

BASIX COMMITMENTS

READ DRAWINGS IN CONJUNCTION WITH THE ATTACHED BASIX CERTIFICATE #A329994 SUBMITTED WITH THE DEVELOPMENT APPLICATION:

- THE OUTDOOR SWIMMING POOL MUST NOT HAVE A CAPACITY GREATER THAN 36 KILOLITRES. INSTALL A POOL PUMP & HEATING SYSTEM FOR THE SWIMMING POOL TO BE SOLAR ONLY.

- THE APPLICANT MUST INSTALL A RAINWATER TANK OF AT LEAST 1675 LITRES ON THE SITE. THE RAINWATER TANK TO COLLECT RAINWATER RUNOFF FROM AT LEAST 90 SQUARE METRES OF ROOF AREA. CONNECT THE RAINWATER TANK TO A TAP LOCATED WITHIN 10 METRES OF THE EDGE OF THE POOL.

- PROVIDE A HEATING/COOLING SYSTEM TO ACHIEVE THE REQUIRED STAR ENERGY RATING.

- A NEW 'GAS INSTANTANEOUS 'HOT WATER SYSTEM TO BE INSTALLED [POSITION T.B.C]

- A MINIMUM OF 40% OF NEW OR ALTERED LIGHT FIXTURES ARE TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS.

- ALL NEW OR ALTERED SHOWERHEAD, TOILET & TAP FIXTURES TO ACHIEVE THE REQUIRED STAR WATER RATING.

- ADDITIONAL NEW FLOOR, WALL & ROOF CEILING INSULATION TO HAVE THE MINIMUM R-VALUES AS SPECIFIED IN THE CERTIFICATE

- ALL NEW WINDOWS & SKYLIGHTS TO HAVE U-VALUE AND A SOLAR HEAT GAIN COEFFICIENT NO GREATER THAN THAT LISTED IN THE BASIX TABLE REQUIREMENTS.

- THE NEW ROOF COLOUR TO BE OF MEDIUM SOLAR ABSORPTANCE.

LEGEND

- EXISTING HOUSE WALLS:
HOUSE WALLS AS IS AND PER SURVEY
- PROPOSED NEW BLD WALLS
EXTERNAL WALLS BRICK AND/OR WEATHERBOARD WALLS
INTERNAL FRAMED LIGHT WEIGHT PLASTERBOARD WALLS
- PROPOSED ADDITION:
HOUSE EXTENSION EXTRA GFA
- DEMOLITION
- ADJOINING NEIGHBOURING PROPERTIES
AS PER SITE SURVEY PLAN
- CONCRETE
REINFORCED CONCRETE TO ENGINEER DETAILS
- TIMBER FLOOR:
SELECTED HARDWOOD FLOOR
- WET AREA TILING
SELECTED FLOOR TILES TO FALLS & SET-OUT TO DETAIL
- ROOFING
COLOURBOND METAL ROOFING TO FALLS

SYMBOLS

- ⊕
N°
Type

WINDOW LABEL
- ⊕
EX
Type

EXISTING WINDOW
- ⊕
N°
Type

DOOR LABEL
- DC/PLEP WALL
HEIGHT LINE
- ↖
N°
(Shape)

PLAN/ SECTION REFERENCE
- ↗
N°
(Shape)

PLAN/ ELEVATION REFERENCE
- ⊕
N°
(Level)

RL (LEVELS)
- ↕

FLOOR LEVELS

DRAWING LIST

ARCHITECTURAL DRAWING SET - DA

DRAWING NO.	ISSUE NO.	ISSUE	DRAWING NAME	SCALE (PAGE SIZE)	DATE ISSUED
DA.01	MOD	E	Cover Sheet + Site Plan	1/200	20/07/2021
DA.02	MOD	E	Roof Plan	1/100	20/07/2021
DA.03	MOD	E	Existing Lower Ground Floor Plan	1/100	20/07/2021
DA.04	MOD	E	Existing Ground Floor Plan	1/100	20/07/2021
DA.05	MOD	E	Demolition Lower Ground Floor Plan	1/100	20/07/2021
DA.06	MOD	E	Demolition Ground Floor Plan	1/100	20/07/2021
DA.07	MOD	E	Lower Ground Floor Plan	1/100	20/07/2021
DA.08	MOD	E	Ground Floor Plan	1/100	20/07/2021
DA.09	MOD	E	First Floor Plan	1/100	20/07/2021
DA.10	MOD	E	Elevations North/South	1/100	20/07/2021
DA.11	MOD	E	Elevations East/West	1/100	20/07/2021
DA.12	MOD	E	Sections	1/100	20/07/2021
DA.13	MOD	E	Perspectives	-	20/07/2021

PROJECT TEAM

- CLIENT

GEORGE & TATIANA OPADCHY
7 CLIFFORD AVENUE, FAIRLIGHT NSW 2093
EMAIL: GEORGE@THECONSTRUCTIONSITE.COM.AU
- ARCHITECT

DU PLESSIS + DU PLESSIS ARCHITECTS
20 MULGOWRIE CRESCENT, BALGOWLAH HEIGHTS NSW 2093
PHONE: 0403944576
EMAIL: E@DROOM.COM.AU
CONTACT: EUGENE DU PLESSIS
- SURVEYOR

TRUE NORTH SURVEYS PTY LTD
16/9 NARABANG WAY BELROSE NSW 2085
PHONE: 94500868
EMAIL: ADMIN@TRUENORTHSURVEYS.COM.AU
CONTACT: TOM GILBERT
- ENGINEER

GZ CONSULTING ENGINEERS
133 QUEENSLIFF ROAD, QUEENSLIFF NSW 2096
PHONE: 0403071853
EMAIL: GREG@GZENGINEERS.COM.AU
CONTACT: GREG ZACCONE
- ARBORIST

PLATEAU TREES
UNIT 2A WINBOURNE ESTATE
9-13 WINBOURNE RD, BROOKVALE NSW 2100
PHONE: 99395350
EMAIL: INFO@PLATEAUTREES.COM.AU
CONTACT: NICK NELSON
- PLANNER

NOLAN PLANNING
75 OLIVER STREET, FRESHWATER NSW 2096
PHONE: 0403524583
EMAIL: NATALIE@NOLANPLANNING.COM.AU
CONTACT: NATALIE NOLAN
- SHADOW DIAGRAM & ENERGY CONSULTANT

DENEED DESIGN
PO BOX 539, MONA VALE, NSW 1660
PHONE: 99977480
EMAIL: INFO@DENEEDDESIGN.COM
CONTACT: CAMERON FIAZ
- COUNCIL

NORTHERN BEACHES COUNCIL
MANLY CIVIC CENTRE
1 BELGRAVE STREET
MANLY NSW 2095

GENERAL

+ DA NOTICE OF DETERMINATION & DEVELOPMENT CONSENT:
THE DEVELOPMENT TO BE SUBSTANTIALLY IN ACCORDANCE WITH THE APPROVED CONSENT PLANS AND SUPPORTING INFORMATION SUBMITTED WITH THE DA OR CDC.
THIS SET OF DRAWINGS HAVE TO BE READ IN CONJUNCTION WITH THE ISSUED CONSENT AND 'STAMPED APPROVED' PLANS. PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORK ON SITE THE NECESSARY CDC OR CC APPROVALS & NOTICE OF COMMENCEMENT PAPERS MUST BE SUBMITTED/OBTAINED FROM THE CERTIFYING AUTHORITY IN ACCORDANCE WITH THE ACT.

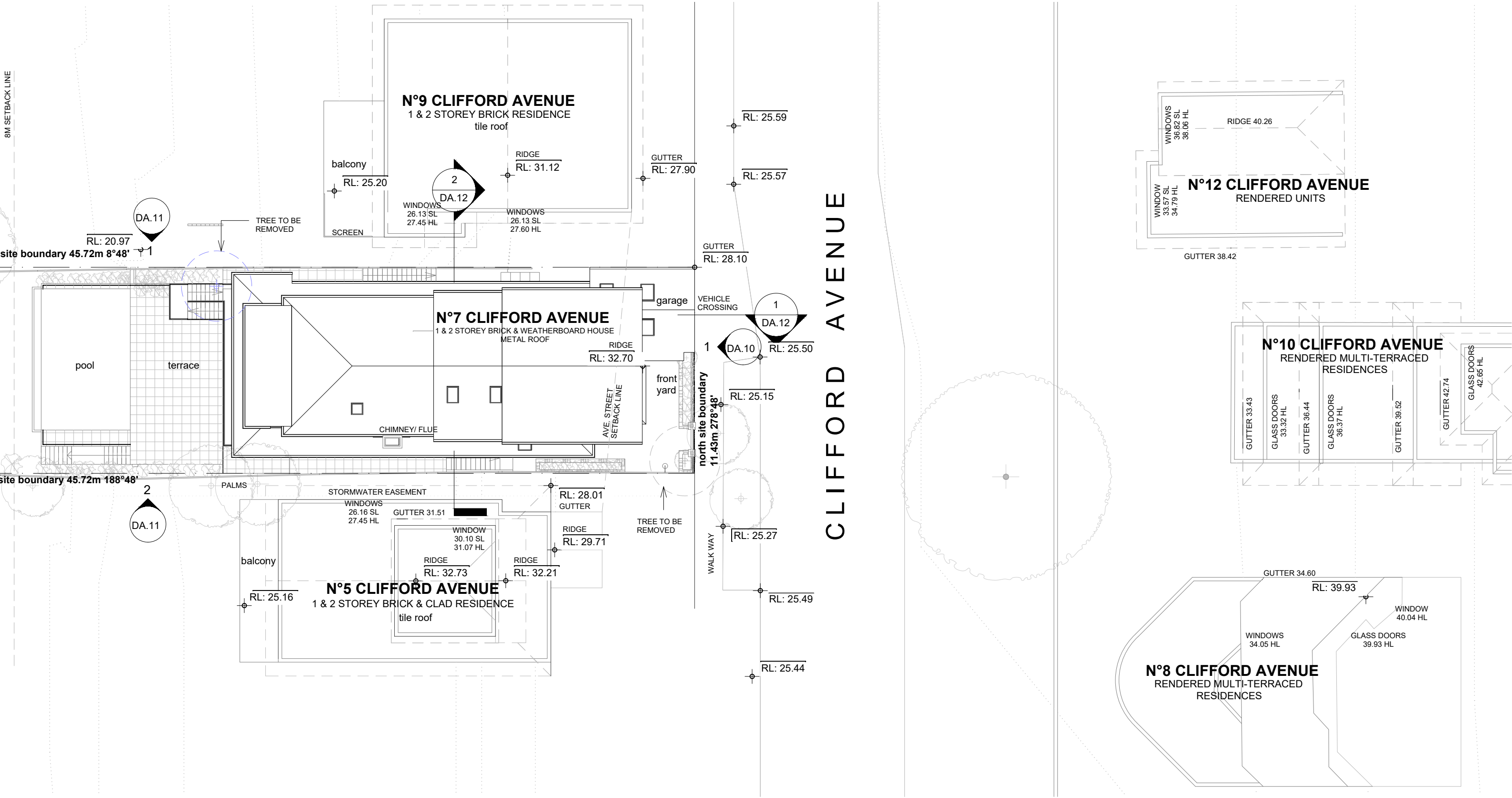
+ DRAWING INFORMATION:
THE BUILDING IS PRINCIPALLY THAT WHICH IS DEPICTED IN THE ARCHITECTURAL PLANS, DETAILS & SPECIFICATIONS PREPARED BY DU PLESSIS + DU PLESSIS ARCHITECTS TOGETHER WITH SUPPORTING CONSULTANT DOCUMENTATION.

+ SITE SURVEY INFORMATION:
THE SITE INFORMATION HEREIN HAS BEEN TRANSPPOSED FROM THE TRUE NORTH SURVEY PLAN #8732DU. REFER TO THIS SURVEY DRAWING TO CONFIRM BOUNDARIES, EXISTING FEATURES, LEVELS & DATUM.
ALL LEVELS AND BOUNDARY SETBACKS TO BE CONFIRMED ON SITE. NOTE SEMI COMMON BOLD WALL TO BE DETERMINED ACCURATELY.

+ COORDINATION:
REFER TO AND COORDINATE INFORMATION CONTAINED IN THE ARCHITECTURAL DRAWINGS AND THE DOCUMENTATION OF OTHER CONSULTANTS. REPORT DISCREPANCIES BETWEEN THE DOCUMENTS AND/OR WITH CONDITIONS ON SITE TO THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS

+ DETAIL DRAWINGS:
UNLESS NOTED OTHERWISE REFER TO DETAIL DRAWINGS FOR SET-OUT INFORMATION. DETAIL DRAWINGS AT LARGER SCALES TAKE PRECEDENCE OVER GENERAL ARRANGEMENT DRAWINGS AT SMALLER SCALES. IF IN DOUBT NOTIFY ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.

+ EXECUTION OF THE WORKS:
EXECUTE THE WORKS IN COMPLIANCE WITH THE CURRENT EDITION OF THE NCC NATIONAL CONSTRUCTION CODE. CURRENT EDITIONS OF RELEVANT AUSTRALIAN AND OTHER PUBLISHED STANDARDS (AS AMENDED) AND THE REQUIREMENTS OF OTHER AUTHORITIES RELEVANT TO THE EXECUTION OF THE WORKS.



1 Site Plan
1 : 200

ABBREVIATIONS

- AC AIR CONDITIONED

ADH AUSTRALIAN HEIGHT DATUM

ADH ADHESIVE

AG AGGREGATE

AL ALUMINIUM

AW AWNING

B BALLUSTRADE

BK BRICK WALL

BIT BITUMEN

BHD BULKHEAD

BOW BOTTOM OF WALL

BM BENCHMARK

BW BLOCKWORK WALL

C CONCRETE

CANT CANTILEVER

CJ CONSTRUCTION JOINT

CL CENTRE LINE

CW CONCRETE WALL

CLMN COLUMN

CPT CARPET

DM DIMENSION

DP DOWNPIPE

DR DRAIN

OH OVER HEAD

ENG ENGINEER

EWS EXTERNAL WALL SYSTEM

EX EXISTING

EXH EXHAUST

F FALL TO SCREED

FG FIXED GLAZING
- FIG FIGURE

FFL FINISHED FLOOR LEVEL

FE FIRE EXTINGUISHER

FR FIRE RESISTANT

FW FLOOR WASTE

G GLASS

GALV GALVANIZED

GP GAS POINT

H HYDRANT

HWS HOT WATER SYSTEM

HYD HYDRAULIC

LS LANDSCAPING

LV LOUVRE

MCH MECHANICAL

MDF MEDIUM DENSITY FIBRO BOARD

MOD MODIFICATION

MR METAL ROOFING

MS MILD STEEL

MV MECHANICAL VENTILATION

NGL NATURAL GROUND LEVEL

NTS NOT TO SCALE

OFC OFF FORM CONCRETE

OG OBSCURE GLAZING

OH OVER HEAD

P SELECTED PAVING

PB PLASTERBOARD

PL PLANTER

PP POWER POLE

PS PRIVACY SCREEN
- PW PLASTERBOARD WALL

QTY QUANTITY

REF REFERENCE

RW RENDERED & PAINTED WALL

RWH RAIN WATER HEAD

RWP RAIN WATER PIPE

RL REDUCED LEVEL

RC REINFORCED CONCRETE

SB MAIN ELECTRICAL SWITCH BOARD

SC STEEL COLUMN

SHR SHOWER

SLD SLIDING DOOR

SPEC SPECIFICATION

SS STAINLESS STEEL

SSL STRUCTURAL SLAB LEVEL

STD STANDARD

SWP STORM WATER PIT

T TILE

TD TIMBER DECKING

TOW TOP OF WALL

TYP TYPICAL

UB UNIVERSAL BEAM

US UNDERSIDE

V VENTILATION

W WINDOW

WC WATER CLOSET

WM WATER MAIN

WT WASH TROUGH

WPM WATER PROOFING MEMBRANE

Residential Alterations & Additions CLASS 1a Building
7 CLIFFORD AVENUE, FAIRLIGHT
LOT B; SEC 1 - D.P. 315261
EXISTING SITE AREA 522.5m²

LIST OF S4.55 MODIFICATION DESIGN CHANGES

EXTERNAL:

1. First floor study relocated/enlarged
2. Ground floor entry porch canopy size reduced and pitch amended
3. Window/wall opening changes including skylight amendments

INTERNAL:

4. Relocated lift and associated stair changes
5. Room plan layout changes including kitchen, bathrooms and other
6. WC added under outdoor stair

OTHER

7. Outdoor fireplace deleted

NOTES

- SITE SURVEY INFORMATION:

THE SITE INFORMATION HEREIN HAS BEEN TRANSPPOSED FROM THE C.M.S. SURVEYORS Pty Ltd SURVEY PLAN No.673JA. REFER TO THIS DRAWING TO CONFIRM BOUNDARIES, EXISTING FEATURES, LEVELS & DATUM. EXISTING HOUSE WALL MEASUREMENTS (INTERNAL) BY V-MARK SURVEYS AND ACCURACY T.B.C. ON SITE.
- COORDINATION:

REFER TO AND COORDINATE INFORMATION CONTAINED IN THE ARCHITECTURAL DRAWINGS AND THE DOCUMENTATION OF OTHER CONSULTANTS WITH THE SPECIFICATION FOR BUILDINGS WORKS. REPORT DISCREPANCIES BETWEEN THE DOCUMENTS AND/OR WITH CONDITIONS ON SITE TO THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.
- DETAIL DRAWINGS:

UNLESS NOTED OTHERWISE REFER TO DETAIL DRAWINGS FOR SET-OUT INFORMATION. DETAIL DRAWINGS AT LARGER SCALES TAKE PRECEDENCE OVER GENERAL ARRANGEMENT DRAWINGS AT SMALLER SCALES. IF IN DOUBT NOTIFY ARCHITECTS FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.
- EXECUTION OF THE WORKS:

EXECUTE THE WORKS IN COMPLIANCE WITH THE CURRENT EDITION OF THE BUILDING CODE OF AUSTRALIA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN AND OTHER PUBLISHED STANDARDS (AS AMENDED) AND THE REQUIREMENTS OF OTHER AUTHORITIES RELEVANT TO THE EXECUTION OF THE WORKS.

issue	date	description
A	02/07/2018	Preliminary DA Issue for Review
B	19/10/2018	DA Issue for Review
C	05/11/2018	DEVELOPMENT APPLICATION
D	30/08/2019	Amended DA
E	20/07/2021	S4.55 MOD APPLICATION

CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.
• FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
• ALL DIMENSIONS IN MILLIMETRES.
• PLEASE NOTIFY DU PLESSIS + DU PLESSIS ARCHITECTS IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND.
• COPYRIGHT APPLIES TO THIS DOCUMENT.
• THE DESIGN IS THE PROPRIETY OF DU PLESSIS + DU PLESSIS ARCHITECTS. REPRODUCTION OF ANY KIND IS NOT PERMITTED WITHOUT CONSENT.
• ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AS, BCA AND COUNCIL BUILDING REQUIREMENTS.

