

- NOTES**
1. Do not scale off drawings. (If in doubt ask)
 2. All measurements to be checked on site
 3. Check all levels, roof pitch, location of services and boundary lines, site and building conditions before commencing work or ordering materials.
 4. Supply & install selected smoke alarm
 5. All storm water to be connected to street gutters as per council requirements
 6. The work shown on this and associated drawings shall be carried in a reasonable manner and shall conform with the requirements of the Standards Association of Australia, the Building Code of Australia and any statutory authority having jurisdiction over the works.
 7. Setting out dimensions shown on the drawings shall be in accordance with the drawings.
 8. During construction the structures shall be maintained in a stable condition, and no part shall be overstressed
 9. Flashings and damp proof course to be placed in accordance with good building principles whether
 10. Supply and install lint off hinges to all wet area doors.



PREVIOUS
DA 2020/0255

DESIGN CALCULATION	LEGEND:
LANDSCAPE AREA SITE AREA = 713.4m ² PROPOSED = 287m ² = 40.229%	LANDSCAPE AREAS OVER 4m ²

DESIGN CALCULATION	LEGEND:
LANDSCAPE AREA SITE AREA = 713.4m ² PROPOSED = 292m ² = 40.9%	LANDSCAPE AREAS OVER 4m ²

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V AND J TURNER
PROPOSED : ALTERATIONS AND ADDITIONS (NEW RESIDENCE)
TO EXISTING RESIDENCE
ADDRESS : 24 PENURTH AVE
WHEELER HEIGHTS
NSW 2097

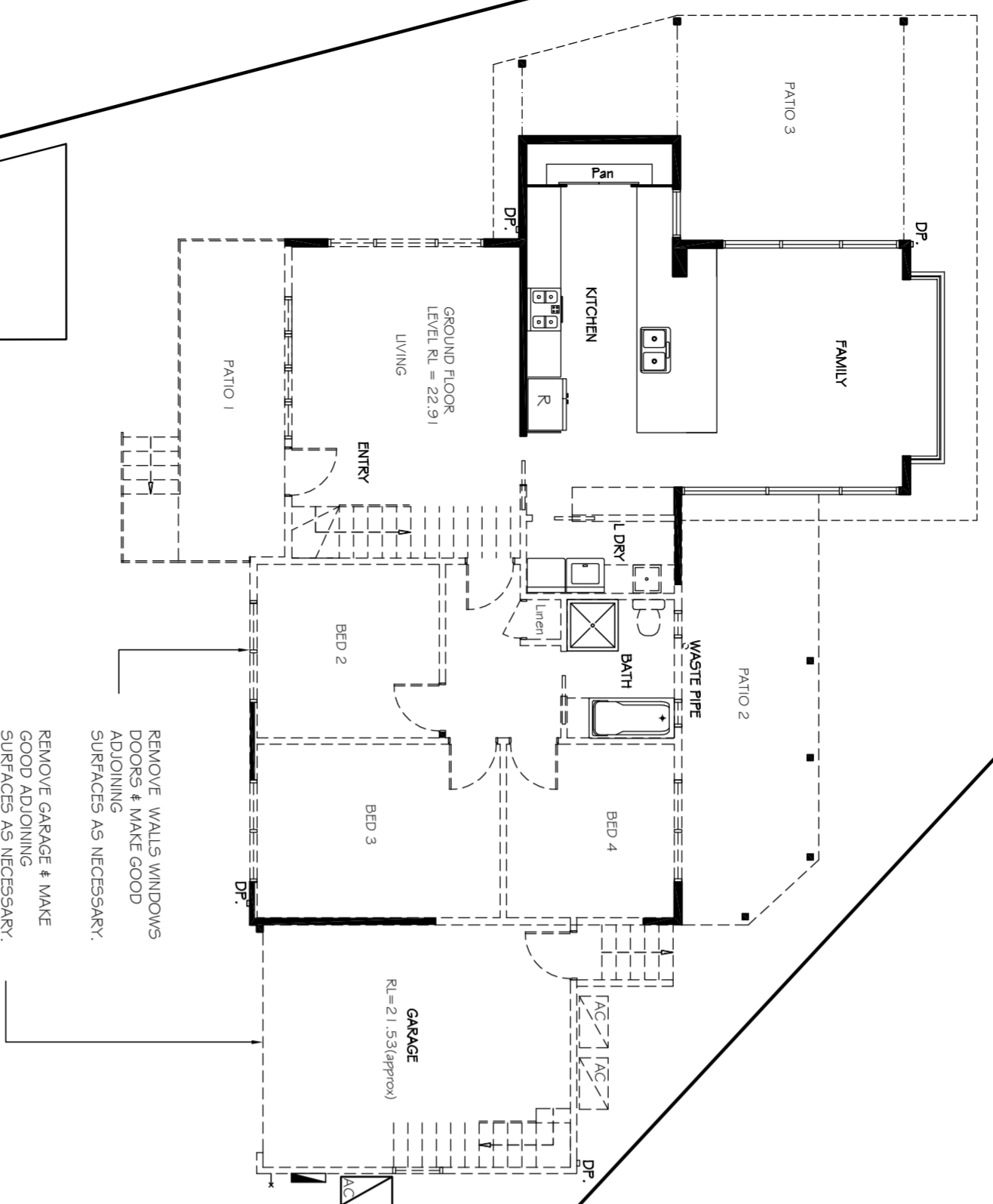
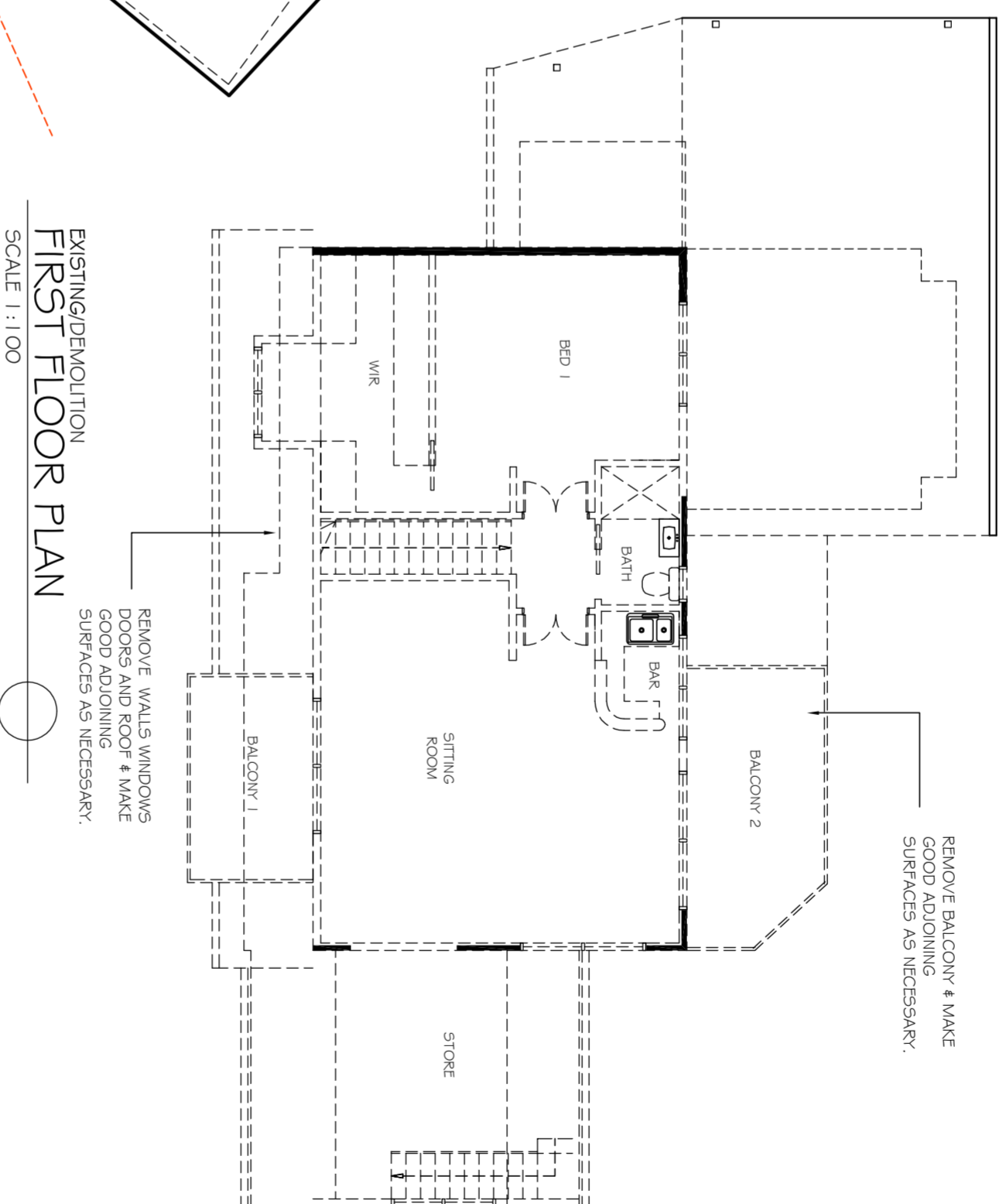
SCALE: 1:200
DATE: 12.05.2021
REV: 18/18

SITE PLAN
SHEET No :
DA1

A2

LEGEND:	
Ⓢ	SMOKE ALARM
Ⓜ	FAN MECHANICAL
DP	DOWN PIPE
↑tap	EXTERNAL TAP
⊥	METER BOX
⊥	GAS METER
⊥	RAINW
⊥	AIR-CONDITION UNIT
⊥	SKYLIGHT
⊥	FLOOR WASTE
⊥	EXISTING WALLS
⊥	DEMOLITION WALLS
⊥	NEW WALLS

- NOTES**
1. Do not scale off drawings. (If in doubt, ask.)
 2. All work to be done prior to commencement of construction.
 3. Check all levels, roof pitch, location of services and boundary lines, site and building conditions before commencing work or ordering materials.
 4. All work to be done in accordance with the Building Code of Australia and any system to comply with AS3786.
 5. All storm water to be connected to street gutters as per council requirements.
 6. The work shown on this and associated drawings shall be in accordance with the standards, codes, ordinances, regulations, of the Standards Association of Australia, the Building Code of Australia and any statutory authority having jurisdiction over the work. See verified by the builder.
 7. During construction, the structure shall be maintained in a stable condition, and no part shall be overstressed.
 8. Fixings and damp proof course to be placed in situ on the details or rod.
 9. Supply and install lift off hinges to all wet area doors.
 10. Supply and install lift off hinges to all wet area doors.



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	DATE: 12.05.2021	LOT 2	JOB: 18/18	

EXISTING/DEMOLITION
GROUND FLOOR PLAN
SCALE 1:100

DRAINAGE EASEMENT 2.44 WIDE

EXISTING/DEMOLITION
FIRST FLOOR PLAN
SCALE 1:100

REMOVE WALLS WINDOWS DOORS AND ROOF & MAKE GOOD ADJOINING SURFACES AS NECESSARY.

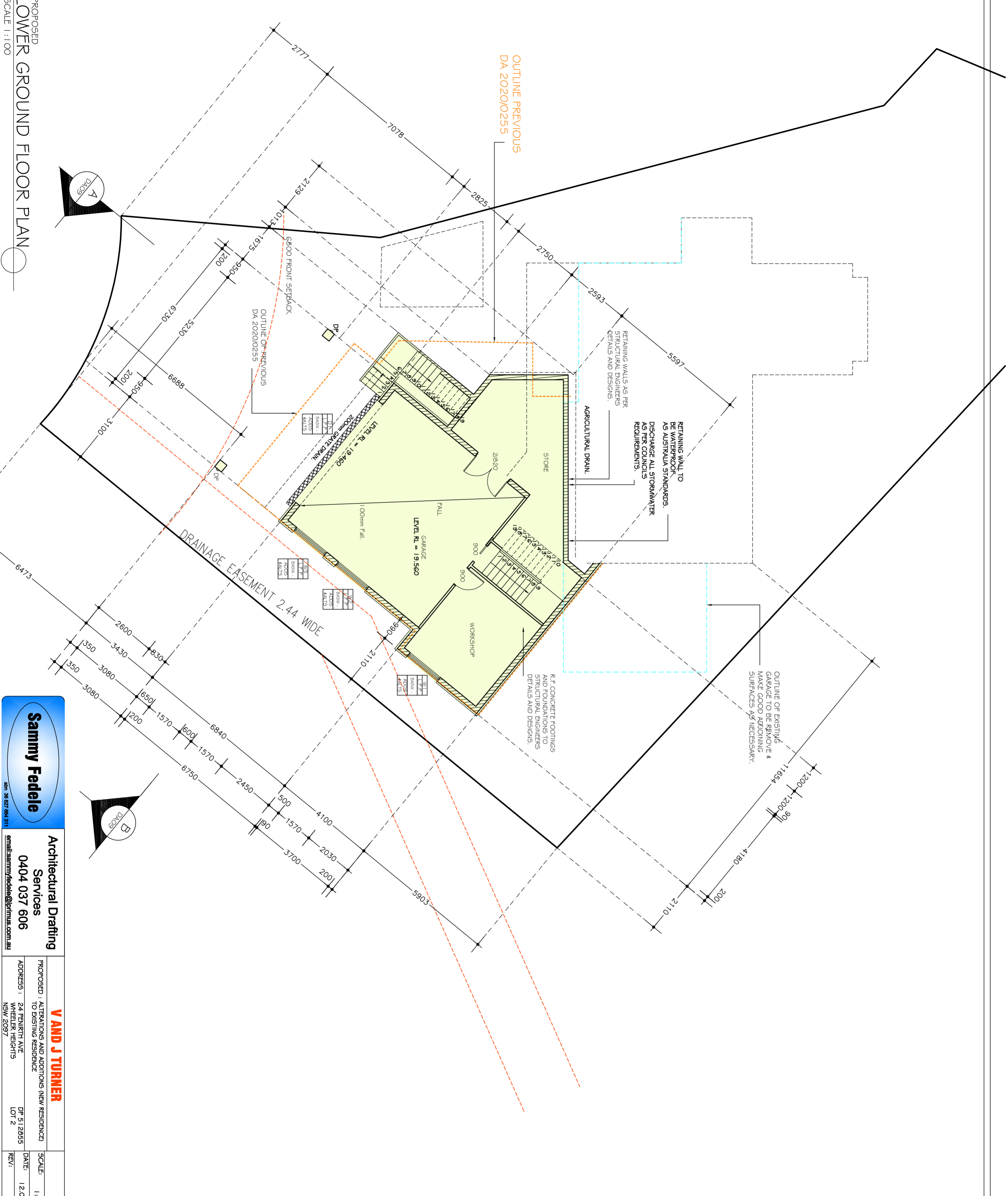
REMOVE BALCONY 2 & MAKE GOOD ADJOINING SURFACES AS NECESSARY.

