

SITE ANALYSIS PLAN

LOT 90 - DP 17189

SITE AREA: 544.0m²

FLOOR AREA CALCULATION:

SITE AREA:	AREA: 544.0m ²
EXISTING FLOOR AREA PRE DEMOLITION	AREA: 160.13m ²
EXISTING SECONDARY DWELLING FLOOR AREA	AREA: 60.00m ²
NEW FLOOR AREA OF PRINCIPAL DWELLING	AREA: 224.7m ²

TRUE NORTH:



NOTES:

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- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

JJ Drafting

174 Garden St, North Narrabeen, NSW, 2101
PO Box 687, Dee Why, NSW, 2099
Mob. 0414 717 541
Email. jidraft@tpg.com.au
www.jidrafting.com.au

REV:	DATE:	DESCRIPTION:
B	17/04/19	Additional information
C	23/04/19	Additional shadows information
C.1	04/07/19	Stormwater information
C.2	15/07/19	Setback, P.O.S. adjust
C.3	17/07/19	Remove Stormwater Concept Plan
C.4	18/07/19	Site Calculations
C.5	30/07/19	Rainwater Tank Notes

PROJECT DETAILS:
PROPOSED NEW DWELLING
34 Whale Beach Rd. Avalon 2107

DRAWING TITLE:
SITE ANALYSIS PLAN

DATE:
30/07/2019

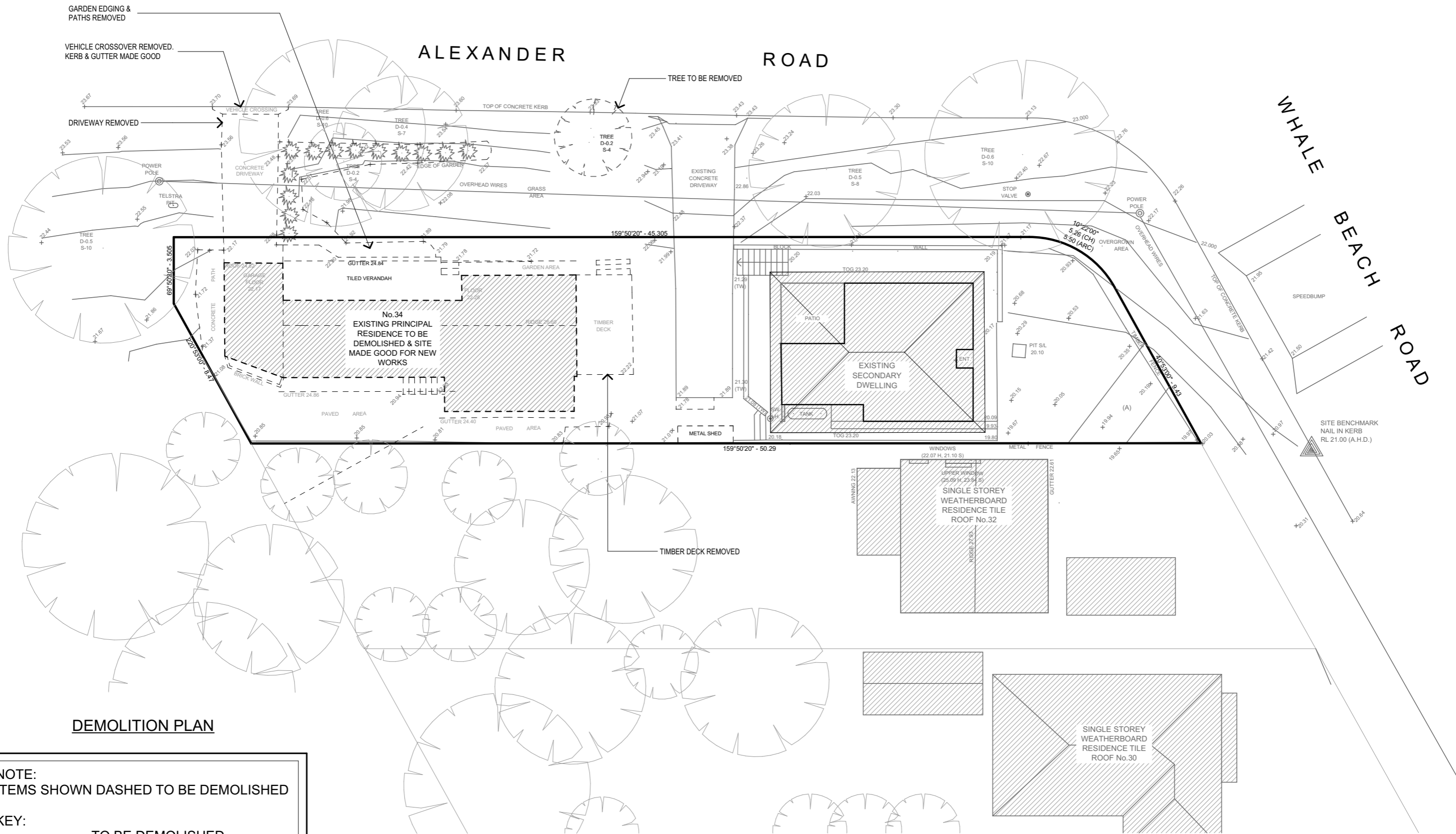
JOB No:
692/19

DRAWN BY:
AHB

CHECKED BY:
JJ

SCALE:
1:200 @ A3

DRAWING No:
DA.01 C.4

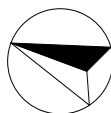


DEMOLITION PLAN

NOTE:
ITEMS SHOWN DASHED TO BE DEMOLISHED

KEY:
--- TO BE DEMOLISHED

TRUE NORTH:



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DRAWING TITLE:
DEMOLITION PLAN

DATE:
30/07/2019

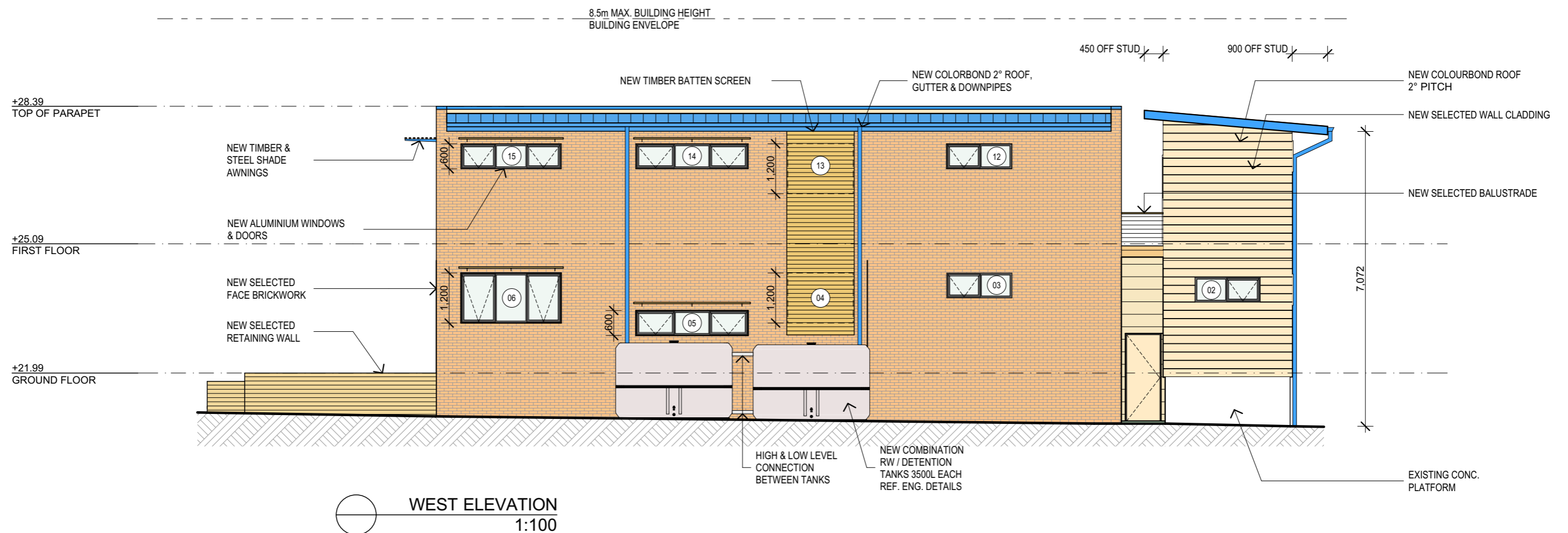
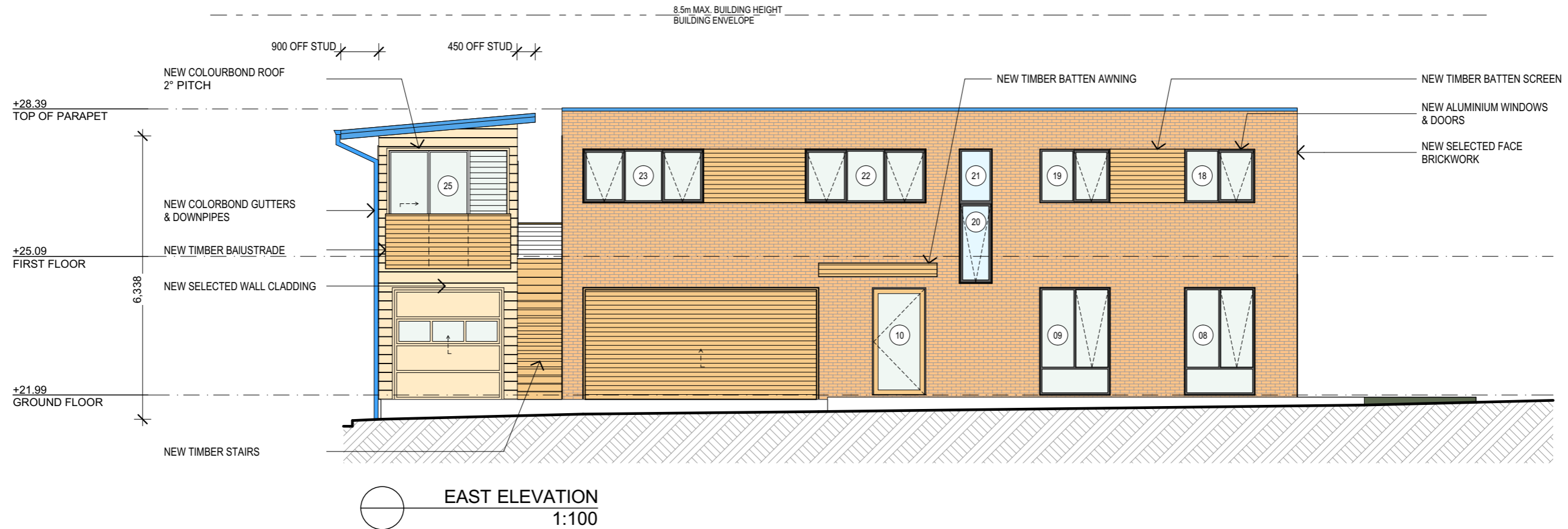
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692/19