DU PLESSIS
DU PLESSIS ARCHITECTS
0403944576 | 0433408368
www.droom.com.au

NSW REGISTERED ARCHITECT #7435
NOMINATED ARCHITECT: EUGENE DU PLESSIS

PROJECT TITLE:
OPADCHY
House Alterations & Additions

CLIENT NAME:
GEORGE + TATIANA OPADCHY

ADDRESS:
7 Clifford Avenue
Fairlight NSW 2094

DRAWING TITLE:
Cover Sheet + Site Plan

DRAWN:
AH

CHECKED:
EDUP

SCALE:
1:200@A1

DRAWING NO:

DA.01

ISSUE:
E

DATE:
20/07/2021

S4.55 MOD

BASIX COMMITMENTS

READ DRAWINGS IN CONJUNCTION WITH THE ATTACHED BASIX CERTIFICATE #A329994 SUBMITTED WITH THE DEVELOPMENT APPLICATION.

- THE OUTDOOR SWIMMING POOL MUST NOT HAVE A CAPACITY GREATER THAN 36 KILOLITRES. INSTALL A POOL PUMP & HEATING SYSTEM FOR THE SWIMMING POOL TO BE SOLAR ONLY.

- THE APPLICANT MUST INSTALL A RAINWATER TANK OF AT LEAST 1575 LITRES ON THE SITE. THE RAINWATER TANK TO COLLECT RAINWATER RUNOFF FROM AT LEAST 90 SQUARE METRES OF ROOF AREA. CONNECT THE RAINWATER TANK TO A TAP LOCATED WITHIN 10 METRES OF THE EDGE OF THE POOL.

- PROVIDE A HEATING/COOLING SYSTEM TO ACHIEVE THE REQUIRED STAR ENERGY RATING.

- A NEW 'GAS INSTANTANEOUS' HOT WATER SYSTEM TO BE INSTALLED [POSITION T.B.C.]

- A MINIMUM OF 40% OF NEW OR ALTERED LIGHT FIXTURES ARE TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS.

- ALL NEW or ALTERED SHOWERHEAD, TOILET & TAP FIXTURES TO ACHIEVE THE REQUIRED STAR WATER RATING.

- ADDITIONAL NEW FLOOR, WALL & ROOF CEILING INSULATION TO HAVE THE MINIMUM R-VALUES AS SPECIFIED IN THE CERTIFICATE

- ALL NEW WINDOWS & SKYLIGHTS TO HAVE U-VALUE AND A SOLAR HEAT GAIN COEFFICIENT NO GREATER THAN THAT LISTED IN THE BASIX TABLE REQUIREMENTS.

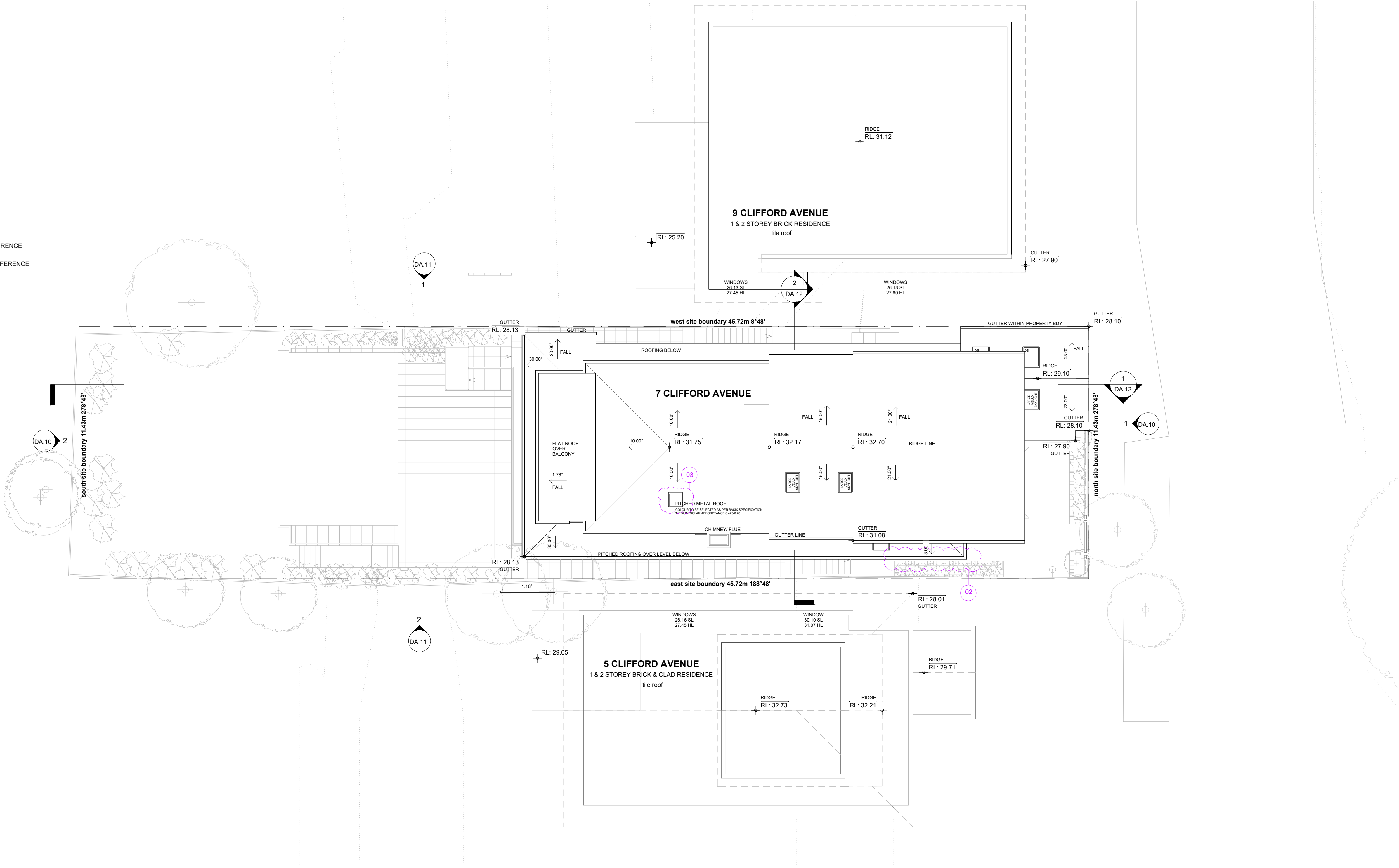
- THE NEW ROOF COLOUR TO BE OF MEDIUM SOLAR ABSORPTANCE.

LEGEND

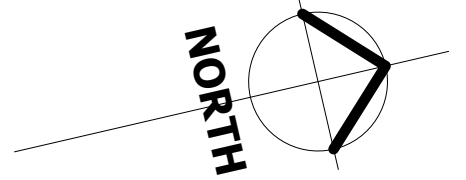
- EXISTING HOUSE WALLS:**
HOUSE WALLS AS IS AND PER SURVEY
- PROPOSED NEW BLD WALLS**
EXTERNAL WALLS BRICK AND/OR WEATHERBOARD WALLS
INTERNAL FRAMED LIGHT WEIGHT PLASTERBOARD WALLS
- PROPOSED ADDITION:**
HOUSE EXTENSION EXTRA GFA
- DEMOLITION:**
EXISTING SEMI WALLS & FIXTURES TO BE DEMOLISHED
- ADJOINING NEIGHBOURING PROPERTIES**
AS PER SITE SURVEY PLAN
- CONCRETE**
REINFORCED CONCRETE TO ENGINEER DETAILS
- TIMBER FLOOR:**
SELECTED HARDWOOD FLOOR
- WET AREA TILING**
SELECTED FLOOR TILES TO FALLS & SET-OUT TO DETAIL
- ROOFING**
COLOURBOND METAL ROOFING TO FALLS

SYMBOLS

- WINDOW LABEL**
N^{Type}
EX^{Type}
- EXISTING WINDOW**
N^{Type}
EX^{Type}
- DOOR LABEL**
N^{Type}
EX^{Type}
- DCP/LEP WALL HEIGHT LINE**
N^{Type}
EX^{Type}
- PLAN/ SECTION REFERENCE**
N^{Type}
EX^{Type}
- PLAN/ ELEVATION REFERENCE**
N^{Type}
EX^{Type}
- RL (LEVELS)**
N^{Type}
EX^{Type}
- FLOOR LEVELS**
N^{Type}
EX^{Type}



1 Roof Plan
1 : 100



LIST OF S4.55 MODIFICATION DESIGN CHANGES

EXTERNAL:

1. First floor study relocated/enlarged
2. Ground floor entry porch canopy size reduced and pitch amended
3. Window/wall opening changes including skylight amendments

INTERNAL:

4. Relocated lift and associated stair changes
5. Room plan layout changes including kitchen, bathrooms and other
6. WC added under outdoor stair

OTHER

7. Outdoor fireplace deleted

NOTES

• SITE SURVEY INFORMATION:
THE SITE INFORMATION HEREIN HAS BEEN TRANSPOSED FROM THE C.M.S. SURVEYORS PLYLE SURVEY PLAN No.673A. REFER TO THIS DRAWING TO CONFIRM BOUNDARIES, EXISTING FEATURES, LEVELS & DATUM. EXISTING HOUSE WALL MEASUREMENTS (INTERNAL) BY V-MARK SURVEYS AND ACCURACY T.B.C. ON SITE.

• COORDINATION:
REFER TO AND COORDINATE INFORMATION CONTAINED IN THE ARCHITECTURAL DRAWINGS AND THE DOCUMENTATION OF OTHER CONSULTANTS WITH THE SPECIFICATION FOR BUILDINGS WORKS. REPORT DISCREPANCIES BETWEEN THE DOCUMENTS AND/OR WITH CONDITIONS ON SITE TO THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.

• DETAIL DRAWINGS:
UNLESS NOTED OTHERWISE REFER TO DETAIL DRAWINGS FOR SET-OUT INFORMATION. DETAIL DRAWINGS AT LARGER SCALES TAKE PRECEDENCE OVER GENERAL ARRANGEMENT DRAWINGS AT SMALLER SCALES. IF IN DOUBT NOTIFY ARCHITECTS FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.

• EXECUTION OF THE WORKS:
EXECUTE THE WORKS IN COMPLIANCE WITH THE CURRENT EDITION OF THE BUILDING CODE OF AUSTRALIA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN AND OTHER PUBLISHED STANDARDS (AS AMENDED) AND THE REQUIREMENTS OF OTHER AUTHORITIES RELEVANT TO THE EXECUTION OF THE WORKS.

issue	date	description
A	02/07/2018	Preliminary DA Issue for Review
B	19/10/2018	DA Issue for Review
C	05/11/2018	DEVELOPMENT APPLICATION
D	30/08/2019	Amended DA
E	20/07/2021	S4.55 MOD APPLICATION

CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.
FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
ALL DIMENSIONS IN MILLIMETRES.
PLEASE NOTIFY DU PLESSIS + DU PLESSIS ARCHITECTS IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND.
COPYRIGHT APPLIES TO THIS DOCUMENT.
THE DESIGN IS THE PROPERTY OF DU PLESSIS + DU PLESSIS ARCHITECTS. REPRODUCTION OF ANY KIND IS NOT PERMITTED WITHOUT CONSENT.
ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AS, BCA AND COUNCIL BUILDING REQUIREMENTS.

DU PLESSIS
DU PLESSIS ARCHITECTS
0403944576 | 0433408368
www.droom.com.au

NSW REGISTERED ARCHITECT #7435
NOMINATED ARCHITECT: EUGENE DU PLESSIS

PROJECT TITLE:
OPADCHY
House Alterations & Additions

CLIENT NAME:
GEORGE + TATIANA OPADCHY

ADDRESS:
7 Clifford Avenue
Fairlight NSW 2094

DRAWING TITLE:
Roof Plan

DRAWN:
AH

CHECKED:
EDUP

SCALE:
1:100@A1

DRAWING NO:

DA.02

ISSUE:
E

DATE:
20/07/2021

S4.55 MOD

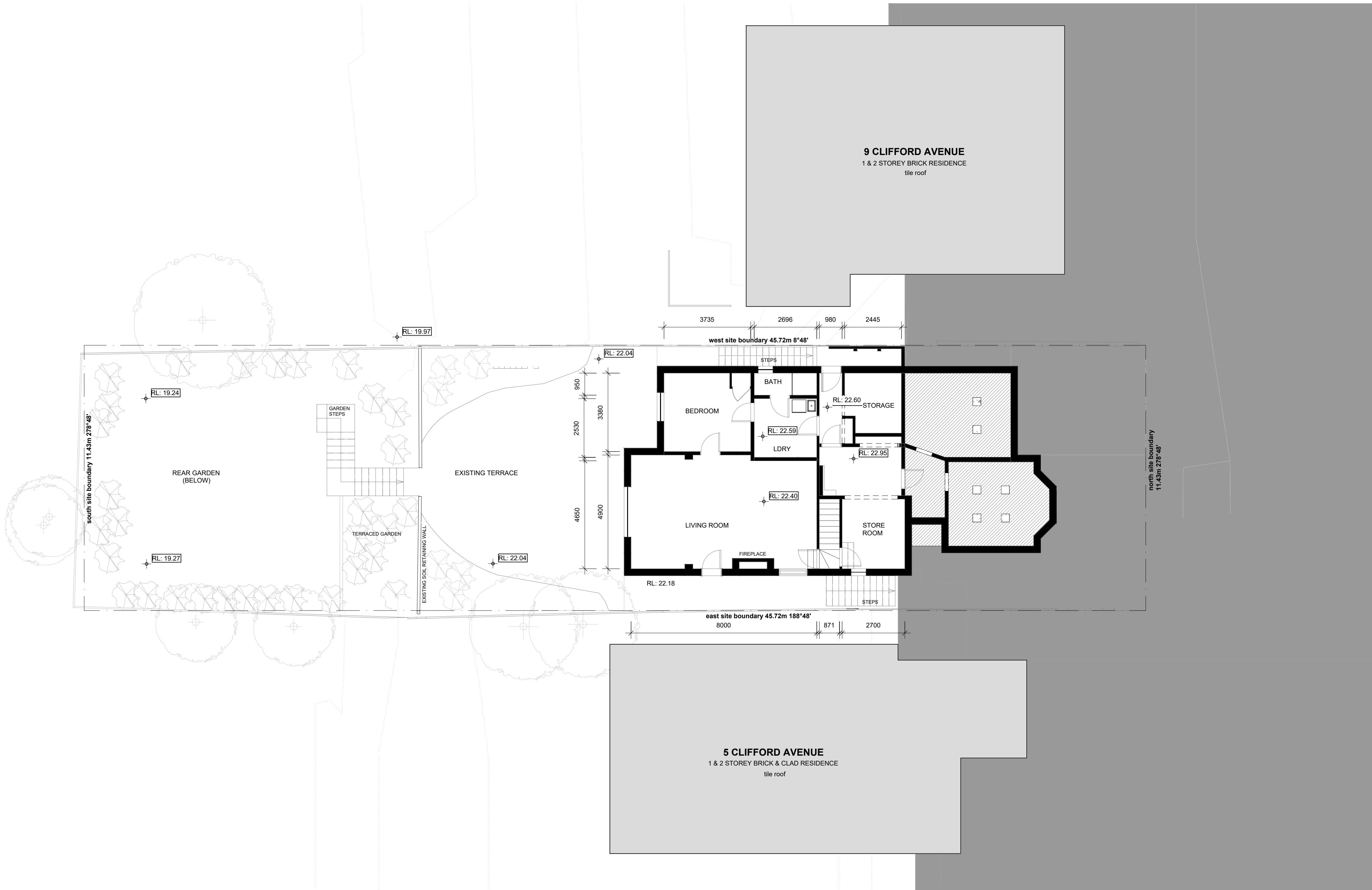
LEGEND

- EXISTING HOUSE WALLS:**
HOUSE WALLS AS IS AND PER SURVEY
- PROPOSED NEW BLD WALLS**
EXTERNAL WALLS BRICK AND/OR WEATHERBOARD WALLS
INTERNAL FRAMED LIGHT WEIGHT PLASTERBOARD WALLS
- PROPOSED ADDITION:**
HOUSE EXTENSION EXTRA GFA
- DEMOLITION:**
EXISTING SEMI WALLS & FIXTURES TO BE DEMOLISHED
- ADJOINING NEIGHBOURING PROPERTIES**
AS PER SITE SURVEY PLAN
- CONCRETE**
REINFORCED CONCRETE TO ENGINEER DETAILS
- TIMBER FLOOR:**
SELECTED HARDWOOD FLOOR
- WET AREA TILING**
SELECTED FLOOR TILES TO FALLS & SET-OUT TO DETAIL
- ROOFING**
COLOURBOND METAL ROOFING TO FALLS