LEGEND:

⑨	SMOKE ALARM
Ⓣ	FAN MECHANICAL
DP.	DOWN PIPE
⌋	EXTERNAL TAP
⌋	METER BOX
⌋	GAS METER
⌋	RIANNI
⌋	AIR-CONDITION UNIT
⌋	SKYLIGHT
⌋	FLOOR WASTE
⌋	EXISTING WALLS
⌋	DEMOLITION WALLS
⌋	NEW WALLS

NOTES

1. Do not scale off drawings. (If in doubt ask)
2. All dimensions are in millimetres unless otherwise stated.
3. Check all levels, roof pitch, location of services and boundary lines, site and building conditions before commencing work or ordering materials.
4. Supply to comply with AS3798.
5. All storm water to be connected to street gutters as per council requirements.
6. The work shown on this and associated drawings shall be carried out in accordance with the Building Code of Australia, the Building Code of Australia and any ordinance, regulations, of the Standards Association of Australia, the Building Code of Australia and any statutory authority having jurisdiction over the works.
7. Setting out dimensions shown on the drawings shall be in a stable condition, and no part shall be overstepped.
8. During construction the structure shall be maintained in a stable condition, and no part shall be overstepped.
9. Flashings and damp proof courses to be placed in accordance with good building principles whether as shown or otherwise.
10. Supply and install fill off hinges to all wet area doors.



PROPOSED
LOWER GROUND FLOOR PLAN

SCALE 1:100

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V AND J TURNER
PROPOSED : ALTERATIONS AND ADDITIONS (NEW RESIDENCE)
TO EXISTING RESIDENCE
ADDRESS : 24 PENRITH AVE
WHEELER HEIGHTS
NSW 2097

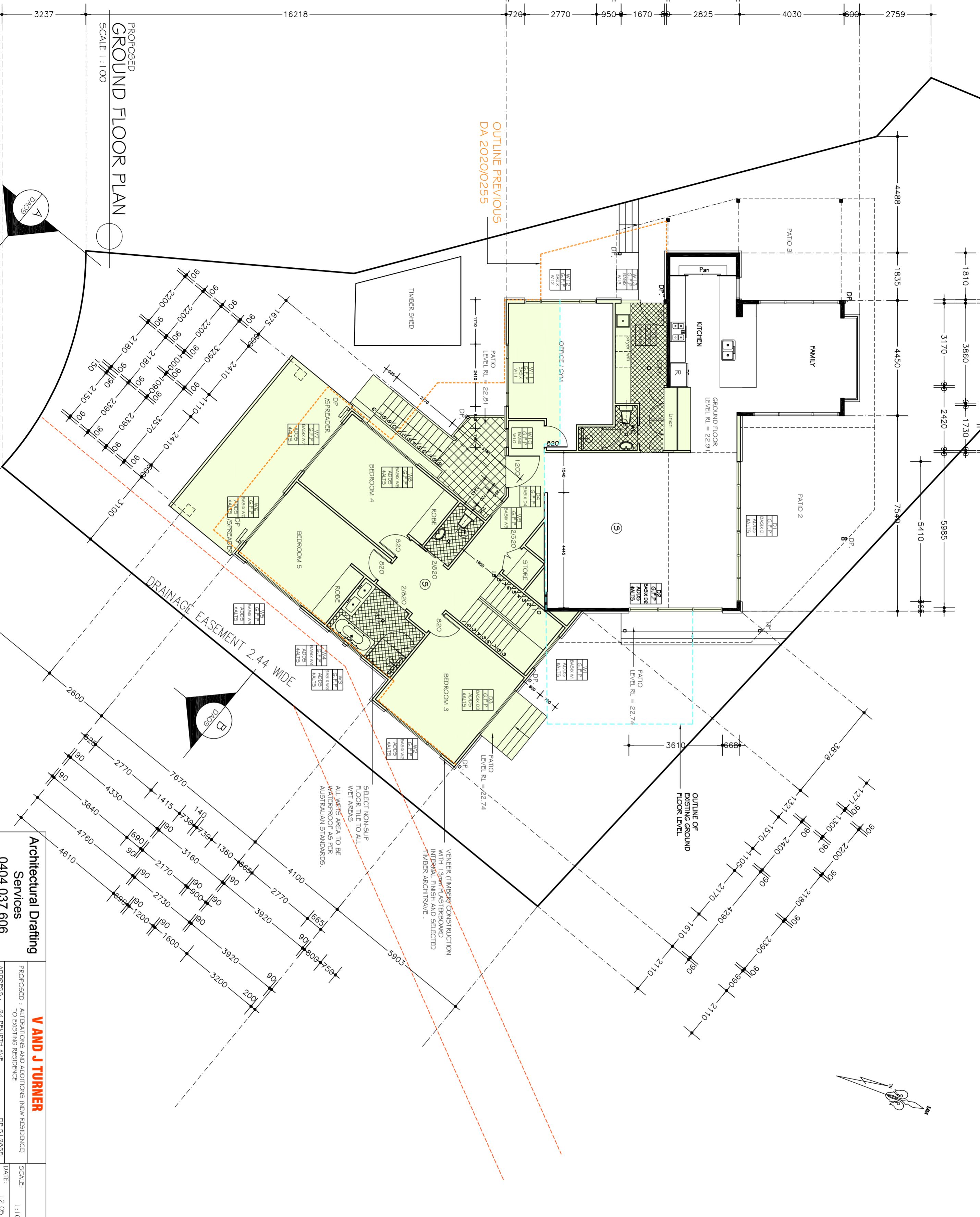
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DATE: 12.05.2021
REV: JOB: 18/18

SHEET No :
DA03

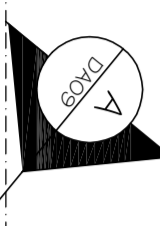
A2

LEGEND:	
⊙	SMOKE ALARM
F	FAN MECHANICAL
DP	DOWN PIPE
↳	EXTERNAL TAP
↳	METER BOX
↳	GAS METER
↳	RIANNI
↳	AIR-CONDITION UNIT
↳	SKYLIGHT
↳	FLOOR WASTE
↳	EXISTING WALLS
---	DEMOLITION WALLS
---	NEW WALLS

- NOTES**
1. Do not scale off drawings. (*If in doubt ask.*)
 2. All measurements to be checked on site prior to commencement of construction.
 3. Check all levels, foot print, location of services before commencing work or ordering materials.
 4. Supply & install selected smoke alarm.
 5. All storm water to be connected to Council drains.
 6. The work shown on this and associated drawings shall be carried in a tradesmanlike manner and shall be in accordance with the standards, codes, ordinances, regulations, of the Standards Association of New South Wales and any other authority having jurisdiction over the works.
 7. Setting out dimensions shown on the drawings shall be verified by the builder.
 8. During construction the structure shall be maintained in a safe condition and shall be maintained in accordance with good building principles whether according to the details or not.
 9. Flashings and damp proof courses to be placed in accordance with good building principles whether shown on the details or not.
 10. Supply and install lift off hinges to all level area doors.



PROPOSED
GROUND FLOOR PLAN
SCALE 1:100



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V AND J TURNER
PROPOSED : ALTERATIONS AND ADDITIONS (NEW RESIDENCE)
TO EXISTING RESIDENCE
ADDRESS : 24 PENRITH AVE
WHEELER HEIGHTS
NSW 2097

SCALE: 1:100
DATE: 12.05.2021
REV: 1/31/5

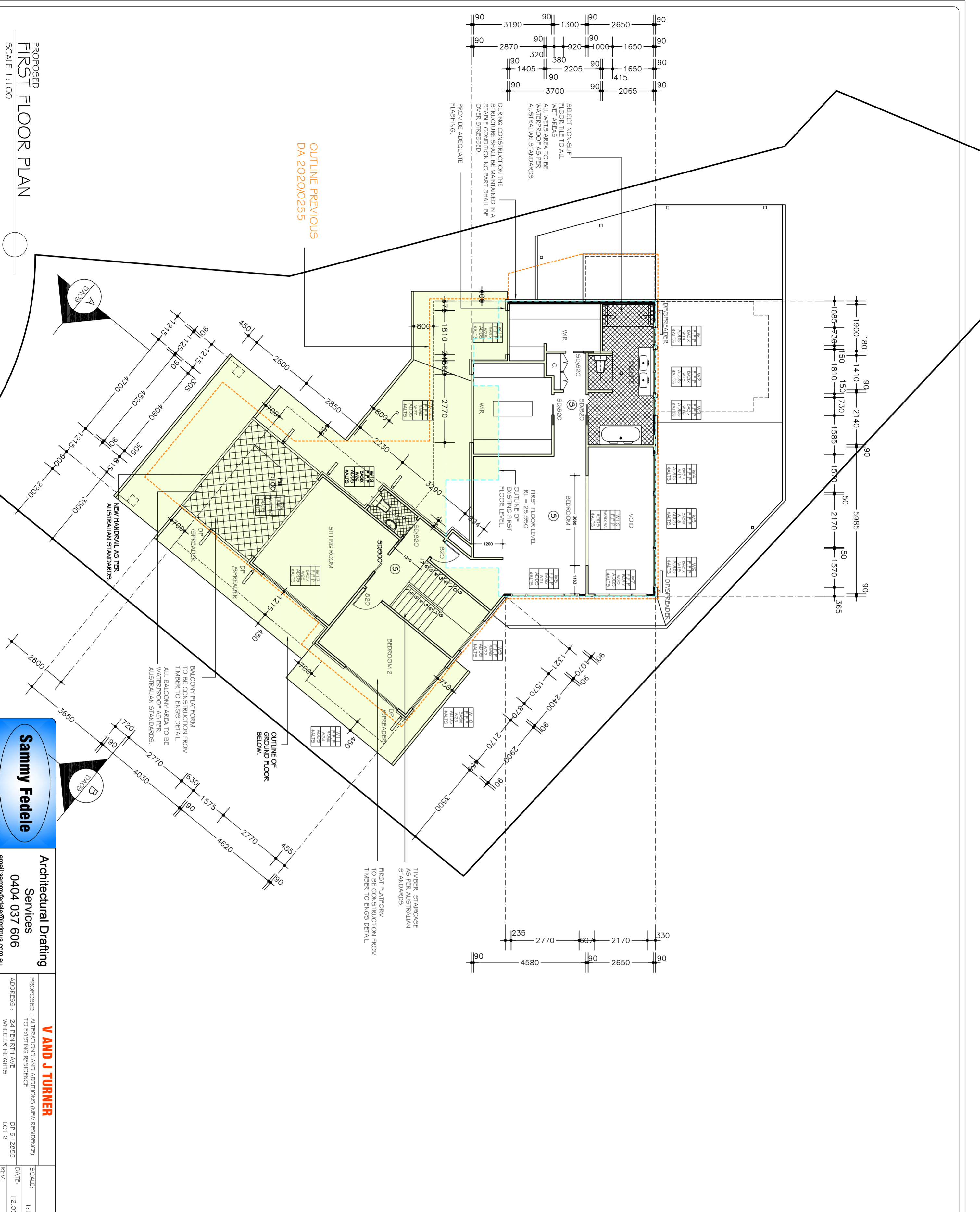
PLAN
SHEET No :
DA04
A2

LEGEND:

⑤	SMOKE ALARM
Ⓣ	FAN MECHANICAL
DP-	DOWN PIPE
↑tap	EXTERNAL TAP
▮	METER BOX
▮	GAS METER
▮	RANINI
▮	AIR-CONDITION UNIT
▮	SKYLIGHT
▮	FLOOR WASTE
▮	EXISTING WALLS
▮	DEVOLUTION WALLS
▮	NEW WALLS

NOTES

1. Do not scale off drawings. *(If in doubt - ask)*
2. All measurements to be checked on site
3. Prior to commencement of construction, all dimensions, levels, boundaries, easements and boundary lines, site and building conditions before commencing work or ordering materials.
4. Supply & install selected smoke alarm system to comply with AS3786.
5. Street gutters as per council requirements
6. The work shown on this and associated drawings shall be carried in a trademarkable manner and shall be in accordance with the standards, codes, specifications, rules, regulations, and legislation of Australia, the Building Code of Australia and any statutory authority having jurisdiction over the works.
7. Setting out dimensions shown on the drawings shall be verified by the builder.
8. All structures shall be maintained in a stable condition, and no part shall be overstressed.
9. Flashings and damp-proof course to be placed in accordance with good building principles whether shown on the details or not.
10. Supply and install fit off hinges to all wet area doors.



