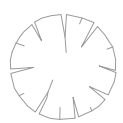


LAND SURVEY
LEGEND

ADJ: ADJOINING BUILDING
AHD: AUSTRALIAN HEIGHT
DATUM
BM: BENCH MARK
COMM: COMMUNICATION PIT
CONC: CONCRETE
D/H/S: DIAMETER/ HEIGHT/
SPREAD
D: DOOR
E-C: EDGE OF CONCRETE
E-G: EAVE & GUTTER
E-P: EDGE OF PAVEMENT
GUTT: GUTTER
NS: NATURAL SURFACE
PP: POWER POLE

DS: DOUBLE STOREY
SS: SINGLE STOREY
GWB: WEATHERBOARD
CTR: CONCRETE TILE ROOF
P: PORCH
HW: HABITABLE WINDOW
POS: PRIVATE OPEN SPACE
#x#: HEIGHT x SPREAD
FOL: FOLIAGE
V: VERANDAH
GI: GALVANIZED SHED
SEP: SIDE ENTRY PIT

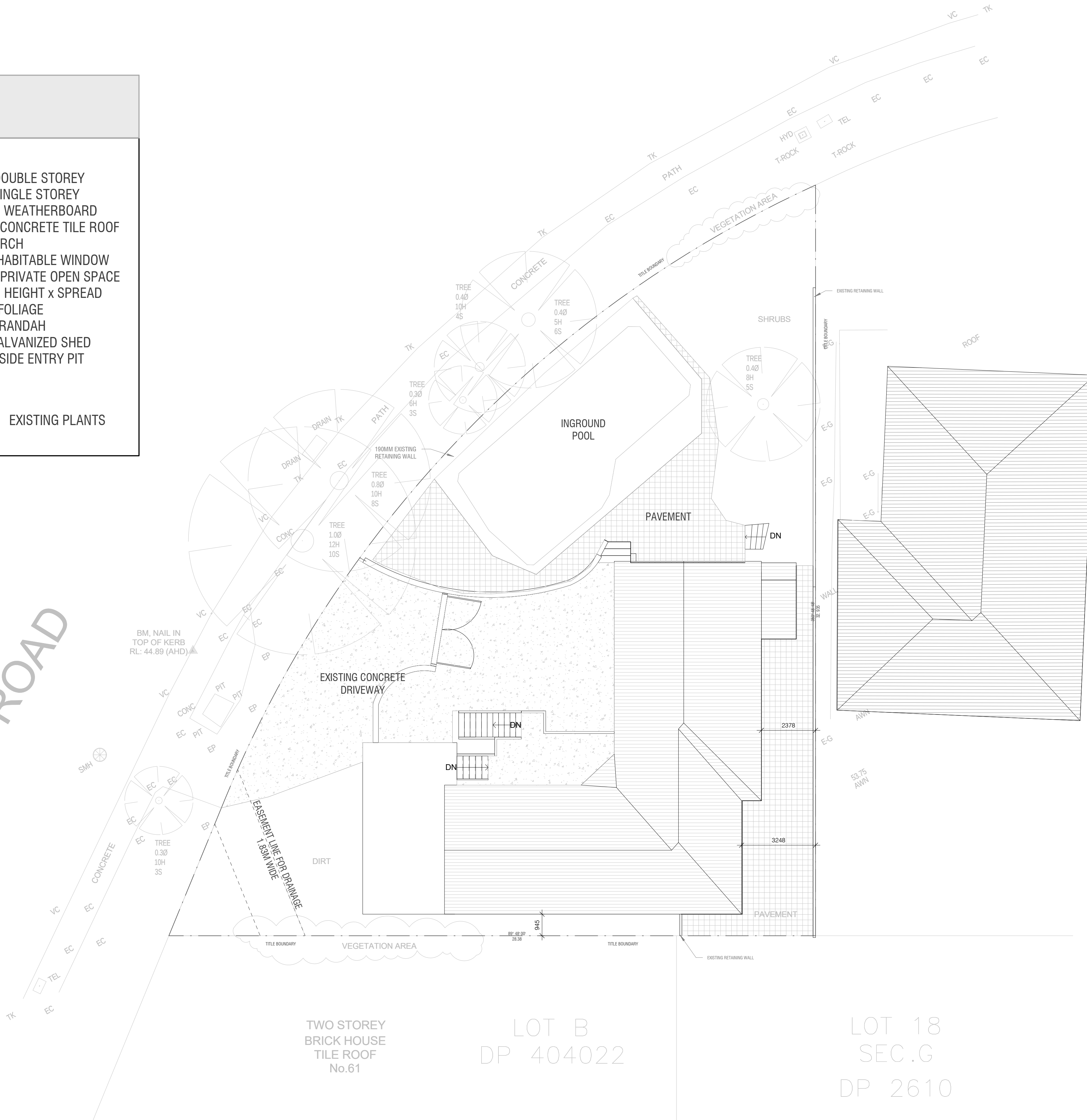


EXISTING PLANTS

S.P.O.S: SECLUDED P.O.S



CUTLER ROAD



REVISIONS	
01	
02	
03	
04	
05	
06	
07	
08	
09	
10	
11	
12	

PROJECT INFO

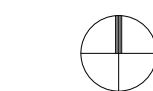
CLIENT	Ms Chen
TITLE	EXISTING SITE
PROPOSED	PROPOSED EXTENSION
ADDRESS	59 CUTLER ROAD, CLONTARF, NSW 2093

DRAWING INFO

DATE	05SEP2018
SCALE	1 : 100
DRAWN BY	LL
PROJECT NO	0048R



OFFICE CONTACT INFO
21 STONEY HILL, BAYSWATER VIC 3153
T: 03 9725 2471
E: INFO@YUCACHIA.COM
M: 0431 280 416
DO NOT SCALE THIS DRAWING
PAPER DIMENSIONS TO THIS PRESENCE OVER
THESE PLANS SHALL BE THE PROPERTY OF
YU CACHIA. ANY CHANGES TO THESE PLANS
ARE SUBJECT TO OUR PRIOR CONSENTMENT OF
WORKS.



A01

LAND SURVEY
LEGEND

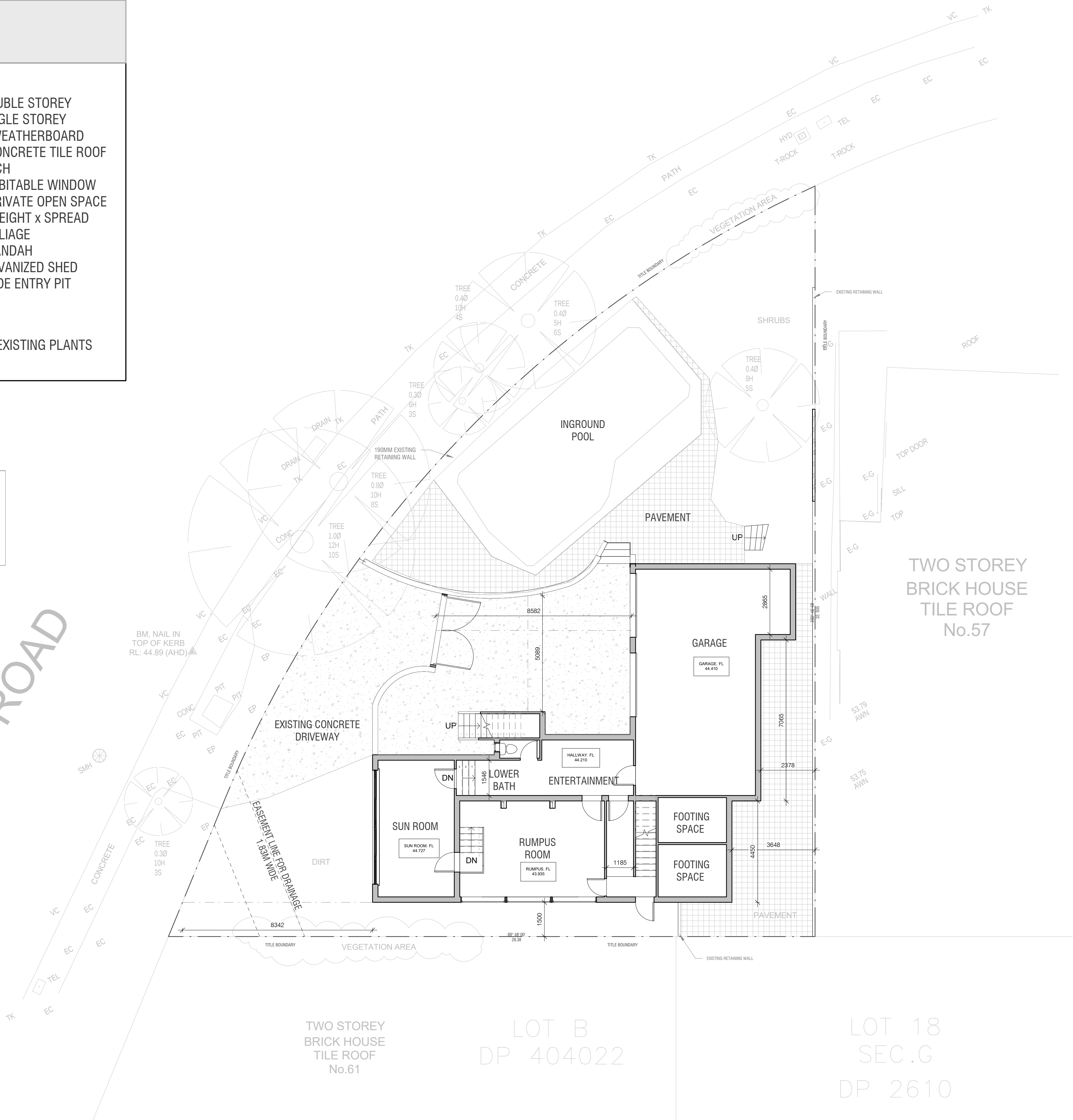
ADJ: ADJOINING BUILDING
AHD: AUSTRALIAN HEIGHT
DUTUM
BM: BENCH MARK
COMM: COMMUNICATION PIT
CONC: CONCRETE
D/H/S: DIAMETER/ HEIGHT/
SPREAD
D: DOOR
E-C: EDGE OF CONCRETE
E-G: EAVE & GUTTER
E-P: EDGE OF PAVEMENT
GUTT: GUTTER
NS: NATURAL SURFACE
PP: POWER POLE
S.P.O.S: SECLUDED P.O.S

DS: DOUBLE STOREY
SS: SINGLE STOREY
GWB: WEATHERBOARD
CTR: CONCRETE TILE ROOF
P: PORCH
HW: HABITABLE WINDOW
POS: PRIVATE OPEN SPACE
#x#: HEIGHT x SPREAD
FOL: FOLIAGE
V: VERANDAH
GI: GALVANIZED SHED
SEP: SIDE ENTRY PIT

EXISTING PLANTS



CUTLER ROAD



REVISIONS	
01	
02	
03	
04	
05	
06	
07	
08	
09	
10	
11	
12	

PROJECT INFO	
CLIENT	Ms Chen
TITLE	EXISTING GROUND FLOOR PLAN
PROPOSED	PROPOSED EXTENSION
ADDRESS	59 CUTLER ROAD, CLONTARF, NSW 2093
DRAWING INFO	
DATE	05SEP2018
SCALE	1 : 100
DRAWN BY	LL
PROJECT NO	0048R

OFFICE CONTACT INFO
21 STONEY HILL, BAYSWATER VIC 3153
T: 03 9725 2471
E: info@yucachia.com
M: 0431 280 416

DO NOT SCALE THIS DRAWING
THIS DRAWING IS THE PROPERTY OF YU CACHIA
IT IS TO BE USED FOR THE PROJECT ONLY
AND NOT FOR ANY OTHER PURPOSE
IT IS TO BE USED FOR THE PROJECT ONLY
AND NOT FOR ANY OTHER PURPOSE

THESE PLANS REMAIN THE PROPERTY OF YU CACHIA
AND ARE NOT TO BE REPRODUCED OR
COPIED IN ANY MANNER WITHOUT THE
WRITTEN PERMISSION OF YU CACHIA

A02

LAND SURVEY
LEGEND

ADJ: ADJOINING BUILDING
AHD: AUSTRALIAN HEIGHT
DATUM
BM: BENCH MARK
COMM: COMMUNICATION PIT
CONC: CONCRETE
D/H/S: DIAMETER/ HEIGHT/
SPREAD
D: DOOR
E-C: EDGE OF CONCRETE
E-G: EAVE & GUTTER
E-P: EDGE OF PAVEMENT
GUTT: GUTTER
NS: NATURAL SURFACE
PP: POWER POLE
S.P.O.S: SECLUDED P.O.S

DS: DOUBLE STOREY
SS: SINGLE STOREY
GWB: WEATHERBOARD
CTR: CONCRETE TILE ROOF
P: PORCH
HW: HABITABLE WINDOW
POS: PRIVATE OPEN SPACE
#X#: HEIGHT x SPREAD
FOL: FOLIAGE
V: VERANDAH
GI: GALVANIZED SHED
SEP: SIDE ENTRY PIT

EXISTING PLANTS



REVISIONS	
01	
02	
03	
04	
05	
06	
07	
08	
09	
10	
11	
12	

PROJECT INFO	
CLIENT	Ms Chen
TITLE	EXISTING SECOND FLOOR PLAN
PROPOSED	PROPOSED EXTENSION
ADDRESS	59 CUTLER ROAD, CLONTARF, NSW 2093
DRAWING INFO	
DATE	05SEP2018
SCALE	1 : 100
DRAWN BY	LL
PROJECT NO	0048R



DESIGN & CONSTRUCTION

OFFICE CONTACT INFO
21 STONEY HILL, BAYSWATER VIC 3153
T: 03 9725 2471
E: info@yucachia.com
M: 0431 280 416

DO NOT SCALE THIS DRAWING
PAPER DIMENSIONS TO THIS PRESCRIPTION OVER
LARGE SCALE DIMENSIONS TO REMAIN ALL
DIMENSIONS ON SITE PRIOR COMMENCEMENT OF
WORKS

THESE PLANS REMAIN THE PROPERTY OF
YU CACHIA DESIGN AND CONSTRUCTION AND
ARE SUBJECT TO COPYRIGHT LEGISLATION

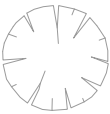


A03

LAND SURVEY
LEGEND

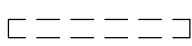
ADJ: ADJOINING BUILDING
AHD: AUSTRALIAN HEIGHT
DATUM
BM: BENCH MARK
COMM: COMMUNICATION PIT
CONC: CONCRETE
D/H/S: DIAMETER/ HEIGHT/
SPREAD
D: DOOR
E-C: EDGE OF CONCRETE
E-G: EAVE & GUTTER
E-P: EDGE OF PAVEMENT
GUTT: GUTTER
NS: NATURAL SURFACE
PP: POWER POLE
S.P.O.S: SECLUDED P.O.S

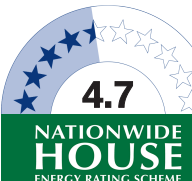
DS: DOUBLE STOREY
SS: SINGLE STOREY
GWB: WEATHERBOARD
CTR: CONCRETE TILE ROOF
P: PORCH
HW: HABITABLE WINDOW
POS: PRIVATE OPEN SPACE
#x#: HEIGHT x SPREAD
FOL: FOLIAGE
V: VERANDAH
GI: GALVANIZED SHED
SEP: SIDE ENTRY PIT