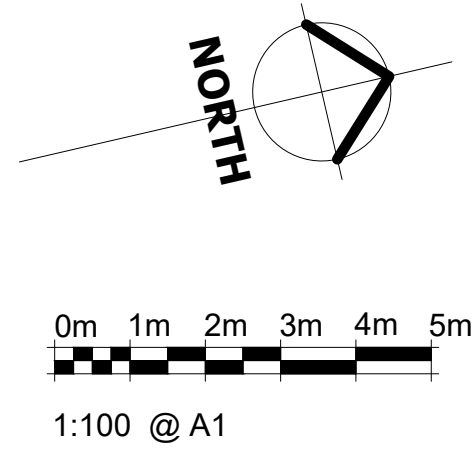
SYMBOLS

- WINDOW LABEL**
N^o Type
- EXISTING WINDOW**
EX Type
- DOOR LABEL**
N^o Type
- DCPILE WALL HEIGHT LINE**
- PLAN/ SECTION REFERENCE**
N^o Sheet
- PLAN/ ELEVATION REFERENCE**
Sheet N^o
- RL (LEVELS)**
RL
- FLOOR LEVELS**
FLOOR LEVELS

20 LAUDERDALE AVE
2 STOREY RESIDENCE
tile roof



1 Existing Lower Ground Floor Plan
1 : 100



NOTES

- SITE SURVEY INFORMATION:**
THE SITE INFORMATION HEREIN HAS BEEN TRANSPOSED FROM THE C.M.S. SURVEYORS Pty Ltd SURVEY PLAN No.6373A. REFER TO THIS DRAWING TO CONFIRM BOUNDARIES, EXISTING FEATURES, LEVELS & DATUM. EXISTING HOUSE WALL MEASUREMENTS (INTERNAL) BY V-MARK SURVEYS AND ACCURACY T.B.C. ON SITE.
- COORDINATION:**
REFER TO AND COORDINATE INFORMATION CONTAINED IN THE ARCHITECTURAL DRAWINGS AND THE DOCUMENTATION OF OTHER CONSULTANTS WITH THE SPECIFICATION FOR BUILDING WORKS. REPORT DISCREPANCIES BETWEEN THE DOCUMENTS AND/OR WITH CONDITIONS ON SITE TO THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.
- DETAIL DRAWINGS:**
UNLESS NOTED OTHERWISE REFER TO DETAIL DRAWINGS FOR SET-OUT INFORMATION. DETAIL DRAWINGS AT LARGER SCALES TAKE PRECEDENCE OVER GENERAL ARRANGEMENT DRAWINGS AT SMALLER SCALES. IF IN DOUBT NOTIFY ARCHITECTS FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.
- EXECUTION OF THE WORKS:**
EXECUTE THE WORKS IN COMPLIANCE WITH THE CURRENT EDITION OF THE BUILDING CODE OF AUSTRALIA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN AND OTHER PUBLISHED STANDARDS (AS AMENDED) AND THE REQUIREMENTS OF OTHER AUTHORITIES RELEVANT TO THE EXECUTION OF THE WORKS.

issue	date	description
A	02/07/2018	Preliminary DA Issue for Review
B	19/10/2018	DA Issue for Review
C	05/11/2018	DEVELOPMENT APPLICATION
D	30/08/2019	Amended DA
E	20/07/2021	S4.55 MOD APPLICATION

- CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.
- FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
- ALL DIMENSIONS IN MILLIMETRES.
- PLEASE NOTIFY DU PLESSIS + DU PLESSIS ARCHITECTS IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND.
- COPYRIGHT APPLIES TO THIS DOCUMENT.
- THE DESIGN IS THE PROPERTY OF DU PLESSIS + DU PLESSIS ARCHITECTS - REPRODUCTION OF ANY KIND IS NOT PERMITTED WITHOUT CONSENT.
- ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AS, BCA AND COUNCIL BUILDING REQUIREMENTS.

DU PLESSIS
DU PLESSIS ARCHITECTS
0403944576 | 0433408368
www.droom.com.au

NSW REGISTERED ARCHITECT #7435
NOMINATED ARCHITECT: EUGENE DU PLESSIS

PROJECT TITLE:
OPADCHY
House Alterations & Additions

CLIENT NAME:
GEORGE + TATIANA OPADCHY

ADDRESS:
7 Clifford Avenue
Fairlight NSW 2094

DRAWING TITLE:
Existing Lower Ground Floor Plan

DRAWN:
AH

CHECKED:
EDUP

SCALE:
1:100@A1

DRAWING NO:

DA.03

ISSUE:
E

DATE:
20/07/2021

S4.55 MOD

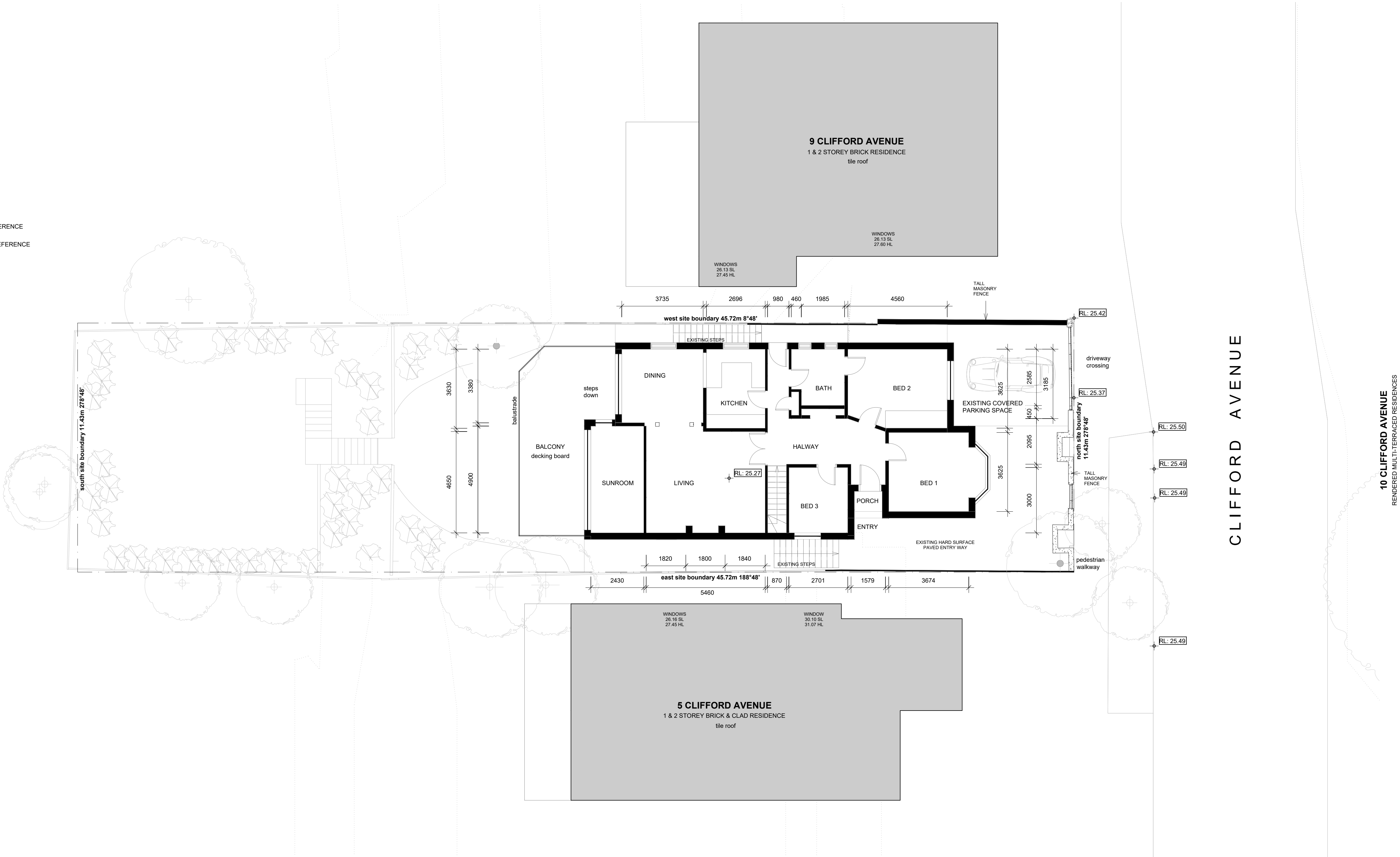
LEGEND

- EXISTING HOUSE WALLS:**
HOUSE WALLS AS IS AND PER SURVEY
- PROPOSED NEW BLD WALLS**
EXTERNAL WALLS BRICK AND/OR WEATHERBOARD WALLS
INTERNAL FRAMED LIGHT WEIGHT PLASTERBOARD WALLS
- PROPOSED ADDITION:**
HOUSE EXTENSION EXTRA GFA
- DEMOLITION:**
EXISITING SEMI WALLS & FIXTURES TO BE DEMOLISHED
- ADJOINING NEIGHBOURING PROPERTIES**
AS PER SITE SURVEY PLAN
- CONCRETE**
REINFORCED CONCRETE TO ENGINEER DETAILS
- TIMBER FLOOR:**
SELECTED HARDWOOD FLOOR
- WET AREA TILING**
SELECTED FLOOR TILES TO FALLS & SET-OUT TO DETAIL
- ROOFING**
COLOURBOND METAL ROOFING TO FALLS

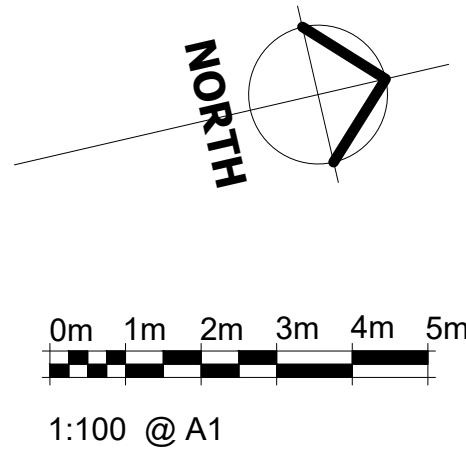
SYMBOLS

- WINDOW LABEL**
N^o Type
- EXISTING WINDOW**
EX Type
- DOOR LABEL**
N^o Type
- PLAN/ SECTION REFERENCE**
N^o Sheet
- PLAN/ ELEVATION REFERENCE**
Sheet N^o
- RL (LEVELS)**
RL
- FLOOR LEVELS**
FLOOR LEVELS
- DCP/LEP WALL HEIGHT LINE**
DCP/LEP WALL HEIGHT LINE

20 LAUDERDALE AVE
2 STOREY RESIDENCE
tile roof



1 Existing Ground Floor Plan
1 : 100



NOTES

- * SITE SURVEY INFORMATION:**
THE SITE INFORMATION HEREIN HAS BEEN TRANSPOSED FROM THE C.M.S. SURVEYORS PLY LE SURVEY PLAN No.673A. REFER TO THIS DRAWING TO CONFIRM BOUNDARIES, EXISTING FEATURES, LEVELS & DATUM. EXISTING HOUSE WALL MEASUREMENTS (INTERNAL) BY V-MARK SURVEYS AND ACCURACY T.D.C. ON SITE.
- * COORDINATION:**
REFER TO AND COORDINATE INFORMATION CONTAINED IN THE ARCHITECTURAL DRAWINGS AND THE DOCUMENTATION OF OTHER CONSULTANTS WITH THE SPECIFICATION FOR BUILDING WORKS. REPORT DISCREPANCIES BETWEEN THE DOCUMENTS AND/OR WITH CONDITIONS ON SITE TO THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.
- * DETAIL DRAWINGS:**
UNLESS NOTED OTHERWISE REFER TO DETAIL DRAWINGS FOR SET-OUT INFORMATION. DETAIL DRAWINGS AT LARGER SCALES TAKE PRECEDENCE OVER GENERAL ARRANGEMENT DRAWINGS AT SMALLER SCALES. IF IN DOUBT NOTIFY ARCHITECTS FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.
- * EXECUTION OF THE WORKS:**
EXECUTE THE WORKS IN COMPLIANCE WITH THE CURRENT EDITION OF THE BUILDING CODE OF AUSTRALIA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN AND OTHER PUBLISHED STANDARDS (AS AMENDED) AND THE REQUIREMENTS OF OTHER AUTHORITIES RELEVANT TO THE EXECUTION OF THE WORKS.

issue	date	description
A	02/07/2018	Preliminary DA Issue for Review
B	19/10/2018	DA Issue for Review
C	05/11/2018	DEVELOPMENT APPLICATION
D	30/08/2019	Amended DA
E	20/07/2021	S4.55 MOD APPLICATION

- CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.
FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
ALL DIMENSIONS IN MILLIMETRES.
PLEASE NOTIFY DU PLESSIS + DU PLESSIS ARCHITECTS IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND.
COPYRIGHT APPLIES TO THIS DOCUMENT.
THE DESIGN IS THE PROPERTY OF DU PLESSIS + DU PLESSIS ARCHITECTS. REPRODUCTION OF ANY KIND IS NOT PERMITTED WITHOUT CONSENT.
ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AS, BCA AND COUNCIL BUILDING REQUIREMENTS.

DU PLESSIS
DU PLESSIS ARCHITECTS
0403944576 | 0433408368
www.droom.com.au

NSW REGISTERED ARCHITECT #7435
NOMINATED ARCHITECT: EUGENE DU PLESSIS

PROJECT TITLE:
OPADCHY
House Alterations & Additions

CLIENT NAME:
GEORGE + TATIANA OPADCHY

ADDRESS:
7 Clifford Avenue
Fairlight NSW 2094

DRAWING TITLE:
Existing Ground Floor Plan

DRAWN:
AH

CHECKED:
EDUP

SCALE:
1:100@A1

DRAWING NO:

DA.04

ISSUE:
E

DATE:
20/07/2021

S4.55 MOD

DEMOLITION NOTES

- Contractor to verify on site all existing house conditions prior to starting demolition.
- Remove all walls, windows, doors, frames, fixtures, fittings, finishes etc as indicated on demo drawings. Remove ceilings, lights, utilities, etc as required and as typical throughout demo zone.
- Plan all demolition work for minimal disruptions to existing house. Noise during demolition and construction shall be kept to a minimum. Demolition work during hours as stipulated by development conditions of consent.
- Protect all existing structures and adjacent areas affected by contractor's work. Refer to structural engineer drawings for demolition notes, temporary support, demolitions sequence, etc.
- Contractor shall at all times maintain the house in a weather tight condition.
- The owner will retain all salvage that is of value as designated by the owner or his representative. The owner will direct the contractor as to the location of storage area for various items. The contractor will be responsible for removing from the house all demolished materials
- Partitions and other measures to control dust & noise shall be provided by the contractor.
- All existing building services & utilities in operation shall be protected & maintained.
- Tree removal = Refer attached DA Arborist Report.