OUTLINE PREVIOUS
DA 2020/0255

PROPOSED
FIRST FLOOR PLAN
SCALE 1:100

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V AND J TURNER
PROPOSED : ALTERATIONS AND ADDITIONS (NEW RESIDENCE)
TO EXISTING RESIDENCE
ADDRESS : 24 FEINERTH AVE
WHEELERS HEIGHTS
NSW, 2097

PLAN
SCALE: 1:100
DATE: 12.05.2021
JOB: 19/1/8

SHEET No.:
DA05

A2

Certificate number: A417420

Insulation requirements
 The applicant must construct the new or altered construction (floors, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that (a) additional insulation is not required where the area of new construction is less than 2m²; (b) insulation specified is not required for parts of altered construction where insulation already exists.

Fixtures and systems	Requirements
Lighting	The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
Fixtures	The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction	Additional/insulation required (R-value)	Other specifications
concrete slab on ground floor (R0.5)	nil	
asph/cedr for above garage concrete (R0.5)	nil	
floor above existing dwelling or building (external wall: framed weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	R1.70 (including construction)	
flat ceiling, pitched roof (external wall: framed weatherboard, fibro, metal clad)	ceiling: R2.50 (up), roof: foil/insulation ceiling: R2.50 (up), roof: foil/insulation	medium (soil absorption: 0.475 - 0.70)
flat ceiling, flat roof (external wall: framed weatherboard, fibro, metal clad)	ceiling: R2.50 (up), roof: foil/insulation	medium (soil absorption: 0.475 - 0.70)

Windows and glazed doors glazing requirements

Window/door no.	Orientation	Area of glass frame (m ²)	Height (m)	Distance (m)	Shading device	Frame and glass type
W1	N	1.42	0	0	external louvetrind (adjustable)	improved aluminium, single pyrolytic low-e, (U-value: 4.46, SHGC: 0.46)
W2	E	1.86	0	0	eave/verandah/pergolabalcony	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W3	E	1	0	0	eave/verandah/pergolabalcony	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)

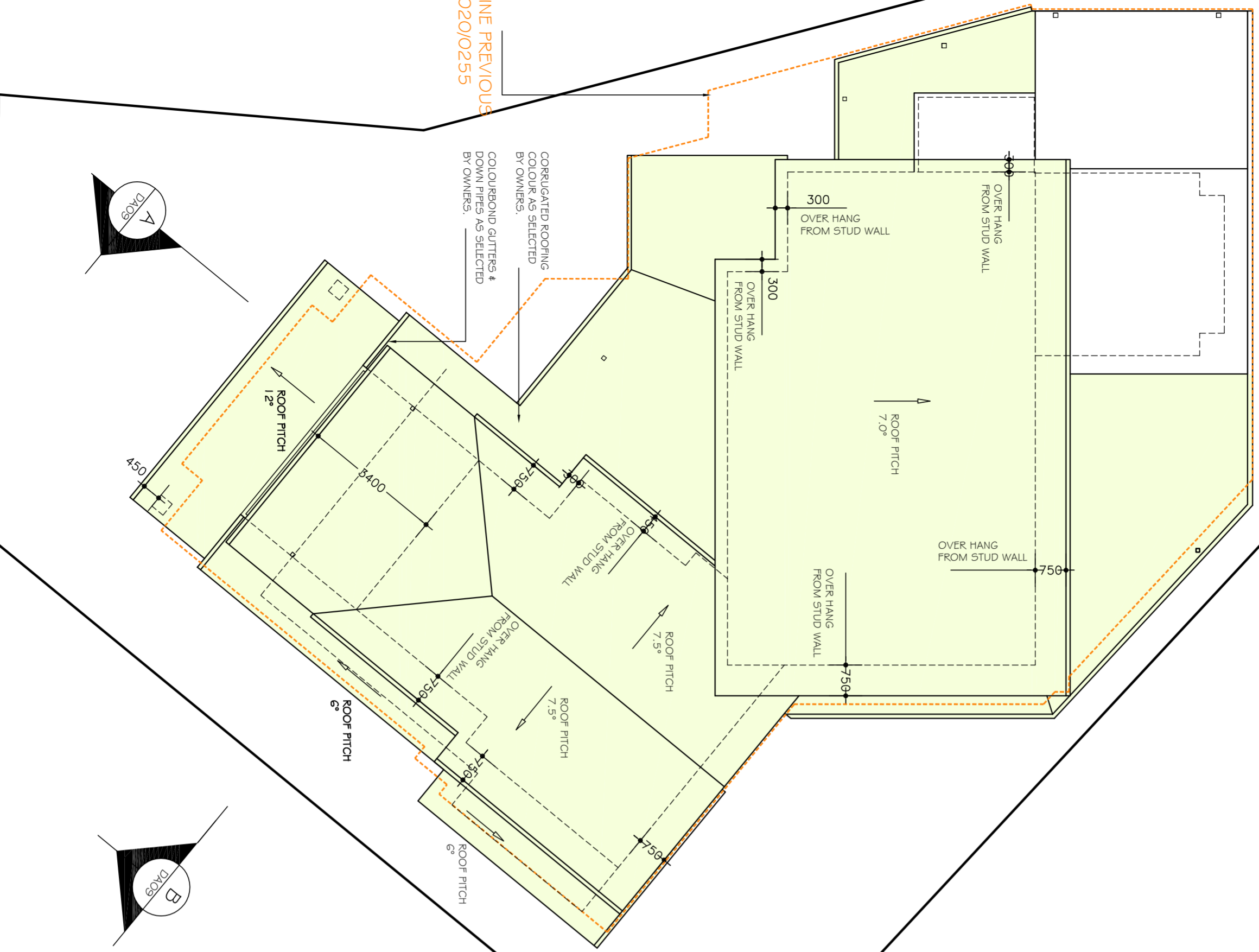
Window/door no.	Orientation	Area of glass frame (m ²)	Height (m)	Distance (m)	Shading device	Frame and glass type
W17	NW	2.75	0	0	eave/verandah/pergolabalcony	(U-value: 5.7, SHGC: 0.47)
W18	NW	3.8	0	0	eave/verandah/pergolabalcony	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W19	NW	2.15	0	0	eave/verandah/pergolabalcony	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W20	NE	3.54	0	0	eave/verandah/pergolabalcony	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W21	NE	3.73	0	0	eave/verandah/pergolabalcony	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W22	N	5.86	0	0	external louvetrind (adjustable)	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W23	N	2.83	0	0	eave/verandah/pergolabalcony	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W24	E	1.66	0	0	eave/verandah/pergolabalcony	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W25	E	1.66	0	0	eave/verandah/pergolabalcony	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W26	S	1	0	0	eave/verandah/pergolabalcony	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W27	SE	1.86	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W28	SE	1.08	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D1	NW	11.4	0	0	eave/verandah/pergolabalcony	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Window/door no.	Orientation	Area of glass frame (m ²)	Height (m)	Distance (m)	Shading device	Frame and glass type
V4	E	1	0	0	eave/verandah/pergolabalcony	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
V5	E	1.86	0	0	eave/verandah/pergolabalcony	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
V6	S	2.9	0	0	eave/verandah/pergolabalcony	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
V7	S	2.9	0	0	eave/verandah/pergolabalcony	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
V8	W	1.86	0	0	eave/verandah/pergolabalcony	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
V9	N	1.83	0	0	eave/verandah/pergolabalcony	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
V10	SE	1.53	0	0	eave/verandah/pergolabalcony	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
V11	SE	3.3	0	0	eave/verandah/pergolabalcony	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
V12	SW	1.86	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
V13	SW	0.87	0	0	eave/verandah/pergolabalcony	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
V14	NW	0.43	0	0	eave/verandah/pergolabalcony	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
V15	NW	0.73	0	0	eave/verandah/pergolabalcony	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
V16	NW	0.43	0	0	eave/verandah/pergolabalcony	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)

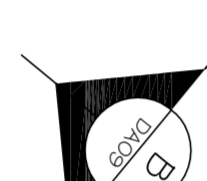
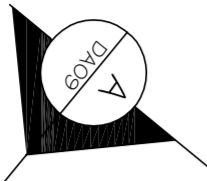
Window/door no.	Orientation	Area of glass frame (m ²)	Height (m)	Distance (m)	Shading device	Frame and glass type
D2	NE	7.5	0	0	eave/verandah/pergolabalcony	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D3	N	4.55	0	0	eave/verandah/pergolabalcony	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D4	SE	2.5	0	0	eave/verandah/pergolabalcony	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.66)
D5	SW	1.9	0	0	eave/verandah/pergolabalcony	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.66)
D6	S	4.61	0	0	eave/verandah/pergolabalcony	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

OUTLINE PREVIOUS DA 2020/0255

CORRUGATED ROOFING COLOUR AS SELECTED BY OWNERS.
 COLOUR/ROUND GUTTERS & DOWN PIPES AS SELECTED BY OWNERS.



PROPOSED ROOF PLAN
 SCALE 1:100



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V AND J TURNER

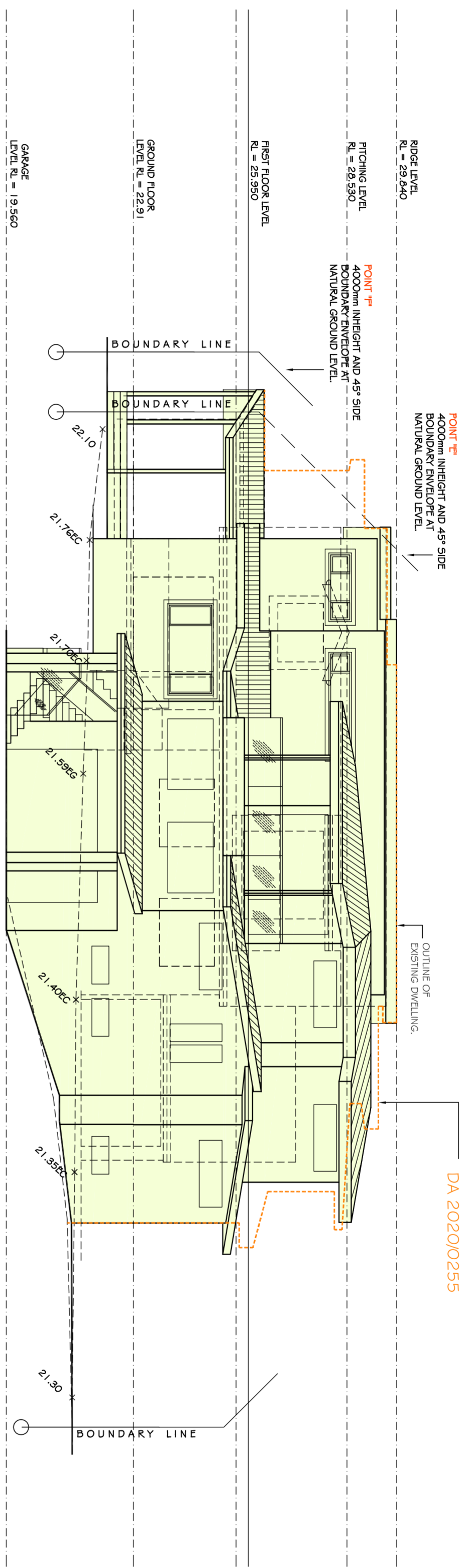
PROPOSED: ALTERATIONS AND ADDITIONS (NEW RESIDENCE)
 TO EXISTING RESIDENCE
 ADDRESS: 24 FEINRTH AVE
 WHEELER HEIGHTS
 NSW 2097

PLAN

SCALE: 1:100
 DATE: 12.05.2021
 REV: JOB: 18/18

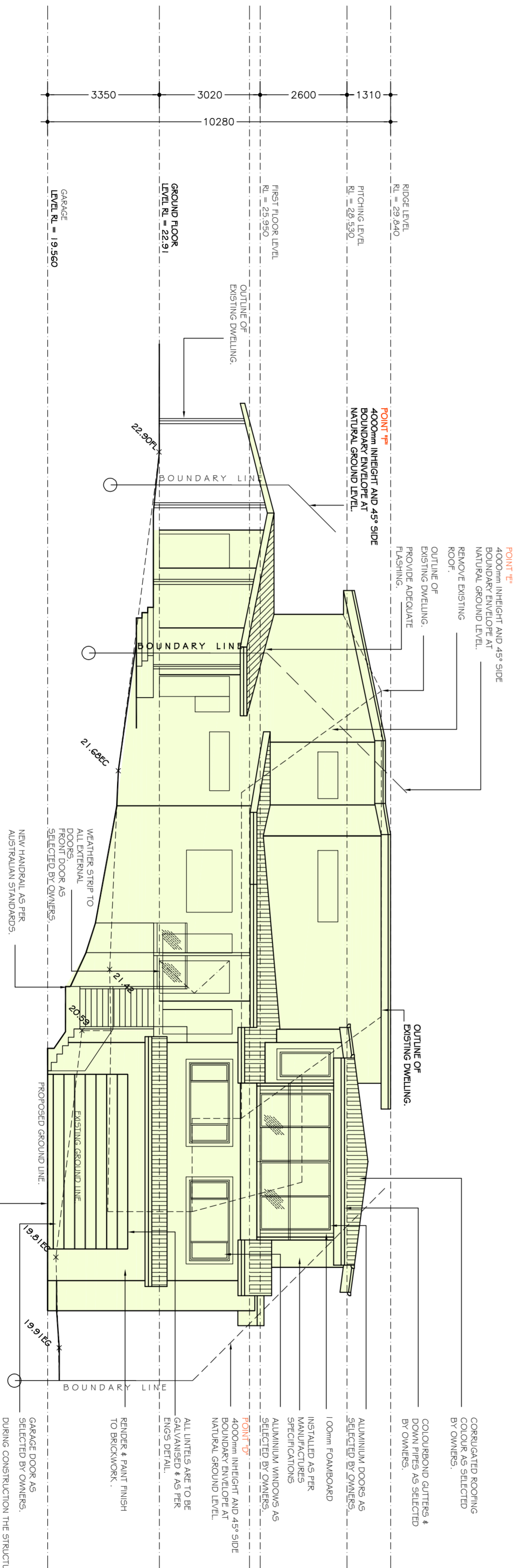
A2

SHEET No.: DA06



- NOTES**
1. Do not scale off drawings. (If in doubt ask.)
 2. All measurements to be checked on site prior to commencement of construction.
 3. Check all levels, roof pitch, location of services and boundary lines, site and building conditions before commencing work or ordering materials.
 4. Slope of existing ground to be shown on drawings.
 5. All storm water to be connected to street gutters as per council requirements.
 6. The work shown on this and associated drawings shall be in accordance with the standards, codes, ordinances, regulations, of the Standards Association of Australia, the Building Code of Australia and any other applicable codes.
 7. See drawings on the drawings shall be verified by the builder.
 8. During construction the structure shall be maintained in a stable condition, and no part shall be overstressed.
 9. Fastenings and damp proof course to be placed in accordance with the principles whether shown on the details or not.
 10. Supply and install lift off hinges to all wet area doors.