 EXISTING PLANTS

WALL LEGEND

 EXISTING WALL TO BE MAINTAINED

 EXISTING WALL TO BE DEMOLISHED



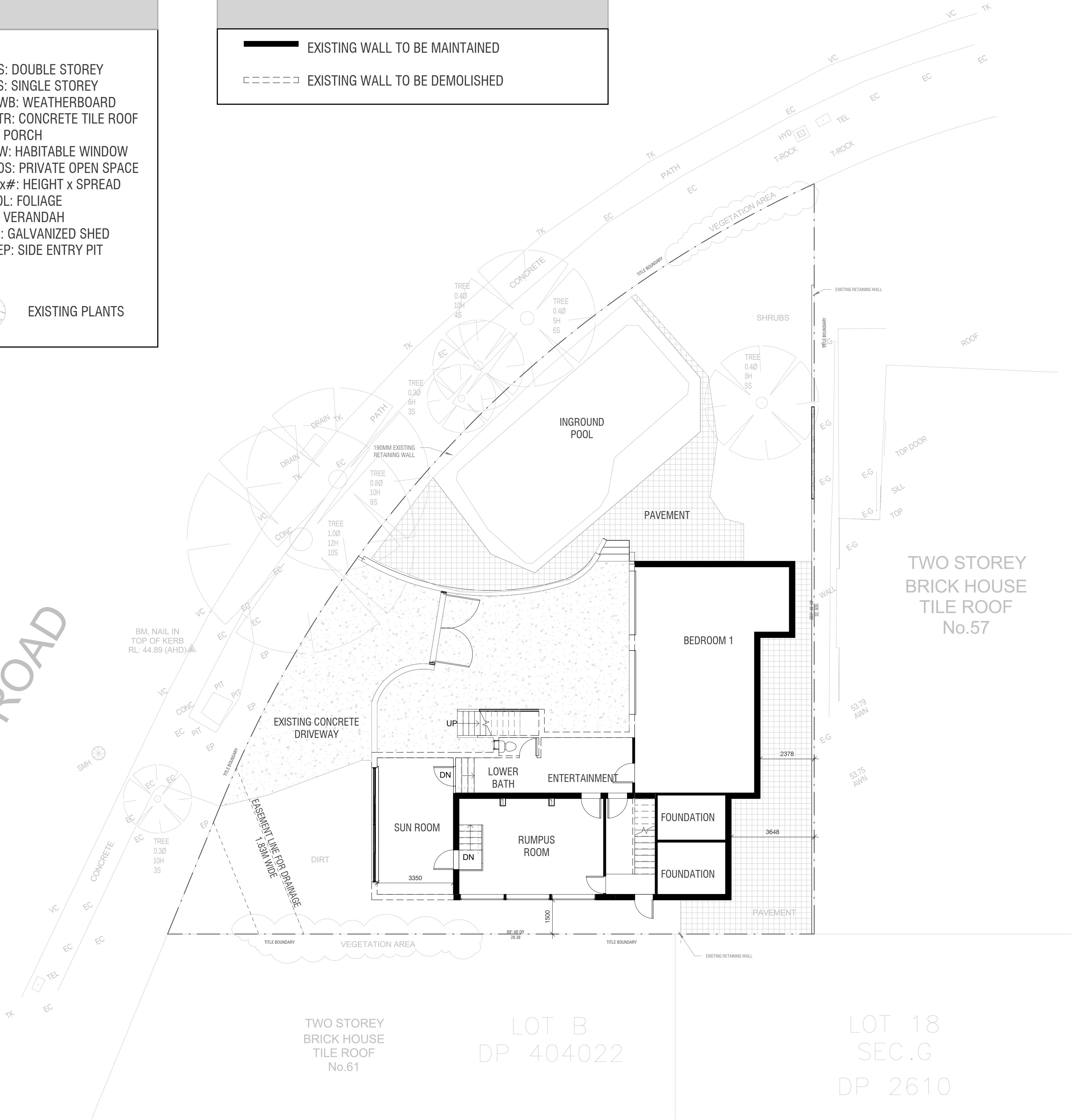
4.7
NATIONWIDE
HOUSE
ENERGY RATING SCHEME
70.9 MJ/m²
www.nabers.gov.au

Certificate Number:
Assessor Name:
Accreditation number:
Certificate date:
Dwelling address:
www.nabers.gov.au

ELDRBORN1K
Terry Stamatopoulos
VICBDAV191015
14 May 2019
59 Cutler Road Clontarf
NSW 2093
https://www.nabers.gov.au/assessors/ELDRBORN1K



CUTLER ROAD



REVISIONS	
01	
02	
03	
04	
05	
06	
07	
08	
09	
10	
11	
12	

PROJECT INFO	
CLIENT	Ms Chen
TITLE	DEMOLITION OF EXISTING GROUND FLOOR PLAN PROPOSED EXTENSION
ADDRESS	59 CUTLER ROAD, CLONTARF, NSW 2093
DRAWING INFO	
DATE	05SEP2018
SCALE	1 : 100
DRAWN BY	LL
PROJECT NO	0048R



DESIGN & CONSTRUCTION

OFFICE CONTACT INFO
21 STONEY HILL, BAYSWATER VIC 3153
T: 03 9725 2471
E: YOUPING@YUCACHIA.COM
M: 0431 280 416

DO NOT SCALE THIS DRAWING
PAPER DIMENSIONS TO THIS RESOLUTION OVER
ANY SCALE. ALL DIMENSIONS TO REMAIN ALL
DIMENSIONS ON SITE PRIOR COMMENCEMENT OF
WORK.

THESE PLANS REMAIN THE PROPERTY OF
YU CACHIA DESIGN AND CONSTRUCTION AND
ARE SUBJECT TO COPYRIGHT INFRINGEMENT
LITIGATION.

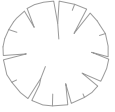
 A04

LAND SURVEY
LEGEND

ADJ: ADJOINING BUILDING
AHD: AUSTRALIAN HEIGHT
DATUM
BM: BENCH MARK
COMM: COMMUNICATION PIT
CONC: CONCRETE
D/H/S: DIAMETER/ HEIGHT/
SPREAD
D: DOOR
E-C: EDGE OF CONCRETE
E-G: EAVE & GUTTER
E-P: EDGE OF PAVEMENT
GUTT: GUTTER
NS: NATURAL SURFACE
PP: POWER POLE

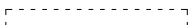
S.P.O.S: SECLUDED P.O.S

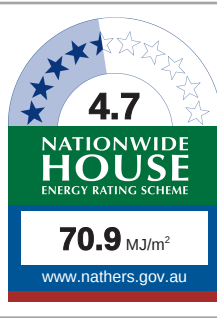
DS: DOUBLE STOREY
SS: SINGLE STOREY
GWB: WEATHERBOARD
CTR: CONCRETE TILE ROOF
P: PORCH
HW: HABITABLE WINDOW
POS: PRIVATE OPEN SPACE
#x#: HEIGHT x SPREAD
FOL: FOLIAGE
V: VERANDAH
GI: GALVANIZED SHED
SEP: SIDE ENTRY PIT

 EXISTING PLANTS

WALL LEGEND

 EXISTING WALL TO BE MAINTAINED

 EXISTING WALL TO BE DEMOLISHED



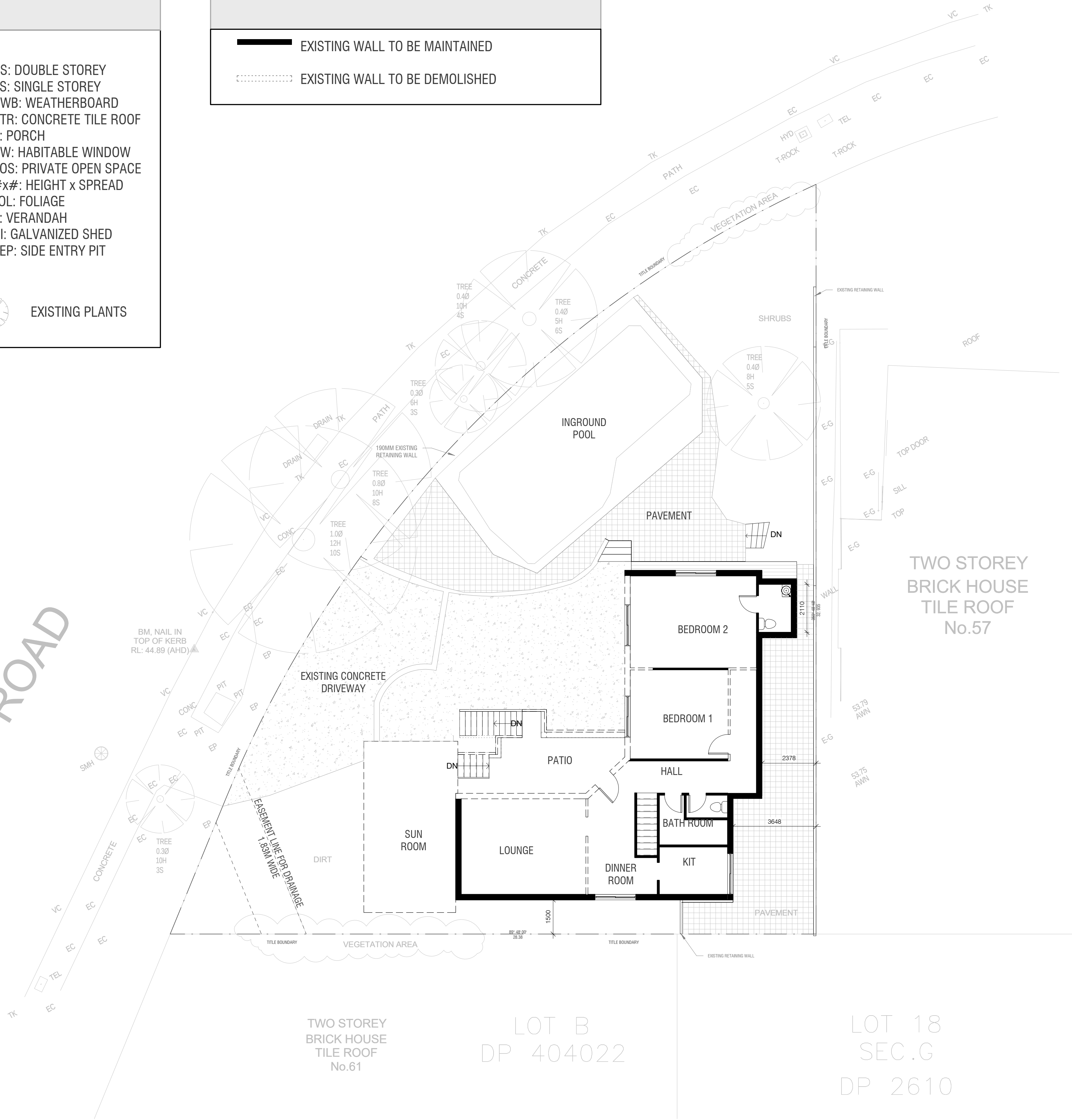
4.7
NATATIONWIDE
HOUSE
www.natationwide.com.au

Certificate Number:
Assessor Name:
Accreditation number:
Certificate date:
Dwelling address:
NSW 2093
www.natationwide.com.au

ELDRBORNIK
Terry Stamatoopoulos
VIC/BDV101015
14 May 2019
59 Cutler Road Clontarf
NSW 2093
www.natationwide.com.au



CUTLER ROAD



REVISIONS	
01	
02	
03	
04	
05	
06	
07	
08	
09	
10	
11	
12	

PROJECT INFO	
CLIENT	Ms Chen
TITLE	DEMOLITION OF EXISTING
PROPOSED	FIRST FLOOR PLAN
PROPOSED	PROPOSED EXTENSION
ADDRESS	59 CUTLER ROAD, CLONTARF, NSW 2093
DRAWING INFO	
DATE	05SEP2018
SCALE	1 : 100
DRAWN BY	LL
PROJECT NO	0048R



YU CACHIA
DESIGN & CONSTRUCTION

OFFICE CONTACT INFO
21 STONEY HILL, BAYSWATER VIC 3153
T: 03 9725 2471
E: info@yucachia.com.au

DO NOT SCALE THIS DRAWING
THIS DRAWING IS TO BE USED FOR REFERENCE ONLY
THIS DRAWING IS TO BE USED FOR REFERENCE ONLY
THIS DRAWING IS TO BE USED FOR REFERENCE ONLY

THESE PLANS REMAIN THE PROPERTY OF YU CACHIA
THESE PLANS REMAIN THE PROPERTY OF YU CACHIA
THESE PLANS REMAIN THE PROPERTY OF YU CACHIA

THESE PLANS REMAIN THE PROPERTY OF YU CACHIA
THESE PLANS REMAIN THE PROPERTY OF YU CACHIA
THESE PLANS REMAIN THE PROPERTY OF YU CACHIA

A05

LAND SURVEY
LEGEND

ADJ: ADJOINING BUILDING
AHD: AUSTRALIAN HEIGHT
D
BM: BENCH MARK
COMM: COMMUNICATION PIT
CONC: CONCRETE
D/H/S: DIAMETER/ HEIGHT/
SPREAD
D: DOOR
E-C: EDGE OF CONCRETE
E-G: EAVE & GUTTER
E-P: EDGE OF PAVEMENT
GUTT: GUTTER
NS: NATURAL SURFACE
PP: POWER POLE
S.P.O.S: SECLUDED P.O.S

DS: DOUBLE STOREY
SS: SINGLE STOREY
GWB: WEATHERBOARD
CTR: CONCRETE TILE ROOF
P: PORCH
HW: HABITABLE WINDOW
POS: PRIVATE OPEN SPACE
#x#: HEIGHT x SPREAD
FOL: FOLIAGE
V: VERANDAH
GI: GALVANIZED SHED
SEP: SIDE ENTRY PIT

EXISTING PLANTS



REVISIONS	
01	
02	
03	
04	
05	
06	
07	
08	
09	
10	
11	
12	

PROJECT INFO	
CLIENT	Ms Chen
TITLE	SHADOW 9AM (21JUNE)
PROPOSED	PROPOSED EXTENSION
ADDRESS	59 CUTLER ROAD, CLONTARF, NSW 2093

DRAWING INFO	
DATE	05SEP2018
SCALE	1 : 100
DRAWN BY	LL
PROJECT NO	0048R



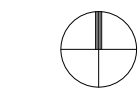
DESIGN & CONSTRUCTION

OFFICE CONTACT INFO

21 STONEY HILL, BAYSWATER VIC 3153
T: 03 9729 2471
E: INFO@YUCACHIA.COM
M: 0431 280 416

DO NOT SCALE THIS DRAWING
PAPER DIMENSIONS TO THIS RESOLUTION
LOCAL DIMENSIONS TO THIS RESOLUTION
CONSIDER ON SITE PRIOR COMMENCEMENT OF WORK

THESE PLANS REMAIN THE PROPERTY OF
YU CACHIA DESIGN AND CONSTRUCTION
AND ARE NOT TO BE REPRODUCED OR
USED FOR ANY OTHER PURPOSES