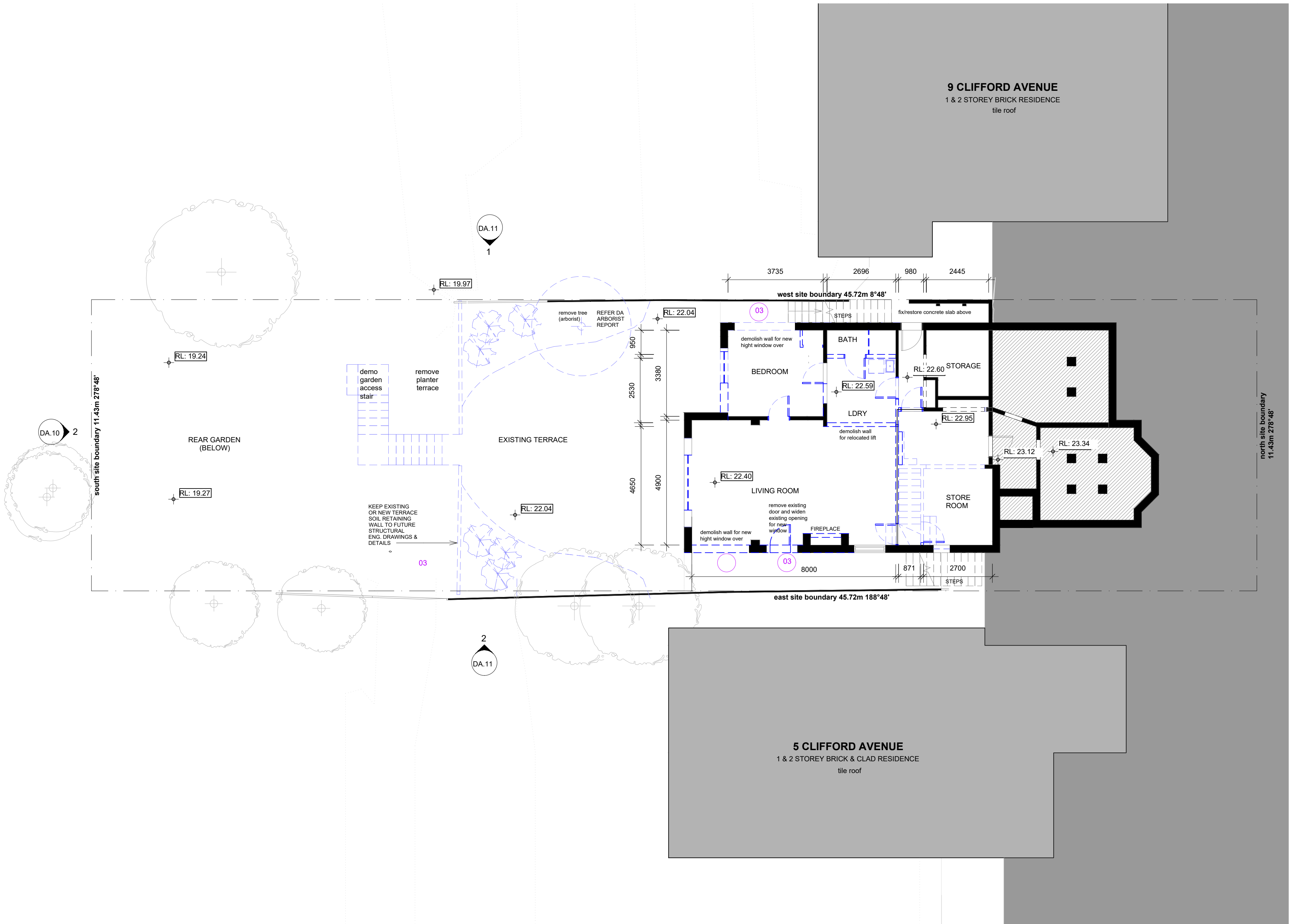
LEGEND

- EXISTING HOUSE WALLS: HOUSE WALLS AS IS AND PER SURVEY
- PROPOSED NEW BLD WALLS EXTERNAL WALLS BRICK AND/OR WEATHERBOARD WALLS INTERNAL FRAMED LIGHT WEIGHT PLASTERBOARD WALLS
- PROPOSED ADDITION: HOUSE EXTENSION EXTRA GFA
- DEMOLITION: EXISTING SEMI WALLS & FIXTURES TO BE DEMOLISHED
- ADJOINING NEIGHBOURING PROPERTIES AS PER SITE SURVEY PLAN
- CONCRETE
- REINFORCED CONCRETE TO ENGINEER DETAILS
- TIMBER FLOOR: SELECTED HARDWOOD FLOOR
- WET AREA TILING SELECTED FLOOR TILES TO FALLS & SET-OUT TO DETAIL
- ROOFING COLOURBOND METAL ROOFING TO FALLS

SYMBOLS

- WINDOW LABEL
- EXISTING WINDOW
- DOOR LABEL
- DCP/LEP WALL HEIGHT LINE
- PLAN/ SECTION REFERENCE
- PLAN/ ELEVATION REFERENCE
- RL (LEVELS)
- FLOOR LEVELS

20 LAUDERDALE AVE
2 STOREY RESIDENCE
tile roof



Demolition Lower Ground Floor Plan

1 : 100

NOTES

- SITE SURVEY INFORMATION: THE SITE INFORMATION HEREIN HAS BEEN TRANSPOSED FROM THE C.M.S. SURVEYORS Pty Ltd SURVEY PLAN No.673A. REFER TO THIS DRAWING TO CONFIRM BOUNDARIES, EXISTING FEATURES, LEVELS & DATUM. EXISTING HOUSE WALL MEASUREMENTS (INTERNAL) BY V-MARK SURVEYS AND ACCURACY T.B.C. ON SITE.
- COORDINATION: REFER TO AND COORDINATE INFORMATION CONTAINED IN THE ARCHITECTURAL DRAWINGS AND THE DOCUMENTATION OF OTHER CONSULTANTS WITH THE SPECIFIC WORKS TO BE COMPLETED. BUILDING WORKS: REPORT DISCREPANCIES BETWEEN THE DOCUMENTS AND/OR WITH CONDITIONS ON SITE TO THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.
- DETAIL DRAWINGS: UNLESS NOTED OTHERWISE REFER TO DETAIL DRAWINGS FOR SET-OUT INFORMATION. DETAIL DRAWINGS AT LARGER SCALES TAKE PRECEDENCE OVER GENERAL ARRANGEMENT DRAWINGS AT SMALLER SCALES. IF IN DOUBT NOTIFY ARCHITECTS FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.
- EXECUTION OF THE WORKS: EXECUTE THE WORKS IN COMPLIANCE WITH THE CURRENT EDITION OF THE BUILDING CODE OF AUSTRALIA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN AND OTHER PUBLISHED STANDARDS (AS AMENDED) AND THE REQUIREMENTS OF OTHER AUTHORITIES RELEVANT TO THE EXECUTION OF THE WORKS.

issue	date	description
A	02/07/2018	Preliminary DA Issue for Review
B	19/10/2018	DA Issue for Review
C	05/11/2018	DEVELOPMENT APPLICATION
D	30/08/2019	Amended DA
E	20/07/2021	S4.55 MOD APPLICATION

- CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.
- FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
- ALL DIMENSIONS IN MILLIMETRES.
- PLEASE NOTIFY DU PLESSIS + DU PLESSIS ARCHITECTS IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND.
- COPYRIGHT APPLIES TO THIS DOCUMENT.
- THE DESIGN IS THE PROPERTY OF DU PLESSIS + DU PLESSIS ARCHITECTS. REPRODUCTION OF ANY KIND IS NOT PERMITTED WITHOUT CONSENT.
- ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AS, BCA AND COUNCIL BUILDING REQUIREMENTS.

DU PLESSIS
DU PLESSIS ARCHITECTS
0403944576 | 0433408368
www.droom.com.au

NSW REGISTERED ARCHITECT #7435
NOMINATED ARCHITECT: EUGENE DU PLESSIS

PROJECT TITLE:
OPADCHY
House Alterations & Additions

CLIENT NAME:
GEORGE + TATIANA OPADCHY

ADDRESS:
7 Clifford Avenue
Fairlight NSW 2094

DRAWING TITLE:
Demolition Lower Ground Floor Plan

DRAWN:
AH

CHECKED:
EDUP

SCALE:
1:100@A1

DRAWING NO:

DA.05

ISSUE:
E

DATE:
20/07/2021

S4.55 MOD

DEMOLITION NOTES

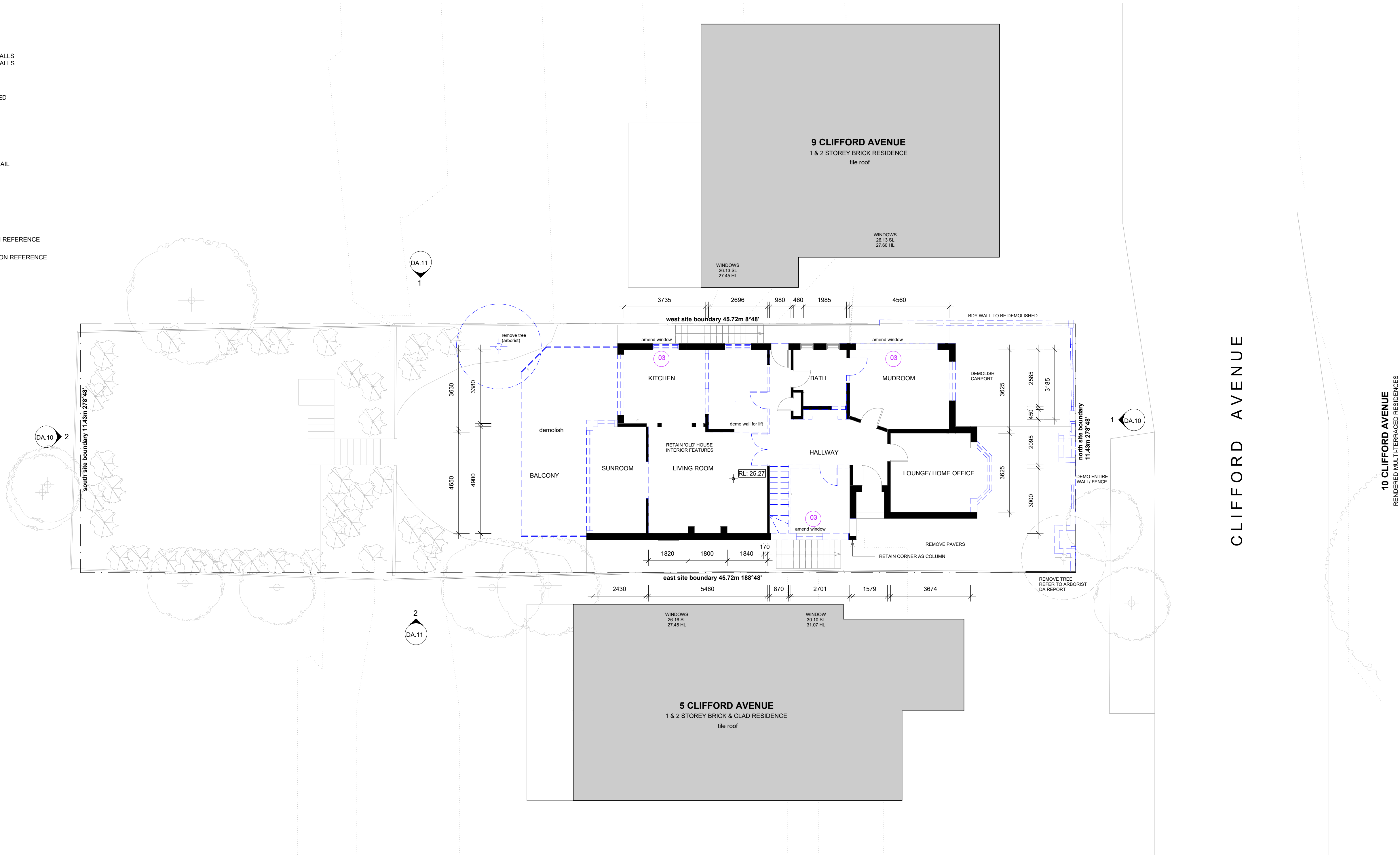
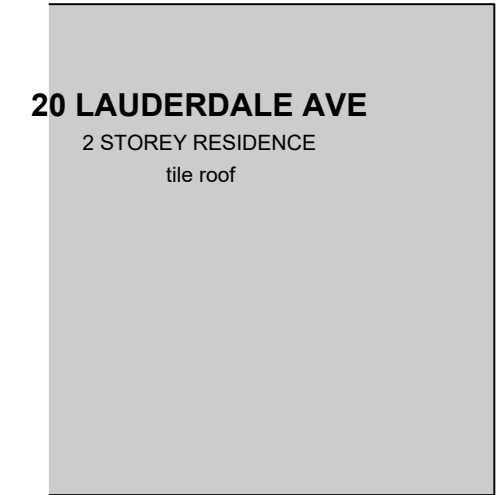
- Contractor to verify on site all existing house conditions prior to starting demolition.
- Remove all walls, windows, doors, frames, fixtures, fittings, finishes etc as indicated on demo drawings. Remove ceilings, lights, utilities, etc as required and as typical throughout demo zone.
- Plan all demolition work for minimal disruptions to existing house. Noise during demolition and construction shall be kept to a minimum. Demolition work during hours as stipulated by development conditions of consent.
- Protect all existing structures and adjacent areas affected by contractor's work. Refer to structural engineer drawings for demolition notes, temporary support, demolitions sequence, etc.
- Contractor shall at all times maintain the house in a weather tight condition.
- The owner will retain all salvage that is of value as designated by the owner or his representative. The owner will direct the contractor as to the location of storage area for various items. The contractor will be responsible for removing from the house all demolished materials plus construction debris.
- Partitions and other measures to control dust & noise shall be provided by the contractor.
- All existing building services & utilities in operation shall be protected & maintained.
- Tree removal = Refer attached DA Arborist Report.

LEGEND

- EXISTING HOUSE WALLS:**
HOUSE WALLS AS IS AND PER SURVEY
- PROPOSED NEW BLD WALLS**
EXTERNAL WALLS BRICK AND/OR WEATHERBOARD WALLS
INTERNAL FRAMED LIGHT WEIGHT PLASTERBOARD WALLS
- PROPOSED ADDITION:**
HOUSE EXTENSION EXTRA GFA
- DEMOLITION:**
EXISTING SEMI WALLS & FIXTURES TO BE DEMOLISHED
- ADJOINING NEIGHBOURING PROPERTIES**
AS PER SITE SURVEY PLAN
- CONCRETE**
REINFORCED CONCRETE TO ENGINEER DETAILS
- TIMBER FLOOR:**
SELECTED HARDWOOD FLOOR
- WET AREA TILING**
SELECTED FLOOR TILES TO FALLS & SET-OUT TO DETAIL
- ROOFING**
COLOURBOND METAL ROOFING TO FALLS

SYMBOLS

- WINDOW LABEL**
- EXISTING WINDOW**
- DOOR LABEL**
- DCP/LEP WALL HEIGHT LINE**
- PLAN/ SECTION REFERENCE**
- PLAN/ ELEVATION REFERENCE**
- RL (LEVELS)**
- FLOOR LEVELS**



1

Demolition Ground Floor Plan

1 : 100

NOTES

- SITE SURVEY INFORMATION:**
THE SITE INFORMATION HEREIN HAS BEEN TRANSPOSED FROM THE C.M.S. SURVEYORS Pty Ltd SURVEY PLAN No.673A. REFER TO THIS DRAWING TO CONFIRM BOUNDARIES, EXISTING FEATURES, LEVELS & DATUM. EXISTING HOUSE WALL MEASUREMENTS (INTERNAL) BY V-MARK SURVEYS AND ACCURACY T.D.C. ON SITE.
- COORDINATION:**
REFER TO AND COORDINATE INFORMATION CONTAINED IN THE ARCHITECTURAL DRAWINGS AND THE DOCUMENTATION OF OTHER CONSULTANTS WITH THE SPECIFICATION FOR BUILDINGS WORKS. REPORT DISCREPANCIES BETWEEN THE DOCUMENTS AND/OR WITH CONDITIONS ON SITE TO THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.
- DETAIL DRAWINGS:**
UNLESS NOTED OTHERWISE REFER TO DETAIL DRAWINGS FOR SET-OUT INFORMATION. DETAIL DRAWINGS AT LARGER SCALES TAKE PRECEDENCE OVER GENERAL ARRANGEMENT DRAWINGS AT SMALLER SCALES. IF IN DOUBT NOTIFY ARCHITECTS FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.
- EXECUTION OF THE WORKS:**
EXECUTE THE WORKS IN COMPLIANCE WITH THE CURRENT EDITION OF THE BUILDING CODE OF AUSTRALIA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN AND OTHER PUBLISHED STANDARDS (AS AMENDED) AND THE REQUIREMENTS OF OTHER AUTHORITIES RELEVANT TO THE EXECUTION OF THE WORKS.

issue	date	description
A	02/07/2018	Preliminary DA Issue for Review
B	19/10/2018	DA Issue for Review
C	05/11/2018	DEVELOPMENT APPLICATION
D	30/08/2019	Amended DA
E	20/07/2021	S4.55 MOD APPLICATION

- CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.
- FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
- ALL DIMENSIONS IN MILLIMETRES.
- PLEASE NOTIFY DU PLESSIS - DU PLESSIS ARCHITECTS IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND. COPYRIGHT APPLIES TO THIS DOCUMENT.
- THE DESIGN IS THE PROPERTY OF DU PLESSIS - DU PLESSIS ARCHITECTS. REPRODUCTION OF ANY KIND IS NOT PERMITTED WITHOUT CONSENT.
- ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AS, BCA AND COUNCIL BUILDING REQUIREMENTS.

DU PLESSIS
DU PLESSIS ARCHITECTS
0403944576 | 0433408368
www.droom.com.au

NSW REGISTERED ARCHITECT #7435
NOMINATED ARCHITECT: EUGENE DU PLESSIS

PROJECT TITLE:
OPADCHY
House Alterations & Additions

CLIENT NAME:
GEORGE + TATIANA OPADCHY

ADDRESS:
7 Clifford Avenue
Fairlight NSW 2094

DRAWING TITLE:
Demolition Ground Floor Plan

DRAWN:
AH

CHECKED:
EDUP

SCALE:
1:100@A1

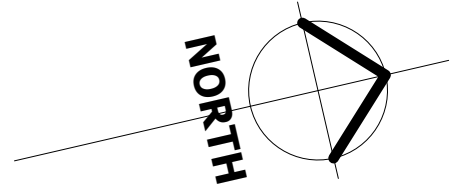
DRAWING NO:

DA.06

ISSUE:
E

DATE:
20/07/2021

S4.55 MOD



0m 1m 2m 3m 4m 5m

1:100 @ A1

BASIX COMMITMENTS

READ DRAWINGS IN CONJUNCTION WITH THE ATTACHED BASIX CERTIFICATE #A329994 SUBMITTED WITH THE DEVELOPMENT APPLICATION:

- THE OUTDOOR SWIMMING POOL MUST NOT HAVE A CAPACITY GREATER THAN 36 KILOLITRES. INSTALL A POOL PUMP & HEATING SYSTEM FOR THE SWIMMING POOL TO BE SOLAR ONLY.

- THE APPLICANT MUST INSTALL A RAINWATER TANK OF AT LEAST 1575 LITRES ON THE SITE. THE RAINWATER TANK TO COLLECT RAINWATER RUNOFF FROM AT LEAST 90 SQUARE METRES OF ROOF AREA. CONNECT THE RAINWATER TANK TO A TAP LOCATED WITHIN 10 METRES OF THE EDGE OF THE POOL.

- PROVIDE A HEATING/COOLING SYSTEM TO ACHIEVE THE REQUIRED STAR ENERGY RATING.

- A NEW 'GAS INSTANTANEOUS' HOT WATER SYSTEM TO BE INSTALLED [POSITION T.B.C]

- A MINIMUM OF 40% OF NEW OR ALTERED LIGHT FIXTURES ARE TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS.

- ALL NEW OR ALTERED SHOWERHEAD, TOILET & TAP FIXTURES TO ACHIEVE THE REQUIRED STAR WATER RATING.