PROPOSED
SOUTH EAST ELEVATION
SCALE 1:100



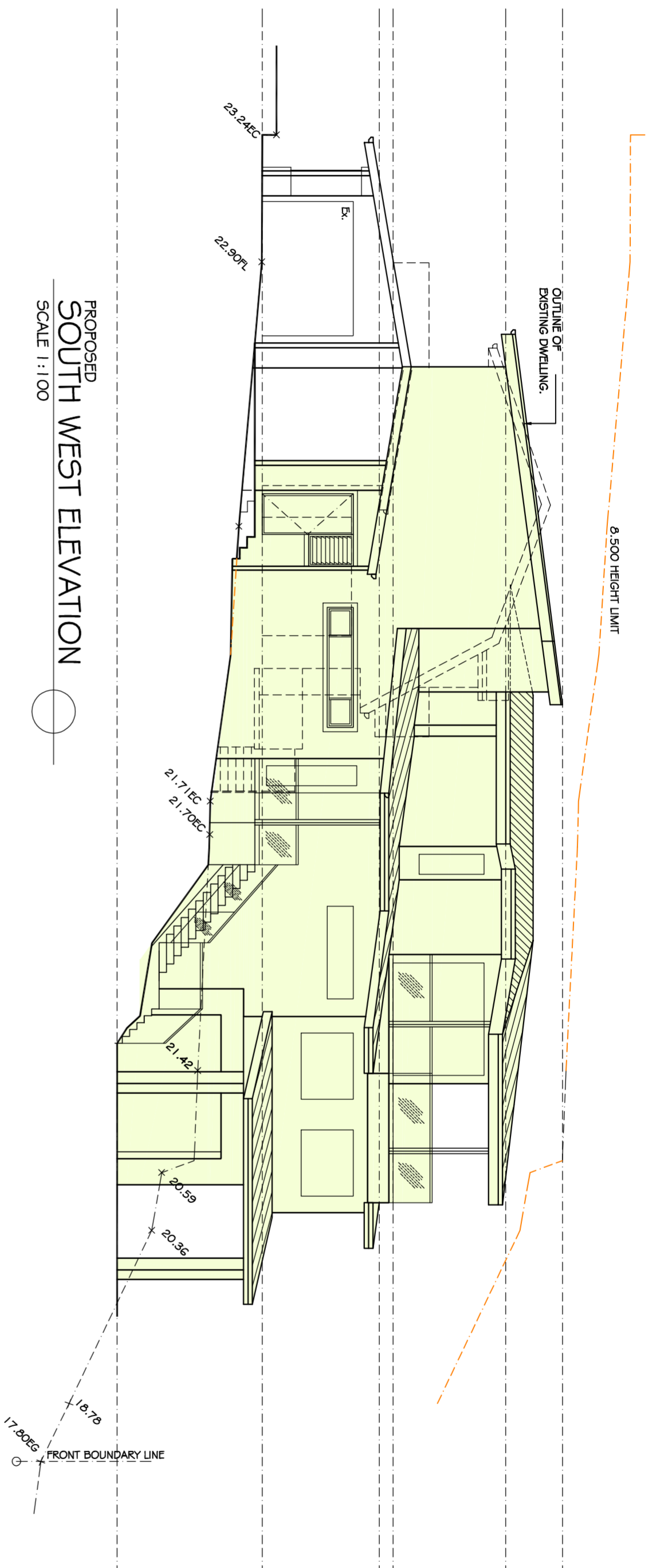
PROPOSED
SOUTH ELEVATION
SCALE 1:100

- CORRUGATED ROOFING COLOUR AS SELECTED BY OWNERS.
- COLOURBOND GUTTERS & DOWN PIPES AS SELECTED BY OWNERS.
- ALUMINIUM DOORS AS SELECTED BY OWNERS.
- 100mm FOAMBOARD INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
- ALUMINIUM WINDOWS AS SELECTED BY OWNERS.
- POINT T 4000mm INHEIGHT AND 45° SIDE BOUNDARY ENVELOPE AT NATURAL GROUND LEVEL.
- ALL UNITS ARE TO BE GALVANISED & AS PER ENGS DETAIL.
- RENDER & PAINT FINISH TO BRICKWORK.
- GARAGE DOOR AS SELECTED BY OWNERS. DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION NO PART SHALL BE OVER STRESSED.

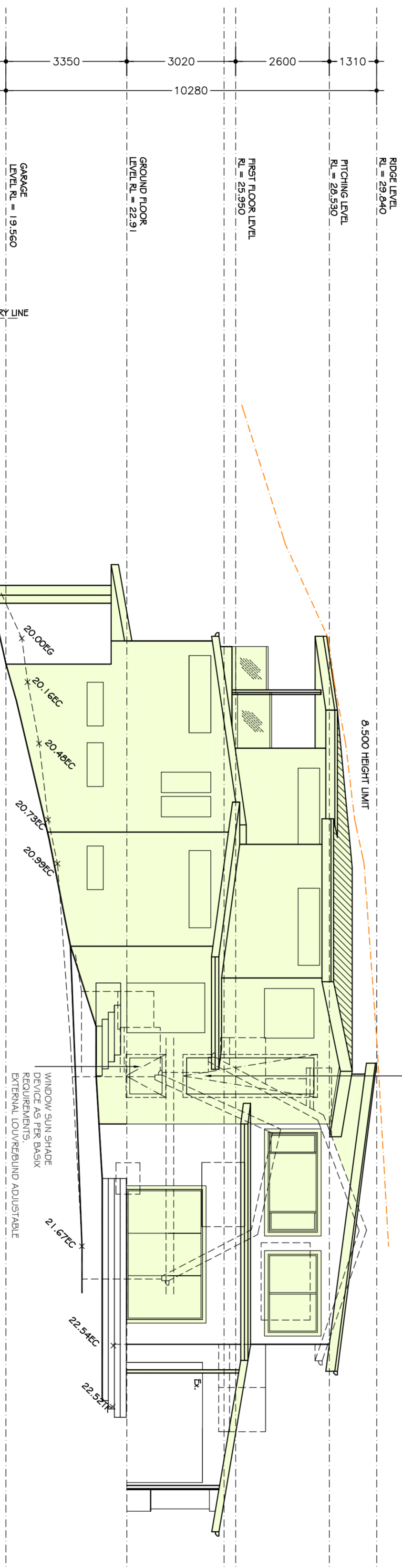
<p>Sammy Fedele Architectural Drafting Services 0404 037 606 email:sammyfedele@iprimus.com.au</p>	<p>V AND J TURNER</p> <p>PROPOSED: ALTERATIONS AND ADDITIONS (NEW RESIDENCE) TO EXISTING RESIDENCE ADDRESS: 24 PEINRITH AVE WHEELER HEIGHTS NSW 2097</p>	<p>ELEVATION</p> <p>SCALE: 1:100 DATE: 12.05.2021 REV: 108: 19/18</p>	<p>SHEET No: DA07</p>
	<p>A2</p>		

NOTES

1. Do not scale off drawings. (If in doubt ask.)
2. All measurements to be checked on site.
3. Check all levels, roof pitch, location of services and boundary lines, site and building conditions before commencing work or ordering materials.
4. Supply & install selected strike alarm.
5. All storm water to be connected to street gutters as per council requirements.
6. The work shown on this and associated drawings shall be carried in a tradesmanlike manner and shall conform with the Building Code of Australia and any other applicable laws, regulations, codes of practice or standards of Australia, the Building Code of Australia and any statutory authority having jurisdiction over the works.
7. Setting out dimensions shown on the drawings shall be maintained.
8. During construction the structure shall be maintained in a stable condition, and no part shall be overstressed.
9. Flashings and damp proof course to be placed in accordance with good building principles whether supplied or not.
10. Supply and install lift off hinges to all wet area doors.



WINDOW SUN SHADE
DEVICE AS PER BASIX
REQUIREMENTS.
EXTERNAL LOUVER/BLIND ADJUSTABLE

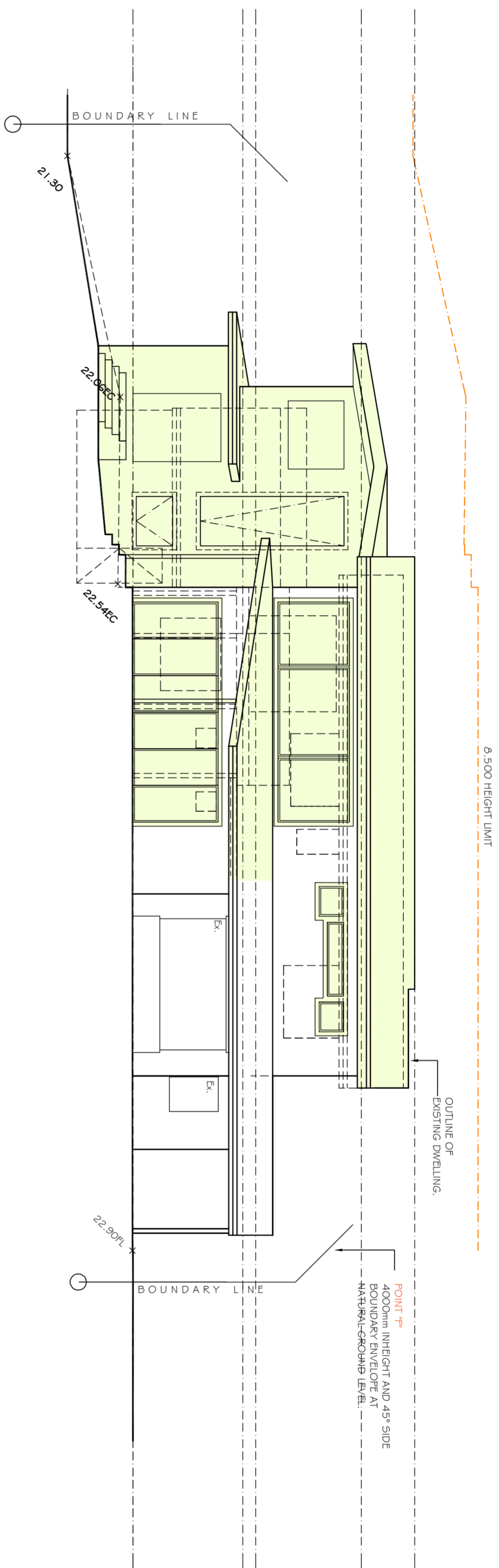


WINDOW SUN SHADE
DEVICE AS PER BASIX
REQUIREMENTS.
EXTERNAL LOUVER/BLIND ADJUSTABLE

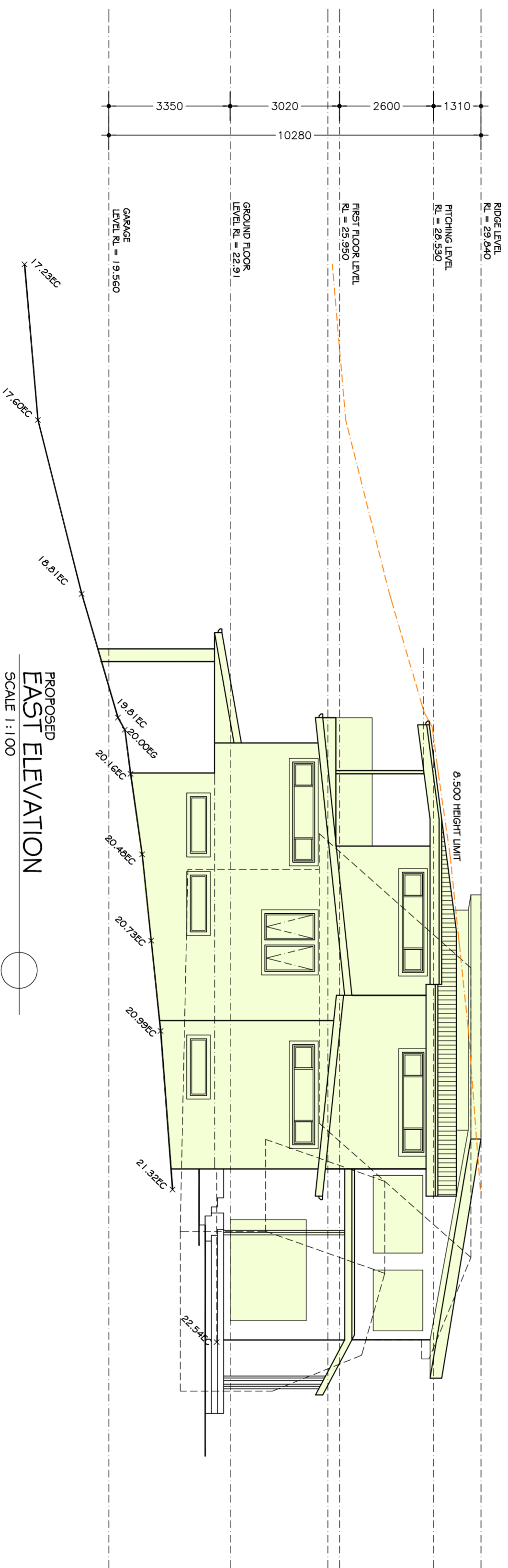
PROPOSED
NORTH EAST ELEVATION
SCALE 1:100

PROPOSED
SOUTH WEST ELEVATION
SCALE 1:100

<p>Sammy Fedele Architectural Drafting Services 0404 037 606 email:sammyfedele@iprimus.com.au</p>	<p>V AND J TURNER PROPOSED: ALTERATIONS AND ADDITIONS (NEW RESIDENCE) TO EXISTING RESIDENCE ADDRESS: 24 FINNERTH AVE WHEELER HEIGHTS NSW 2097</p>	<p>SCALE: 1:100</p>	<p>ELEVATION SHEET No.: DA08</p>
		<p>DATE: 12.05.2021 REV: 18/18</p>	