DRAWN BY:
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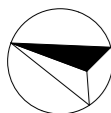
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DRAWING No:
DA.02 C.4



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PROPOSED NEW DWELLING
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DRAWING TITLE:
EAST & WEST ELEVATION

DATE:
30/07/2019

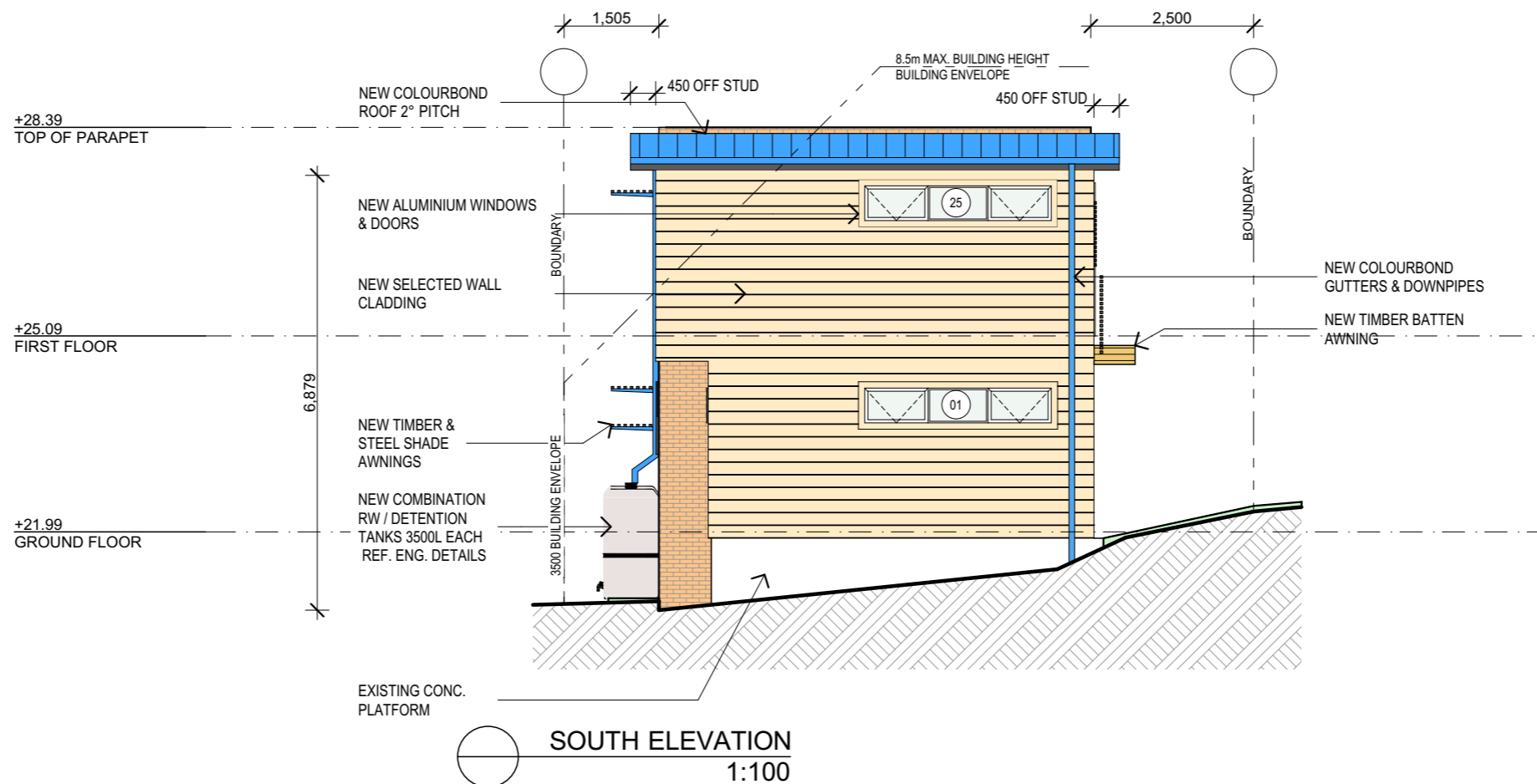
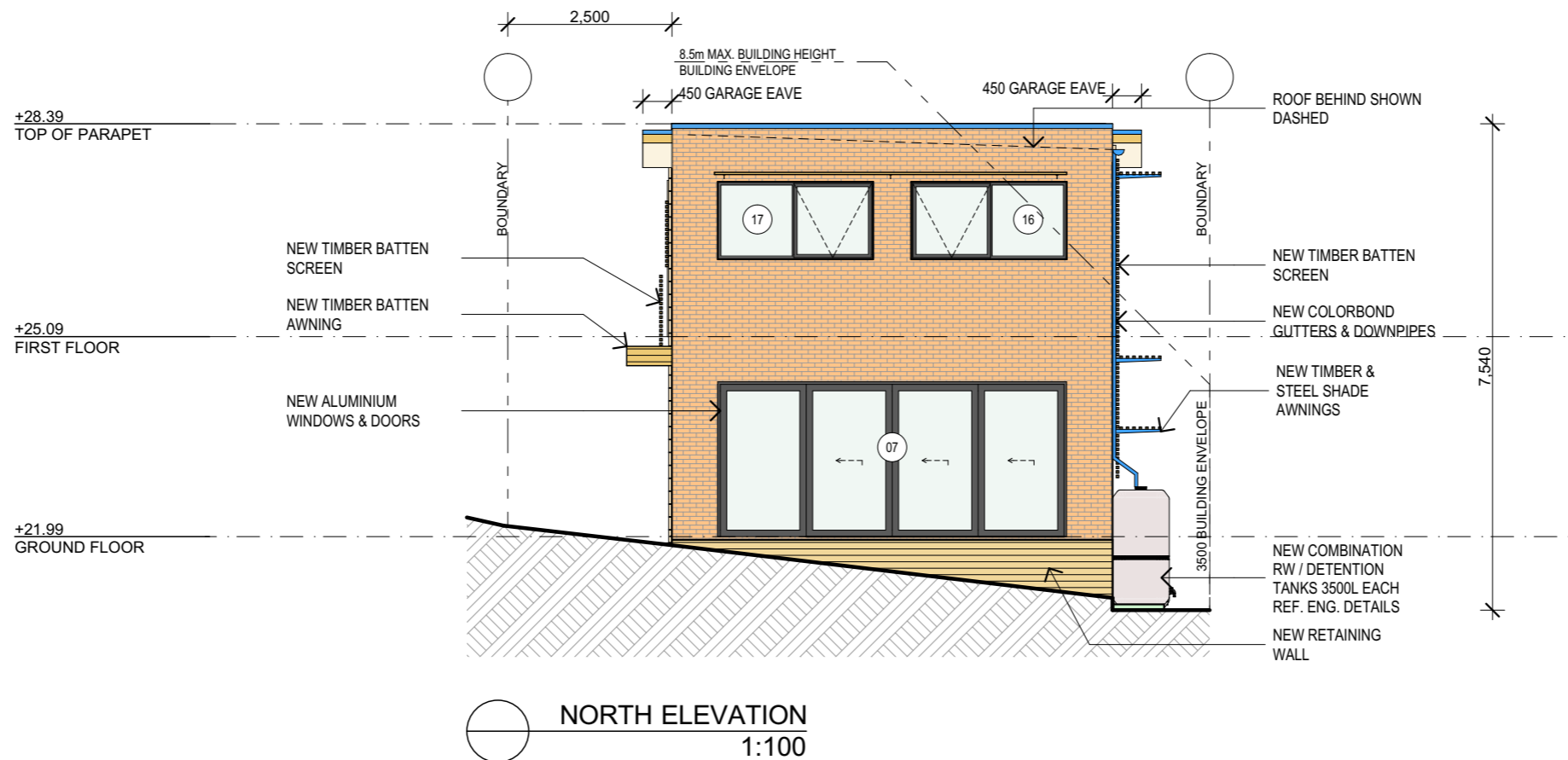
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692/19