- ADDITIONAL NEW FLOOR, WALL & ROOF CEILING INSULATION TO HAVE THE MINIMUM R-VALUES AS SPECIFIED IN THE CERTIFICATE

- ALL NEW WINDOWS & SKYLIGHTS TO HAVE U-VALUE AND A SOLAR HEAT GAIN COEFFICIENT NO GREATER THAN THAT LISTED IN THE BASIX TABLE REQUIREMENTS.

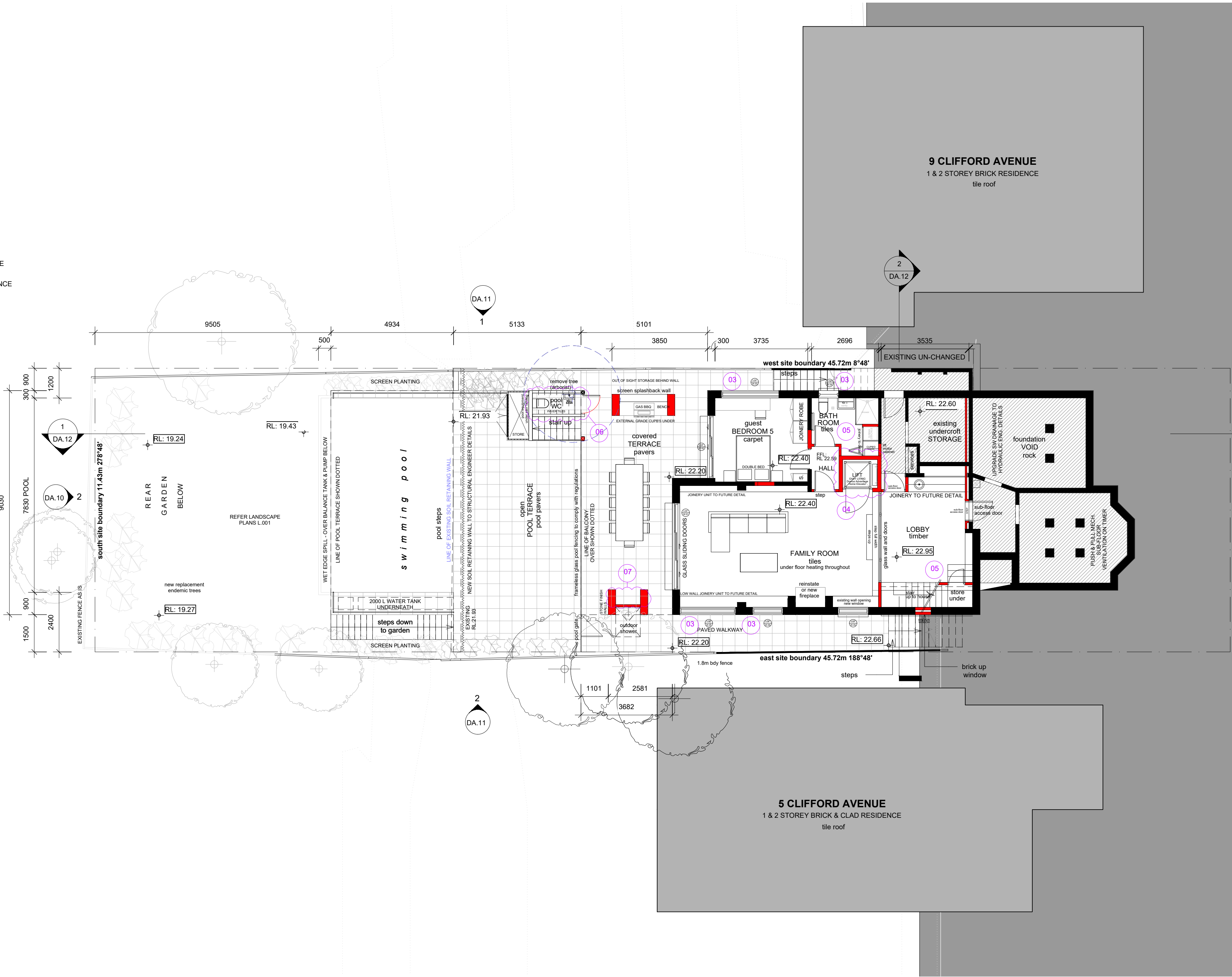
- THE NEW ROOF COLOUR TO BE OF MEDIUM SOLAR ABSORPTANCE.

LEGEND

- EXISTING HOUSE WALLS:**
HOUSE WALLS AS IS AND PER SURVEY
- PROPOSED NEW BLD WALLS**
EXTERNAL WALLS BRICK AND/OR WEATHERBOARD WALLS
INTERNAL FRAMED LIGHT WEIGHT PLASTERBOARD WALLS
- PROPOSED ADDITION:**
HOUSE EXTENSION EXTRA GFA
- DEMOLITION:**
EXISTING SEMI WALLS & FIXTURES TO BE DEMOLISHED
- ADJOINING NEIGHBOURING PROPERTIES**
AS PER SITE SURVEY PLAN
- CONCRETE**
REINFORCED CONCRETE TO ENGINEER DETAILS
- TIMBER FLOOR:**
SELECTED HARDWOOD FLOOR
- WET AREA TILING**
SELECTED FLOOR TILES TO FALLS & SET-OUT TO DETAIL
- ROOFING**
COLOURBOND METAL ROOFING TO FALLS

SYMBOLS

- WINDOW LABEL**
N^o Type
EX Type
- EXISTING WINDOW**
N^o Type
EX Type
- DOOR LABEL**
N^o Type
EX Type
- PLAN/ SECTION REFERENCE**
PLAN/ ELEVATION REFERENCE
- RL (LEVELS)**
FLOOR LEVELS
- DC/PLEP WALL HEIGHT LINE**



Lower Ground Floor Plan

1 : 100

LIST OF S4.55 MODIFICATION DESIGN CHANGES

EXTERNAL:

1. First floor study relocated/enlarged
2. Ground floor entry porch canopy size reduced and pitch amended
3. Window/wall opening changes including skylight amendments

INTERNAL:

4. Relocated lift and associated stair changes
5. Room plan layout changes including kitchen, bathrooms and other
6. WC added under outdoor stair

OTHER

7. Outdoor fireplace deleted

NOTES

- * SITE SURVEY INFORMATION:**
THE SITE INFORMATION HEREIN HAS BEEN TRANSPOSED FROM THE C.M.S. SURVEYORS Pty Ltd SURVEY PLAN No.6373A. REFER TO THIS DRAWING TO CONFIRM BOUNDARIES, EXISTING FEATURES, LEVELS & DATUM. EXISTING HOUSE WALL MEASUREMENTS (INTERNAL) BY V-MARK SURVEYS AND ACCURACY T.B.C. ON SITE.
- * COORDINATION:**
REFER TO AND COORDINATE INFORMATION CONTAINED IN THE ARCHITECTURAL DRAWINGS AND THE DOCUMENTATION OF OTHER CONSULTANTS WITH THE SPROFTER DRAWING BUILDING WORKS. REPORT DISCREPANCIES BETWEEN THE DOCUMENTS AND/OR WITH CONDITIONS ON SITE TO THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.
- * DETAIL DRAWINGS:**
UNLESS NOTED OTHERWISE REFER TO DETAIL DRAWINGS FOR SET-OUT INFORMATION. DETAIL DRAWINGS AT LARGER SCALES TAKE PRECEDENCE OVER GENERAL ARRANGEMENT DRAWINGS AT SMALLER SCALES. IF IN DOUBT NOTIFY ARCHITECTS FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.
- * EXECUTION OF THE WORKS:**
EXECUTE THE WORKS IN COMPLIANCE WITH THE CURRENT EDITION OF THE BUILDING CODE OF AUSTRALIA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN AND OTHER PUBLISHED STANDARDS (AS AMENDED) AND THE REQUIREMENTS OF OTHER AUTHORITIES RELEVANT TO THE EXECUTION OF THE WORKS.

issue	date	description
A	02/07/2018	Preliminary DA Issue for Review
B	19/10/2018	DA Issue for Review
C	05/11/2018	DEVELOPMENT APPLICATION
D	30/08/2019	Amended DA
E	20/07/2021	S4.55 MOD APPLICATION

- CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.
- FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
- ALL DIMENSIONS IN MILLIMETRES.
- PLEASE NOTIFY DU PLESSIS + DU PLESSIS ARCHITECTS IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND. COPYRIGHT APPLIES TO THIS DOCUMENT.
- THE DESIGN IS THE PROPERTY OF DU PLESSIS + DU PLESSIS ARCHITECTS. REPRODUCTION OF ANY KIND IS NOT PERMITTED WITHOUT CONSENT.
- ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AS, BCA AND COUNCIL BUILDING REQUIREMENTS.

DU PLESSIS
DU PLESSIS ARCHITECTS
0403944576 | 0433408368
www.droom.com.au

NSW REGISTERED ARCHITECT #7435
NOMINATED ARCHITECT: EUGENE DU PLESSIS

PROJECT TITLE:
OPADCHY
House Alterations & Additions

CLIENT NAME:
GEORGE + TATIANA OPADCHY

ADDRESS:
7 Clifford Avenue
Fairlight NSW 2094

DRAWING TITLE:
Lower Ground Floor Plan

DRAWN:
AH

CHECKED:
EDUP

SCALE:
1:100@A1

DRAWING NO:

DA.07

ISSUE:
E

DATE:
20/07/2021

S4.55 MOD

BASIX COMMITMENTS

READ DRAWINGS IN CONJUNCTION WITH THE ATTACHED BASIX CERTIFICATE #A329994 SUBMITTED WITH THE DEVELOPMENT APPLICATION:

- THE OUTDOOR SWIMMING POOL MUST NOT HAVE A CAPACITY GREATER THAN 36 KILOLITRES. INSTALL A POOL PUMP & HEATING SYSTEM FOR THE SWIMMING POOL TO BE SOLAR ONLY.

- THE APPLICANT MUST INSTALL A RAINWATER TANK OF AT LEAST 1575 LITRES ON THE SITE. THE RAINWATER TANK TO COLLECT RAINWATER RUNOFF FROM AT LEAST 90 SQUARE METRES OF ROOF AREA. CONNECT THE RAINWATER TANK TO A TAP LOCATED WITHIN 10 METRES OF THE EDGE OF THE POOL.

- PROVIDE A HEATING/COOLING SYSTEM TO ACHIEVE THE REQUIRED STAR ENERGY RATING.

- A NEW 'GAS INSTANTANEOUS 'HOT WATER SYSTEM TO BE INSTALLED [POSITION T.B.C]

- A MINIMUM OF 40% OF NEW OR ALTERED LIGHT FIXTURES ARE TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS.

- ALL NEW or ALTERED SHOWERHEAD, TOILET & TAP FIXTURES TO ACHIEVE THE REQUIRED STAR WATER RATING.

- ADDITIONAL NEW FLOOR, WALL & ROOF CEILING INSULATION TO HAVE THE MINIMUM R-VALUES AS SPECIFIED IN THE CERTIFICATE

- ALL NEW WINDOWS & SKYLIGHTS TO HAVE U-VALUE AND A SOLAR HEAT GAIN COEFFICIENT NO GREATER THAN THAT LISTED IN THE BASIX TABLE REQUIREMENTS.

- THE NEW ROOF COLOUR TO BE OF MEDIUM SOLAR ABSORPTANCE.

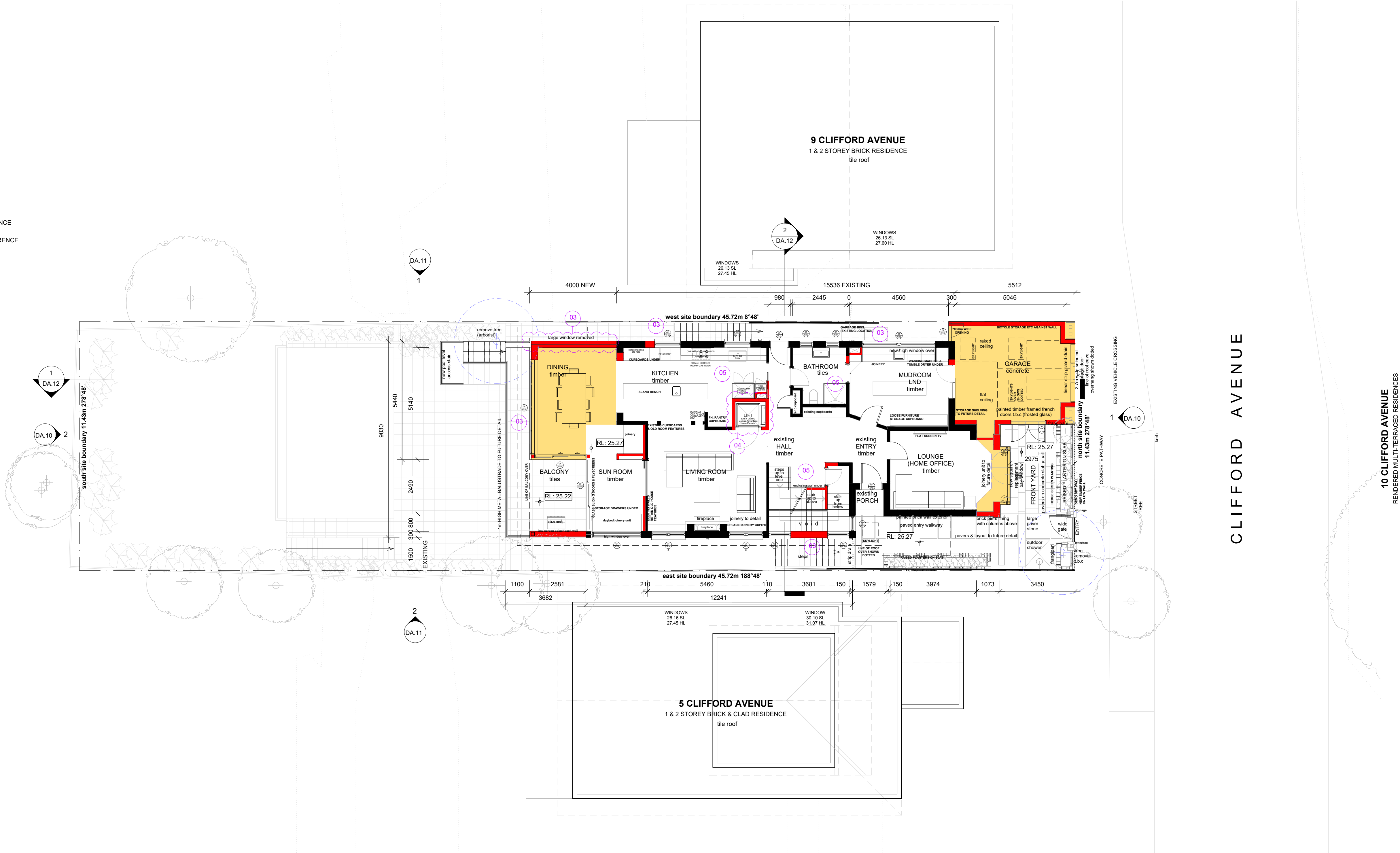
LEGEND

- EXISTING HOUSE WALLS: HOUSE WALLS AS IS AND PER SURVEY
- PROPOSED NEW BLD WALLS
- EXTERNAL WALLS BRICK AND/OR WEATHERBOARD WALLS
- PROPOSED ADDITION: HOUSE EXTENSION EXTRA GFA
- DEMOLITION, EXISTING SEMI WALLS & FIXTURES TO BE DEMOLISHED
- ADJOINING NEIGHBOURING PROPERTIES AS PER SITE SURVEY PLAN
- CONCRETE REINFORCED CONCRETE TO ENGINEER DETAILS
- TIMBER FLOOR: SELECTED HARDWOOD FLOOR
- WET AREA TILING SELECTED FLOOR TILES TO FALLS & SET-OUT TO DETAIL
- ROOFING COLOURBOND METAL ROOFING TO FALLS

SYMBOLS

- WINDOW LABEL
- EXISTING WINDOW
- DOOR LABEL
- DC/PEP WALL HEIGHT LINE
- PLAN/ SECTION REFERENCE
- PLAN/ ELEVATION REFERENCE
- RL (LEVELS)
- FLOOR LEVELS

20 LAUDERDALE AVE
2 STOREY RESIDENCE
tile roof



Ground Floor Plan
1 : 100

LIST OF S4.55 MODIFICATION DESIGN CHANGES

EXTERNAL:

- First floor study relocated/enlarged
- Ground floor entry porch canopy size reduced and pitch amended
- Window/wall opening changes including skylight amendments

INTERNAL:

- Relocated lift and associated stair changes
- Room plan layout changes including kitchen, bathrooms and other
- WC added under outdoor stair

OTHER

- Outdoor fireplace deleted

NOTES

- SITE SURVEY INFORMATION:** THE SITE INFORMATION HEREIN HAS BEEN TRANSPOSED FROM THE C.M.S. SURVEYORS Pty Ltd SURVEY PLAN No. 6373A. REFER TO THIS DRAWING TO CONFIRM BOUNDARIES, EXISTING FEATURES, LEVELS & DATUM. EXISTING HOUSE WALL MEASUREMENTS (INTERNAL) BY V-MARK SURVEYS AND ACCURACY T.B.C. ON SITE.
- COORDINATION:** REFER TO AND COORDINATE INFORMATION CONTAINED IN THE ARCHITECTURAL DRAWINGS AND THE DOCUMENTATION OF OTHER CONSULTANTS WITH THE SPECIFICATIONS, BUILDING WORKS, REPORT DISCREPANCIES BETWEEN THE DOCUMENTS AND/OR WITH CONDITIONS ON SITE TO THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.
- DETAIL DRAWINGS:** UNLESS NOTED OTHERWISE REFER TO DETAIL DRAWINGS FOR SET-OUT INFORMATION. DETAIL DRAWINGS AT LARGER SCALES TAKE PRECEDENCE OVER GENERAL ARRANGEMENT DRAWINGS AT SMALLER SCALES. IF IN DOUBT NOTIFY ARCHITECTS FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.
- EXECUTION OF THE WORKS:** EXECUTE THE WORKS IN COMPLIANCE WITH THE CURRENT EDITION OF THE BUILDING CODE OF AUSTRALIA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN AND OTHER PUBLISHED STANDARDS (AS AMENDED) AND THE REQUIREMENTS OF OTHER AUTHORITIES RELEVANT TO THE EXECUTION OF THE WORKS.

issue	date	description
A	02/07/2018	Preliminary DA Issue for Review
B	19/10/2018	DA Issue for Review
C	05/11/2018	DEVELOPMENT APPLICATION
D	30/08/2019	Amended DA
E	20/07/2021	S4.55 MOD APPLICATION

- CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.
- FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
- ALL DIMENSIONS IN MILLIMETRES.
- PLEASE NOTIFY DU PLESSIS + DU PLESSIS ARCHITECTS IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND. COPYRIGHT APPLIES TO THIS DOCUMENT.
- THE DESIGN IS THE PROPERTY OF DU PLESSIS + DU PLESSIS ARCHITECTS. REPRODUCTION OF ANY KIND IS NOT PERMITTED WITHOUT CONSENT.
- ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AS, BCA AND COUNCIL BUILDING REQUIREMENTS.