PROPOSED
NORTH WEST ELEVATION



PROPOSED
EAST ELEVATION
SCALE 1:100

- NOTES**
1. Do not scale off drawings. *(If in doubt ask)*
 2. All measurements to be checked on site
 3. Check all levels, roof pitch, location of services and boundary lines, site and building conditions before commencing work or ordering materials.
 4. Supply & install selected smoke alarm
 5. All storm water to be connected to street gutters as per council requirements
 6. The work shown on this and associated drawings shall be carried in a tradesmanlike manner and shall conform with the Building Code of Australia and any ordinances, regulations, of the Standards Association of Australia, the Building Code of Australia and any statutory authority having jurisdiction over the works.
 7. Setting out dimensions shown on the drawings shall be in accordance with good building principles whether in a stable condition, and no part shall be overstepped
 8. During construction the structure shall be maintained in a stable condition, and good building principles whether in accordance with good building principles whether in a stable condition, and no part shall be overstepped
 9. Flashings and damp proof course to be placed in accordance with good building principles whether in a stable condition, and no part shall be overstepped
 10. Supply and install all hinges to all wet area doors.



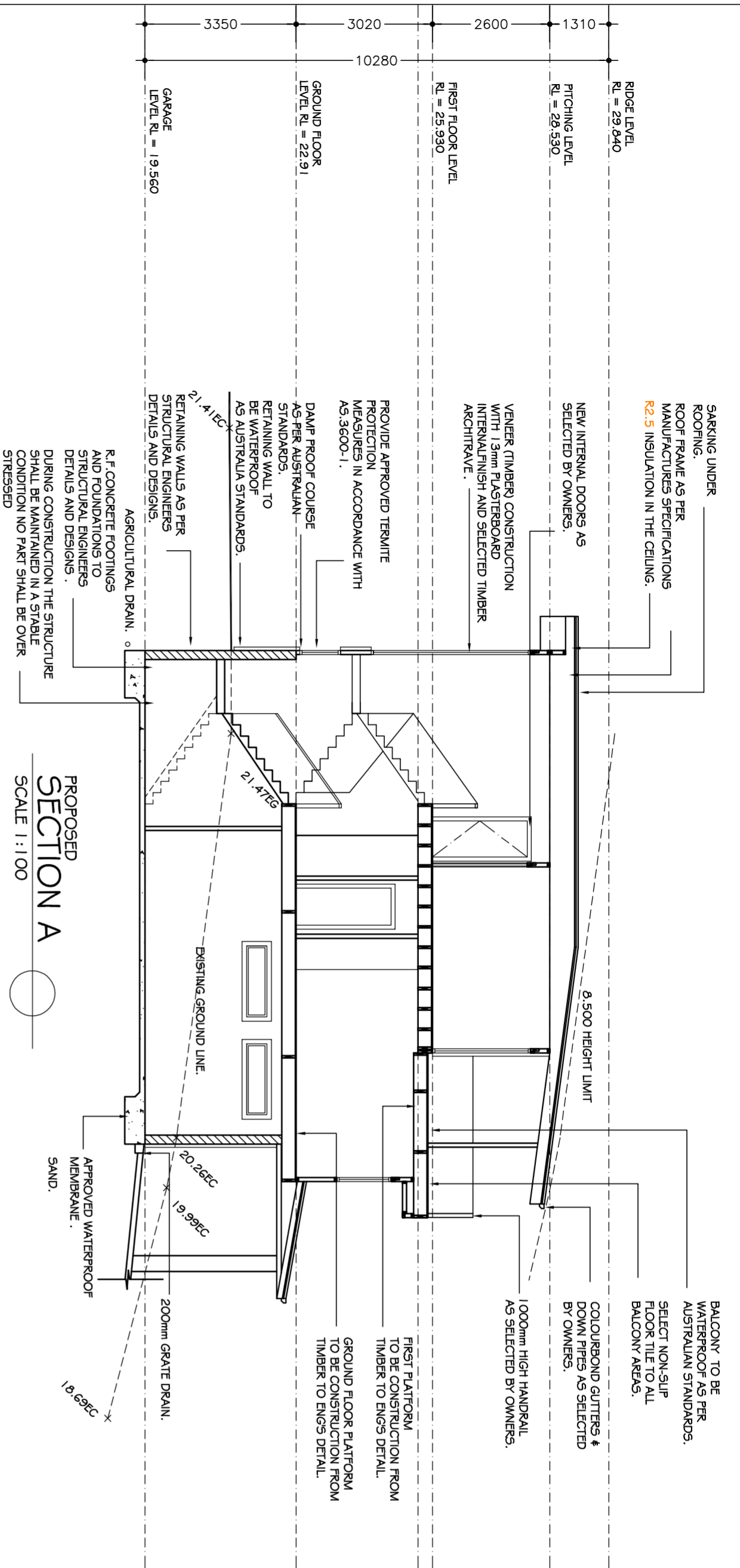
Architectural Drafting
Services
0404 037 606
email: sammyfedele@iprplus.com.au

V AND J TURNER
PROPOSED : ALTERATIONS AND ADDITIONS (NEW RESIDENCE)
TO EXISTING RESIDENCE
ADDRESS : 24 PRINCEH AVE
WHEELER HEIGHTS
NSW 2097

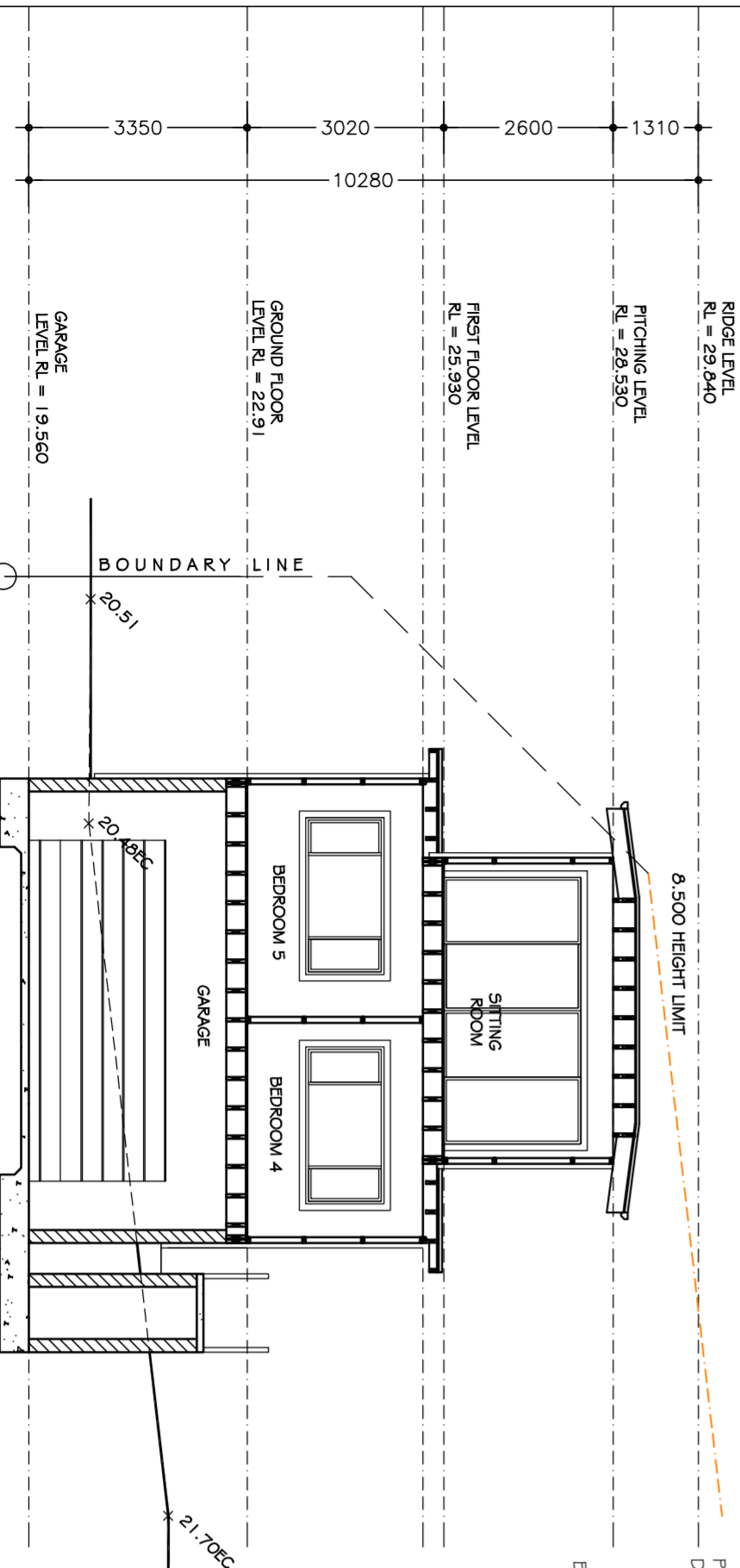
ELEVATION
SCALE: 1:100
DATE: 12.05.2021
REV: 18/13