A06

LAND SURVEY
LEGEND

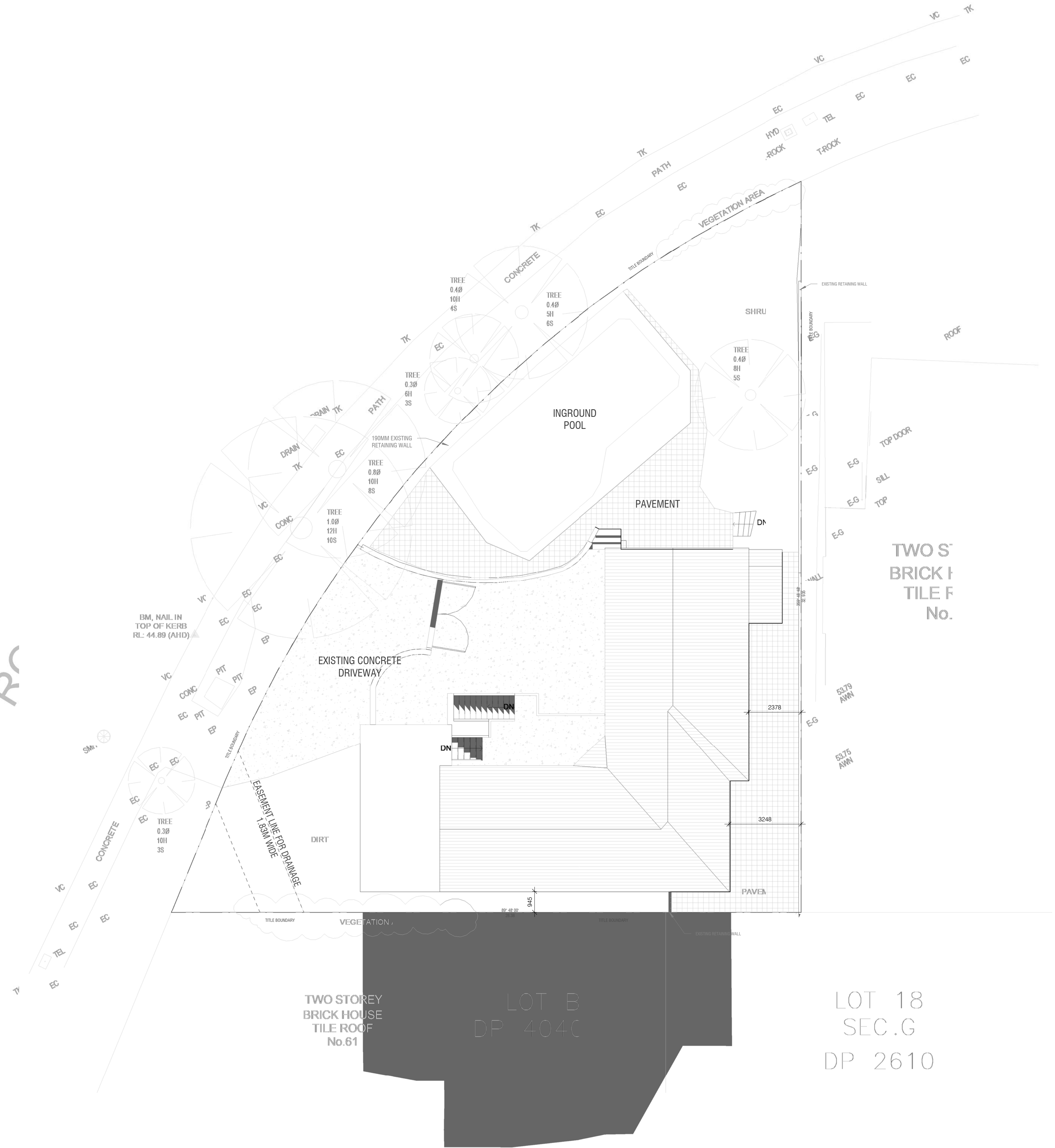
ADJ: ADJOINING BUILDING
AHD: AUSTRALIAN HEIGHT
DUM
BM: BENCH MARK
COMM: COMMUNICATION PIT
CONC: CONCRETE
D/H/S: DIAMETER/ HEIGHT/
SPREAD
D: DOOR
E-C: EDGE OF CONCRETE
E-G: EAVE & GUTTER
E-P: EDGE OF PAVEMENT
GUTT: GUTTER
NS: NATURAL SURFACE
PP: POWER POLE
S.P.O.S: SECLUDED P.O.S

DS: DOUBLE STOREY
SS: SINGLE STOREY
GWB: WEATHERBOARD
CTR: CONCRETE TILE ROOF
P: PORCH
HW: HABITABLE WINDOW
POS: PRIVATE OPEN SPACE
#x#: HEIGHT x SPREAD
FOL: FOLIAGE
V: VERANDAH
GI: GALVANIZED SHED
SEP: SIDE ENTRY PIT

EXISTING PLANTS



Rc



REVISIONS	
01	
02	
03	
04	
05	
06	
07	
08	
09	
10	
11	
12	

PROJECT INFO	
CLIENT	Ms Chen
TITLE	SHADOW 12NOON (21JUNE)
PROPOSED	PROPOSED EXTENSION
ADDRESS	59 CUTLER ROAD, CLONTARF, NSW 2093
DRAWING INFO	
DATE	05SEP2018
SCALE	1 : 100
DRAWN BY	LL
PROJECT NO	0048R



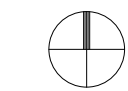
DESIGN & CONSTRUCTION

OFFICE CONTACT INFO

21 STONEY HILL, BAYSWATER VIC 3153
T: 03 9725 2471
E: info@yucachia.com
M: 0431 280 416

DO NOT SCALE THIS DRAWING
THIS DRAWING IS THE PROPERTY OF
YU CACHIA DESIGN & CONSTRUCTION
AND IS NOT TO BE REPRODUCED OR
USED IN ANY MANNER WITHOUT THE
WRITTEN CONSENT OF YU CACHIA

THESE PLANS REMAIN THE PROPERTY OF
YU CACHIA DESIGN & CONSTRUCTION
AND ARE NOT TO BE REPRODUCED OR
USED IN ANY MANNER WITHOUT THE
WRITTEN CONSENT OF YU CACHIA



A07

LAND SURVEY
LEGEND

ADJ: ADJOINING BUILDING
AHD: AUSTRALIAN HEIGHT
DATUM
BM: BENCH MARK
COMM: COMMUNICATION PIT
CONC: CONCRETE
D/H/S: DIAMETER/ HEIGHT/
SPREAD
D: DOOR
E-C: EDGE OF CONCRETE
E-G: EAVE & GUTTER
E-P: EDGE OF PAVEMENT
GUTT: GUTTER
NS: NATURAL SURFACE
PP: POWER POLE

S.P.O.S: SECLUDED P.O.S

DS: DOUBLE STOREY
SS: SINGLE STOREY
GWB: WEATHERBOARD
CTR: CONCRETE TILE ROOF
P: PORCH
HW: HABITABLE WINDOW
POS: PRIVATE OPEN SPACE
#x#: HEIGHT x SPREAD
FOL: FOLIAGE
V: VERANDAH
GI: GALVANIZED SHED
SEP: SIDE ENTRY PIT

 EXISTING PLANTS

4.7

NATIONWIDE
HOUSE

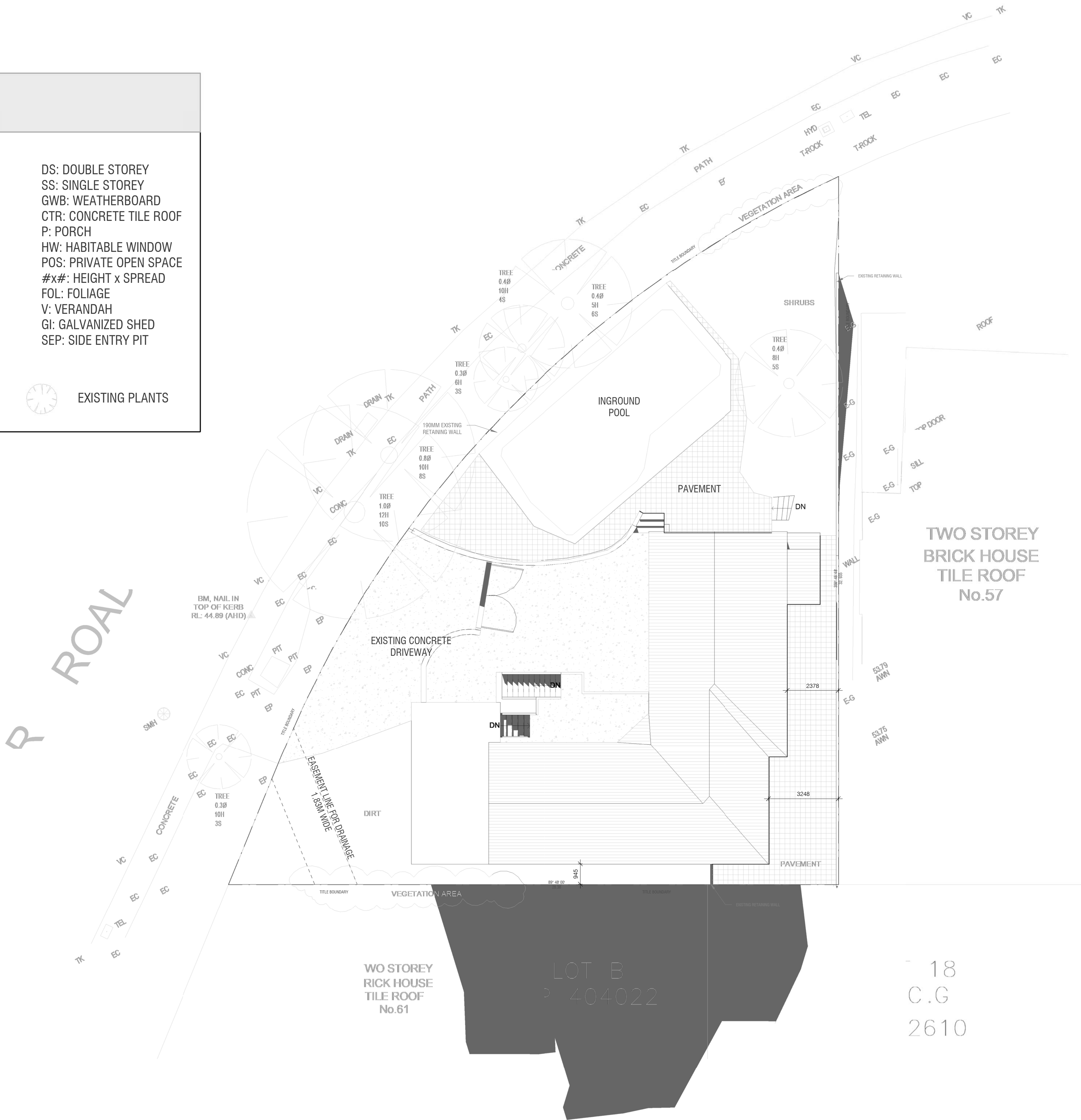
ENERGY RATING SCHEME

70.9 MJ/m²

www.nathers.gov.au

Certificate Number:
Assessor Name:
Accreditation number:
Certificate date:
Dwelling address:
59 Cutler Road Clontarf
NSW 2093
www.nathers.gov.au

ELDRBORN1K
Terry Stanatopoulos
VIC180AV1201015
14 May 2019
REGULATING OFFICIALS
ELDRBORN1K



REVISIONS	
01	
02	
03	
04	
05	
06	
07	
08	
09	
10	
11	
12	

PROJECT INFO	
CLIENT	Ms Chen
TITLE	SHADOW 1PM (21JUNE)
PROPOSED	PROPOSED EXTENSION
ADDRESS	59 CUTLER ROAD, CLONTARF, NSW 2093
DRAWING INFO	
DATE	05SEP2018
SCALE	1 : 100
DRAWN BY	LL
PROJECT NO	0048R

YU CACHIA

DESIGN & CONSTRUCTION

OFFICE CONTACT INFO
21 STONEY HILL, BAYSWATER VIC 3153
T: 03 9725 2471
E: INFO@YUCACHIA.COM
M: 0431 280 416

DO NOT SCALE THIS DRAWING
PAPER DIMENSIONS TO THIS PRESCRIPTION OVER
LOCAL DIMENSIONS OF THE DRAWING ARE TO BE USED
CONSIDER ON SITE PRIOR COMMENCEMENT OF
WORKS

THESE PLANS REMAIN THE PROPERTY OF
YU CACHIA DESIGN AND CONSTRUCTION AND
ARE SUBJECT TO COPYRIGHT LEGISLATION



A08

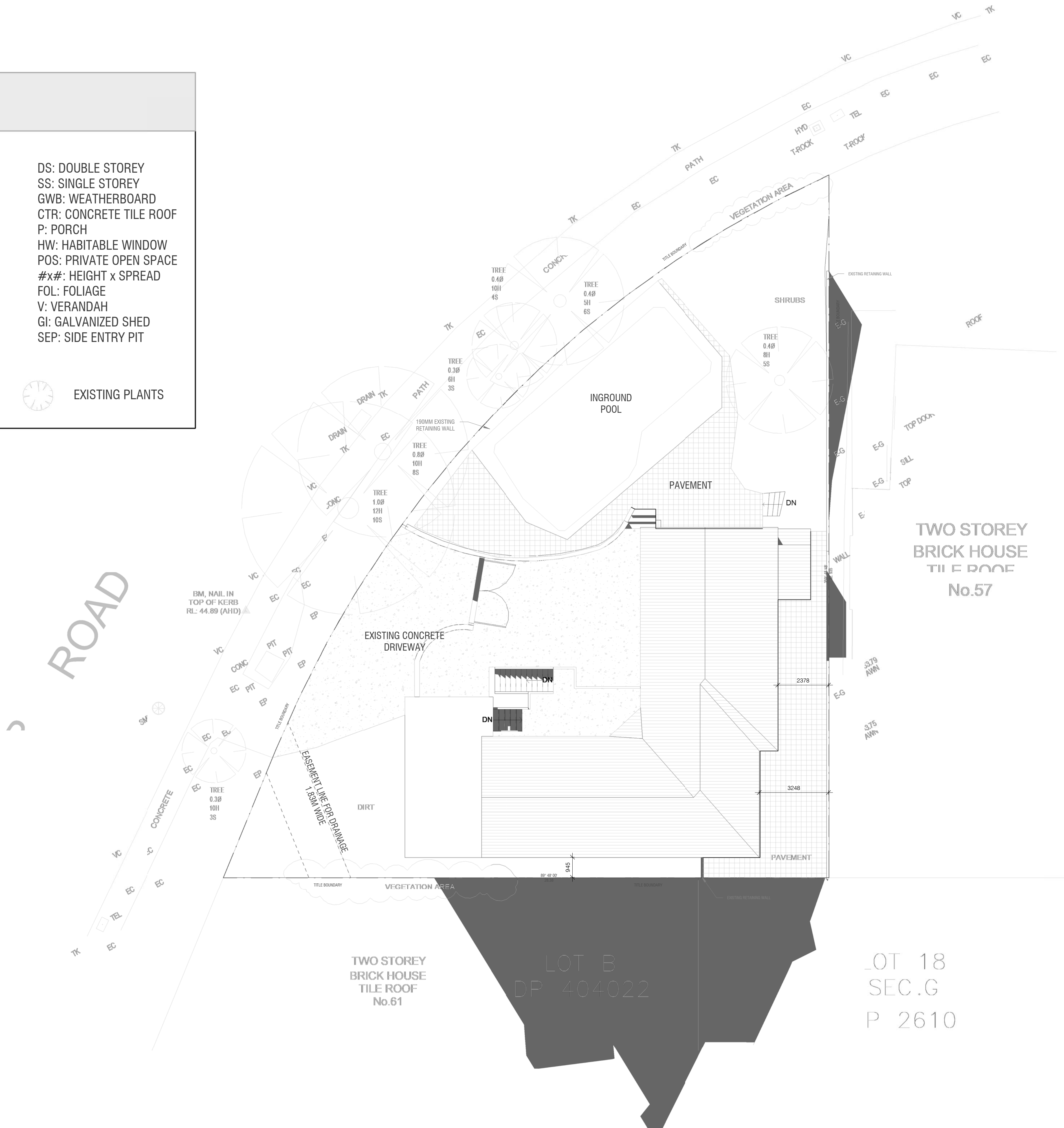
ADJ: ADJOINING BUILDING
 AHD: AUSTRALIAN HEIGHT
 DATUM
 BM: BENCH MARK
 COMM: COMMUNICATION PIT
 CONC: CONCRETE
 D/H/S: DIAMETER/ HEIGHT/
 SPREAD
 D: DOOR
 E-C: EDGE OF CONCRETE
 E-G: EAVE & GUTTER
 E-P: EDGE OF PAVEMENT
 GUTT: GUTTER
 NS: NATURAL SURFACE
 PP: POWER POLE

DS: DOUBLE STOREY
 SS: SINGLE STOREY
 GWB: WEATHERBOARD
 CTR: CONCRETE TILE ROOF
 P: PORCH
 HW: HABITABLE WINDOW
 POS: PRIVATE OPEN SPACE
 #x#: HEIGHT x SPREAD
 FOL: FOLIAGE
 V: VERANDAH
 GI: GALVANIZED SHED
 SEP: SIDE ENTRY PIT

S.P.O.S: SECLUDED P.O.S

 EXISTING PLANTS

EXISTING PLANTS



REVISIONS

01	
02	
03	
04	
05	
06	
07	
08	
09	
10	
11	
12	

PROJECT INFO

CLIENT	Ms Chen
TITLE	SHADOW 2PM(21JUNE)
PROPOSED	PROPOSED EXTENSION
ADDRESS	59 CUTLER ROAD, CLONTARF, NSW 2093

DRAWING INFO

DATE	05SEP2018
SCALE	1 : 100
DRAWN BY	L.L
PROJECT NO	0048R



OFFICE CONTACT INFO
31 SYDNEY RD, BAYSWATER VIC 3153
T. 03 9720 2471
E. KEVIN@YUCACHA.COM
M. 0431 260 416

DO NOT SCALE THIS DRAWING.
FIGURED DIMENSIONS TAKE PRECEDENCE OVER
SCALE. SUPPLIERS & CONTRACTORS TO VERIFY ALL
DIMENSIONS ON SITE PRIOR COMMENCEMENT OF
WORKS.

