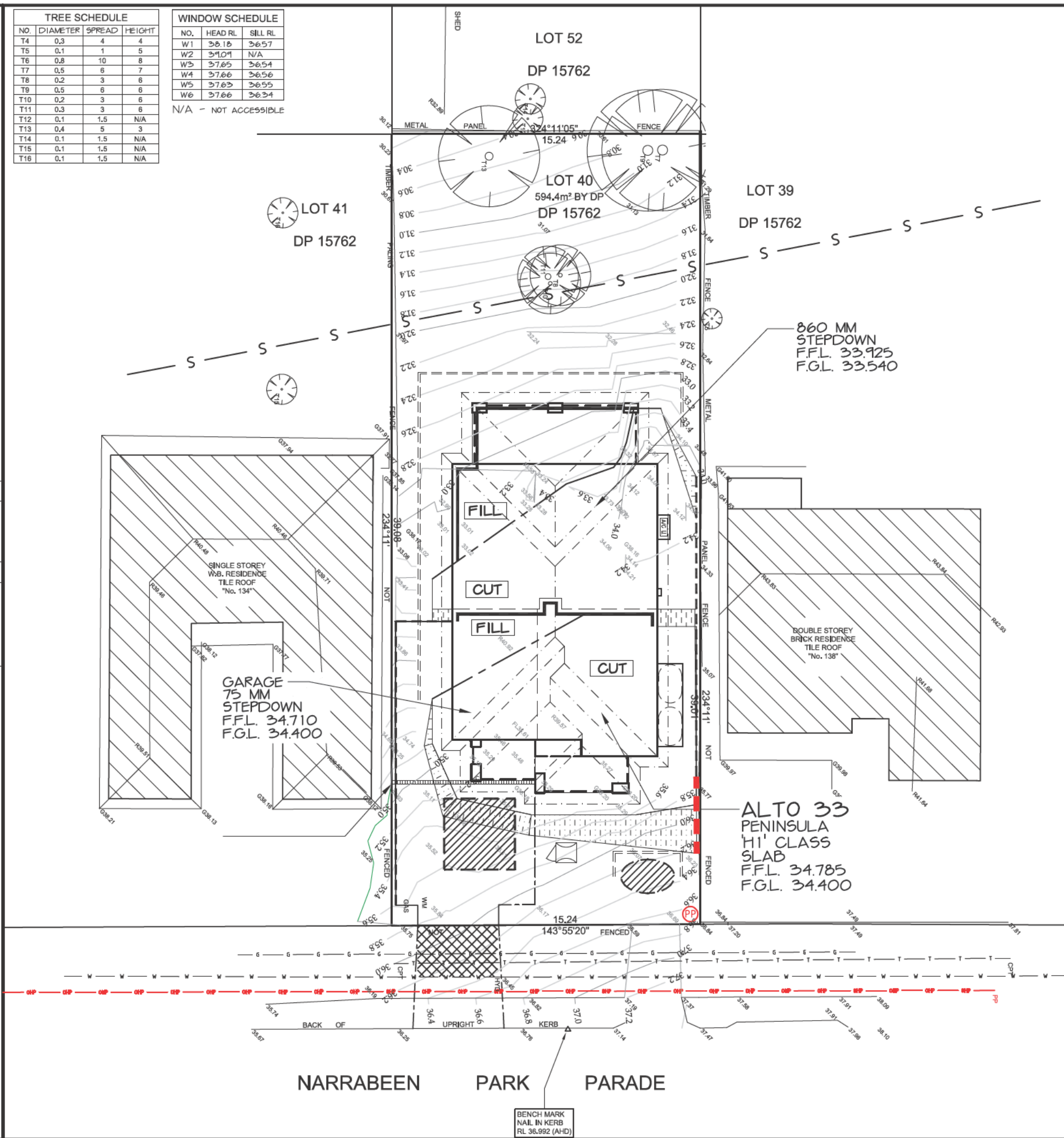
ALL WEATHER ACCESS POSITION



TREE SCHEDULE			
NO.	DIAMETER	SPREAD	HEIGHT
T4	0.3	4	4
T5	0.1	1	5
T6	0.8	10	8
T7	0.5	6	7
T8	0.2	3	6
T9	0.5	6	6
T10	0.2	3	6
T11	0.3	3	6
T12	0.1	1.5	N/A
T13	0.4	5	3
T14	0.1	1.5	N/A
T15	0.1	1.5	N/A
T16	0.1	1.5	N/A