SHEET No :
DA09

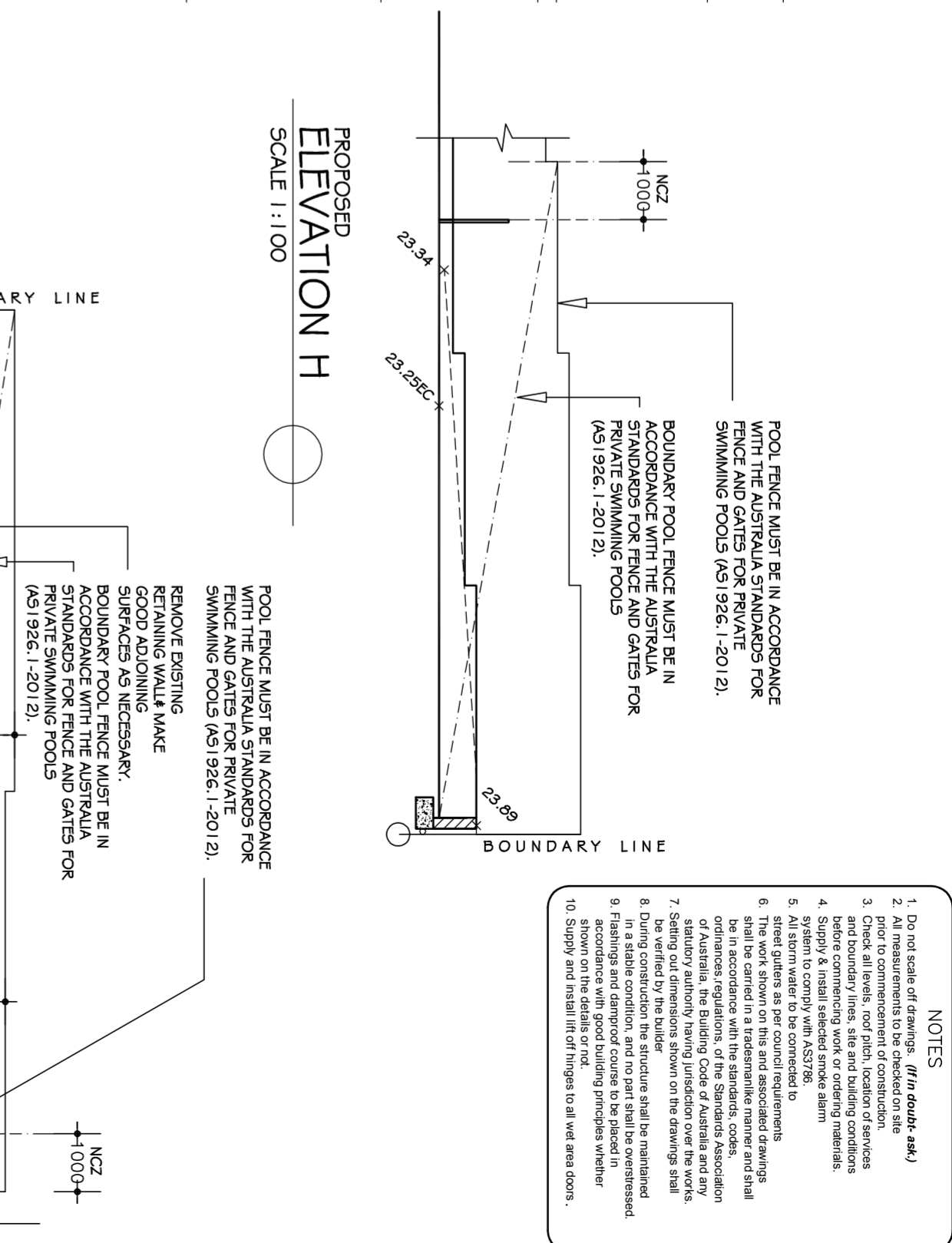
A2



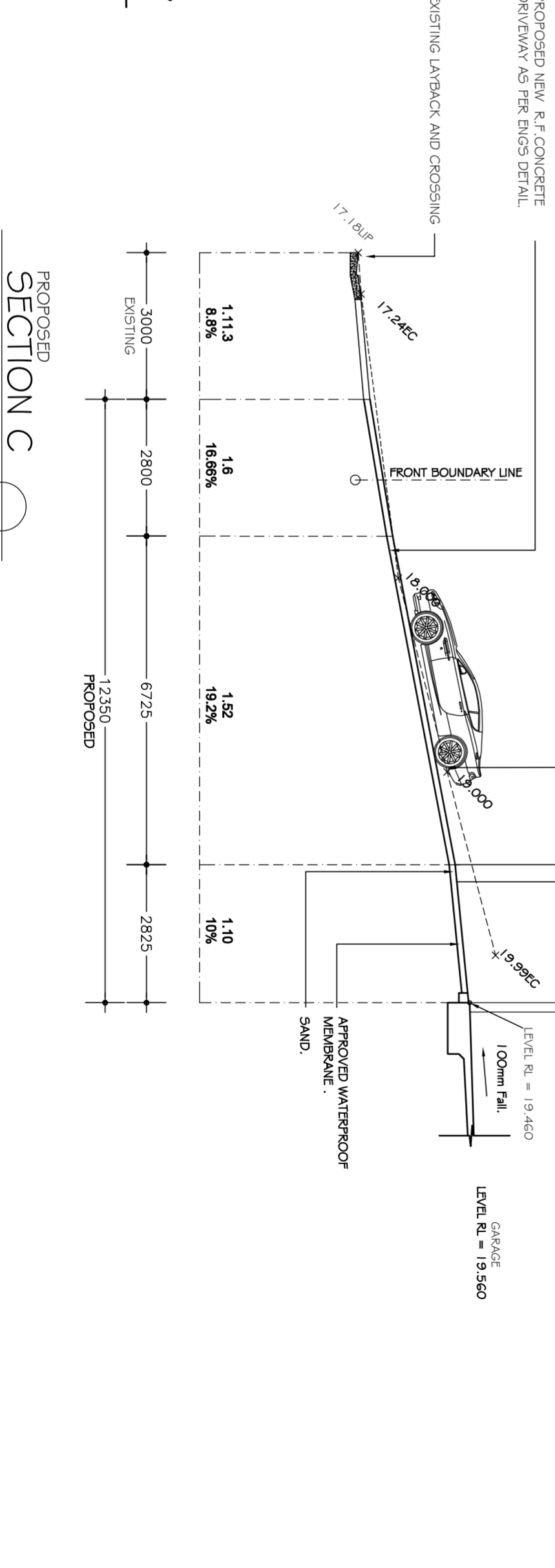
PROPOSED SECTION A
SCALE 1:100



PROPOSED SECTION B
SCALE 1:100



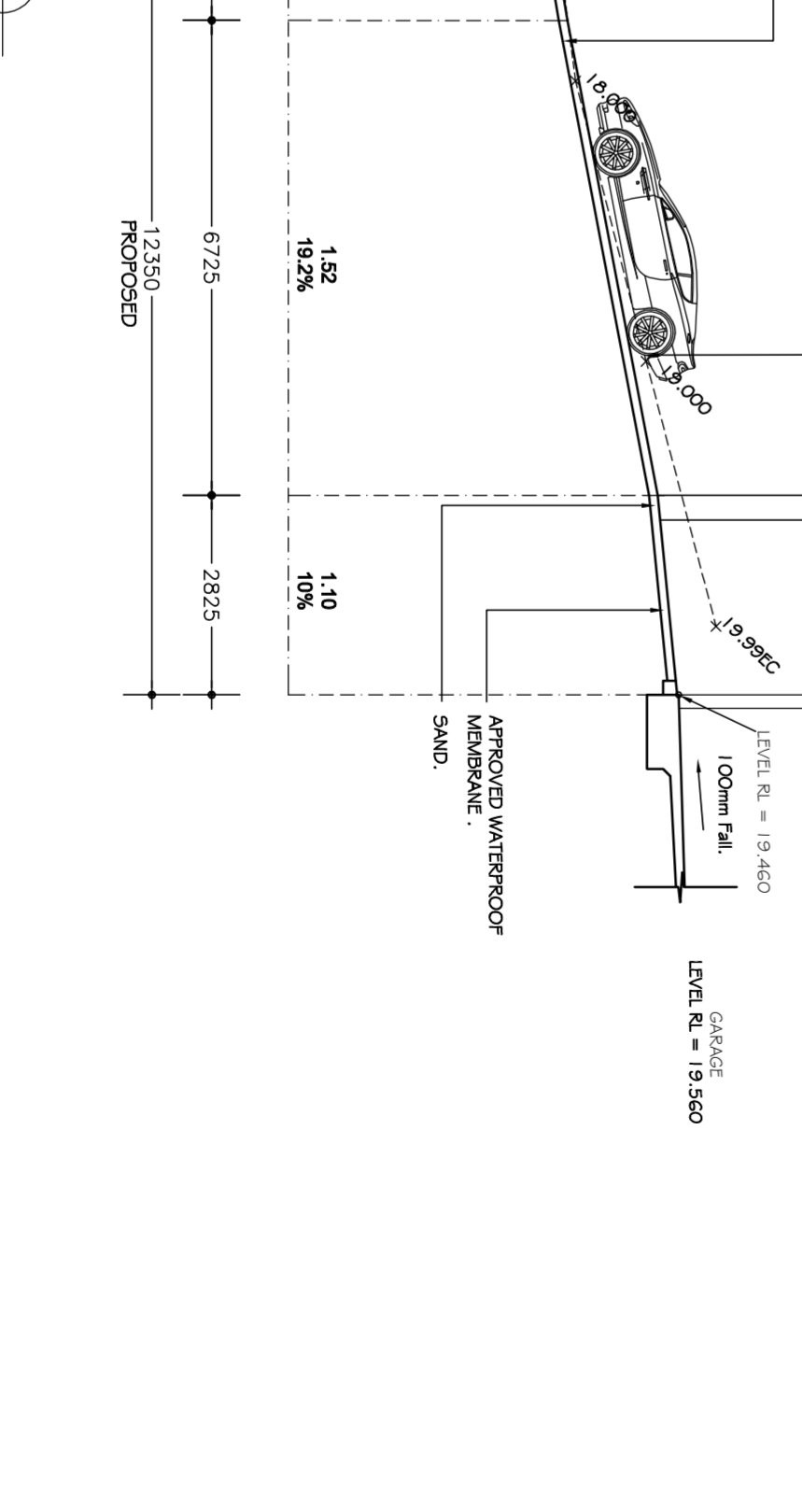
PROPOSED ELEVATION H
SCALE 1:100



PROPOSED ELEVATION G
SCALE 1:100

- NOTES**
1. Do not scale off drawings. (1/10 double ask)
 2. Prior to commencement of construction.
 3. Check all levels, roof pitch, location of services and boundary lines, site and building conditions before commencing work or ordering materials.
 4. System to comply with AS3798.
 5. All storm water to be connected to street gutters as per council requirements.
 6. The work shown on this set associated drawings shall be in accordance with the standards, codes, ordinances, regulations, of the Standards Association of Australia, the Building Code of Australia and any statutory authority having jurisdiction over the works.
 7. Structural Engineer's approval on the drawings shall be verified by the builder.
 8. During construction the structure shall be maintained in a stable condition, and no part shall be overstressed.
 9. Hangers and carport course to be placed in accordance with the standards, codes, and regulations shown on the details and not shown on the details or not.
 10. Supply and install lift off hinges to all wet area doors.

PROPOSED SECTION C



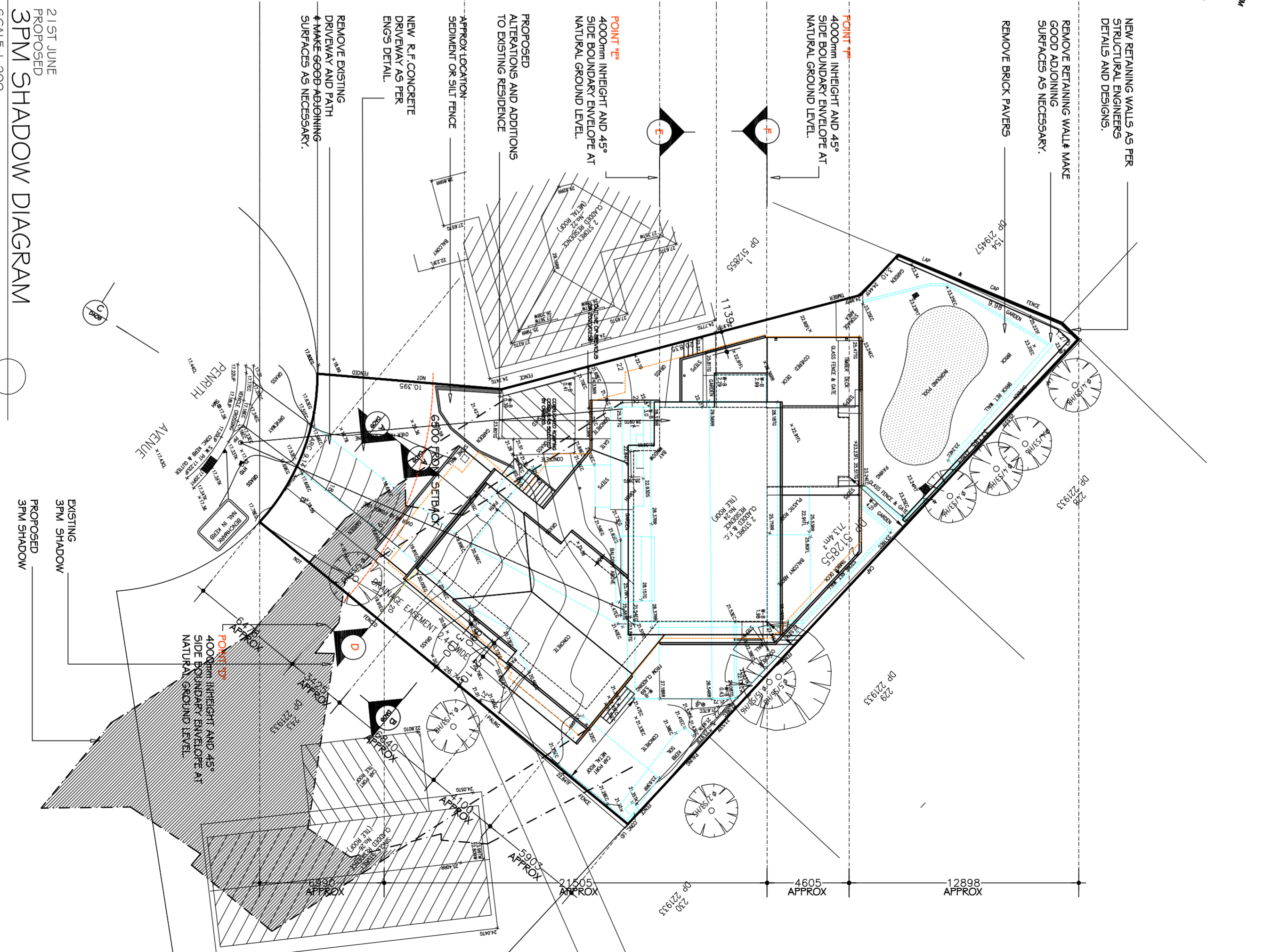
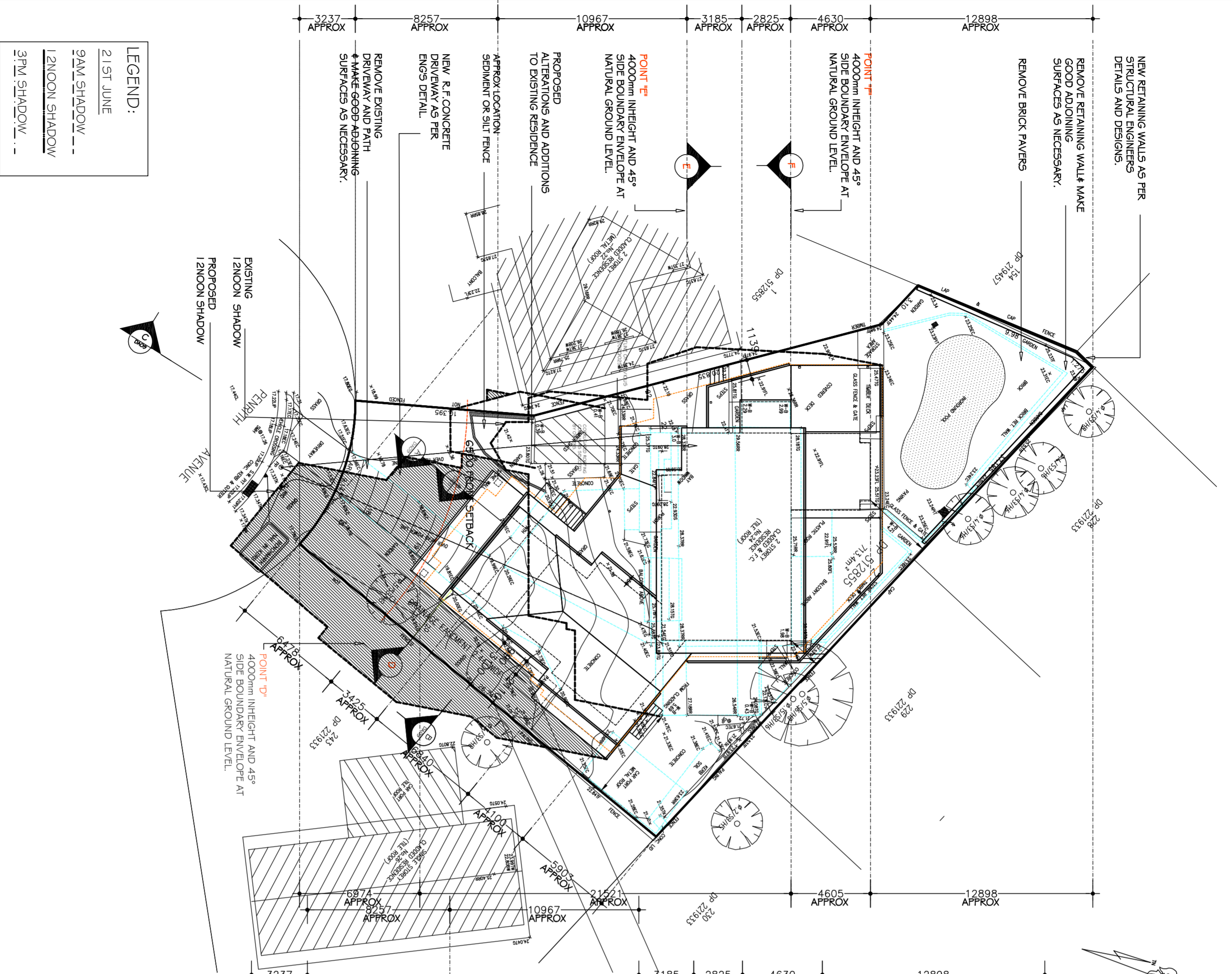
Sammy Fedele
Architectural Drafting Services
0404 037 606
email:sammyfedele@iprtnus.com.au