THESE PLANS REMAIN THE PROPERTY
YUCACHA DESIGN AND CONSTRUCTION
AND ARE SUBJECT TO COPYRIGHT RE-PRODUCTION



A09

LAND SURVEY
LEGEND

ADJ: ADJOINING BUILDING
AHD: AUSTRALIAN HEIGHT
DUTUM
BM: BENCH MARK
COMM: COMMUNICATION PIT
CONC: CONCRETE
D/H/S: DIAMETER/ HEIGHT/
SPREAD
D: DOOR
E-C: EDGE OF CONCRETE
E-G: EAVE & GUTTER
E-P: EDGE OF PAVEMENT
GUTT: GUTTER
NS: NATURAL SURFACE
PP: POWER POLE

DS: DOUBLE STOREY
SS: SINGLE STOREY
GWB: WEATHERBOARD
CTR: CONCRETE TILE ROOF
P: PORCH
HW: HABITABLE WINDOW
POS: PRIVATE OPEN SPACE
#x#: HEIGHT x SPREAD
FOL: FOLIAGE
V: VERANDAH
GI: GALVANIZED SHED
SEP: SIDE ENTRY PIT

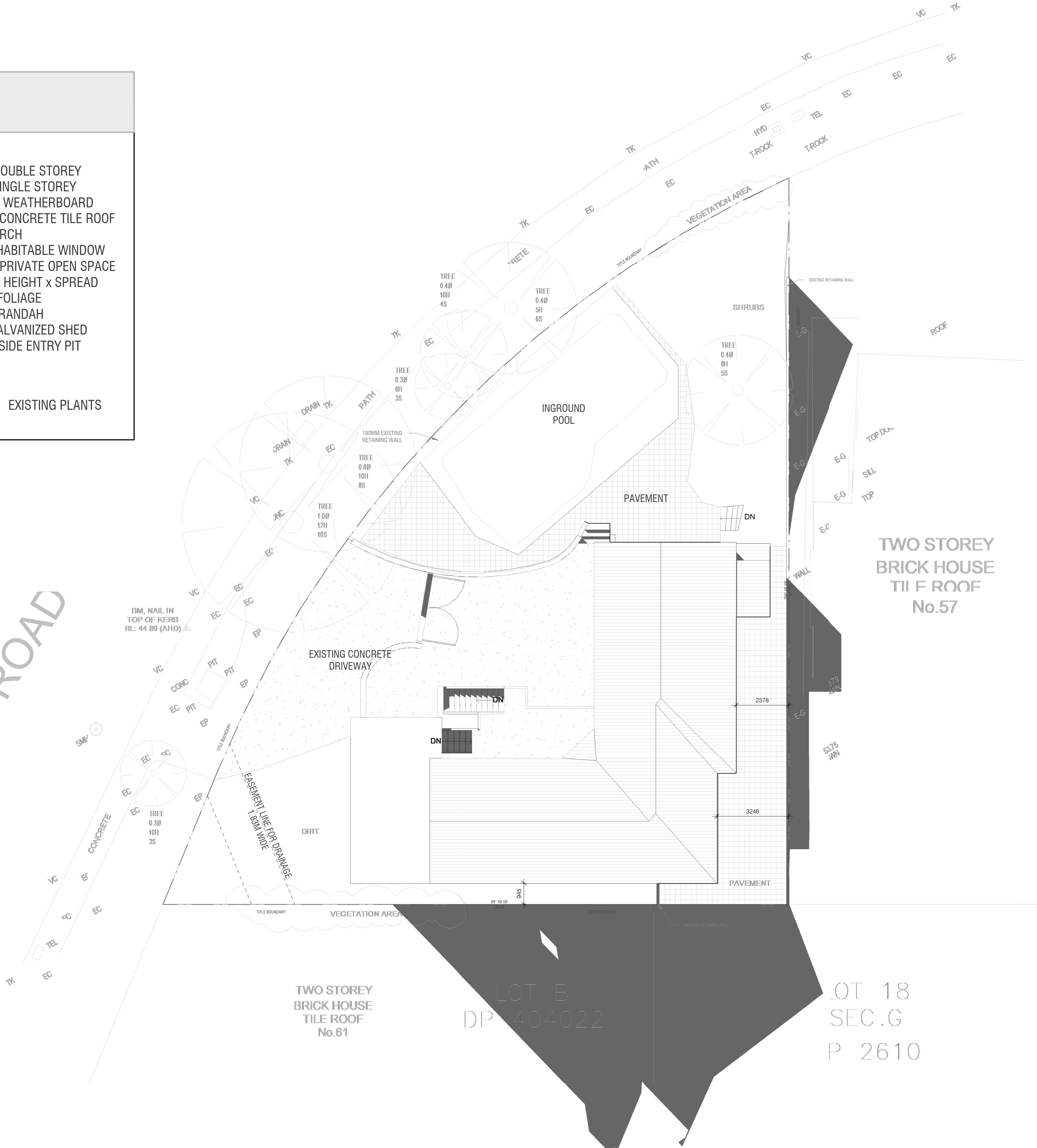


EXISTING PLANTS

S.P.O.S: SECLUDED P.O.S



ROAD



REVISIONS

01	
02	
03	
04	
05	
06	
07	
08	
09	
10	
11	
12	

PROJECT INFO

CLIENT	Ms Chen
TITLE	SHADOW 3PM (21JUNE)
PROPOSED	PROPOSED EXTENSION
ADDRESS	59 CUTLER ROAD, CLONTARF, NSW 2093

DRAWING INFO

DATE	05SEP2018
SCALE	1 : 100
DRAWN BY	LL
PROJECT NO	0048R



OFFICE CONTACT INFO
21 STONEY HILL, BAYSWATER VIC 3153
T: 03 9725 2471
E: INFO@YUCACHIA.COM
M: 0431 280 416
DO NOT SCALE THIS DRAWING
PAPER DIMENSIONS TO THIS PRECEDENCE OVER
ANY DIMENSIONS ON THE DRAWING. ALL DIMENSIONS
ARE SUBJECT TO OUR PRELIMINARY SURVEY
AND FIELD MEASUREMENTS.



A10

LAND SURVEY
LEGEND

ADJ: ADJOINING BUILDING
AHD: AUSTRALIAN HEIGHT
DATUM
BM: BENCH MARK
COMM: COMMUNICATION PIT
CONC: CONCRETE
D/H/S: DIAMETER/ HEIGHT/
SPREAD
D: DOOR
E-C: EDGE OF CONCRETE
E-G: EAVE & GUTTER
E-P: EDGE OF PAVEMENT
GUTT: GUTTER
NS: NATURAL SURFACE
PP: POWER POLE
S.P.O.S: SECLUDED P.O.S

DS: DOUBLE STOREY
SS: SINGLE STOREY
GWB: WEATHERBOARD
CTR: CONCRETE TILE ROOF
P: PORCH
HW: HABITABLE WINDOW
POS: PRIVATE OPEN SPACE
#x#: HEIGHT x SPREAD
FOL: FOLIAGE
V: VERANDAH
GI: GALVANIZED SHED
SEP: SIDE ENTRY PIT

--- REFERENCE LINE

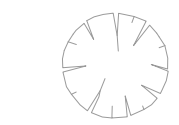
AREA SCHEDULE

GROUND FLOOR AREA: 57.7M²
FIRST FLOOR AREA: 153.9M²
SECOND FLOOR AREA: 62M²
GARAGE: 30M²

DRIVEWAY AREA: 53M²
PAVEMENT AREA: 88M²
POOL AREA: 49M²

SITE AREA LOT29 DP25654 :600.7M²
(STATED IN DP25654)
:601.25M²
(BY CALCULATION)

MAXIMUM BUILDING
HEIGHT: 8.5M
FLOOR SPACE RATIO: 0.4
CALCULATED BASE ON
4.1.3.1 EXCEPTIONS TO
DEVELOPMENT STANDARD

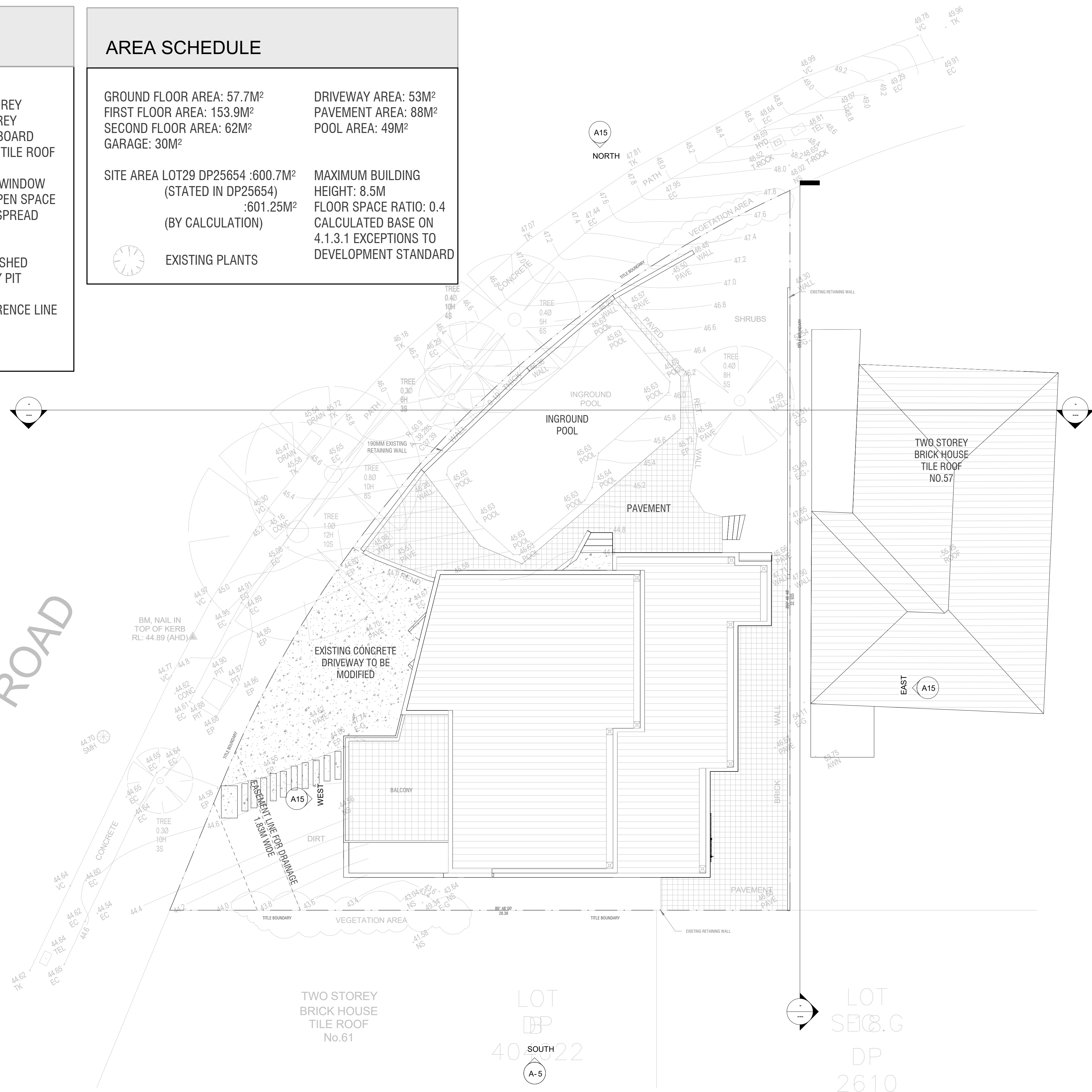


EXISTING PLANTS



REVISIONS	
01	
02	
03	
04	
05	
06	
07	
08	
09	
10	
11	
12	

CUTLER ROAD



PROJECT INFO	
CLIENT	Ms Chen
TITLE	PROPOSED ROOF PLAN
PROPOSED	PROPOSED EXTENSION
ADDRESS	59 Cutler Rd, Clontarf NSW 2093, Australia
DRAWING INFO	
DATE	05SEP2018
SCALE	1 : 100
DRAWN BY	LL
PROJECT NO	0048R

YU CACHIA
DESIGN & CONSTRUCTION

OFFICE CONTACT INFO
21 STONEY HILL, BAYSWATER VIC 3153
T: 03 9725 2471
E: YOUPING@YUCACHIA.COM
M: 0431 280 416

DO NOT SCALE THIS DRAWING.
PARTS SHOWN TO THE PRESENCE OVER
THIS DRAWING AND THE PROJECT AND
CONSENT ON SITE PRIOR COMMENCEMENT OF
WORKS.

THESE PLANS REMAIN THE PROPERTY OF
YU CACHIA AND THE PROJECT AND
CONSENT ON SITE PRIOR COMMENCEMENT OF
WORKS.