DRAWN BY:
AHB

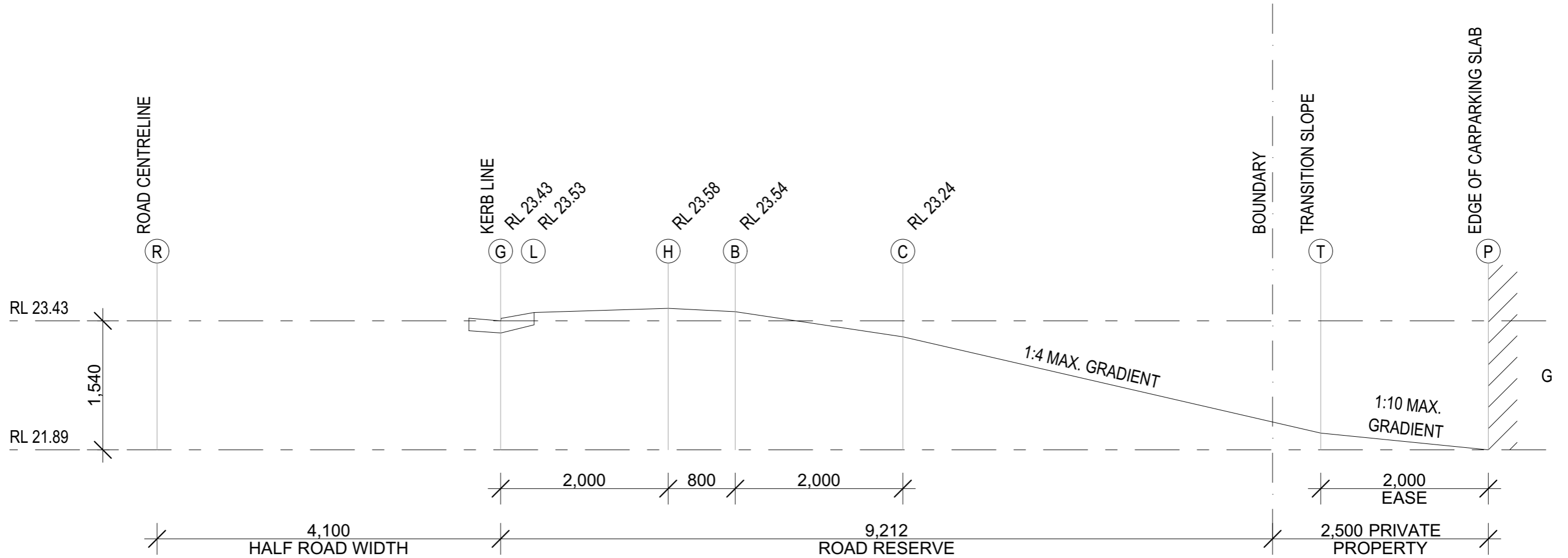
CHECKED BY:
JJ

SCALE:
1:100 @ A3

DRAWING No:
DA.05 C.4



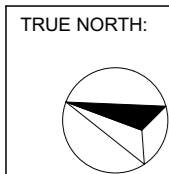
<div>TRUE NORTH:</div> <div></div>	<div>NOTES:</div> <ul style="list-style-type: none">• All structures including stormwater & drainage to engineer's details.• Do not obtain dimensions by scaling drawings.• All dimensions are to be checked on site prior to starting work.• These drawings are to be read in conjunction with all other consultant's drawings and specifications.• All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the relevant SAA Codes of Practice, the Building Code of Australia and local council requirements.• New materials are to be used throughout unless otherwise noted.• Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.	<div>JJ Drafting</div> <div>174 Garden St, North Narrabeen, NSW, 2101</div> <div>PO Box 687, Dee Why, NSW, 2099</div> <div>Mob. 0414 717 541</div> <div>Email. jjdraft@tpg.com.au</div> <div>www.jjdrafting.com.au</div>	<table><tr><th>REV:</th><th>DATE:</th><th>DESCRIPTION:</th></tr><tr><td>B</td><td>17/04/19</td><td>Additional information</td></tr><tr><td>C</td><td>23/04/19</td><td>Additional shadows information</td></tr><tr><td>C.1</td><td>04/07/19</td><td>Stormwater information</td></tr><tr><td>C.2</td><td>15/07/19</td><td>Setback, P.O.S. adjust</td></tr><tr><td>C.3</td><td>17/07/19</td><td>Remove Stormwater Concept Plan</td></tr><tr><td>C.4</td><td>18/07/19</td><td>Site Calculations</td></tr><tr><td>C.5</td><td>30/07/19</td><td>Rainwater Tank Notes</td></tr></table>	REV:	DATE:	DESCRIPTION:	B	17/04/19	Additional information	C	23/04/19	Additional shadows information	C.1	04/07/19	Stormwater information	C.2	15/07/19	Setback, P.O.S. adjust	C.3	17/07/19	Remove Stormwater Concept Plan	C.4	18/07/19	Site Calculations	C.5	30/07/19	Rainwater Tank Notes	<div>PROJECT DETAILS:</div> <div>PROPOSED NEW DWELLING</div> <div>34 Whale Beach Rd. Avalon 2107</div>		<div>DATE:</div> <div>30/07/2019</div>	<div>DRAWN BY:</div> <div>AHB</div>	<div>SCALE:</div> <div>1:100 @ A3</div>
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<div>DRAWING TITLE:</div> <div>NORTH & SOUTH ELEVATION</div>	<div>JOB No:</div> <div>692/19</div>	<div>CHECKED BY:</div> <div>JJ</div>	<div>DRAWING No:</div> <div>DA.06 C.4</div>																													



DRIVEWAY PROFILE

SET OUT

POINT	REMARKS	LEVELS
R	ROAD CENTRELINE	
G	INVERT OF GUTTER	
L	BACK OF LAYBACK	100 ABOVE 'G'
H	2000 FROM KERBLINE	150 ABOVE 'G'
B	2800 FROM KERB LINE	110 ABOVE 'G'
C	4800 FROM KERB LINE	190 BELOW 'G'



NOTES:

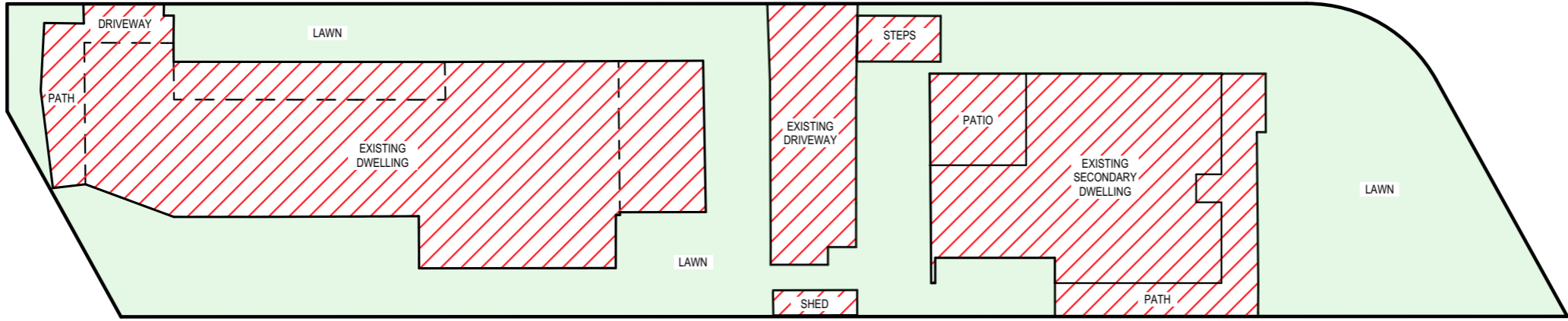
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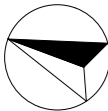
PROJECT DETAILS: PROPOSED NEW DWELLING 34 Whale Beach Rd. Avalon 2107	DATE: 30/07/2019	DRAWN BY: AHB	SCALE: 1:50 @ A3
DRAWING TITLE: DRIVEWAY PROFILE	JOB No: 692/19	CHECKED BY: JJ	DRAWING No: DA.08 C.4



EXISTING LANDSCAPE CALCULATION PLAN AND HARD SURFACE AREA

EXISTING LANDSCAPE CALCULATIONS			
SITE AREA		544.0 m ²	
LANDSCAPE CONTROL		MIN. 50%	272.0 m ²
EXISTING LANDSCAPE AREA		51.62%	280.77 m ²
EXISTING HARD SURFACE AREA		48.38%	263.23 m ²

TRUE NORTH:



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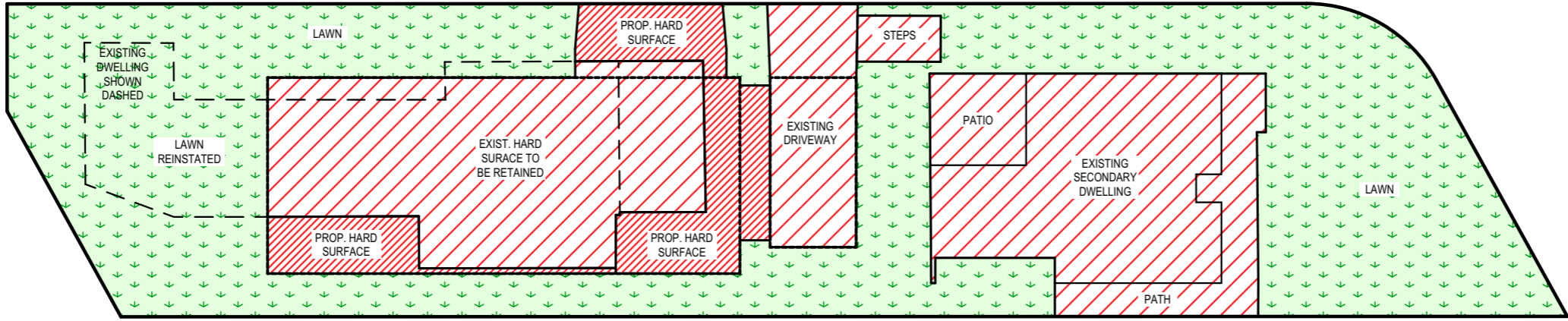
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PROJECT DETAILS: PROPOSED NEW DWELLING 34 Whale Beach Rd. Avalon 2107
DRAWING TITLE: EXISTING LANDSCAPE CALCULATION PLAN AND HARD SURFACE AREA

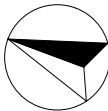
DATE: 30/07/2019	DRAWN BY: AHB	SCALE: 1:200 @ A3
JOB No: 692/19	CHECKED BY: JJ	DRAWING No: DA.09 C.4



PROPOSED LANDSCAPE CALCULATION PLAN AND HARD SURFACE AREA

PROPOSED LANDSCAPE CALCULATIONS			
SITE AREA			544.0m ²
LANDSCAPE CONTROL		MIN. 50%	272.0 m ²
EXISTING LANDSCAPED AREA		51.62%	280.77 m ²
PROPOSED LANDSCAPE AREA		54.02%	293.91 m ²
EXISTING HARD SURFACE AREA			263.23 m ²
HARD SURFACE AREA TO BE RETAINED (EXISTING)			206.89 m ²
PROPOSED HARD SURFACE AREA			43.2 m ²
TOTAL HARD SURFACE AREA (EXISTING & PROPOSED)			250.09 m ²

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PROPOSED NEW DWELLING
34 Whale Beach Rd. Avalon 2107

DATE:

30/07/2019

DRAWN BY:

AHB

SCALE:

1:200 @ A3

DRAWING TITLE:

PROPOSED LANDSCAPE CALCULATION PLAN AND HARD SURFACE AREA

JOB No:

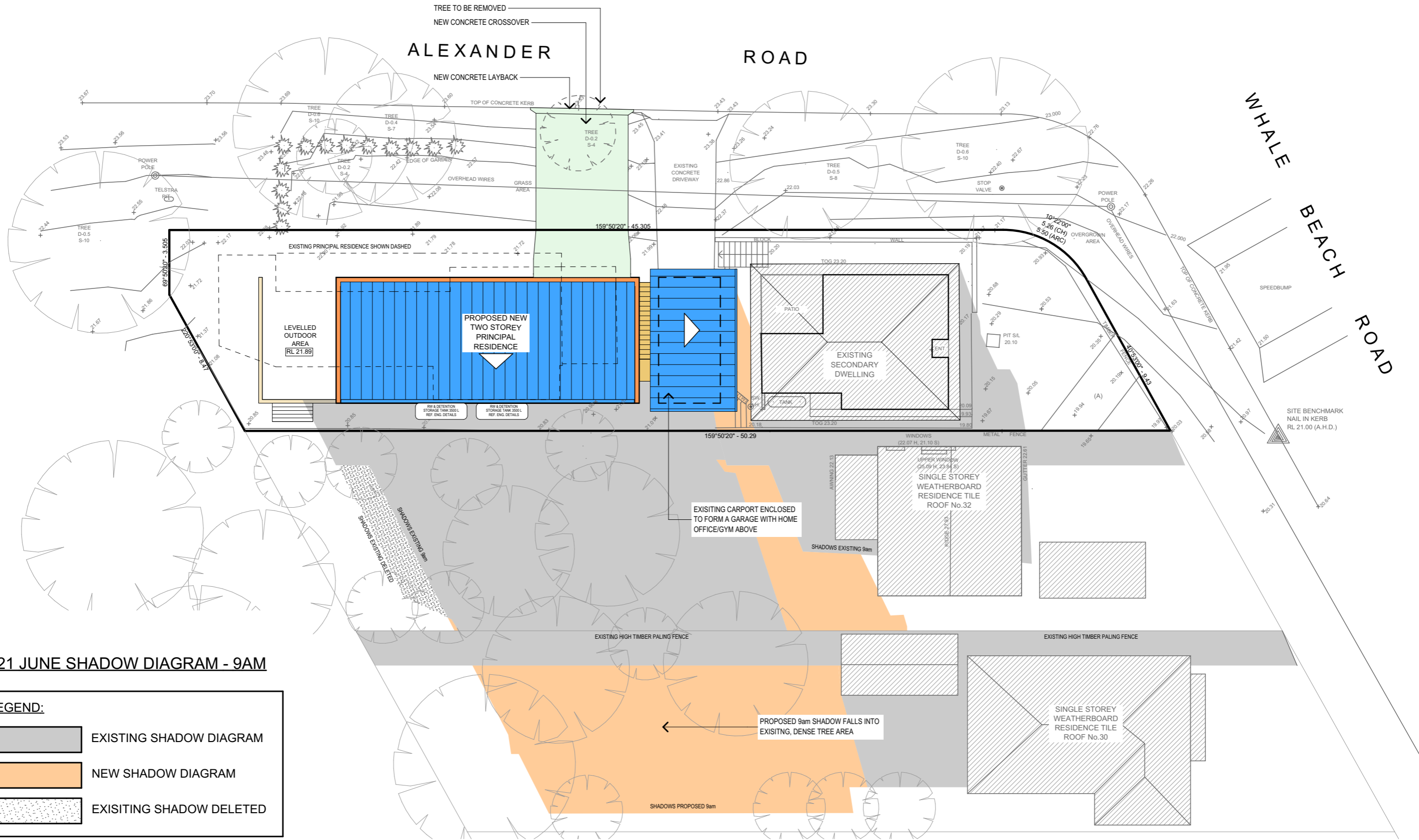
692/19

CHECKED BY:

JJ

DRAWING No:

DA.10 C.4



21 JUNE SHADOW DIAGRAM - 9AM

LEGEND:

- EXISTING SHADOW DIAGRAM
- NEW SHADOW DIAGRAM
- EXISTING SHADOW DELETED

TRUE NORTH:



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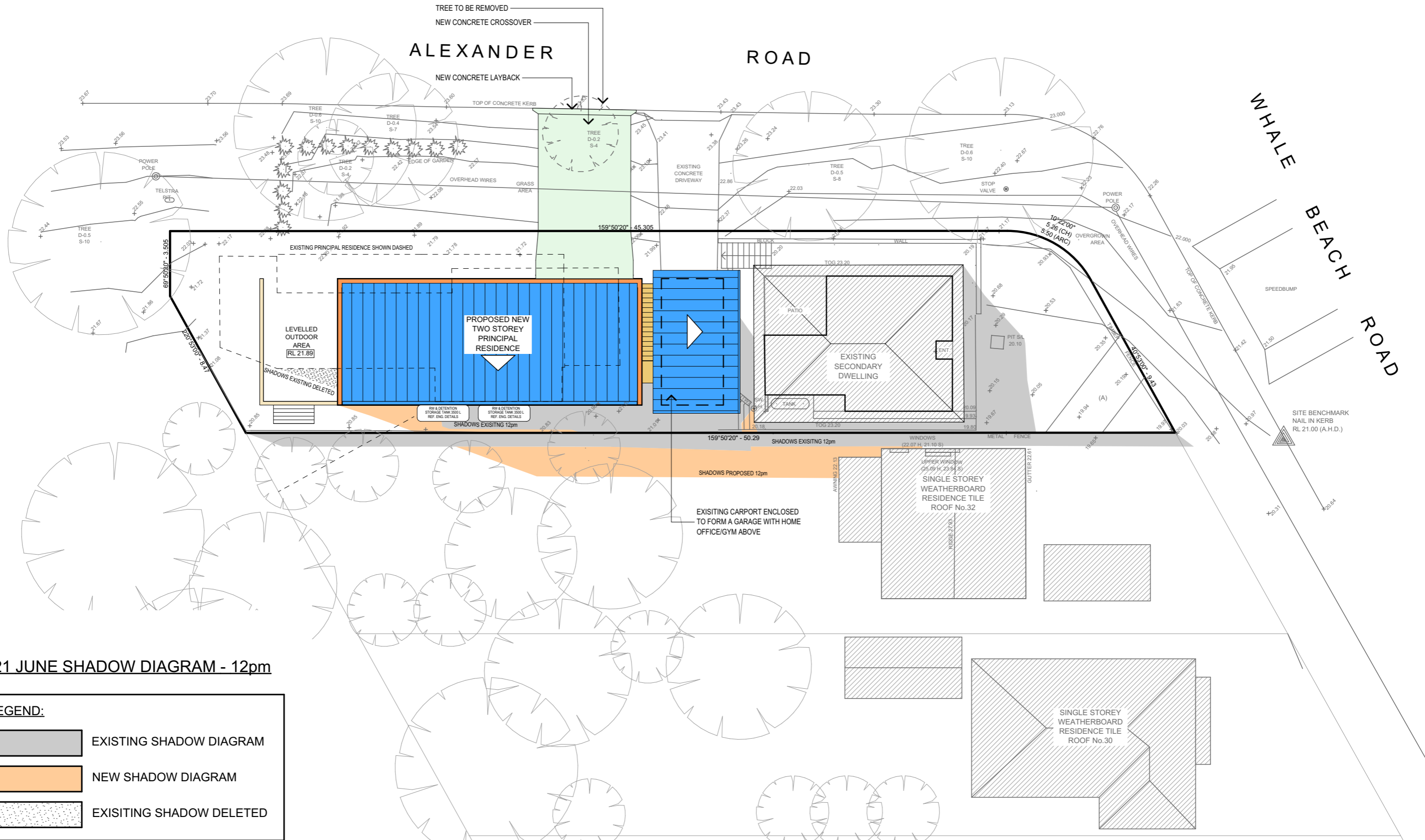
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PROJECT DETAILS:
PROPOSED NEW DWELLING
34 Whale Beach Rd. Avalon 2107
DRAWING TITLE:
JUNE 21_9AM

DATE:	30/07/2019	DRAWN BY:	AHB	SCALE:	1:200 @ A3
JOB No:	692/19	CHECKED BY:	JJ	DRAWING No:	DA.11 C.4



21 JUNE SHADOW DIAGRAM - 12pm

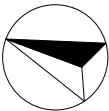
LEGEND:

EXISTING SHADOW DIAGRAM

NEW SHADOW DIAGRAM

EXISITING SHADOW DELETED

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PROJECT DETAILS:

PROPOSED NEW DWELLING
34 Whale Beach Rd. Avalon 2107

DRAWING TITLE:

JUNE 21_12pm

DATE:

30/07/2019

JOB No:

692/19

DRAWN BY:

AHB

CHECKED BY:

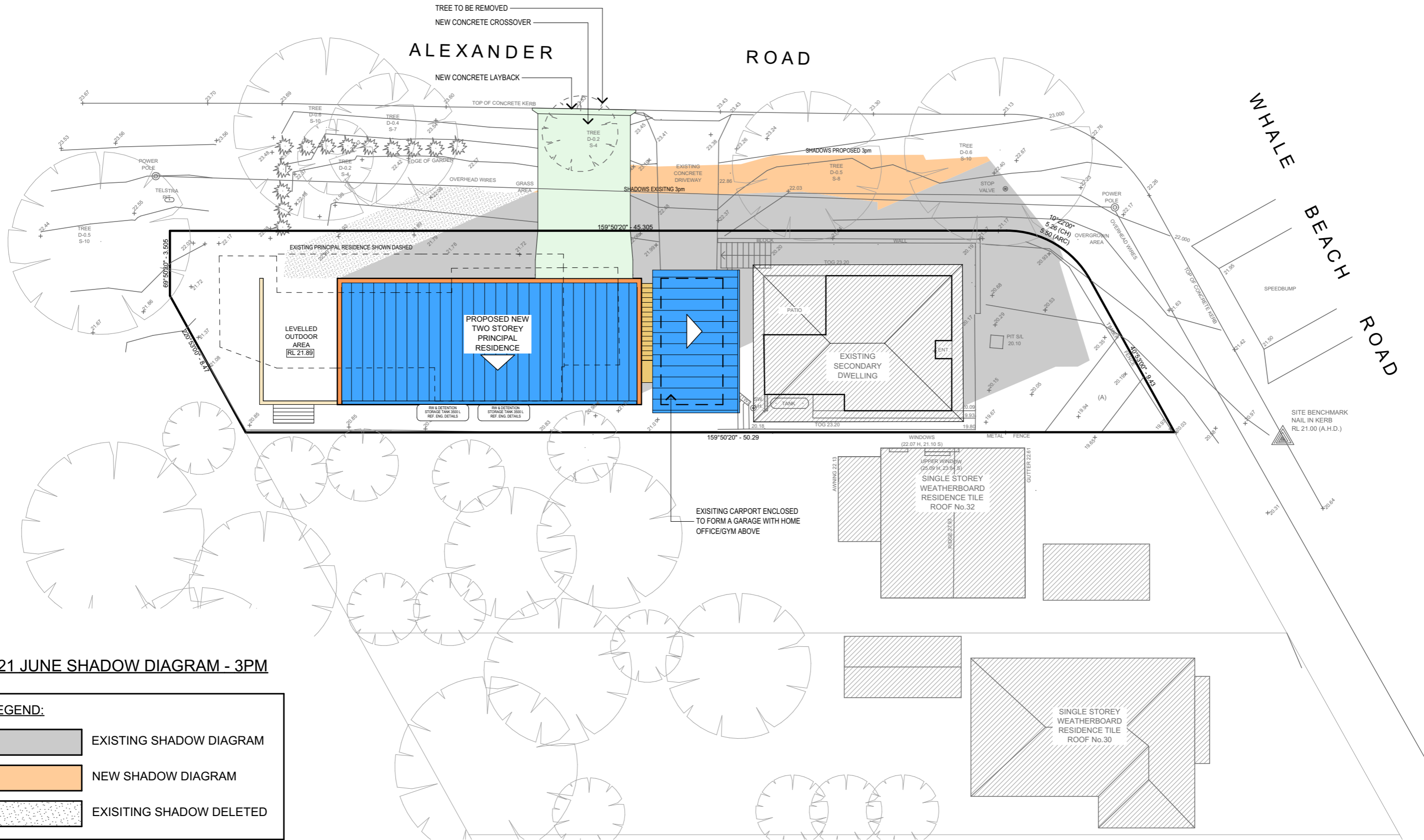
JJ

SCALE:

1:200 @ A3

DRAWING No:

DA.12 C.4



21 JUNE SHADOW DIAGRAM - 3PM

LEGEND:

- EXISTING SHADOW DIAGRAM
- NEW SHADOW DIAGRAM
- EXISTING SHADOW DELETED

TRUE NORTH:



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PROPOSED NEW DWELLING
34 Whale Beach Rd. Avalon 2107
DRAWING TITLE:
JUNE 21_3PM

DATE:	30/07/2019	DRAWN BY:	AHB	SCALE:	1:200 @ A3
JOB No:	692/19	CHECKED BY:	JJ	DRAWING No:	DA.13 C.4

Designated Site Manager/Builder

PRIOR TO COMMENCEMENT OF WORK A SITE MANAGER OR BUILDER MUST BE NOMINATED. THE SITE MANAGER OR BUILDER WILL BE RESPONSIBLE AND LIABLE FOR ALL WORKS CARRIED OUT ON THE SITE. THIS ASSUMES THE RESONSIBILITY FOR THE ACTIONS OF ALL SUBCONTRACTED PARTIES AS WELL AS ADVISING THEM OF COUNCIL'S REQUIREMENTS WHEN CARRYING OUT WORKS.

Topsoil Management

PRIOR TO THE STRIPPING OF TOPSOIL, THE VEGETATIVE COVER MUST BE REDUECED BY EITHER SLASHING OR MOWING. ALL TOPSOIL IS TO BE RETAINED AND PROTECTED FOR REUSE ON SITE. SOIL STOCKPILES MUST NOT BE LOCATED ON NATURE STRIPS, FOOTPATHS, ROADWAYS, KERBS, ACCESSWAYS, WITHIN DRAINAGE LINES/FLOWS/PATHS OR AROUND OR AGAINST TREE SHRUBS. SEDIMENT CONTROL MEASURES MUST BE INCORPORATED WITH ANY RESULTING STOCKPILE. THE STOCKPILE CAN BE PROTECTED FROM EROSION BY COVERING IT WITH AN IMPERVIOUS MATERIAL, IN CONJUNCTION WITH THE INSTALLATION OF A SEDIMENT FENCE AROUND IT. IF STOCKPILES ARE TO REMAIN FOR MORE THAN ONE MONTH THEY ARE TO BE GRASSED IMMEDIATELY AND STABILISED WITHIN FOURTEEN DAYS. SURPLUS TOPSOIL MUST BE REASONABLY REMOVED FROM SITE.

Building Material Stockpiling

SUFFICIENT AREA MUST BE ALLOCATED WITHIN THE SITE FOR SUCH STORAGE OF BUILDING MATERIALS, DEMOLITION WASTE, WASTE CONTAINERS, ETC. AS WILL BE REQUIRED.

Sediment Fences

A SEDIMENT FENCE SHOULD BE LOCATED ALONG THE DOWNSLOPE BOUNDARY(S)OF THE SITE, ON THE CONSTRUCTION SIDE OF THE TURF FILTER STRIP OR NATIVE VEGETATION , AND AROUND ALL STOCKPILES OF MATERIAL ON THE SITE.

Dust Control

ALL TRUCKS/UTES MUST COVER THEIR LOADS AT ALL TIMES. APPROPRIATE METHODS ARE TO BE EMPLOYED TO PREVENT BLOWING DUST CREATING AN UNACCEPTABLE HAZARD OR NUISANCE ON THE SITE OR DOWN WIND. PRODUCTION OF DUST CAN BE MINIMISED BY LIMITING AREA OF EARTHWORKS, WATERING AND PROGRESSIVE VEGETATION. WHERE DUST IS CREATED AS A RESULT WORKS AND/OR SOIL EXPOSURE, THE BARE SOIL AREAS MUST BE WATERED, DURING AND/OR AT THE END OF EACH DAY TO LAY THE DUST. EARTH MOVONG ACTIVITIES SHOULD BE AVOIDED WHERE WINDS ARE SUFFICIENTLY STRONG ENOUGH TO RAISE VISIBLE DUST.

Erosion & Sediment Controls

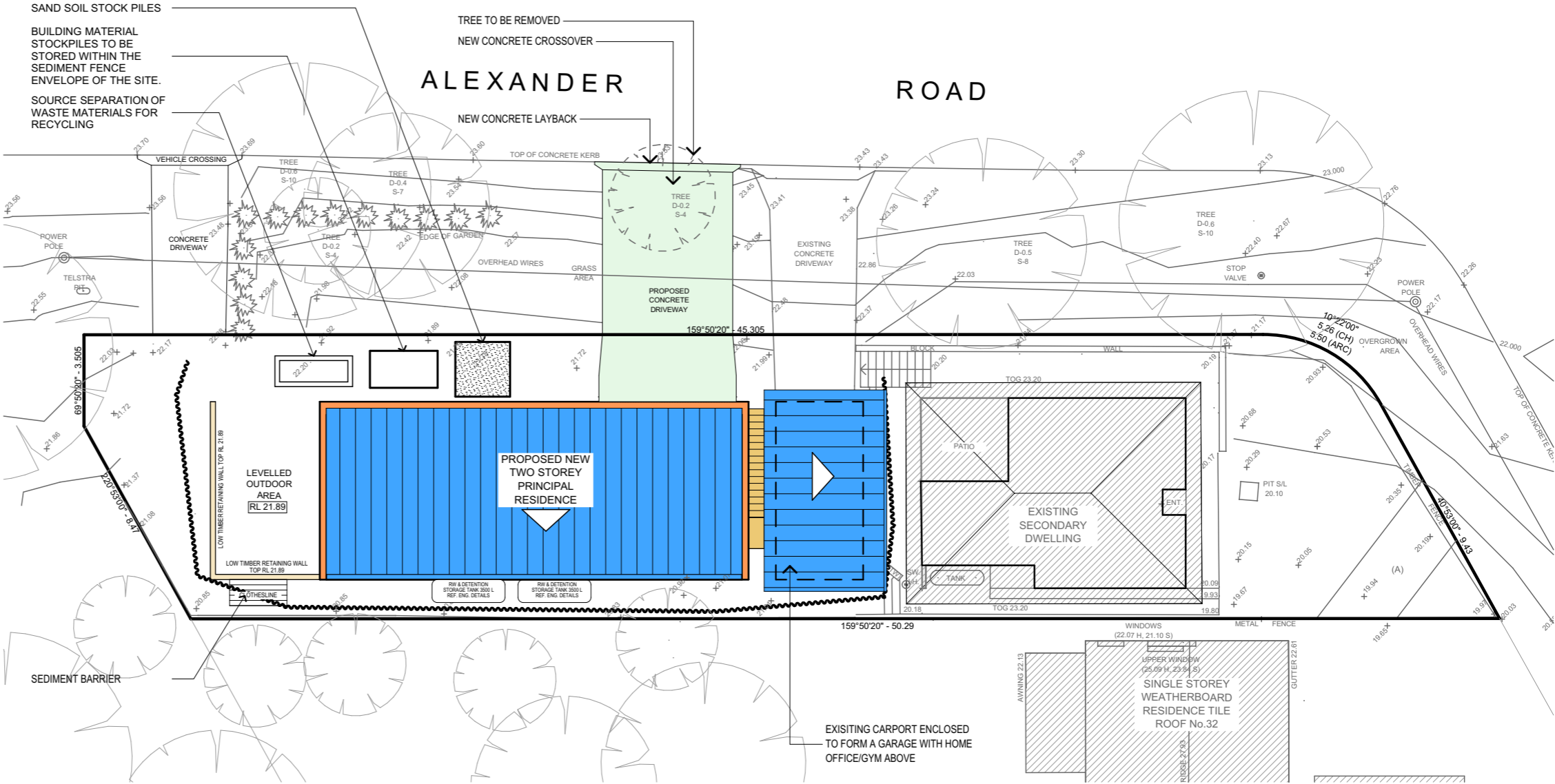
APPROPRIATE EROSION AND SEDIMENT CONTROLS MUST BE IMPLEMENTED ON ALL SITES THAT INVOLVE SOIL DISTURBANCE. THE MEASURES MUST BE IN PLACE PRIOR TO THE COMMENCEMENT OF WORK. THOSE CONTROLS ARE TO BE MONITORED AND MAINTAINED IN ORDER TO SERVE THEIR INTENDED FUNCTION FOR THE DURATION OF THW WORKS OR UNTIL SUCH TIME AS THE SITE IS FULLY STABILISED. IF ANY CONTROLS ARE DAMAGED OR BECOME INEFFECTIVE DURING THE COURSE OF THE WORKS THEY ARE TO BE REINSTATED OR REPLACED IMMEDIATELY. SUFFICIENT ACCESS TO THESE CONTROLS MUST BE PROVIDED IN CASE OF THE NEED TO REPAIR.