V AND J TURNER
PROPOSED: ALTERATIONS AND ADDITIONS (NEW RESIDENCE) TO EXISTING RESIDENCE
ADDRESS: 24 FINNERTH AVE WHEELER HEIGHTS NSW 2097
DP: 5112955 LOT 2

SCALE: 1:100
DATE: 12.05.2021
REV: JOB: 18/1/8

SECTION SHEET No: **DA010**

A2



LEGEND:
 21ST JUNE
 9AM SHADOW
 12NOON SHADOW
 3PM SHADOW

21ST JUNE
 PROPOSED
3PM SHADOW DIAGRAM
 SCALE 1:200

21ST JUNE
 PROPOSED
12NOON SHADOW DIAGRAM
 SCALE 1:200

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 Architectural Drafting
 Services
 0404 037 606
 email:sammyfedele@primus.com.au

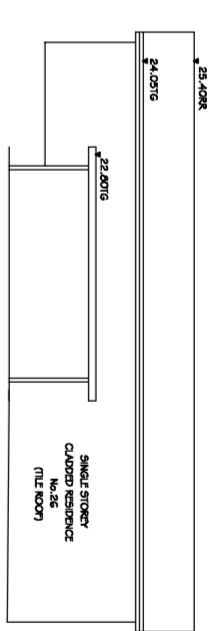
V AND J TURNER
 PROPOSED : ALTERATIONS AND ADDITIONS (NEW RESIDENCE)
 TO EXISTING RESIDENCE
 ADDRESS : 24 PENNETH AVE
 WHEELER HEIGHTS
 NSW 2097

SHADOWS
 SCALE: 1:200
 DATE: 12.05.2021
 REV: 10/1/8
 SHEET No :
DA11
A2



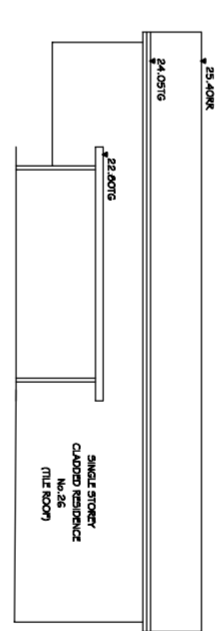
LEGEND:
 21ST JUNE
 9AM SHADOW
 12NOON SHADOW
 3PM SHADOW

21ST JUNE
 PROPOSED
 9AM SHADOW DIAGRAM
 SCALE 1:200

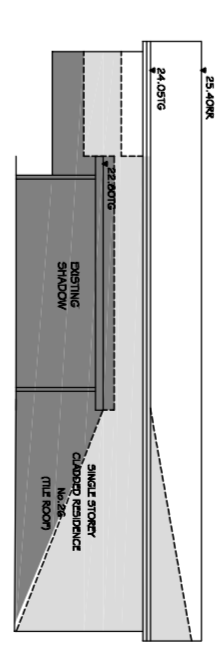


21ST JUNE 9AM
 PROPOSED
 SOUTH WEST ELEVATION
 SCALE 1:200

LEGEND:
 21ST JUNE
 9AM SHADOW
 12NOON SHADOW
 3PM SHADOW

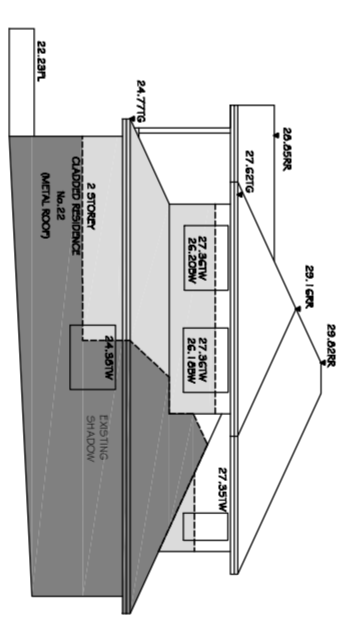


21ST JUNE 12NOON
 PROPOSED
 SOUTH WEST ELEVATION
 SCALE 1:200

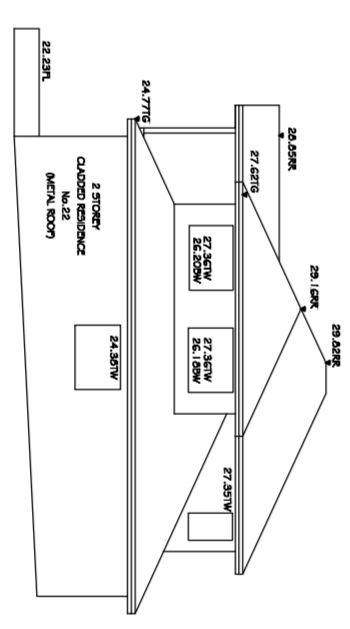


21ST JUNE 3PM
 PROPOSED
 SOUTH WEST ELEVATION
 SCALE 1:200

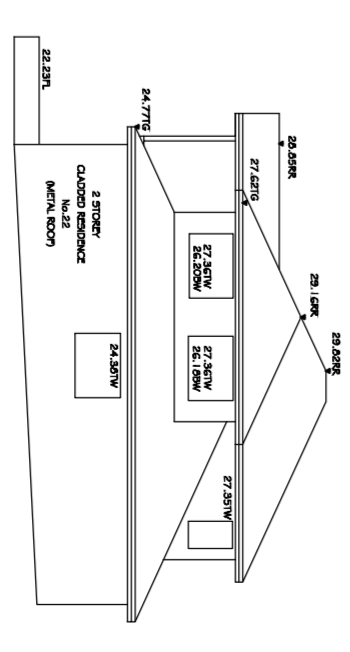
LEGEND:
 21ST JUNE
 PROPOSED
 SHADOW



21ST JUNE 9AM
 PROPOSED
 NORTH EAST ELEVATION
 SCALE 1:200



21ST JUNE 12NOON
 PROPOSED
 NORTH EAST ELEVATION
 SCALE 1:200



21ST JUNE 3PM
 PROPOSED
 NORTH EAST ELEVATION
 SCALE 1:200

Sammy Fedele
 Architectural Drafting Services
 0404 037 606
 email:sammyfedele@ipynus.com.au

V AND J TURNER
 PROPOSED : ALTERATIONS AND ADDITIONS (NEW RESIDENCE) TO EXISTING RESIDENCE
 ADDRESS : 24 PENRITH AVE WHEELER HEIGHTS NSW 2097

SHADOWS
 SCALE: 1:200
 DATE: 12.05.2021
 REV: JOB: 18/18

SHEET NO : **DA12**

INVESTIGATION OF TIAL BEFORE YOU DIG UNDERGROUND SERVICES HAS BEEN MADE. DETECTION OF UNDERGROUND SERVICES IS NOT AN INTEGRAL PART OF THIS SURVEY. ALL RELEVANT UTILITIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION ON OR NEAR THE SITE DEVELOPERS & EXCAVATORS MAY BE HELD FINANCIALLY RESPONSIBLE BY THE ASSET OWNER SHOULD THEY DAMAGE UNDERGROUND NETWORKS.

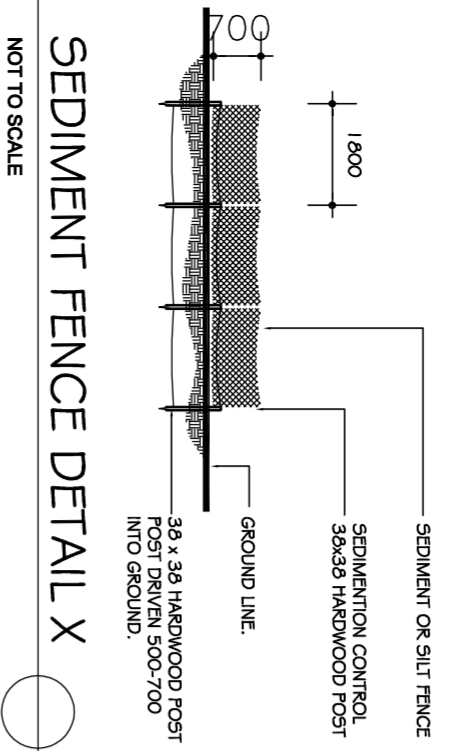
CARELESS DIGGING CAN:

- CAUSE DEATH OR SERIOUS INJURY TO WORKERS AND THE GENERAL PUBLIC
- INCONVENIENCE USERS OF ELECTRICITY, GAS, WATER AND COMMUNICATIONS
- LEAD TO CRIMINAL PROSECUTION AND DAMAGES CLAIMS
- CAUSE EXPENSIVE FINANCIAL LOSSES TO BUSINESSES
- CUT OFF EMERGENCY SERVICES
- DELAY PROJECT COMPLETION TIMES WHILE THE DAMAGE IS REPAIRED

MINIMISE YOUR RISK AND DIAL BEFORE YOU DIG.
TEL. 1100

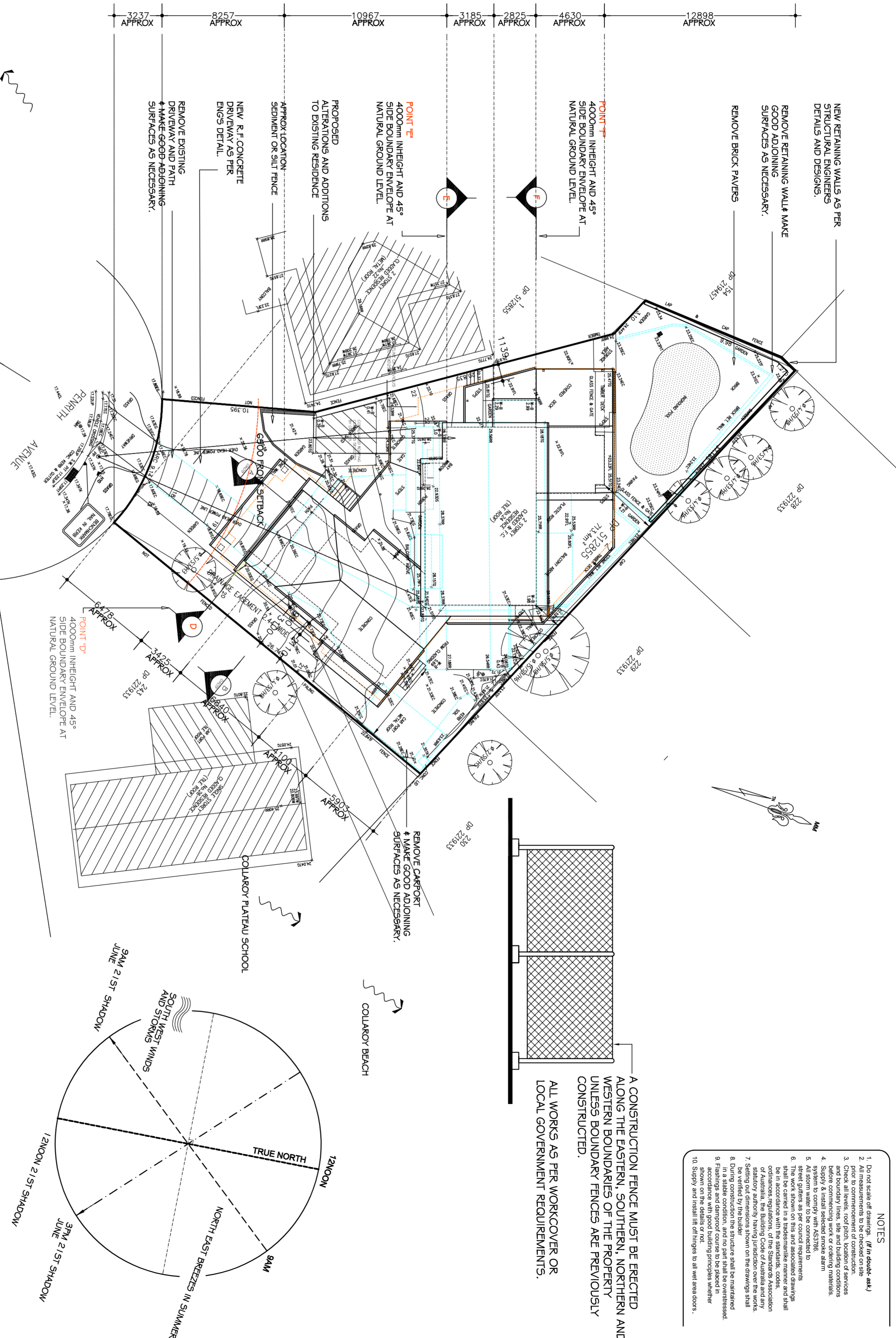
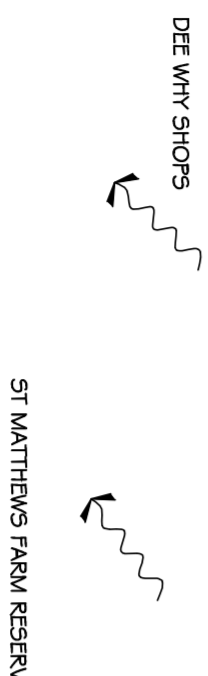