WINDOW SCHEDULE		
NO.	HEAD RL	SILL RL
W1	36.18	36.57
W2	37.07	N/A
W3	37.65	36.54
W4	37.66	36.56
W5	37.63	36.55
W6	37.66	36.24

N/A - NOT ACCESSIBLE



	LOT NO: 40
	DEPOSITED PLAN: 15762
COUNCIL / LGA: NORTHERN BEACHES	
SLAB CLASS:	H1
WIND SPEED:	N3
GN	

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2021/0679

EROSION & SEDIMENT CONTROL PLAN

CONSTRUCTION PLAN

TEMPORARY FENCING:
BUILDER TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (LOCAL AUTH. BYLAW)

ALL WEATHER ACCESS:
METRICON TO SUPPLY UP TO 5M SUITABLE ALL WEATHER ACCESS TO BUILDING PLATFORM DURING CONSTRUCTION

INTRAX SURVEY DATE: 28.08.19

CONTOUR INTERVALS: 200MM

LEVELS TO: AHD

Build E Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153
 P.O. Box 7510, Norwest Business Park NSW 2153
 Tel: 02 8887 9000 Fax: 02 8079 5901
 Contractor Licence No: 174 699
 A.C.N. 005 108 752 www.metricon.com.au

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**LOT 40, NO.136 NARRABEEN PARK PARADE
MONA VALE**