Sediment Traps

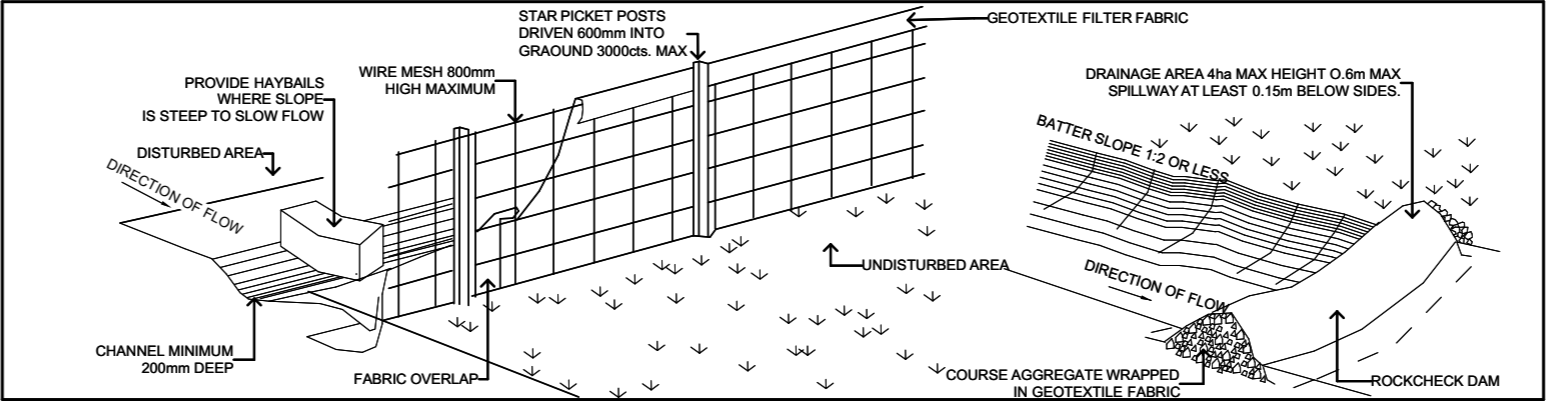
WHERE A SEDIMENT FENCE IS NOT USED APPROPRIATE SEDIMENT TRAPS SHOULD BE LOCATED AT ALL POINTS WHERE STORMWATER LEAVES THE CONSTRUCTION SITE OR LEAVES THE GUTTER AND ENTERS THE DRAINAGE SYSTEM. A COMMON TECHNIQUE IS THE GRAVEL SAUSAGE.

Diversion Channels

A DIVERSION CHANNEL IS AN EXCAVATED EARTH DITCH OR PATH. THESE STRUCTURES ARE USED TO INTERCEPT AND DIRECT RUN-OFF TO A DESIRED LOCATION WHERE POSSIBLE. ALL STORMWATER RUN-OFF FLOWING ONTO DISTURBED AREAS, INCLUDING STOCKPILES, MUST BE INTERCEPTED, DIVERTED AND/OR SAFELY DISPOSED OF. THIS CAN BE ACHIVED BY CONSTRUCTING A TEMPORARY EARTH BANK AROUND THE UPSLOPE EXTENT OF THE CONSTRUCTION SITE WHERE THE DIVERSION DOES NOT AFFECT THE NEIGHBOURING PROPERTIES.



EROSION AND SEDIMENT CONTROL & WASTE MANAGEMENT PLAN



Vehicle Movements

TO LIMIT DISTURBANCE TO THE SITE AND TRACKING OF MATERIAL ONTO THE STREET ALL VEHICLES AND PLANT EQUIPMENT ARE TO USE A SINGLE ENTRY/EXIT POINT UNLESS COUNCIL HAS APPROVED ALTERNATIVE ARRANGEMENTS. ACCESS POINTS AND APRKING AREAS ARE TO BE STABILISED WITH COMPACTED SUB-GRADE AS SOON AS POSSIBLE AFTER THEIR FORMATION. WHERE SPILLAGE DOES OCCUR IT IS TO BE CONTAINED IMMEDIATELY AND CAREFULLY REMOVED. THE AREA AFFECTED IS TO BE RESTORED TO A STANDARD EQUAL TO OR BETTER THAN ITS PREVIOUS CONDITION. ALL VEHICLES ARE TO BE WASHED PRIOR TO EXISTING THE SITE. THIS SERVES THE PURPOSE OF REMOVING SITE MATERIAL ON THE VEHICLE AND PREVENTS IT FROM BEING DEPOSITED ON THE ROAD NETWORK ADJACENT TO THE SITE AND THUS, THE STORWATER SYSTEM. ALL POLLUTED WATER MUST BE RETAINED ON SITE FOR TREATMENT BEFORE IT IS DISCHARGED INTO THE STORMWATER SYSTEM. NO VEHICLE ASSOCIATED WITH THE WORK IS TO BE PARKED ON A FOOTPATH OR PUBLIC RESERVE. ALL VEHILCES VISITING THE SITE DURING DEMOLITION, EXCAVATION AND/OR CONSTRUCTION WORKS, ARE TO COMPLY WITH THE PARKING REQUIREMENTS IN THAT AREA.

TRUE NORTH:

NOTES:

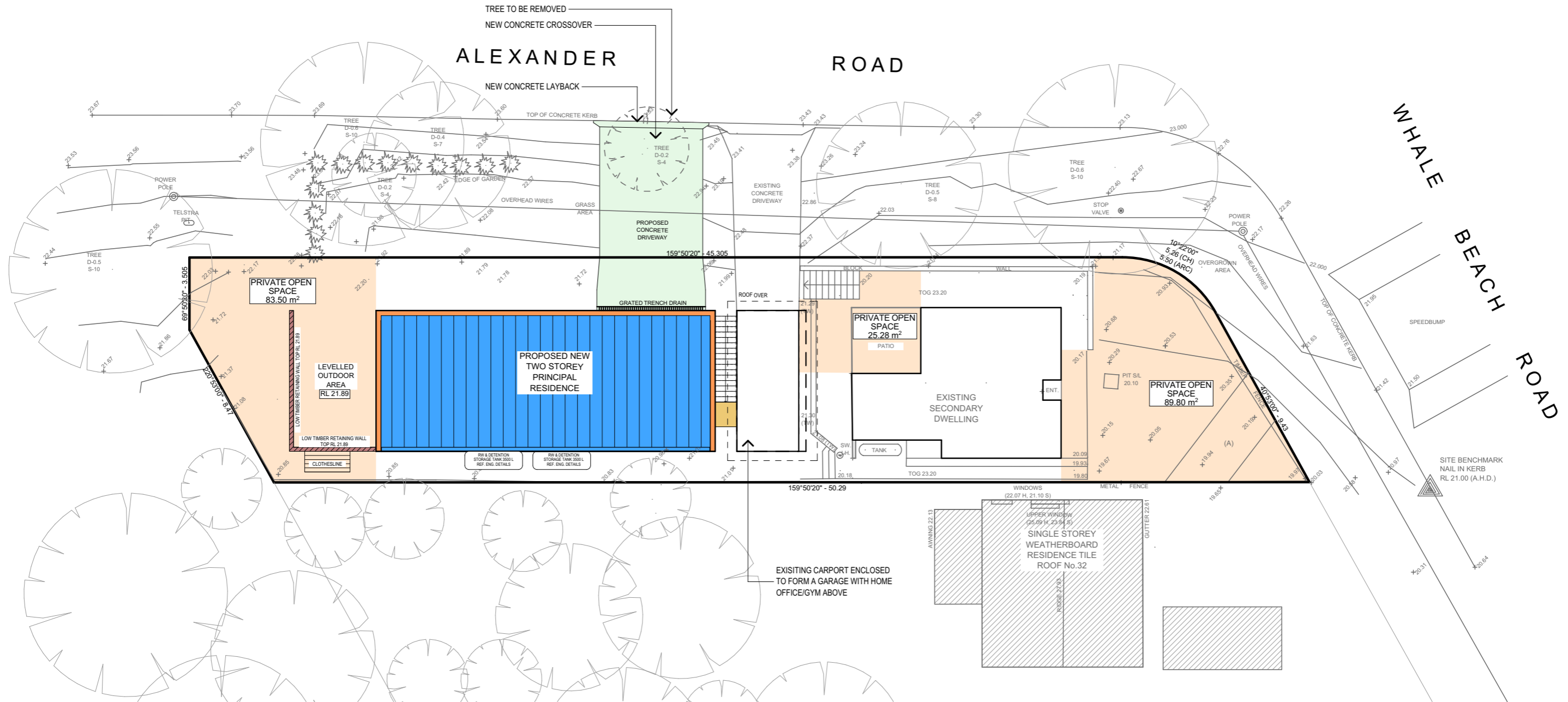
- All structures including stormwater & drainage to engineer's details.
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- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