A11

REVISIONS	
01	
02	
03	
04	
05	
06	
07	
08	
09	
10	
11	
12	

PROJECT INFO	
CLIENT	Ms Chen
TITLE	PROPOSED GROUND FLOOR PLAN
PROPOSED	PROPOSED EXTENSION
ADDRESS	59 Cutler Rd, Clontarf NSW 2093, Australia
DRAWING INFO	
DATE	05SEP2018
SCALE	1 : 100
DRAWN BY	LL
PROJECT NO	0048R

YU CACHIA

DESIGN & CONSTRUCTION

OFFICE CONTACT INFO

21 STONEY HILL, BAYSWATER VIC 3153
T: 03 9728 2471
E: YOUPING@YUCACHIA.COM
M: 0431 280 416

DO NOT SCALE THIS DRAWING
PAPER DIMENSIONS TO THIS PRESCRIPTION OVER
THESE DIMENSIONS WILL BE USED TO VERIFY ALL
DIMENSIONS ON SITE PRIOR COMMENCEMENT OF
WORKS

THESE PLANS REMAIN THE PROPERTY OF
YU CACHIA DESIGN AND CONSTRUCTION AND
ARE SUBJECT TO COPYRIGHT REGULATION
NOTES

A12

LAND SURVEY LEGEND

ADJ: ADJOINING BUILDING
AHD: AUSTRALIAN HEIGHT
DUM
BM: BENCH MARK
COMM: COMMUNICATION PIT
CONC: CONCRETE
D/H/S: DIAMETER/ HEIGHT/
SPREAD
D: DOOR
E-C: EDGE OF CONCRETE
E-G: EAVE & GUTTER
E-P: EDGE OF PAVEMENT
GUTT: GUTTER
NS: NATURAL SURFACE
PP: POWER POLE

DS: DOUBLE STOREY
SS: SINGLE STOREY
GWB: WEATHERBOARD
CTR: CONCRETE TILE ROOF
P: PORCH
HW: HABITABLE WINDOW
POS: PRIVATE OPEN SPACE
#x#: HEIGHT x SPREAD
FOL: FOLIAGE
V: VERANDAH
GI: GALVANIZED SHED
SEP: SIDE ENTRY PIT

----- REFERENCE LINE

S.P.O.S: SECLUDED P.O.S

AREA SCHEDULE

GROUND FLOOR AREA: 57.7M²
FIRST FLOOR AREA: 153.9M²
SECOND FLOOR AREA: 62M²
GARAGE: 30M²

DRIVEWAY AREA: 53M²
PAVEMENT AREA: 88M²
POOL AREA: 49M²

SITE AREA LOT29 DP25654 :600.7M²
(STATED IN DP25654)
:601.25M²
(BY CALCULATION)

MAXIMUM BUILDING
HEIGHT: 8.5M
FLOOR SPACE RATIO: 0.4
CALCULATED BASE ON
4.1.3.1 EXCEPTIONS TO
DEVELOPMENT STANDARD

EXISTING PLANTS

4.7

NATIONWIDE
HOUSE
ENERGY RATING SCHEME

70.9 MJ/m²

www.nathers.gov.au

Certificate Number:
Assessor Name:
Accreditation number:
Certificate date:
Dwelling address:
NSW 2093
www.nathers.gov.au

ELDRBORN1K
Terry Stamatopoulos
VICRDV3101015
14 May 2019
59 Cutler Road Clontarf
NSW 2093
www.nathers.gov.au

https://www.nathers.gov.au/nathers/assessments/assessor/ELDRBORN1K

CUTLER ROAD

LOT
40 SOUTH
DP
2610

LOT
SEIC.G
DP
2610

LAND SURVEY
LEGEND

ADJ: ADJOINING BUILDING
AHD: AUSTRALIAN HEIGHT
DUM
BM: BENCH MARK
COMM: COMMUNICATION PIT
CONC: CONCRETE
D/H/S: DIAMETER/ HEIGHT/
SPREAD
D: DOOR
E-C: EDGE OF CONCRETE
E-G: EAVE & GUTTER
E-P: EDGE OF PAVEMENT
GUTT: GUTTER
NS: NATURAL SURFACE
PP: POWER POLE

DS: DOUBLE STOREY
SS: SINGLE STOREY
GWB: WEATHERBOARD
CTR: CONCRETE TILE ROOF
P: PORCH
HW: HABITABLE WINDOW
POS: PRIVATE OPEN SPACE
#x#: HEIGHT x SPREAD
FOL: FOLIAGE
V: VERANDAH
GI: GALVANIZED SHED
SEP: SIDE ENTRY PIT

--- REFERENCE LINE

S.P.O.S: SECLUDED P.O.S

AREA SCHEDULE

GROUND FLOOR AREA: 57.7M²
FIRST FLOOR AREA: 153.9M²
SECOND FLOOR AREA: 62M²
GARAGE: 30M²

DRIVEWAY AREA: 53M²
PAVEMENT AREA: 88M²
POOL AREA: 49M²

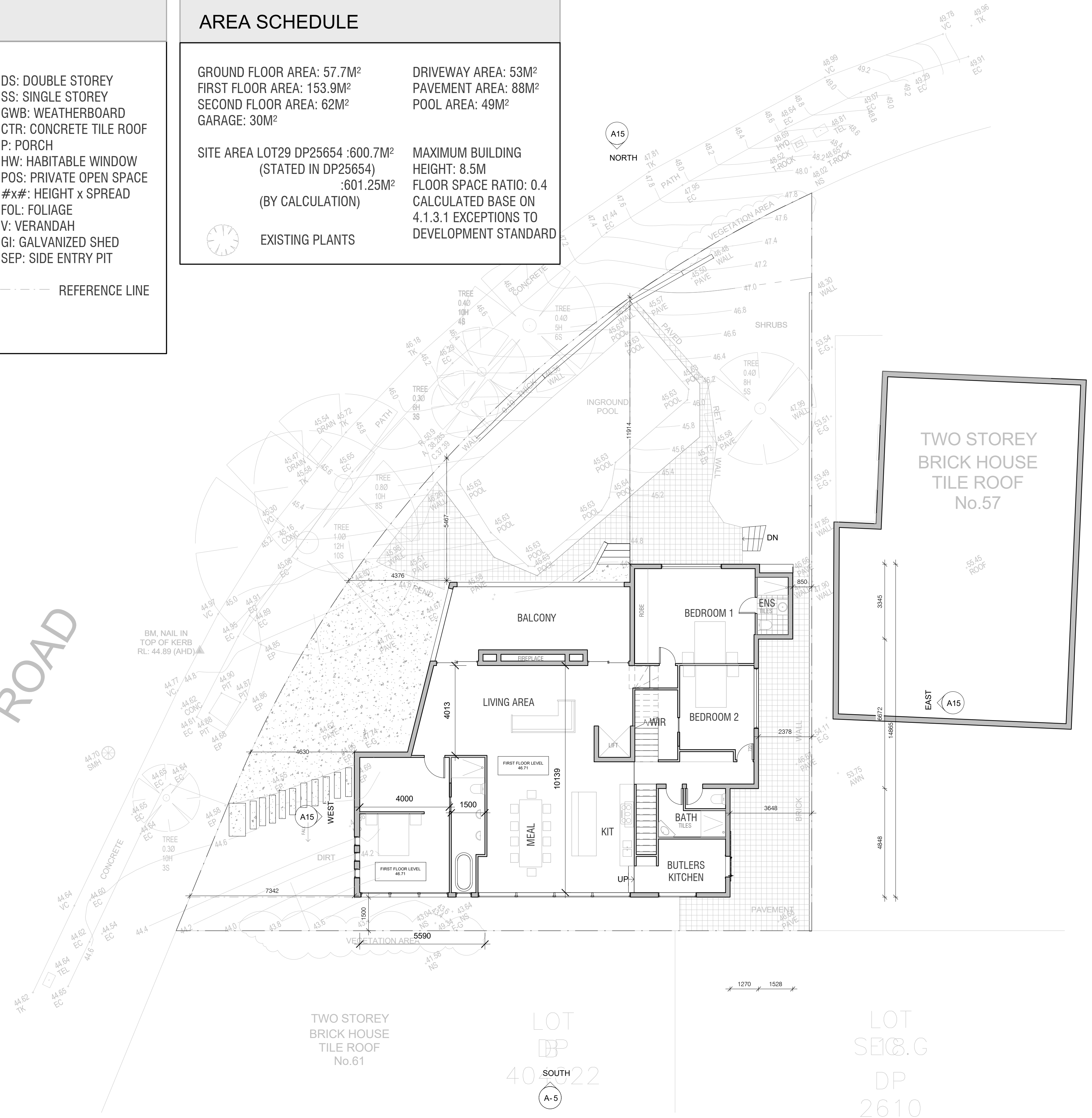
SITE AREA LOT29 DP25654 :600.7M²
(STATED IN DP25654)
:601.25M²
(BY CALCULATION)

MAXIMUM BUILDING
HEIGHT: 8.5M
FLOOR SPACE RATIO: 0.4
CALCULATED BASE ON
4.1.3.1 EXCEPTIONS TO
DEVELOPMENT STANDARD

EXISTING PLANTS



CUTLER ROAD



REVISIONS	
01	
02	
03	
04	
05	
06	
07	
08	
09	
10	
11	
12	

PROJECT INFO	
CLIENT	Ms Chen
TITLE	PROPOSED FIRST FLOOR PLAN
PROPOSED	PROPOSED EXTENSION
ADDRESS	59 Cutler Rd, Clontarf NSW 2093, Australia
DRAWING INFO	
DATE	05SEP2018
SCALE	1 : 100
DRAWN BY	LL
PROJECT NO	0048R

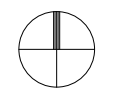


DESIGN & CONSTRUCTION

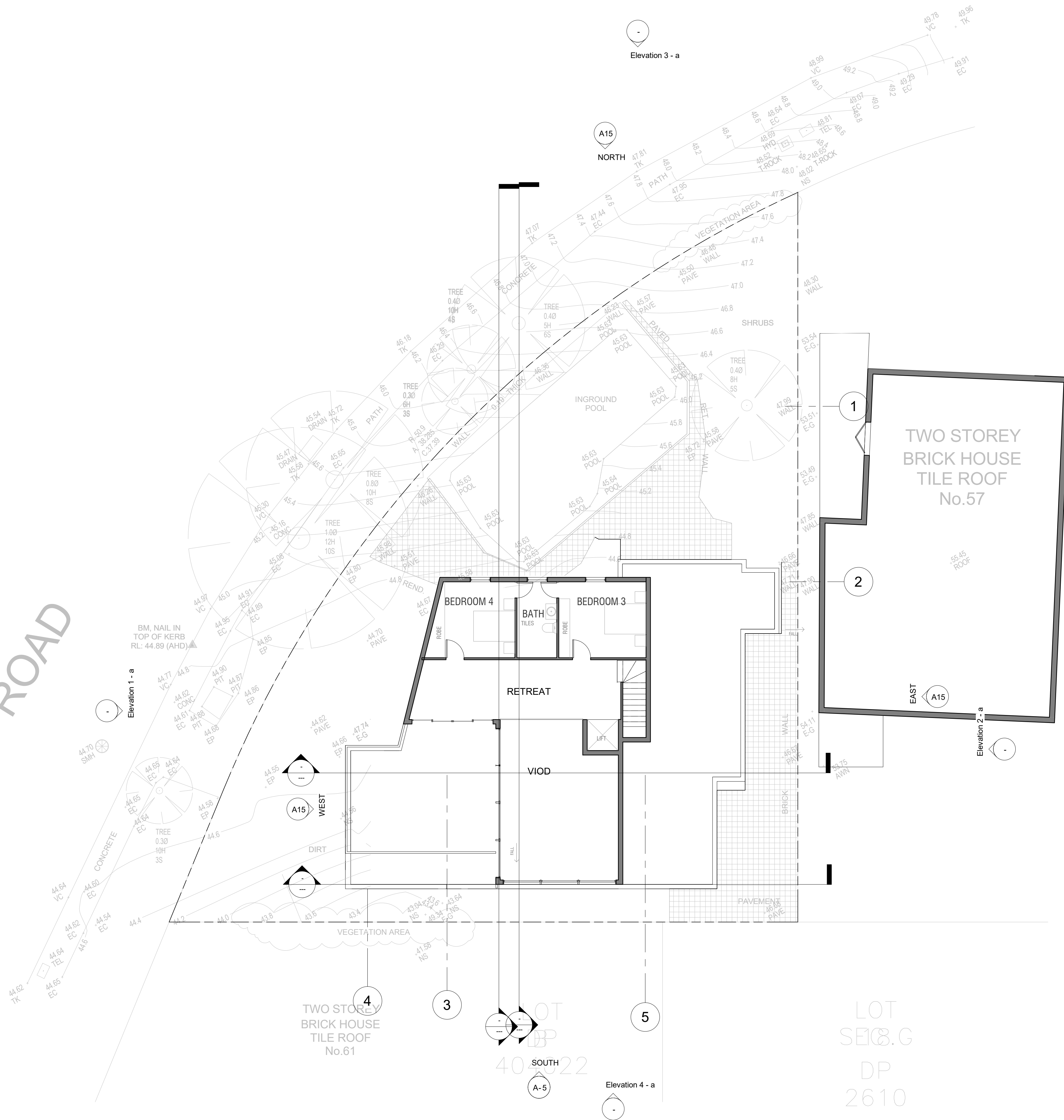
OFFICE CONTACT INFO
21 STONEY HILL, BAYSWATER VIC 3153
T: 03 9725 2471
E: INFO@YUCACHIA.COM
M: 0431 280 416

DO NOT SCALE THIS DRAWING
PAPER DIMENSIONS TO THIS PRESCRIPTION OVER
THESE DIMENSIONS WILL BE USED TO VERIFY ALL
DIMENSIONS ON SITE PRIOR COMMENCEMENT OF
WORKS.

THESE PLANS REMAIN THE PROPERTY OF
YU CACHIA DESIGN AND CONSTRUCTION AND
ARE SUBJECT TO COPYRIGHT NOTIFICATION
NOTES.



A13



03 Second. FL
1 : 100

REVISIONS

01	
02	
03	
04	
05	
06	
07	
08	
09	
10	
11	
12	

PROJECT INFO	
CLIENT	Ms Chen
TITLE	SECOND FLOOR PLAN
PROPOSED	PROPOSED EXTENSION
ADDRESS	59 Cutler Rd, Clontarf NSW 2093, Australia
DRAWING INFO	
DATE	05SEP2018
SCALE	1 : 100
DRAWN BY	L.L
PROJECT NO	0048R



YU CACHIA
DESIGN & CONSTRUCTION

OFFICE CONTACT INFO

21 SICHEN RD. BAYSHATER VIC 3153
T: 03 9320 7471

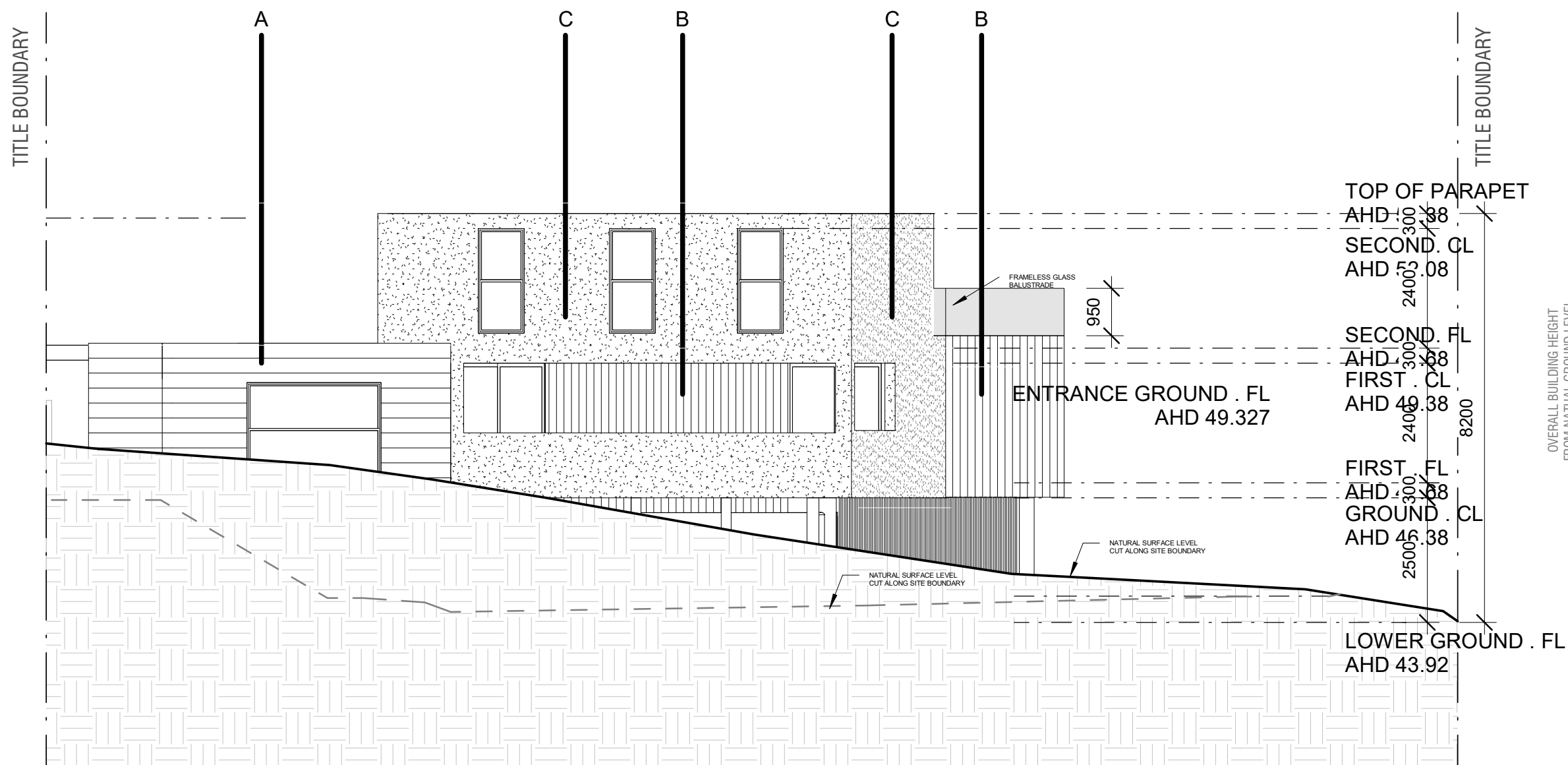
DO NOT SCALE THIS DRAWING.
FOR THE PURPOSES OF THIS PRELIMINARY OFFER, ALL
COSTS, MATERIALS & CONTRACTORS TO VERIFY ALL
DIMENSIONS ON SITE PRIOR COMMENCEMENT OF
WORKS.