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PROPOSED
SEDIMENT CONTROL PLAN / WASTE MANAGEMENT / SITE ANALYSIS PLAN AND SITE PLAN

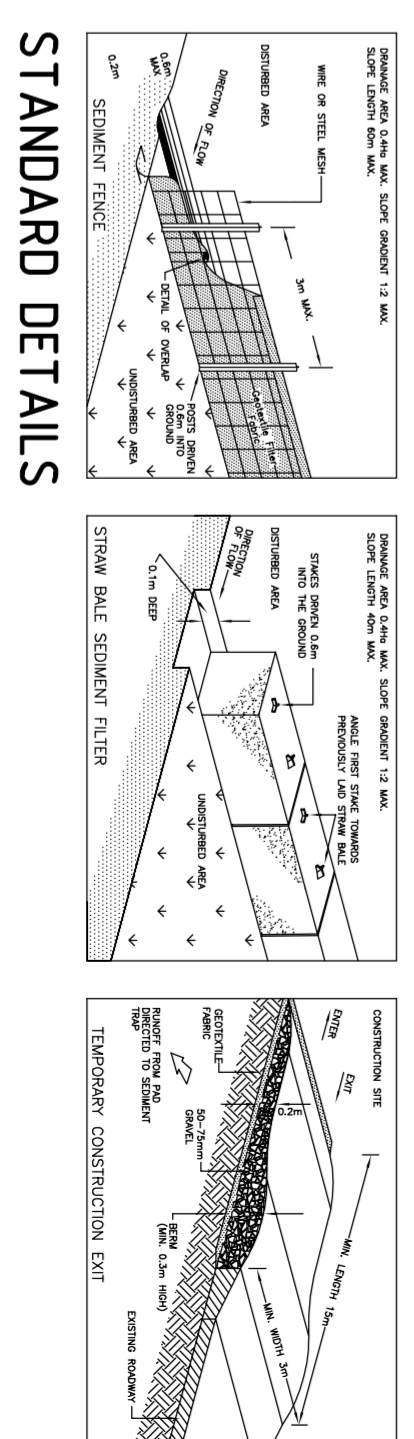
SCALE 1:200



- NOTES**
1. Do not scale off drawings. (If in doubt ask.)
 2. Check all levels, roof pitch, location of services and boundary lines, site and building conditions before commencing work or ordering materials.
 3. Check all levels, roof pitch, location of services and boundary lines, site and building conditions before commencing work or ordering materials.
 4. System to comply with AS3786.
 5. All storm water to be connected to street gutters as per council requirements.
 6. The work shown on this and associated drawings shall be in accordance with the standards, codes and ordinances, regulations, of the Standards Association of Australia, the Building Code of Australia and any statutory authority having jurisdiction over the site.
 7. Be verified by the builder.
 8. During construction the structure shall be maintained in a stable condition, and no part shall be over-stressed.
 9. Flashings and damp proof course to be placed in shown on the details or drawings.
 10. Supply and install lift off hinges to all wall area doors.

A CONSTRUCTION FENCE MUST BE ERECTED ALONG THE EASTERN, SOUTHERN, NORTHERN AND WESTERN BOUNDARIES OF THE PROPERTY UNLESS BOUNDARY FENCES ARE PREVIOUSLY CONSTRUCTED.

ALL WORKS AS PER WORKCOVER OR LOCAL GOVERNMENT REQUIREMENTS.



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V AND J TURNER
 PROPOSED: ALTERATIONS AND ADDITIONS (NEW RESIDENCE) TO EXISTING RESIDENCE
 ADDRESS: 24 FEURTH AVE WHEELER HEIGHTS NSW 2097

SITE PLAN
 SCALE: 1:200
 DATE: 12.05.2021
 REV: 18/1/8

SHEET No.: **DA13**

A2

SECTION ONE – DEMOLITION STAGE

MATERIALS ON SITE	DESTINATION			
	REUSE AND RECYCLING	DISPOSAL		
TYPE OF MATERIAL	ESTIMATED VOLUME (m3)	ON-SITE *Specify proposed reuse or on-site recycling methods	OFF-SITE *Specify contractor and recycling outlet	*Specify contractor and landfill site
Excavation Material	130m3 APPROX	CUT /FILL ON SITE	KIMBRIKI OR BUILDERS PREFERRED OPTION (RECYCLING PLANT)	
Green Waste	3.0m3 APPROX		SKIP BINS "DATS" OR BUILDERS PREFERRED OPTION (RECYCLING PLANT)	
Bricks	10.0m3 APPROX		SKIP BINS "DATS" OR BUILDERS PREFERRED OPTION (RECYCLING PLANT)	
Concrete	10.0m3 APPROX		SKIP BINS "DATS" OR BUILDERS PREFERRED OPTION (RECYCLING PLANT)	
Timber – Please specify:	5.0m3 APPROX	On site recycle subject to eng's certificate	SKIP BINS "DATS" OR BUILDERS PREFERRED OPTION (RECYCLING PLANT)	
Plasterboard	5.0m3 APPROX		SKIP BINS "DATS" OR BUILDERS PREFERRED OPTION (RECYCLING PLANT)	
Metals – Please specify:	-			
Other – Please specify:	12.0m3 APPROX		SKIP BINS "DATS" OR BUILDERS PREFERRED OPTION (RECYCLING PLANT)	

SECTION TWO – CONSTRUCTION STAGE

MATERIALS ON SITE	DESTINATION			
	REUSE AND RECYCLING	DISPOSAL		
TYPE OF MATERIAL	ESTIMATED VOLUME (m3)	ON-SITE *Specify proposed reuse or on-site recycling methods	OFF-SITE *Specify contractor and recycling outlet	*Specify contractor and landfill site
Excavation Material	-			
Green Waste	-			
Bricks	-			
Concrete	1.0m3 APPROX		SKIP BINS "DATS" OR BUILDERS PREFERRED OPTION (RECYCLING PLANT)	
Timber – Please specify:	6.0m3 APPROX		SKIP BINS "DATS" OR BUILDERS PREFERRED OPTION (RECYCLING PLANT)	
Plasterboard	6.0m3 APPROX		SKIP BINS "DATS" OR BUILDERS PREFERRED OPTION (RECYCLING PLANT)	
Metals – Please specify:	6.0m3 APPROX		SKIP BINS "DATS" OR BUILDERS PREFERRED OPTION (RECYCLING PLANT)	
Other – Please specify:	6.0m3 APPROX		SKIP BINS "DATS" OR BUILDERS PREFERRED OPTION (RECYCLING PLANT)	

WASTE MANAGEMENT



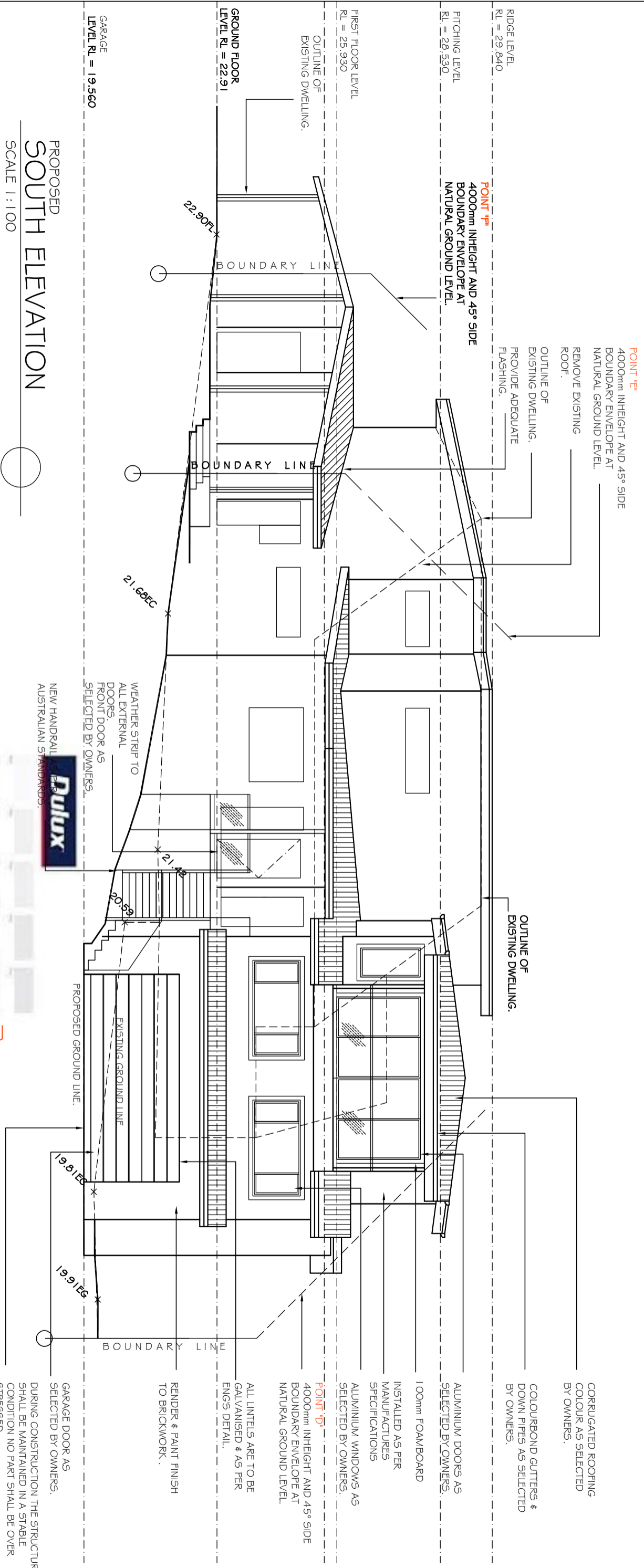
Architectural Drafting Services
0404 037 606
 email:sammyfedele@iprimus.com.au

V AND J TURNER
 PROPOSED ALTERATIONS AND ADDITIONS (NEW RESIDENCE)
 TO EXISTING RESIDENCE
 ADDRESS : 24 PENIRTH AVE
 WHEELER HEIGHTS
 NSW 2097

SCALE: 1 : 100
 DATE: 12.05.2021
 REV: JOB: 18/18

SHEET No :
DA014










PROPOSED
SOUTH ELEVATION
SCALE 1:100

PLEASE NOTE
COLOURS AS SELECTED OR SIMILAR

EXTERNAL COLOURS AND FINISHES

WINDOW AND DOORS <small>ALUMINIUM DOORS AND WINDOWS COLOUR WHITE OR SIMILAR</small>	ROOF <small>ROOF COLOUR BASALT OR SIMILAR</small>	GARAGE DOOR	GUTTER = BASALT FASCIA = WHITE/ROUNSTONE DOWNPIPES = TO MATCH WALLS
		 	
ROOF IRONSTONE PLEASE NOTE COLOURS AS SELECTED OR SIMILAR			



WALLS
RENDERED AND PAINTED
PLEASE NOTE
COLOURS AS SELECTED OR SIMILAR



WEATHER STRIP TO
ALL EXTERNAL
DOORS.
FRONT DOOR AS
SELECTED BY OWNERS.
NEW HANDRAILS PER
AUSTRALIAN STANDARDS.

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Services
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V AND J TURNER
PROPOSED : ALTERATIONS AND ADDITIONS (NEW RESIDENCE)
TO EXISTING RESIDENCE
ADDRESS : 24 PENKIRTH AVE
WHEELER HEIGHTS
NSW 2097

EXTERNAL COLOURS AND FINISHES
SCALE: 1:100
DATE: 12.05.2021
REV: 18/18

SHEET No :
DA15

A3