DU PLESSIS
DU PLESSIS ARCHITECTS
0403944576 | 0433408368
www.droom.com.au

NSW REGISTERED ARCHITECT #7435
NOMINATED ARCHITECT: EUGENE DU PLESSIS

PROJECT TITLE:
OPADCHY
House Alterations & Additions

CLIENT NAME:
GEORGE + TATIANA OPADCHY

ADDRESS:
7 Clifford Avenue
Fairlight NSW 2094

DRAWING TITLE:
Ground Floor Plan

DRAWN:
AH

CHECKED:
EDUP

SCALE:
1:100@A1

DRAWING NO:

DA.08

ISSUE:
E

DATE:
20/07/2021

S4.55 MOD

BASIX COMMITMENTS

READ DRAWINGS IN CONJUNCTION WITH THE ATTACHED BASIX CERTIFICATE #A329994 SUBMITTED WITH THE DEVELOPMENT APPLICATION:

- THE OUTDOOR SWIMMING POOL MUST NOT HAVE A CAPACITY GREATER THAN 36 KILOLITRES. INSTALL A POOL PUMP & HEATING SYSTEM FOR THE SWIMMING POOL TO BE SOLAR ONLY.

- THE APPLICANT MUST INSTALL A RAINWATER TANK OF AT LEAST 1575 LITRES ON THE SITE. THE RAINWATER TANK TO COLLECT RAINWATER RUNOFF FROM AT LEAST 90 SQUARE METRES OF ROOF AREA. CONNECT THE RAINWATER TANK TO A TAP LOCATED WITHIN 10 METRES OF THE EDGE OF THE POOL.

- PROVIDE A HEATING/COOLING SYSTEM TO ACHIEVE THE REQUIRED STAR ENERGY RATING.

- A NEW 'GAS INSTANTANEOUS 'HOT WATER SYSTEM TO BE INSTALLED (POSITION T.B.C)

- A MINIMUM OF 40% OF NEW OR ALTERED LIGHT FIXTURES ARE TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS.

- ALL NEW or ALTERED SHOWERHEAD, TOILET & TAP FIXTURES TO ACHIEVE THE REQUIRED STAR WATER RATING.

- ADDITIONAL NEW FLOOR, WALL & ROOF CEILING INSULATION TO HAVE THE MINIMUM R-VALUES AS SPECIFIED IN THE CERTIFICATE

- ALL NEW WINDOWS & SKYLIGHTS TO HAVE U-VALUE AND A SOLAR HEAT GAIN COEFFICIENT NO GREATER THAN THAT LISTED IN THE BASIX TABLE REQUIREMENTS.

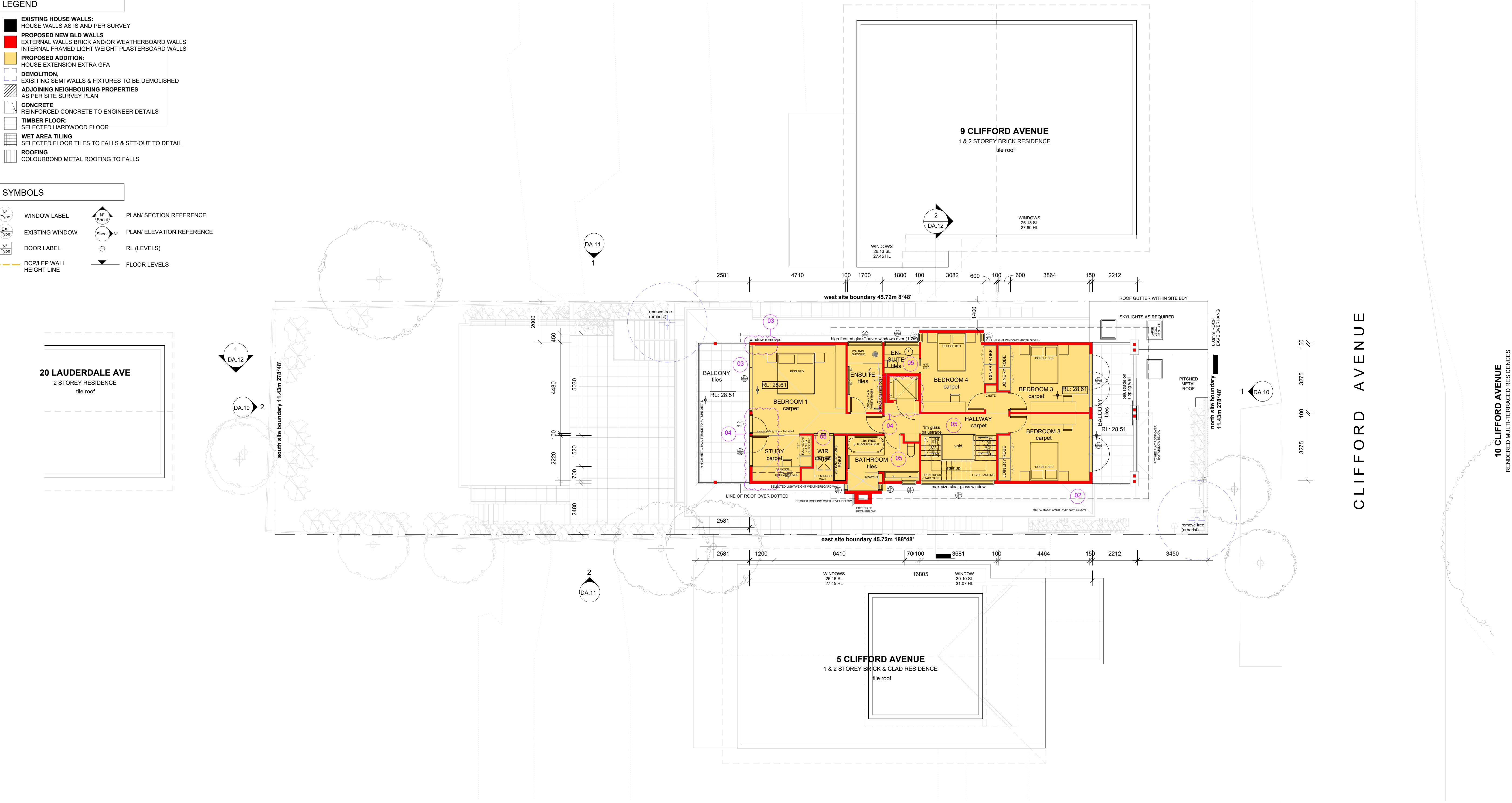
- THE NEW ROOF COLOUR TO BE OF MEDIUM SOLAR ABSORPTANCE.

LEGEND

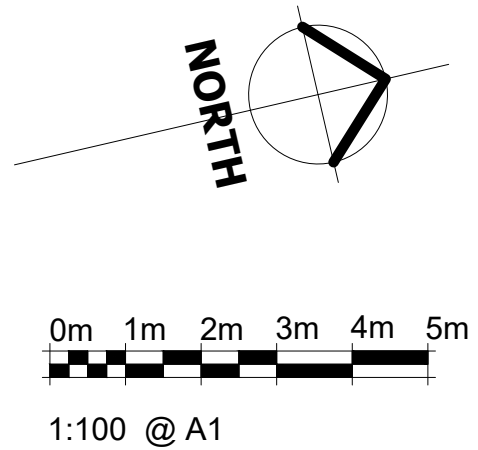
- EXISTING HOUSE WALLS:**
HOUSE WALLS AS IS AND PER SURVEY
- PROPOSED NEW BLD WALLS**
EXTERNAL WALLS BRICK AND/OR WEATHERBOARD WALLS
INTERNAL FRAMED LIGHT WEIGHT PLASTERBOARD WALLS
- PROPOSED ADDITION:**
HOUSE EXTENSION EXTRA GFA
- DEMOLITION,**
EXISTING SEMI WALLS & FIXTURES TO BE DEMOLISHED
- ADJOINING NEIGHBOURING PROPERTIES**
AS PER SITE SURVEY PLAN
- CONCRETE**
REINFORCED CONCRETE TO ENGINEER DETAILS
- TIMBER FLOOR:**
SELECTED HARDWOOD FLOOR
- WET AREA TILING**
SELECTED FLOOR TILES TO FALLS & SET-OUT TO DETAIL
- ROOFING**
COLOURBOND METAL ROOFING TO FALLS

SYMBOLS

- WINDOW LABEL**
N^o Type
PLAN/ SECTION REFERENCE
- EXISTING WINDOW**
EX Type
PLAN/ ELEVATION REFERENCE
- DOOR LABEL**
N^o Type
RL (LEVELS)
- FLOOR LEVELS**
FLOOR LEVELS
- DCP/LEP WALL HEIGHT LINE**
DCP/LEP WALL HEIGHT LINE



1 DA - First Floor Plan
1 : 100



LIST OF S4.55 MODIFICATION DESIGN CHANGES

EXTERNAL:

1. First floor study relocated/enlarged
2. Ground floor entry porch canopy size reduced and pitch amended
3. Window/wall opening changes including skylight amendments

INTERNAL:

4. Relocated lift and associated stair changes
5. Room plan layout changes including kitchen, bathrooms and other
6. WC added under outdoor stair

OTHER

7. Outdoor fireplace deleted

NOTES

• SITE SURVEY INFORMATION:
THE SITE INFORMATION HEREIN HAS BEEN TRANSPOSED FROM THE C.M.S. SURVEYORS Pty Ltd SURVEY PLAN No. 673A. REFER TO THIS DRAWING TO CONFIRM BOUNDARIES, EXISTING FEATURES, LEVELS & DATUM. EXISTING HOUSE WALL MEASUREMENTS (INTERNAL) BY V-MARK SURVEYS AND ACCURACY T.B.C. ON SITE.

• COORDINATION:
REFER TO AND COORDINATE INFORMATION CONTAINED IN THE ARCHITECTURAL DRAWINGS AND THE DOCUMENTATION OF OTHER CONSULTANTS WITH THE SPECIFICATION OF BUILDING WORKS. REPORT DISCREPANCIES BETWEEN THE DOCUMENTS AND/OR WITH CONDITIONS ON SITE TO THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.

• DETAIL DRAWINGS:
UNLESS NOTED OTHERWISE REFER TO DETAIL DRAWINGS FOR SET-OUT INFORMATION. DETAIL DRAWINGS AT LARGER SCALES TAKE PRECEDENCE OVER GENERAL ARRANGEMENT DRAWINGS AT SMALLER SCALES. IF IN DOUBT NOTIFY ARCHITECTS FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.

• EXECUTION OF THE WORKS:
UNLESS NOTED OTHERWISE REFER TO DETAIL DRAWINGS FOR SET-OUT INFORMATION. DETAIL DRAWINGS AT LARGER SCALES TAKE PRECEDENCE OVER GENERAL ARRANGEMENT DRAWINGS AT SMALLER SCALES. IF IN DOUBT NOTIFY ARCHITECTS FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.

• CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK:
- FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
- ALL DIMENSIONS IN MILLIMETRES.
- PLEASE NOTIFY DU PLESSIS + DU PLESSIS ARCHITECTS IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND. COPYRIGHT APPLIES TO THIS DOCUMENT.
- THE DESIGN IS THE PROPERTY OF DU PLESSIS + DU PLESSIS ARCHITECTS. REPRODUCTION OF ANY KIND IS NOT PERMITTED WITHOUT CONSENT.
- ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AS, BCA AND COUNCIL BUILDING REQUIREMENTS.

issue	date	description
A	02/07/2018	Preliminary DA Issue for Review
B	19/10/2018	DA Issue for Review
C	05/11/2018	DA Issue for Review
D	30/08/2019	Amended DA
E	20/07/2021	S4.55 MOD APPLICATION

CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK:
- FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
- ALL DIMENSIONS IN MILLIMETRES.
- PLEASE NOTIFY DU PLESSIS + DU PLESSIS ARCHITECTS IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND. COPYRIGHT APPLIES TO THIS DOCUMENT.
- THE DESIGN IS THE PROPERTY OF DU PLESSIS + DU PLESSIS ARCHITECTS. REPRODUCTION OF ANY KIND IS NOT PERMITTED WITHOUT CONSENT.
- ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AS, BCA AND COUNCIL BUILDING REQUIREMENTS.

DU PLESSIS
DU PLESSIS ARCHITECTS
0403944576 | 0433408368
www.droom.com.au

NSW REGISTERED ARCHITECT #7435
NOMINATED ARCHITECT: EUGENE DU PLESSIS

PROJECT TITLE:
OPADCHY
House Alterations & Additions

CLIENT NAME:
GEORGE + TATIANA OPADCHY

ADDRESS:
7 Clifford Avenue
Fairlight NSW 2094

DRAWING TITLE:
First Floor Plan

DRAWN:
AH

CHECKED:
EDUP

SCALE:
1:100@A1

DRAWING NO:

DA.09

ISSUE:
E

DATE:
20/07/2021

S4.55 MOD

BASIX COMMITMENTS

READ DRAWINGS IN CONJUNCTION WITH THE ATTACHED BASIX CERTIFICATE #A329994 SUBMITTED WITH THE DEVELOPMENT APPLICATION:

- THE OUTDOOR SWIMMING POOL MUST NOT HAVE A CAPACITY GREATER THAN 36 KILOLITRES. INSTALL A POOL PUMP & HEATING SYSTEM FOR THE SWIMMING POOL TO BE SOLAR ONLY.

- THE APPLICANT MUST INSTALL A RAINWATER TANK OF AT LEAST 1575 LITRES ON THE SITE. THE RAINWATER TANK TO COLLECT RAINWATER RUNOFF FROM AT LEAST 90 SQUARE METRES OF ROOF AREA. CONNECT THE RAINWATER TANK TO A TAP LOCATED WITHIN 10 METRES OF THE EDGE OF THE POOL.

- PROVIDE A HEATING/COOLING SYSTEM TO ACHIEVE THE REQUIRED STAR ENERGY RATING.

- A NEW 'GAS INSTANTANEOUS' HOT WATER SYSTEM TO BE INSTALLED [POSITION T.B.C]

- A MINIMUM OF 40% OF NEW OR ALTERED LIGHT FIXTURES ARE TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS.

- ALL NEW OR ALTERED SHOWERHEAD, TOILET & TAP FIXTURES TO ACHIEVE THE REQUIRED STAR WATER RATING.

- ADDITIONAL NEW FLOOR, WALL & ROOF CEILING INSULATION TO HAVE THE MINIMUM R-VALUES AS SPECIFIED IN THE CERTIFICATE

- ALL NEW WINDOWS & SKYLIGHTS TO HAVE U-VALUE AND A SOLAR HEAT GAIN COEFFICIENT NO GREATER THAN THAT LISTED IN THE BASIX TABLE REQUIREMENTS.

- THE NEW ROOF COLOUR TO BE OF MEDIUM SOLAR ABSORPTANCE.

LEGEND

- EXISTING HOUSE WALLS:
HOUSE WALLS AS IS AND PER SURVEY
- PROPOSED NEW BLD WALLS
EXTERNAL WALLS BRICK AND/OR WEATHERBOARD WALLS
- PROPOSED ADDITION:
HOUSE EXTENSION EXTRA GFA
- DEMOLITION,
EXISTING SEMI WALLS & FIXTURES TO BE DEMOLISHED
- ADJOINING NEIGHBOURING PROPERTIES
AS PER SITE SURVEY PLAN
- CONCRETE
REINFORCED CONCRETE TO ENGINEER DETAILS
- TIMBER FLOOR:
SELECTED HARDWOOD FLOOR
- WET AREA TILING
SELECTED FLOOR TILES TO FALLS & SET-OUT TO DETAIL
- ROOFING
COLOURBOND METAL ROOFING TO FALLS

SYMBOLS

- WINDOW LABEL
- EXISTING WINDOW
- DOOR LABEL
- DCP/LEP WALL HEIGHT LINE
- PLAN/ SECTION REFERENCE
- PLAN/ ELEVATION REFERENCE
- RL (LEVELS)
- FLOOR LEVELS

1 North Elevation
1 : 100

2 South Elevation
1 : 100

LIST OF S4.55 MODIFICATION DESIGN CHANGES

EXTERNAL:

- First floor study relocated/enlarged
- Ground floor entry porch canopy size reduced and pitch amended
- Window/wall opening changes including skylight amendments

INTERNAL:

- Relocated lift and associated stair changes
- Room plan layout changes including kitchen, bathrooms and other
- WC added under outdoor stair

OTHER

- Outdoor fireplace deleted

NOTES

• **SITE SURVEY INFORMATION:**
THE SITE INFORMATION HEREIN HAS BEEN TRANSPOSED FROM THE C.M.S. SURVEYORS PLY LE SURVEY PLAN No.673A. REFER TO THIS DRAWING TO CONFIRM BOUNDARIES, EXISTING FEATURES, LEVELS & DATUM. EXISTING HOUSE WALL MEASUREMENTS (INTERNAL) BY V-MARK SURVEYS AND ACCURACY T.D.C. ON SITE.