E: INFO@YUCACHIA.COM
M: 0431 200 416

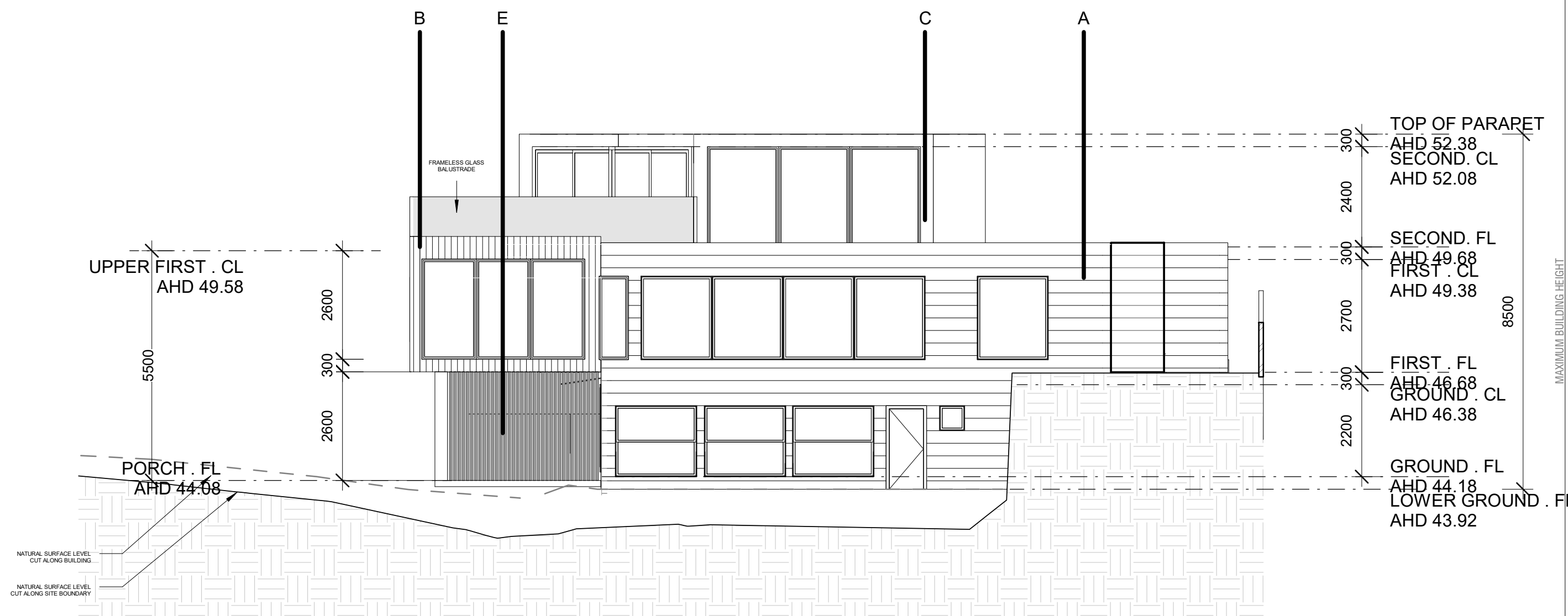
**THESE PLANS REMAIN THE PROPERTY
OF YU CACHIA. IF YOU ARE NOT THE
OWNER, YOU ARE NOT TO COPY OR REUSE**



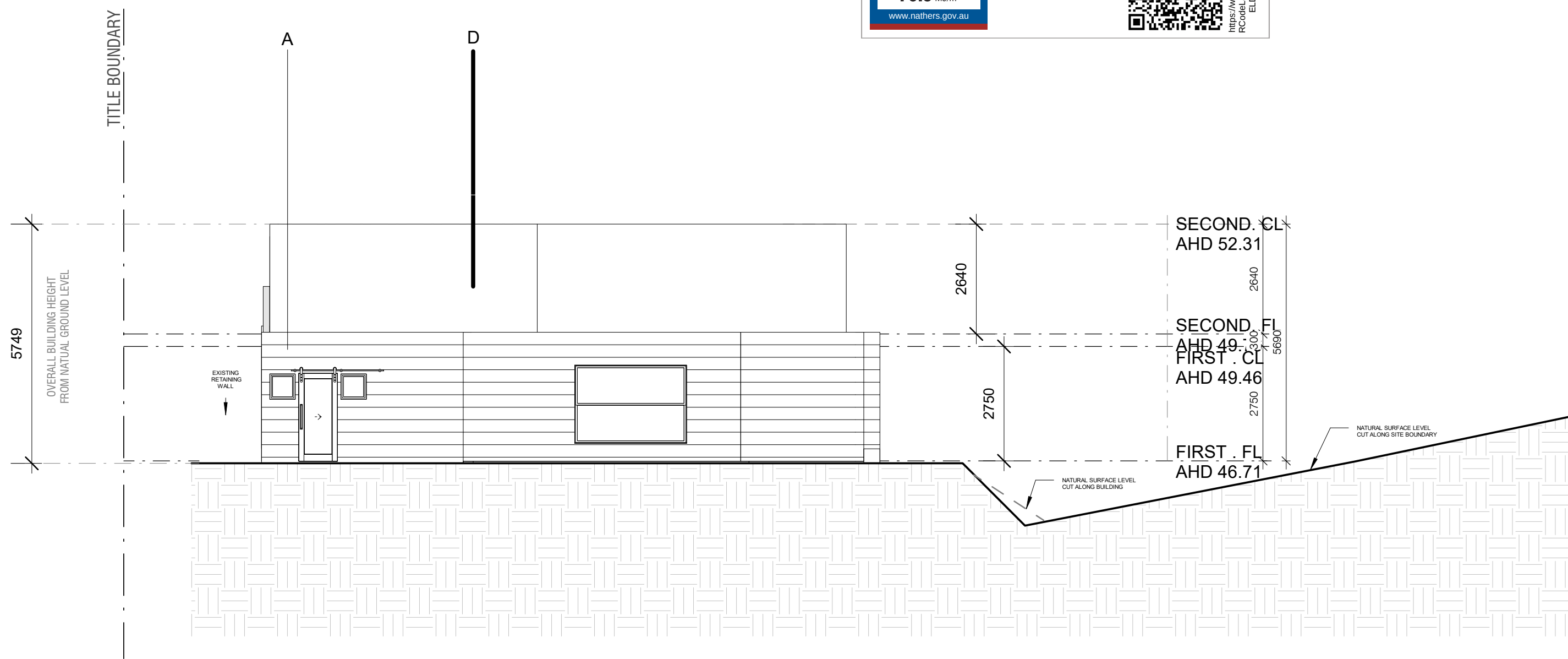
A14



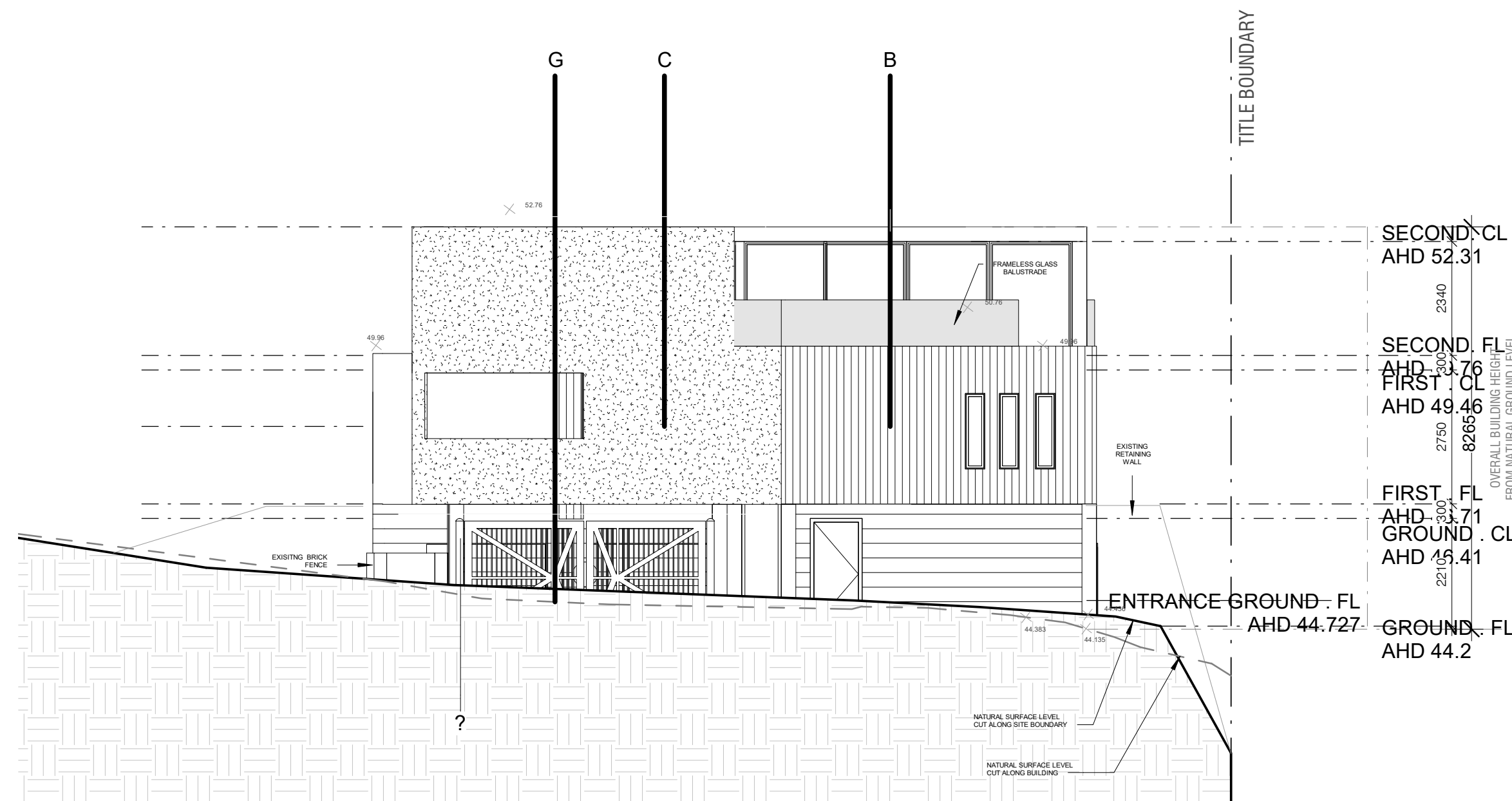
2 NORTH
1 : 100



3 SOUTH
1 : 100



1 EAST
1 : 100



4 WEST
1 : 100

MATERIAL SCHEDULE

A. WHITE WEATHERBOARD (EXISTING)
B. STONE CLADDING (WHITE)
C. CONCRETE EFFECT RENDER
D. WHITE RENDER
E. TIMBER-LOOK ALUMINUM CLADDING

F. TIMBER CLADDING
G. WHITE ALUMINUM FRAME
H. WHITE TIMBER FRAME (EXISTING WINDOW FRAME)
I. GARAGE DOOR CORTEN (CORTEN CLADDING)

REVISIONS

NO.	DESCRIPTION
01	
02	
03	
04	
05	
06	
07	
08	
09	
10	
11	
12	

PROJECT INFO

CLIENT	Ms Chen
TITLE	ELEVATIONS
PROPOSED	PROPOSED EXTENSION
ADDRESS	59 Cutler Rd, Clontarf NSW 2093, Australia

DRAWING INFO

DATE	05SEP2018
SCALE	1 : 100
DRAWN BY	LL
PROJECT NO	0048R

YU CACHIA
DESIGN & CONSTRUCTION

OFFICE CONTACT INFO
21 STONEY HILL, BAYSWATER VIC 3153
T: 03 9725 2471
E: YOUP@YUCACHIA.COM
M: 0431 280 416
DO NOT SCALE THIS DRAWING
THIS DRAWING IS THE PROPERTY OF
YU CACHIA DESIGN & CONSTRUCTION
IT IS TO BE USED FOR THE PROJECT
ONLY AND IS NOT TO BE REPRODUCED
OR COPIED IN ANY FORM OR BY ANY
MEANS WITHOUT THE WRITTEN
CONSENT OF YU CACHIA DESIGN & CONSTRUCTION



A15

LAND SURVEY
LEGEND

ADJ: ADJOINING BUILDING
AHD: AUSTRALIAN HEIGHT
DATUM
BM: BENCH MARK
COMM: COMMUNICATION PIT
CONC: CONCRETE
D/H/S: DIAMETER/ HEIGHT/
SPREAD
D: DOOR
E-C: EDGE OF CONCRETE
E-G: EAVE & GUTTER
E-P: EDGE OF PAVEMENT
GUTT: GUTTER
NS: NATURAL SURFACE
PP: POWER POLE

DS: DOUBLE STOREY
SS: SINGLE STOREY
GWB: WEATHERBOARD
CTR: CONCRETE TILE ROOF
P: PORCH
HW: HABITABLE WINDOW
POS: PRIVATE OPEN SPACE
#x#: HEIGHT x SPREAD
FOL: FOLIAGE
V: VERANDAH
GI: GALVANIZED SHED
SEP: SIDE ENTRY PIT