JJ Drafting

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PO Box 687, Dee Why, NSW, 2099
Mob. 0414 717 541
Email. jidraft@tpg.com.au
www.jidrafting.com.au

REV:	DATE:	DESCRIPTION:
B	17/04/19	Additional information
C	23/04/19	Additional shadows infomation
C.1	04/07/19	Stormwater infomation
C.2	15/07/19	Setback, P.O.S. adjust
C.3	17/07/19	Remove Stormwater Concept Plan
C.4	18/07/19	Site Calculations
C.5	30/07/19	Rainwater Tank Notes

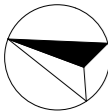
PROJECT DETAILS: PROPOSED NEW DWELLING 34 Whale Beach Rd. Avalon 2107	DATE: 30/07/2019	DRAWN BY: AHB	SCALE: 1:200 @ A3
DRAWING TITLE: EROSION & SEDIMENT CONTROL / WASTE MANAGEMENT PLAN	JOB No: 692/19	CHECKED BY: JJ	DRAWING No: DA.14 C.4



**PRIVATE OPEN SPACE
CALCULATION PLAN**

PRINCIPAL DWELLING	AREA: 83.50m ²
SECONDARY DWELLING	AREA: 115.08m ²

TRUE NORTH:



NOTES:

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C.5	30/07/19	Rainwater Tank Notes

PROJECT DETAILS:

PROPOSED NEW DWELLING
34 Whale Beach Rd. Avalon 2107

DRAWING TITLE:

PRIVATE OPEN SPACE CALCULATION PLAN

DATE:

30/07/2019

DRAWN BY:

AHB

SCALE:

1:200 @ A3

JOB No:

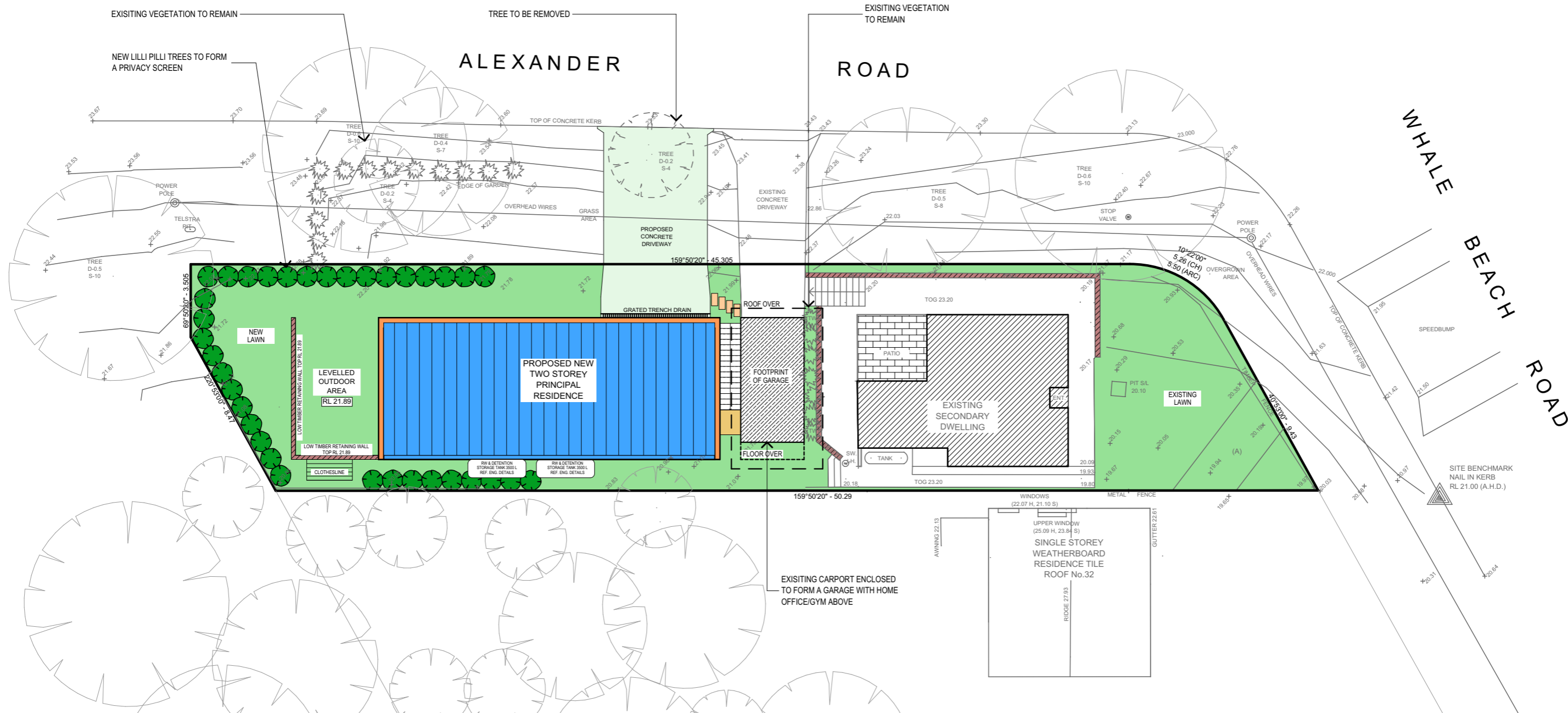
692/19

CHECKED BY:

JJ

DRAWING No:

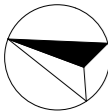
DA.15 C.4



LANDSCAPE CONCEPT PLAN

SELECTED NATIVE PLANTS BY CLIENT		
SYMBOL	COMMON NAME	BOTANICAL NAME
	LILLI PILLI	ACAMENA SMITTI 4 TO 5 m MATURE HEIGHT

TRUE NORTH:



NOTES:

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PROJECT DETAILS:

PROPOSED NEW DWELLING
34 Whale Beach Rd. Avalon 2107

DRAWING TITLE:

LANDSCAPE CONCEPT PLAN

DATE:
30/07/2019

DRAWN BY:
AHB

SCALE:
1:200 @ A3

JOB No:
692/19

CHECKED BY:
JJ

DRAWING No:
DA.16 C.4



1. Existing view from Whale Beach Road



2. Proposed view from Whale Beach Road



BRENDAN HACKETT

Street 34 WHALE BEACH ROAD
City AVALON
State/Country NSW
Postal Code 2107

PREPARED BY:

CARLY MARTIN
REG ARCHITECT 5958
ABN. 44 147 410 038
0400668771
carlymartin@westnet.com.au

Job Title
34 WHALE BEACH ROAD

BUILDERS/CONTRACTORS ARE TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK OR OFF-SITE FABRICATION. ALL SHOP DRAWINGS ARE TO BE SUBMITTED TO THE PROJECT MANAGER, AND MANUFACTURE SHALL NOT COMMENCE UNTIL RETURN OF UNAMENDED SHOP DRAWINGS. FIGURED DIMENSIONS ARE TO BE READ IN PREFERENCE TO SCALED.

ALL WORK TO CONFORM TO CURRENT AUSTRALIAN STANDARDS, BCA, BASIX CERTIFICATE.

Drawing Name
Photomontage - View from Whale Beach Road

Layout ID	Status	Revision
A.01.1		A

Drawn by	Date
CM	4/05/2019

Checked by	Date
CM	4/05/2019



1. Existing view from Alexander Road



2. Proposed view from Alexander Road



BRENDAN HACKETT

Street 34 WHALE BEACH ROAD
City AVALON
State/Country NSW
Postal Code 2107

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Drawing Name
Photomontage - View from Alexander Road

Layout ID	Status	Revision
A.01.2		A

Drawn by	Date
CM	4/05/2019

Checked by	Date
CM	4/05/2019