• **COORDINATION:**
REFER TO AND COORDINATE INFORMATION CONTAINED IN THE ARCHITECTURAL DRAWINGS AND THE DOCUMENTATION OF OTHER CONSULTANTS WITH THE SPECIFICATION FOR BUILDINGS WORKS. REPORT DISCREPANCIES BETWEEN THE DOCUMENTS AND/OR WITH CONDITIONS ON SITE TO THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.

• **DETAIL DRAWINGS:**
UNLESS NOTED OTHERWISE REFER TO DETAIL DRAWINGS FOR SET-OUT INFORMATION. DETAIL DRAWINGS AT LARGER SCALES TAKE PRECEDENCE OVER GENERAL ARRANGEMENT DRAWINGS AT SMALLER SCALES. IF IN DOUBT NOTIFY ARCHITECTS FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.

• **EXECUTION OF THE WORKS:**
EXECUTE THE WORKS IN COMPLIANCE WITH THE CURRENT EDITION OF THE BUILDING CODE OF AUSTRALIA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN AND OTHER PUBLISHED STANDARDS (AS AMENDED) AND THE REQUIREMENTS OF OTHER AUTHORITIES RELEVANT TO THE EXECUTION OF THE WORKS.

issue	date	description
A	02/07/2018	Preliminary DA Issue for Review
B	19/10/2018	DA Issue for Review
C	05/11/2018	DEVELOPMENT APPLICATION
D	30/08/2019	Amended DA
E	20/07/2021	S4.55 MOD APPLICATION

CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.
FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
ALL DIMENSIONS IN MILLIMETRES.
PLEASE NOTIFY DU PLESSIS + DU PLESSIS ARCHITECTS IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND.
COPYRIGHT APPLIES TO THIS DOCUMENT.
THE DESIGN IS THE PROPERTY OF DU PLESSIS + DU PLESSIS ARCHITECTS. REPRODUCTION OF ANY KIND IS NOT PERMITTED WITHOUT CONSENT.
ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AS, BCA AND COUNCIL BUILDING REQUIREMENTS.

DU PLESSIS
DU PLESSIS ARCHITECTS
0403944576 | 0433408368
www.droom.com.au

NSW REGISTERED ARCHITECT #7435
NOMINATED ARCHITECT: EUGENE DU PLESSIS

PROJECT TITLE:
OPADCHY
House Alterations & Additions

CLIENT NAME:
GEORGE + TATIANA OPADCHY

ADDRESS:
7 Clifford Avenue
Fairlight NSW 2094

DRAWING TITLE:
Elevations North/South

DRAWN:
AH

CHECKED:
EDUP

SCALE:
1:100@A1

DRAWING NO:

DA.10

ISSUE:
E

DATE:
20/07/2021

S4.55 MOD

0m 1m 2m 3m 4m 5m
1:100 @ A1

BASIX COMMITMENTS

READ DRAWINGS IN CONJUNCTION WITH THE ATTACHED BASIX CERTIFICATE #A329994 SUBMITTED WITH THE DEVELOPMENT APPLICATION:

- THE OUTDOOR SWIMMING POOL MUST NOT HAVE A CAPACITY GREATER THAN 36 KILOLITRES. INSTALL A POOL PUMP & HEATING SYSTEM FOR THE SWIMMING POOL TO BE SOLAR ONLY.

- THE APPLICANT MUST INSTALL A RAINWATER TANK OF AT LEAST 1575 LITRES ON THE SITE. THE RAINWATER TANK TO COLLECT RAINWATER RUNOFF FROM AT LEAST 90 SQUARE METRES OF ROOF AREA. CONNECT THE RAINWATER TANK TO A TAP LOCATED WITHIN 10 METRES OF THE EDGE OF THE POOL.

- PROVIDE A HEATING/COOLING SYSTEM TO ACHIEVE THE REQUIRED STAR ENERGY RATING.

- A NEW 'GAS INSTANTANEOUS' HOT WATER SYSTEM TO BE INSTALLED [POSITION T.B.C]

- A MINIMUM OF 40% OF NEW OR ALTERED LIGHT FIXTURES ARE TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS.

- ALL NEW or ALTERED SHOWERHEAD, TOILET & TAP FIXTURES TO ACHIEVE THE REQUIRED STAR WATER RATING.

- ADDITIONAL NEW FLOOR, WALL & ROOF CEILING INSULATION TO HAVE THE MINIMUM R-VALUES AS SPECIFIED IN THE CERTIFICATE

- ALL NEW WINDOWS & SKYLIGHTS TO HAVE U-VALUE AND A SOLAR HEAT GAIN COEFFICIENT NO GREATER THAN THAT LISTED IN THE BASIX TABLE REQUIREMENTS.

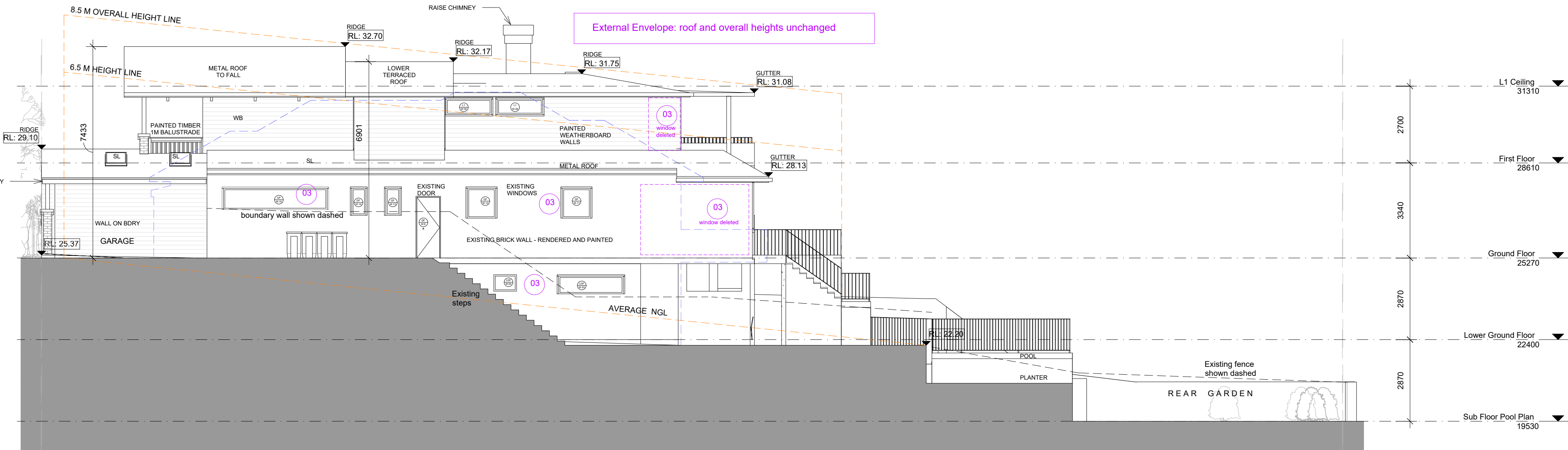
- THE NEW ROOF COLOUR TO BE OF MEDIUM SOLAR ABSORPTANCE.

LEGEND

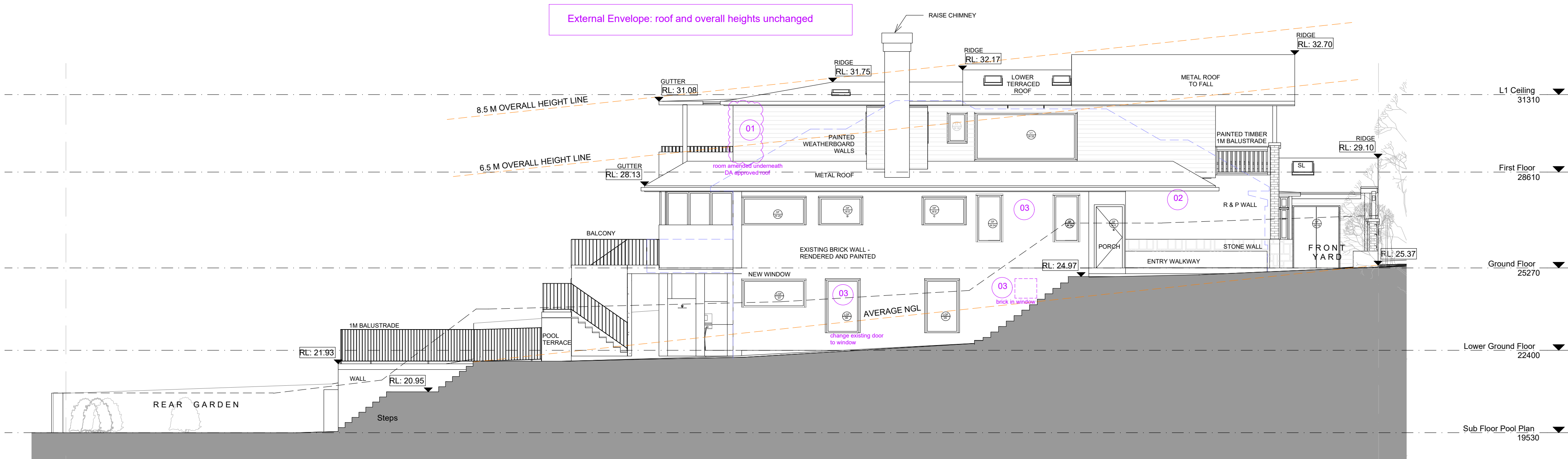
- EXISTING HOUSE WALLS:**
HOUSE WALLS AS IS AND PER SURVEY
- PROPOSED NEW BLD WALLS**
EXTERNAL WALLS BRICK AND/OR WEATHERBOARD WALLS
INTERNAL FRAMED LIGHT WEIGHT PLASTERBOARD WALLS
- PROPOSED ADDITION:**
HOUSE EXTENSION EXTRA GFA
- DEMOLITION:**
EXISTING SEMI WALLS & FIXTURES TO BE DEMOLISHED
- ADJOINING NEIGHBOURING PROPERTIES**
AS PER SITE SURVEY PLAN
- CONCRETE**
REINFORCED CONCRETE TO ENGINEER DETAILS
- TIMBER FLOOR:**
SELECTED HARDWOOD FLOOR
- WET AREA TILING**
SELECTED FLOOR TILES TO FALLS & SET-OUT TO DETAIL
- ROOFING**
COLOURBOND METAL ROOFING TO FALLS

SYMBOLS

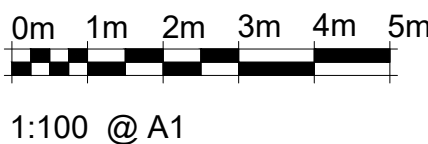
- WINDOW LABEL**
N^o Type
- EXISTING WINDOW**
EX Type
- DOOR LABEL**
N^o Type
- DC/PLEP WALL HEIGHT LINE**
- PLAN/ SECTION REFERENCE**
M Sheet
- PLAN/ ELEVATION REFERENCE**
Show N^o
- RL (LEVELS)**
RL
- FLOOR LEVELS**
FLOOR LEVELS



1 West Elevation
1 : 100



2 East Elevation
1 : 100



LIST OF S4.55 MODIFICATION DESIGN CHANGES

EXTERNAL:

1. First floor study relocated/enlarged
2. Ground floor entry porch canopy size reduced and pitch amended
3. Window/wall opening changes including skylight amendments

INTERNAL:

4. Relocated lift and associated stair changes
5. Room plan layout changes including kitchen, bathrooms and other
6. WC added under outdoor stair

OTHER

7. Outdoor fireplace deleted

NOTES

*** SITE SURVEY INFORMATION:**
THE SITE INFORMATION HEREIN HAS BEEN TRANSPOSED FROM THE C.M.S. SURVEYORS Pty Ltd SURVEY PLAN No. 6573A. REFER TO THIS DRAWING TO CONFIRM BOUNDARIES, EXISTING FEATURES, LEVELS & DATUM. EXISTING HOUSE WALL MEASUREMENTS (INTERNAL) BY V-MARK SURVEYS AND ACCURACY T.B.C. ON SITE.

*** COORDINATION:**
REFER TO AND COORDINATE INFORMATION CONTAINED IN THE ARCHITECTURAL DRAWINGS AND THE DOCUMENTATION OF OTHER CONSULTANTS WITH THE SPECIFICATION FOR BUILDINGS WORKS. REPORT DISCREPANCIES BETWEEN THE DOCUMENTS AND/OR WITH CONDITIONS ON SITE TO THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.

*** DETAIL DRAWINGS:**
UNLESS NOTED OTHERWISE REFER TO DETAIL DRAWINGS FOR SET-OUT INFORMATION. DETAIL DRAWINGS AT LARGER SCALES TAKE PRECEDENCE OVER GENERAL ARRANGEMENT DRAWINGS AT SMALLER SCALES. IF IN DOUBT NOTIFY ARCHITECTS FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.

*** EXECUTION OF THE WORKS:**
EXECUTE THE WORKS IN COMPLIANCE WITH THE CURRENT EDITION OF THE BUILDING CODE OF AUSTRALIA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN AND OTHER PUBLISHED STANDARDS (AS AMENDED) AND THE REQUIREMENTS OF OTHER AUTHORITIES RELEVANT TO THE EXECUTION OF THE WORKS.

issue	date	description
A	02/07/2018	Preliminary DA Issue for Review
B	19/10/2018	DA Issue for Review
C	05/11/2018	DEVELOPMENT APPLICATION
D	30/08/2019	Amended DA
E	20/07/2021	S4.55 MOD APPLICATION

CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.
FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
ALL DIMENSIONS IN MILLIMETRES.
PLEASE NOTIFY DU PRESSIS + DU PRESSIS ARCHITECTS IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND.
COPYRIGHT APPLIES TO THIS DOCUMENT.
THE DESIGN IS THE PROPERTY OF DU PRESSIS + DU PRESSIS ARCHITECTS. REPRODUCTION OF ANY KIND IS NOT PERMITTED WITHOUT CONSENT.
ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AS, BCA AND COUNCIL BUILDING REQUIREMENTS.

PROJECT TITLE:
OPADCHY
House Alterations & Additions

CLIENT NAME:
GEORGE + TATIANA OPADCHY

ADDRESS:
7 Clifford Avenue
Fairlight NSW 2094

DRAWING TITLE:
Elevations East/West

DRAWN:
AH

CHECKED:
EDUP

SCALE:
1:100@A1

DRAWING NO:

DA.11

ISSUE:
E

DATE:
20/07/2021

S4.55 MOD

BASIX COMMITMENTS

READ DRAWINGS IN CONJUNCTION WITH THE ATTACHED BASIX CERTIFICATE #A329994 SUBMITTED WITH THE DEVELOPMENT APPLICATION:

- THE OUTDOOR SWIMMING POOL MUST NOT HAVE A CAPACITY GREATER THAN 36 KILOLITRES. INSTALL A POOL PUMP & HEATING SYSTEM FOR THE SWIMMING POOL TO BE SOLAR ONLY.

- THE APPLICANT MUST INSTALL A RAINWATER TANK OF AT LEAST 1575 LITRES ON THE SITE. THE RAINWATER TANK TO COLLECT RAINWATER RUNOFF FROM AT LEAST 90 SQUARE METRES OF ROOF AREA. CONNECT THE RAINWATER TANK TO A TAP LOCATED WITHIN 10 METRES OF THE EDGE OF THE POOL.

- PROVIDE A HEATING/COOLING SYSTEM TO ACHIEVE THE REQUIRED STAR ENERGY RATING.

- A NEW 'GAS INSTANTANEOUS' HOT WATER SYSTEM TO BE INSTALLED [POSITION T.B.C]

- A MINIMUM OF 40% OF NEW OR ALTERED LIGHT FIXTURES ARE TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS.

- ALL NEW OR ALTERED SHOWERHEAD, TOILET & TAP FIXTURES TO ACHIEVE THE REQUIRED STAR WATER RATING.

- ADDITIONAL NEW FLOOR, WALL & ROOF CEILING INSULATION TO HAVE THE MINIMUM R-VALUES AS SPECIFIED IN THE CERTIFICATE

- ALL NEW WINDOWS & SKYLIGHTS TO HAVE U-VALUE AND A SOLAR HEAT GAIN COEFFICIENT NO GREATER THAN THAT LISTED IN THE BASIX TABLE REQUIREMENTS.