JOB No. 704711

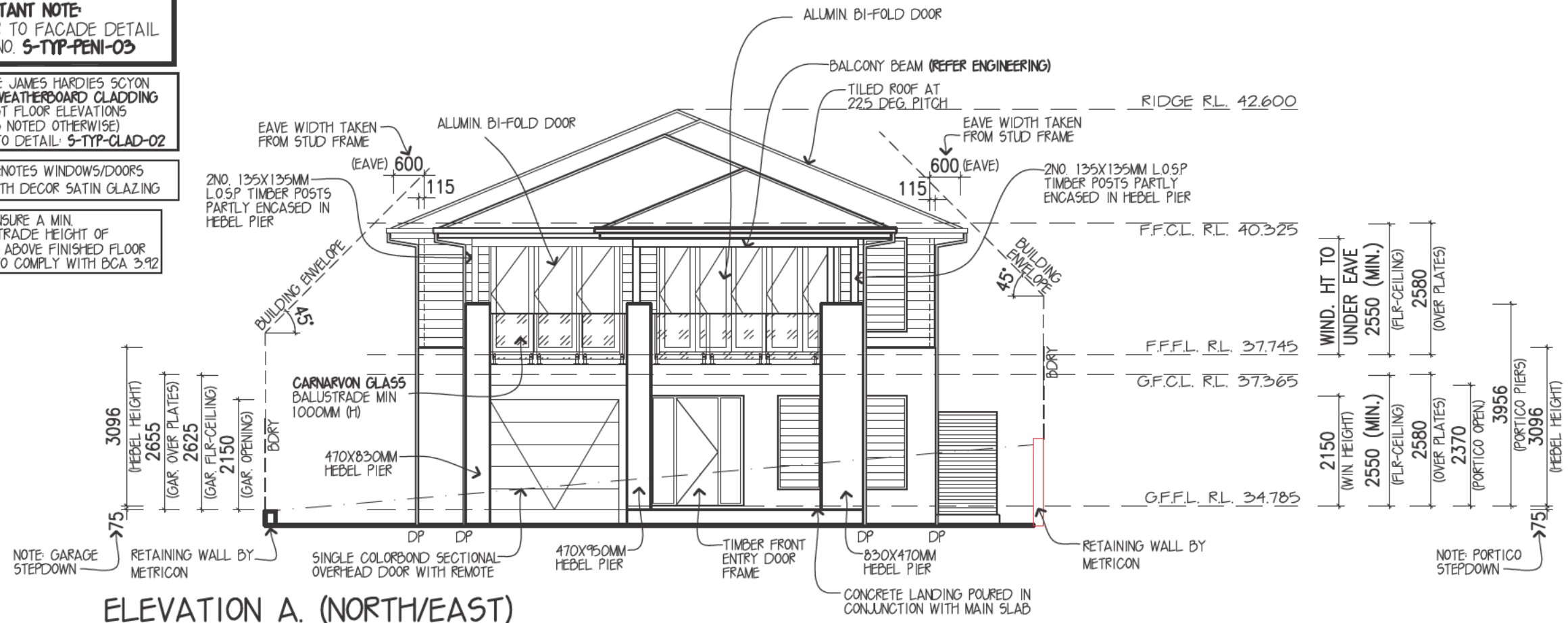
DATE: 30.01.2020	DRAWN: BD/ALM
SCALE: 1:200	SHEET: 1A OF 11
UBD REF: 5YD XX XX	

IMPORTANT NOTE:
REFER TO FACADE DETAIL
REF. NO. S-TYP-PENI-03

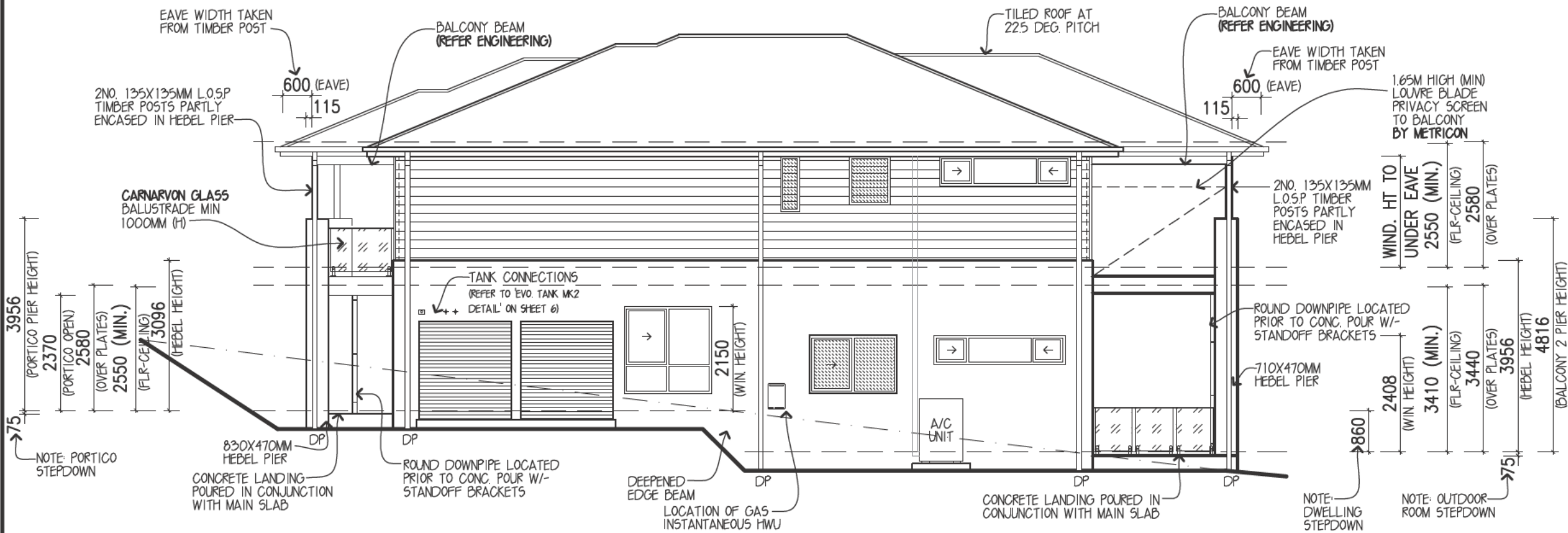
PROVIDE JAMES HARDIES SCYON
LINEA WEATHERBOARD CLADDING
TO FIRST FLOOR ELEVATIONS
(UNLESS NOTED OTHERWISE)
REFER TO DETAIL: S-TYP-CLAD-02

DENOTES WINDOWS/DOORS
WITH DECOR SATIN GLAZING

NOTE: ENSURE A MIN.
BALUSTRADE HEIGHT OF
1000MM ABOVE FINISHED FLOOR
LEVEL TO COMPLY WITH BCA 3.9.2



ELEVATION A. (NORTH/EAST)



ELEVATION B. (NORTH/WEST)

SYMBOL LEGEND

M/B	RECESSED ELECTRICITY METER BOX	AJ	ARTICULATION JOINT
RWH	DOWNPIPE W/- RAINWATER HEAD		WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS
DP	DOWNPIPE		
	ROOF VENTILATOR		

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2021/0679

DESIGN: **ALTO 33**
FACADE: **PENINSULA** CEILING 25, R
GARAGE: **SINGLE** LOCATION: **F**

ELEVATIONS

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BY METRICON

Build. E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153
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OWNER: [REDACTED]

LOT 40, NO.136 NARRABEEN PARK PARADE
MONA VALE

JOB No: 704711	DATE: 25.09.2019
FC DATE: 25.05.2020	MST VER: 04.12.2018
SCALE: 1:100 ON A3 SHEET	REVISION: G
DRAWN: ALM	CHECK: DUM
SHEET: 4 of 11	