----- REFERENCE LINE

S.P.O.S: SECLUDED P.O.S

AREA SCHEDULE

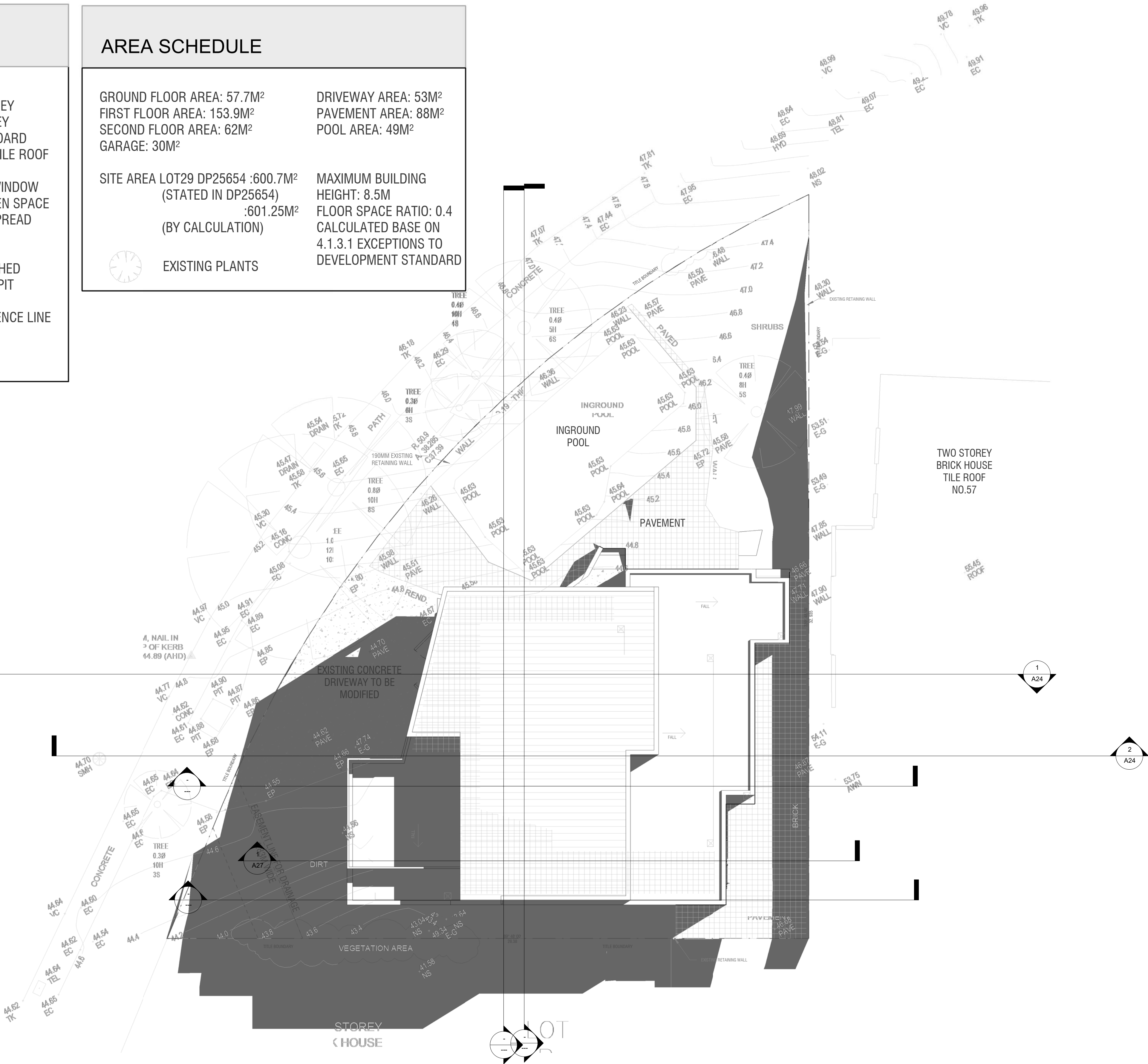
GROUND FLOOR AREA: 57.7M²
FIRST FLOOR AREA: 153.9M²
SECOND FLOOR AREA: 62M²
GARAGE: 30M²

DRIVEWAY AREA: 53M²
PAVEMENT AREA: 88M²
POOL AREA: 49M²

SITE AREA LOT29 DP25654 :600.7M²
(STATED IN DP25654)
:601.25M²
(BY CALCULATION)

MAXIMUM BUILDING
HEIGHT: 8.5M
FLOOR SPACE RATIO: 0.4
CALCULATED BASE ON
4.1.3.1 EXCEPTIONS TO
DEVELOPMENT STANDARD

EXISTING PLANTS



REVISIONS	
01	
02	
03	
04	
05	
06	
07	
08	
09	
10	
11	
12	

PROJECT INFO	
CLIENT	Ms Chen
TITLE	SHADOW SEP 22ND 9AM
PROPOSED	PROPOSED EXTENSION
ADDRESS	59 Cutler Rd, Clontarf NSW 2093, Australia
DRAWING INFO	
DATE	05SEP2018
SCALE	1 : 100
DRAWN BY	LL
PROJECT NO	0048R

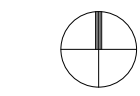


DESIGN & CONSTRUCTION

OFFICE CONTACT INFO
21 STONEY HILL, BAYSWATER VIC 3153
T: 03 9725 2471
E: INFO@YUCACHIA.COM
M: 0431 280 416

DO NOT SCALE THIS DRAWING
PAPER DIMENSIONS TO THIS PRESCRIPTION OVER
LOCAL DIMENSIONS WILL BE USED TO VERIFY ALL
DIMENSIONS ON SITE PRIOR COMMENCEMENT OF
WORKS.

THESE PLANS REMAIN THE PROPERTY OF
YU CACHIA DESIGN AND CONSTRUCTION AND
ARE SUBJECT TO COPYRIGHT REGULATION
AND PATENT.



A16

LAND SURVEY
LEGEND

ADJ: ADJOINING BUILDING
AHD: AUSTRALIAN HEIGHT
DATUM
BM: BENCH MARK
COMM: COMMUNICATION PIT
CONC: CONCRETE
D/H/S: DIAMETER/ HEIGHT/
SPREAD
D: DOOR
E-C: EDGE OF CONCRETE
E-G: EAVE & GUTTER
E-P: EDGE OF PAVEMENT
GUTT: GUTTER
NS: NATURAL SURFACE
PP: POWER POLE
S.P.O.S: SECLUDED P.O.S

DS: DOUBLE STOREY
SS: SINGLE STOREY
GWB: WEATHERBOARD
CTR: CONCRETE TILE ROOF
P: PORCH
HW: HABITABLE WINDOW
POS: PRIVATE OPEN SPACE
#x#: HEIGHT x SPREAD
FOL: FOLIAGE
V: VERANDAH
GI: GALVANIZED SHED
SEP: SIDE ENTRY PIT

REFERENCE LINE

AREA SCHEDULE

GROUND FLOOR AREA: 57.7M²
FIRST FLOOR AREA: 153.9M²
SECOND FLOOR AREA: 62M²
GARAGE: 30M²
SITE AREA LOT29 DP25654 :600.7M²
(STATED IN DP25654)
:601.25M²
(BY CALCULATION)
EXISTING PLANTS
DRIVEWAY AREA: 53M²
PAVEMENT AREA: 88M²
POOL AREA: 49M²
MAXIMUM BUILDING
HEIGHT: 8.5M
FLOOR SPACE RATIO: 0.4
CALCULATED BASE ON
4.1.3.1 EXCEPTIONS TO
DEVELOPMENT STANDARD



EXISTING PLANTS

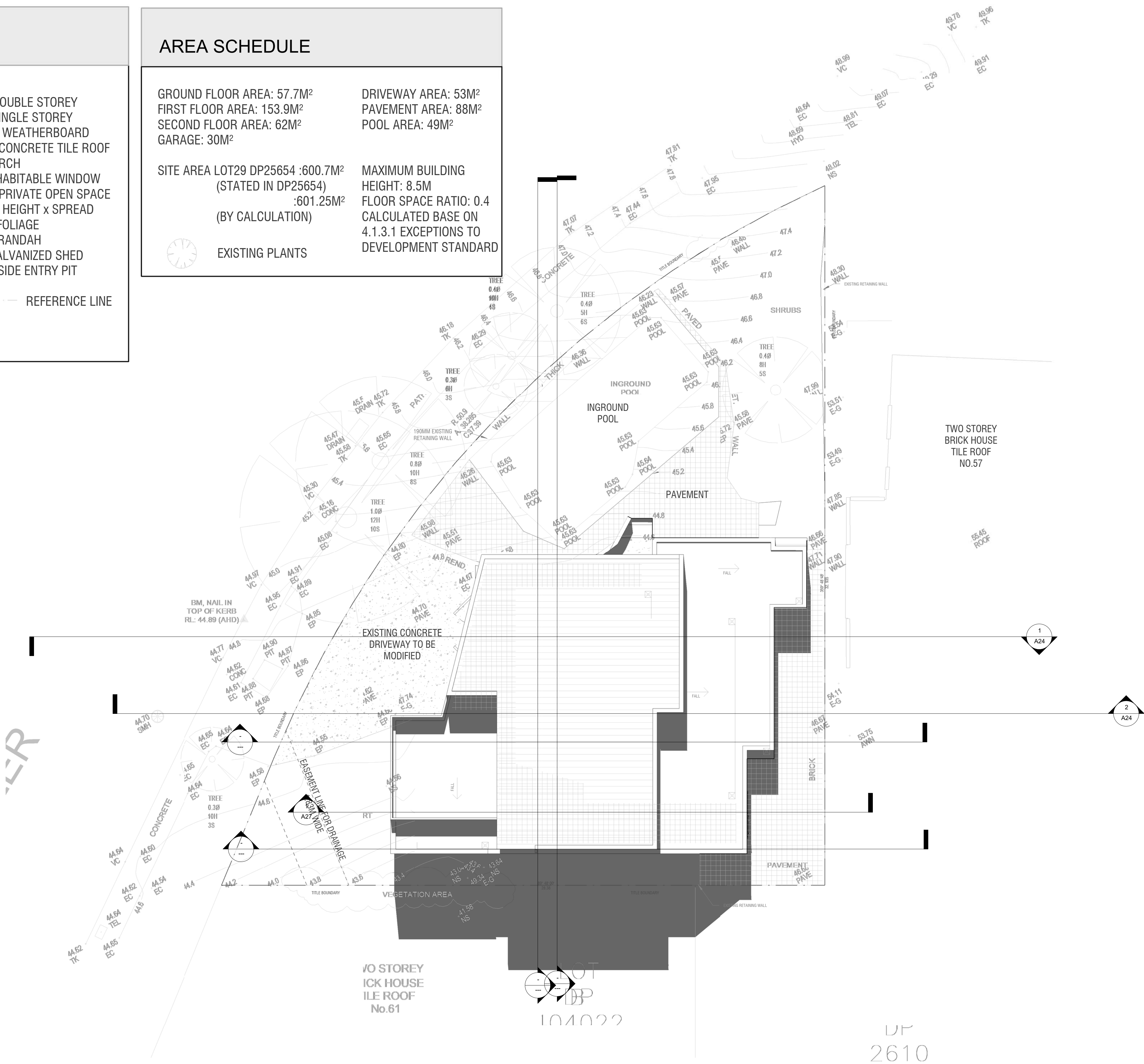
4.7
NATIONWIDE
HOUSE
ENERGY RATING
70.9 MJ/m²
www.nathers.gov.au

Certificate Number: ELD8BORN1K
Assessor Name: Terry Stamopoulos
Accreditation number: VIC/DAV101015
Certificate date: 14 May 2019
Dwelling address: 59 Cutler Road Clontarf NSW 2093
www.nathers.gov.au

59 Cutler Road Clontarf NSW 2093
www.nathers.gov.au

Information: 02 9550 1111
www.nathers.gov.au

ELDRBORN1K



REVISIONS

01	
02	
03	
04	
05	
06	
07	
08	
09	
10	
11	
12	

PROJECT INFO

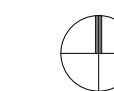
CLIENT: Ms Chen
TITLE: SHADOW SEP 22ND 12NOON
PROPOSED: PROPOSED EXTENSION
ADDRESS: 59 Cutler Rd, Clontarf NSW 2093, Australia

DRAWING INFO

DATE: 05SEP2018
SCALE: 1 : 100
DRAWN BY: LL
PROJECT NO: 0048R



OFFICE CONTACT INFO
21 STONEY HILL, BAYSWATER VIC 3153
T: 03 9729 2471
E: INFO@YUCACHIA.COM
M: 0431 280 416
DO NOT SCALE THIS DRAWING
THIS DRAWING IS THE PROPERTY OF
YU CACHIA AND IS NOT TO BE REPRODUCED
OR COPIED IN ANY FORM OR BY ANY MEANS
WITHOUT THE WRITTEN PERMISSION OF
YU CACHIA
THESE PLANS REMAIN THE PROPERTY OF
YU CACHIA AND ARE NOT TO BE REPRODUCED
OR COPIED IN ANY FORM OR BY ANY MEANS
WITHOUT THE WRITTEN PERMISSION OF
YU CACHIA



A17

LAND SURVEY
LEGEND

ADJ: ADJOINING BUILDING
AHD: AUSTRALIAN HEIGHT
DUTUM
BM: BENCH MARK
COMM: COMMUNICATION PIT
CONC: CONCRETE
D/H/S: DIAMETER/ HEIGHT/
SPREAD
D: DOOR
E-C: EDGE OF CONCRETE
E-G: EAVE & GUTTER
E-P: EDGE OF PAVEMENT
GUTT: GUTTER
NS: NATURAL SURFACE
PP: POWER POLE

DS: DOUBLE STOREY
SS: SINGLE STOREY
GWB: WEATHERBOARD
CTR: CONCRETE TILE ROOF
P: PORCH
HW: HABITABLE WINDOW
POS: PRIVATE OPEN SPACE
#x#: HEIGHT x SPREAD
FOL: FOLIAGE
V: VERANDAH
GI: GALVANIZED SHED
SEP: SIDE ENTRY PIT

--- REFERENCE LINE

S.P.O.S: SECLUDED P.O.S

AREA SCHEDULE

GROUND FLOOR AREA: 57.7M²
FIRST FLOOR AREA: 153.9M²
SECOND FLOOR AREA: 62M²
GARAGE: 30M²

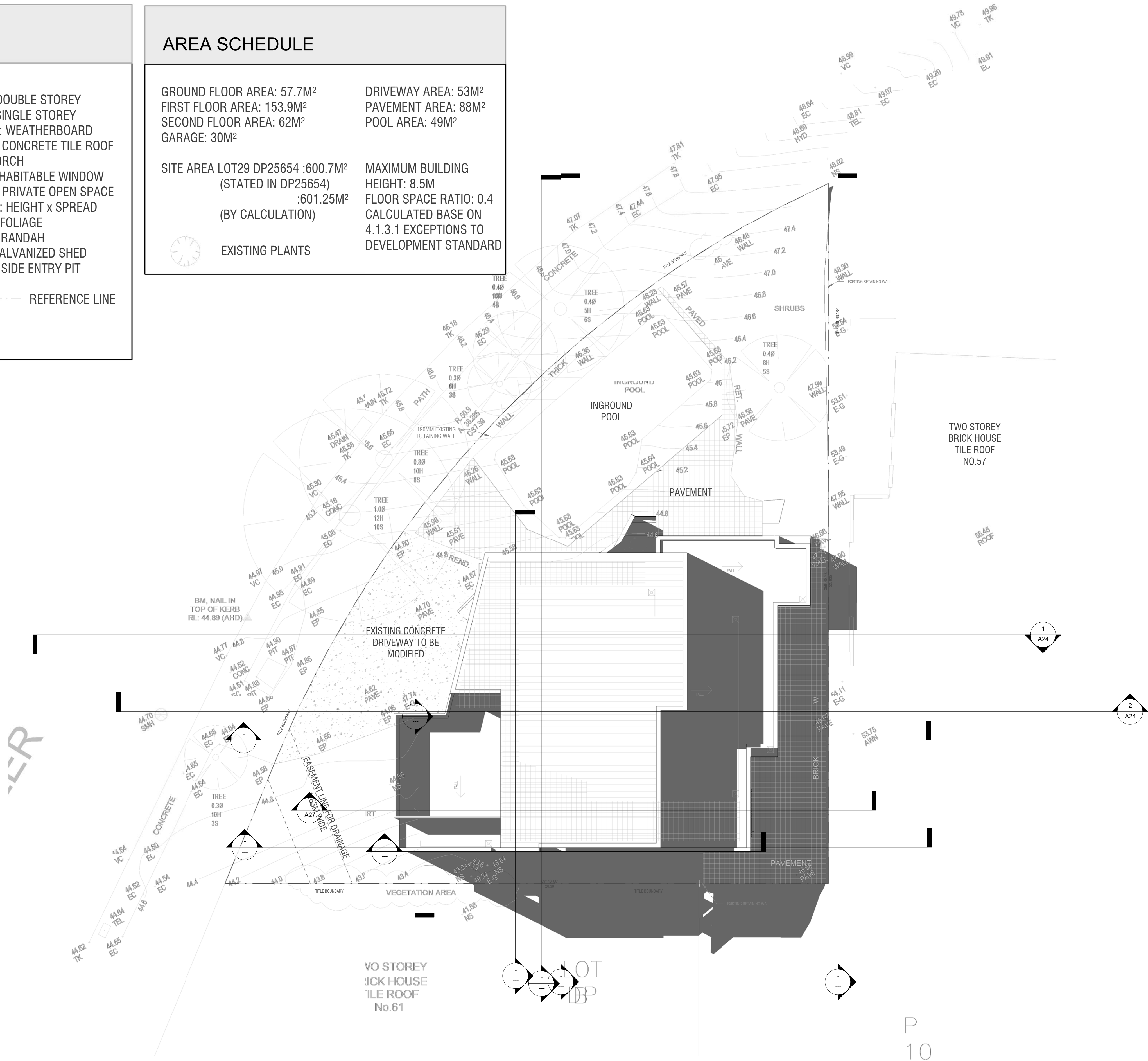
SITE AREA LOT29 DP25654 :600.7M²
(STATED IN DP25654)
:601.25M²
(BY CALCULATION)