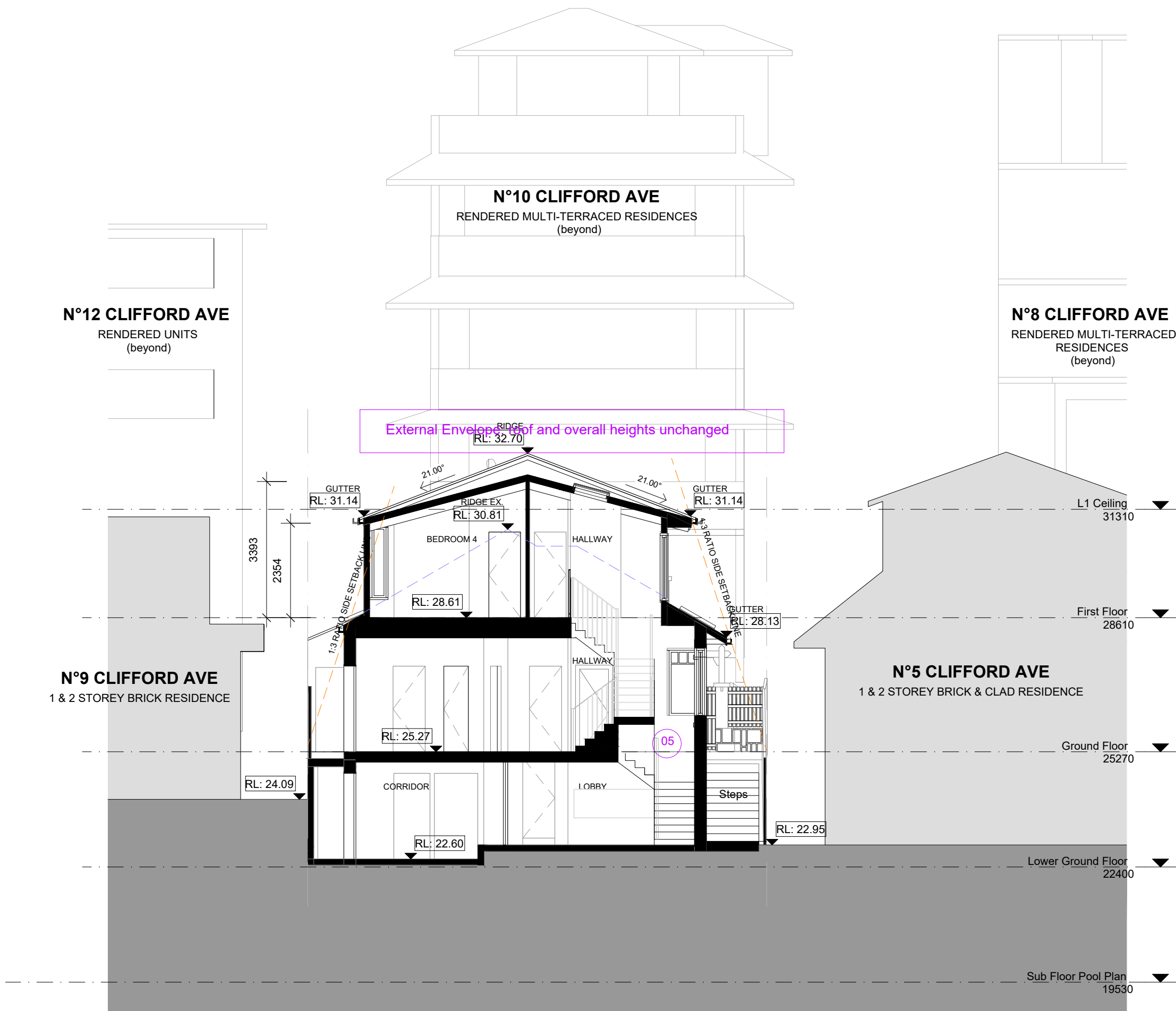
- THE NEW ROOF COLOUR TO BE OF MEDIUM SOLAR ABSORPTANCE.

LEGEND

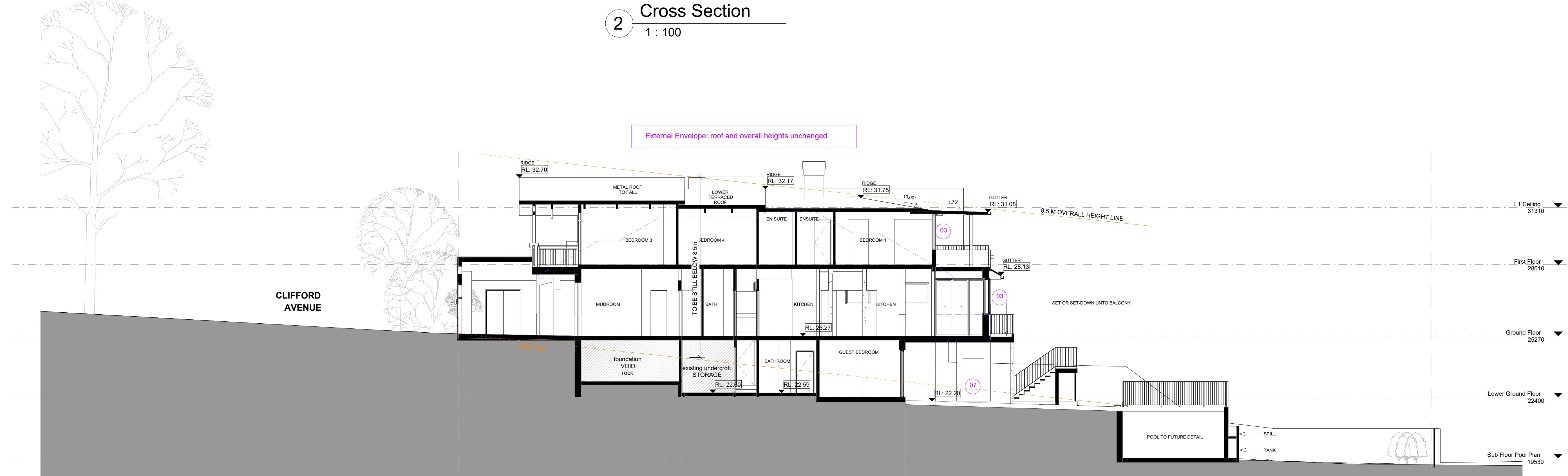
- EXISTING HOUSE WALLS:**
HOUSE WALLS AS IS AND PER SURVEY
- PROPOSED NEW BLD WALLS**
EXTERNAL WALLS BRICK AND/OR WEATHERBOARD WALLS
INTERNAL FRAMED LIGHT WEIGHT PLASTERBOARD WALLS
- PROPOSED ADDITION:**
HOUSE EXTENSION EXTRA GFA
- DEMOLITION:**
EXISTING SEMI WALLS & FIXTURES TO BE DEMOLISHED
- ADJOINING NEIGHBOURING PROPERTIES**
AS PER SITE SURVEY PLAN
- CONCRETE**
REINFORCED CONCRETE TO ENGINEER DETAILS
- TIMBER FLOOR:**
SELECTED HARDWOOD FLOOR
- WET AREA TILING**
SELECTED FLOOR TILES TO FALLS & SET-OUT TO DETAIL
- ROOFING**
COLOURBOND METAL ROOFING TO FALLS

SYMBOLS

- WINDOW LABEL**
N° Type
EX- Type
N° Type
- EXISTING WINDOW**
EX- Type
N° Type
- DOOR LABEL**
N° Type
- DCP/EP WALL HEIGHT LINE**
N° Type
- PLAN/ SECTION REFERENCE**
N° (Sheet)
Sheet N°
- PLAN/ ELEVATION REFERENCE**
N°
- RL (LEVELS)**
RL
- FLOOR LEVELS**
FLOOR LEVELS



2 Cross Section
1 : 100



1 Long Section
1 : 100

LIST OF S4.55 MODIFICATION DESIGN CHANGES

EXTERNAL:

1. First floor study relocated/enlarged
2. Ground floor entry porch canopy size reduced and pitch amended
3. Window/wall opening changes including skylight amendments

INTERNAL:

4. Relocated lift and associated stair changes
5. Room plan layout changes including kitchen, bathrooms and other
6. WC added under outdoor stair

OTHER

7. Outdoor fireplace deleted

NOTES

*** SITE SURVEY INFORMATION:**
THE SITE INFORMATION HEREIN HAS BEEN TRANSPOSED FROM THE C.M.S. SURVEYORS Pty Ltd SURVEY PLAN No.673A. REFER TO THIS DRAWING TO CONFIRM BOUNDARIES, EXISTING FEATURES, LEVELS & DATUM. EXISTING HOUSE WALL MEASUREMENTS (INTERNAL) BY V-MARK SURVEYS AND ACCURACY T.B.C. ON SITE.

*** COORDINATION:**
REFER TO AND COORDINATE INFORMATION CONTAINED IN THE ARCHITECTURAL DRAWINGS AND THE DOCUMENTATION OF OTHER CONSULTANTS WITH THE SPECIFICATION FOR BUILDINGS WORKS. REPORT DISCREPANCIES BETWEEN THE DOCUMENTS AND/OR WITH CONDITIONS ON SITE TO THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.

*** DETAIL DRAWINGS:**
UNLESS NOTED OTHERWISE REFER TO DETAIL DRAWINGS FOR SET-OUT INFORMATION. DETAIL DRAWINGS AT LARGER SCALES TAKE PRECEDENCE OVER GENERAL ARRANGEMENT DRAWINGS AT SMALLER SCALES. IF IN DOUBT NOTIFY ARCHITECTS FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.

*** EXECUTION OF THE WORKS:**
EXECUTE THE WORKS IN COMPLIANCE WITH THE CURRENT EDITION OF THE BUILDING CODE OF AUSTRALIA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN AND OTHER PUBLISHED STANDARDS (AS AMENDED) AND THE REQUIREMENTS OF OTHER AUTHORITIES RELEVANT TO THE EXECUTION OF THE WORKS.

issue	date	description
A	02/07/2018	Preliminary DA Issue for Review
B	19/10/2018	DA Issue for Review
C	05/11/2018	DEVELOPMENT APPLICATION
D	30/08/2019	Amended DA
E	20/07/2021	S4.55 MOD APPLICATION

* CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.
* FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
* ALL DIMENSIONS IN MILLIMETRES.
* PLEASE NOTIFY DU PLESSIS + DU PLESSIS ARCHITECTS IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND.
* COPYRIGHT APPLIES TO THIS DOCUMENT.
* THE DESIGN IS THE PROPERTY OF DU PLESSIS + DU PLESSIS ARCHITECTS. REPRODUCTION OF ANY KIND IS NOT PERMITTED WITHOUT CONSENT.
* ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AS, BCA AND COUNCIL BUILDING REQUIREMENTS.

DU PLESSIS
DU PLESSIS ARCHITECTS
0403944576 | 0433408368
www.droom.com.au

NSW REGISTERED ARCHITECT #7435
NOMINATED ARCHITECT: EUGENE DU PLESSIS

PROJECT TITLE:
OPADCHY
House Alterations & Additions

CLIENT NAME:
GEORGE + TATIANA OPADCHY

ADDRESS:
7 Clifford Avenue
Fairlight NSW 2094

DRAWING TITLE:
Sections

DRAWN:
AH

CHECKED:
EDUP

SCALE:
1:100@A1

DRAWING NO:

DA.12

ISSUE:
E

DATE:
20/07/2021

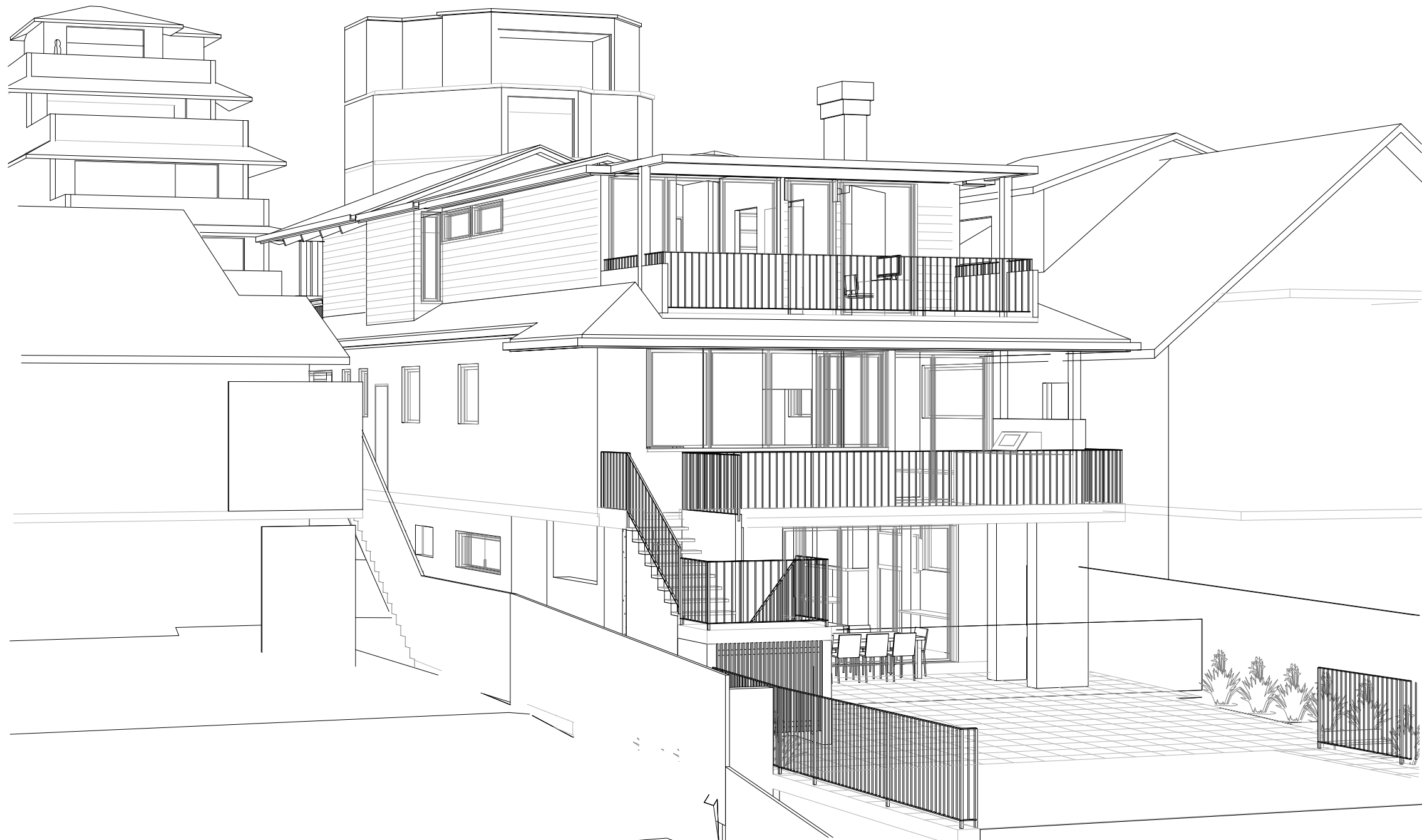
S4.55 MOD



1 Perspective North



3 Perspective Northeast



2 Perspective - Southwest



4 Perspective Northwest

NOTES

• **SITE SURVEY INFORMATION:**
THE SITE INFORMATION HEREIN HAS BEEN TRANSPOSED FROM THE C.M.S. SURVEYORS Pty Ltd SURVEY PLAN No. 6573A. REFER TO THIS DRAWING TO CONFIRM BOUNDARIES, EXISTING FEATURES, LEVELS & DATUM. EXISTING HOUSE WALL MEASUREMENTS (INTERNAL) BY V-MARK SURVEYS AND ACCURACY T.B.C. ON SITE.

• **COORDINATION:**
REFER TO AND COORDINATE INFORMATION CONTAINED IN THE ARCHITECTURAL DRAWINGS AND THE DOCUMENTATION OF OTHER CONSULTANTS WITH THE SPECIFICATION FOR BUILDING WORKS. REPORT DISCREPANCIES BETWEEN THE DOCUMENTS AND/OR WITH CONDITIONS ON SITE TO THE ARCHITECT FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.

• **DETAIL DRAWINGS:**
UNLESS NOTED OTHERWISE REFER TO DETAIL DRAWINGS FOR SET-OUT INFORMATION. DETAIL DRAWINGS AT LARGER SCALES TAKE PRECEDENCE OVER GENERAL ARRANGEMENT DRAWINGS AT SMALLER SCALES. IF IN DOUBT NOTIFY ARCHITECTS FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORKS.

• **EXECUTION OF THE WORKS:**
EXECUTE THE WORKS IN COMPLIANCE WITH THE CURRENT EDITION OF THE BUILDING CODE OF AUSTRALIA (AS AMENDED), CURRENT EDITIONS OF RELEVANT AUSTRALIAN AND OTHER PUBLISHED STANDARDS (AS AMENDED) AND THE REQUIREMENTS OF OTHER AUTHORITIES RELEVANT TO THE EXECUTION OF THE WORKS.

issue	date	description
A	02/07/2018	Preliminary DA Issue for Review
B	19/10/2018	DA Issue for Review
C	05/11/2018	DEVELOPMENT APPLICATION
D	30/08/2019	Amended DA
E	20/07/2021	S4.55 MOD APPLICATION

• CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK.
• FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.
• ALL DIMENSIONS IN MILLIMETRES.
• PLEASE NOTIFY DU PLESSIS + DU PLESSIS ARCHITECTS IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND.
• COPYRIGHT APPLIES TO THIS DOCUMENT.
• THE DESIGN IS THE PROPRIETY OF DU PLESSIS + DU PLESSIS ARCHITECTS. REPRODUCTION OF ANY KIND IS NOT PERMITTED WITHOUT CONSENT.
• ALL WORKS TO BE IN ACCORDANCE WITH THE RELEVANT AS, BCA AND COUNCIL BUILDING REQUIREMENTS.

DU PLESSIS
DU PLESSIS ARCHITECTS
0403944576 | 0433408368
www.droom.com.au

NSW REGISTERED ARCHITECT #7435
NOMINATED ARCHITECT: EUGENE DU PLESSIS

PROJECT TITLE:
OPADCHY
House Alterations & Additions

CLIENT NAME:
GEORGE + TATIANA OPADCHY

ADDRESS:
7 Clifford Avenue
Fairlight NSW 2094

DRAWING TITLE:
Perspectives

DRAWN:
AH

CHECKED:
EDUP

SCALE:

DRAWING NO:

DA.13

ISSUE:
E

DATE:
20/07/2021

S4.55 MOD