EXISTING PLANTS

DRIVEWAY AREA: 53M²
PAVEMENT AREA: 88M²
POOL AREA: 49M²

MAXIMUM BUILDING
HEIGHT: 8.5M
FLOOR SPACE RATIO: 0.4
CALCULATED BASE ON
4.1.3.1 EXCEPTIONS TO
DEVELOPMENT STANDARD



REVISIONS

01	
02	
03	
04	
05	
06	
07	
08	
09	
10	
11	
12	

PROJECT INFO

CLIENT	Ms Chen
TITLE	SHADOW SEP 22ND 3PM
PROPOSED	PROPOSED EXTENSION
ADDRESS	59 Cutler Rd, Clontarf NSW 2093, Australia

DRAWING INFO

DATE	05SEP2018
SCALE	1 : 100
DRAWN BY	LL
PROJECT NO	0048R

OFFICE CONTACT INFO
21 STONEY HILL, BAYSWATER VIC 3153
T: 03 9725 2471
E: info@yucachia.com
M: 0431 280 416

DO NOT SCALE THIS DRAWING
PRINTED DIMENSIONS TO THIS PRECEDENCE OVER
DIMENSIONS ON THIS DRAWING TO VERIFY ALL
DIMENSIONS ON SITE PRIOR COMMENCEMENT OF
WORKS

THESE PLANS REMAIN THE PROPERTY OF
YU CACHIA DESIGN AND CONSTRUCTION AND
ARE SUBJECT TO COPYRIGHT REGISTRATION
LAW



LAND SURVEY
LEGEND

ADJ: ADJOINING BUILDING
AHD: AUSTRALIAN HEIGHT
D
ATUM
BM: BENCH MARK
COMM: COMMUNICATION PIT
CONC: CONCRETE
D/H/S: DIAMETER/ HEIGHT/
SPREAD
D: DOOR
E-C: EDGE OF CONCRETE
E-G: EAVE & GUTTER
E-P: EDGE OF PAVEMENT
GUTT: GUTTER
NS: NATURAL SURFACE
PP: POWER POLE

DS: DOUBLE STOREY
SS: SINGLE STOREY
GWB: WEATHERBOARD
CTR: CONCRETE TILE ROOF
P: PORCH
HW: HABITABLE WINDOW
POS: PRIVATE OPEN SPACE
#x#: HEIGHT x SPREAD
FOL: FOLIAGE
V: VERANDAH
GI: GALVANIZED SHED
SEP: SIDE ENTRY PIT

----- REFERENCE LINE

S.P.O.S: SECLUDED P.O.S

AREA SCHEDULE

GROUND FLOOR AREA: 104M²
FIRST FLOOR AREA: 192M²
SECOND FLOOR AREA: 82M²
GARAGE: 71M²

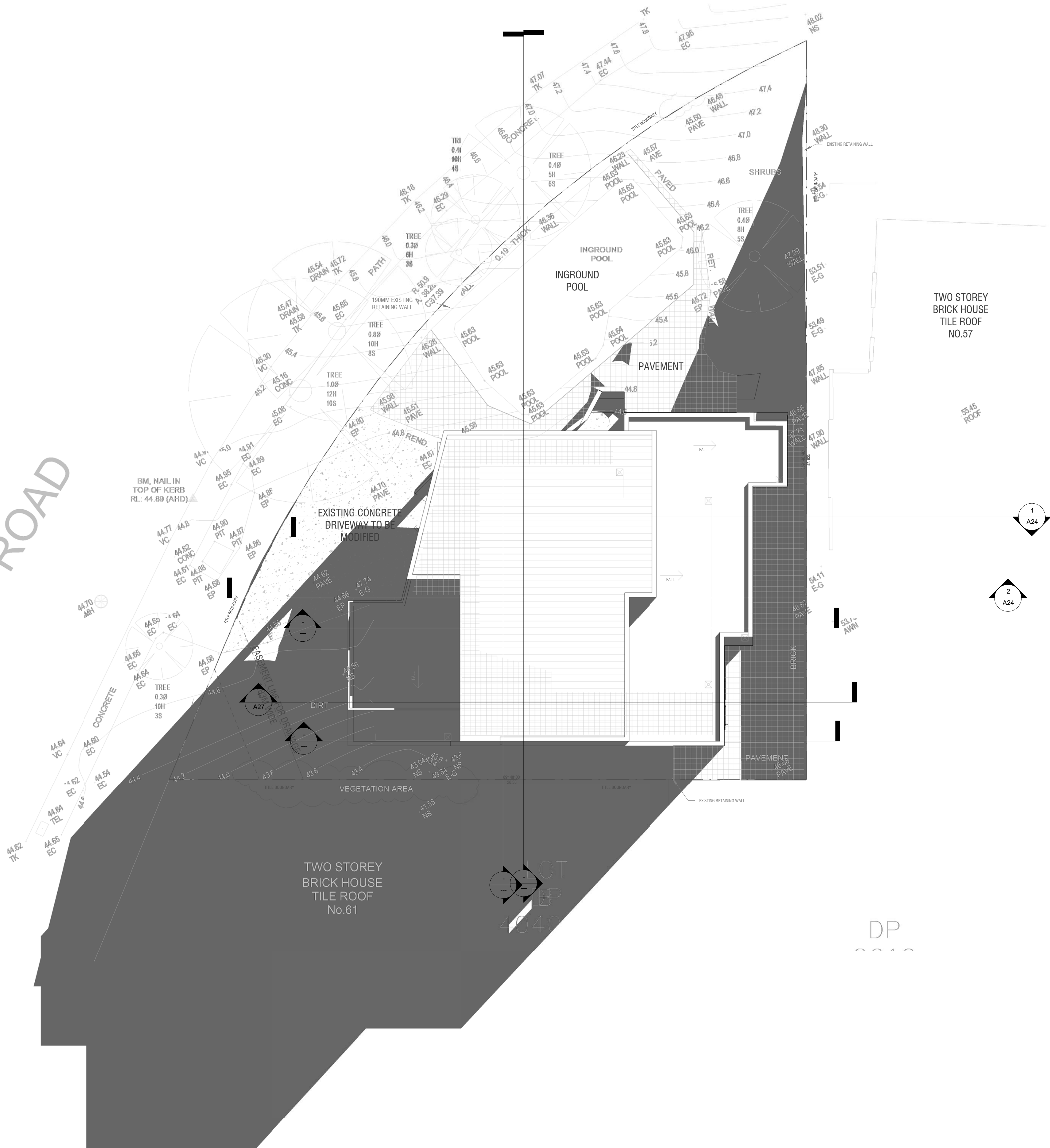
DRIVEWAY AREA: 53M²
PAVEMENT AREA: 88M²
POOL AREA: 49M²

SITE AREA LOT29 DP25654 :600.7M²
(STATED IN DP25654)
:601.25M²
(BY CALCULATION)

SITE COVERAGE: 37.9%
FLOOR SPACE RATIO: 0.63



EXISTING PLANTS



REVISIONS	
01	
02	
03	
04	
05	
06	
07	
08	
09	
10	
11	
12	

PROJECT INFO	
CLIENT	Ms Chen
TITLE	SHADOW 9AM(JUN 21)
PROPOSED	PROPOSED EXTENSION
ADDRESS	59 Cutler Rd, Clontarf NSW 2093, Australia
DRAWING INFO	
DATE	05SEP2018
SCALE	1 : 100
DRAWN BY	LL
PROJECT NO	0048R

OFFICE CONTACT INFO

21 STONEY HILL, BAYSWATER VIC 3153
T: 03 9725 2471
E: info@yucachia.com
M: 0431 280 416

DO NOT SCALE THIS DRAWING
PLANS SUBMITTED TO THE RESPONDING AEC
LOCAL COUNCIL OR OTHERS TO OBTAIN ALL
CONSENTS ON SITE PRIOR COMMENCEMENT OF
WORKS

THESE PLANS REMAIN THE PROPERTY OF
YU CACHIA AND ARE NOT TO BE
REPRODUCED OR COPIED WITHOUT
WRITTEN PERMISSION

A19

LAND SURVEY
LEGEND

ADJ: ADJOINING BUILDING
AHD: AUSTRALIAN HEIGHT
D: DOOR
E-C: EDGE OF CONCRETE
E-G: EAVE & GUTTER
E-P: EDGE OF PAVEMENT
GUTT: GUTTER
NS: NATURAL SURFACE
PP: POWER POLE
S.P.O.S: SECLUDED P.O.S

DS: DOUBLE STOREY
SS: SINGLE STOREY
GWB: WEATHERBOARD
CTR: CONCRETE TILE ROOF
P: PORCH
HW: HABITABLE WINDOW
POS: PRIVATE OPEN SPACE
#x#: HEIGHT x SPREAD
FOL: FOLIAGE
V: VERANDAH
GI: GALVANIZED SHED
SEP: SIDE ENTRY PIT
REFERENCE LINE

AREA SCHEDULE

GROUND FLOOR AREA: 57.7M²
FIRST FLOOR AREA: 153.9M²
SECOND FLOOR AREA: 62M²
GARAGE: 30M²

DRIVEWAY AREA: 53M²
PAVEMENT AREA: 88M²
POOL AREA: 49M²

SITE AREA LOT29 DP25654 :600.7M²
(STATED IN DP25654)
:601.25M²
(BY CALCULATION)

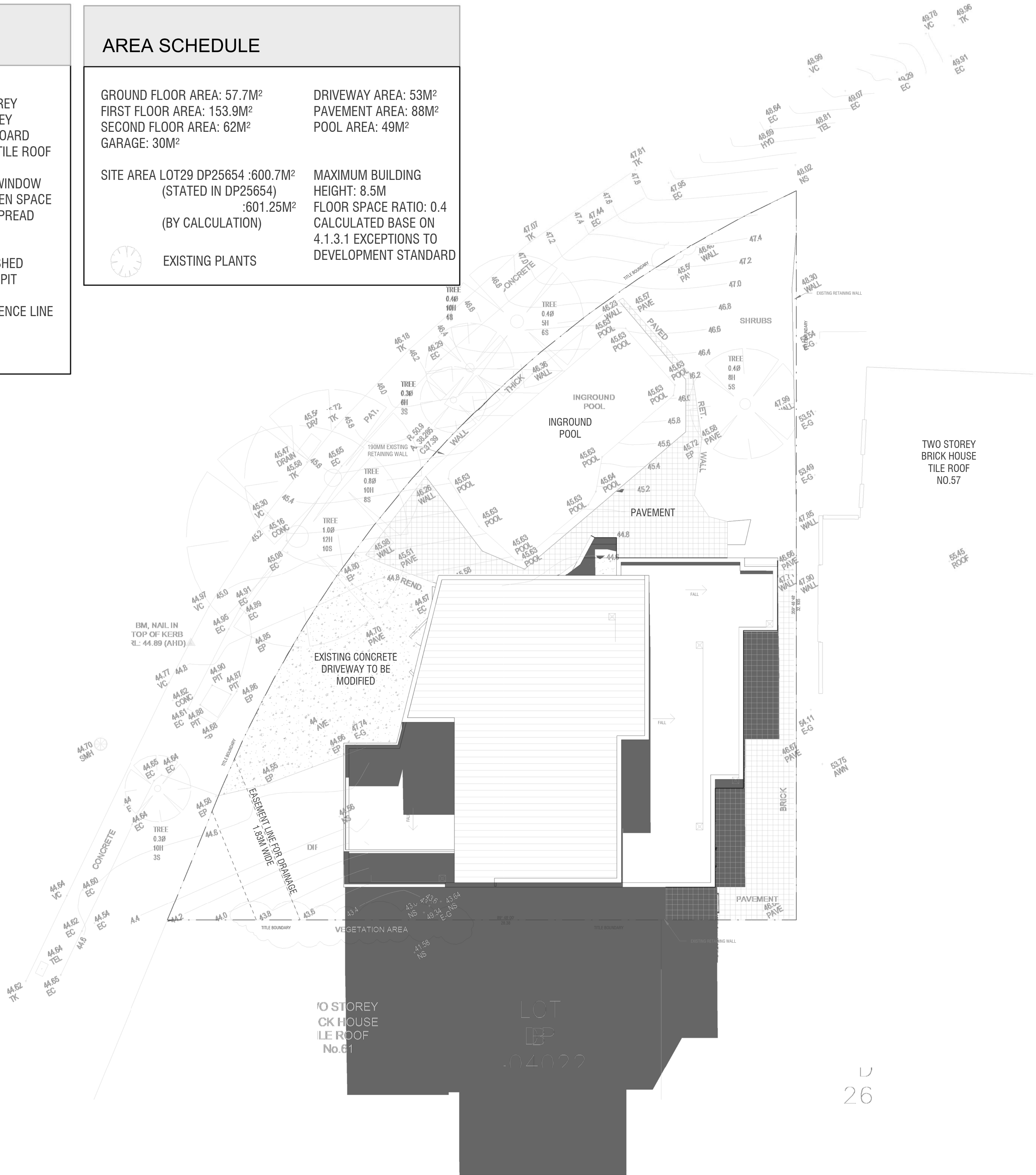
MAXIMUM BUILDING
HEIGHT: 8.5M
FLOOR SPACE RATIO: 0.4
CALCULATED BASE ON
4.1.3.1 EXCEPTIONS TO
DEVELOPMENT STANDARD

EXISTING PLANTS

Certificate Number: ELDORBNIK
Assessor Name: Terry Stamatopoulos
Accreditation number: VICBDAV101015
Certificate date: 14 May 2019
Dwelling address: 59 Cutler Road Clontarf NSW 2093
www.nathers.gov.au

4.7
NATIONWIDE
HOUSE
ENERGY RATING
70.9 MJ/m²
www.nathers.gov.au

ELDOBORNK
VICBDAV101015
14 May 2019
59 Cutler Road Clontarf
NSW 2093
www.nathers.gov.au



REVISIONS

01	
02	
03	
04	
05	
06	
07	
08	
09	
10	
11	
12	

PROJECT INFO

CLIENT	Ms Chen
TITLE	SHADOW 12NOON(JUN 21)
PROPOSED	PROPOSED EXTENSION
ADDRESS	59 Cutler Rd, Clontarf NSW 2093, Australia

DRAWING INFO

DATE	05SEP2018
SCALE	1 : 100
DRAWN BY	LL
PROJECT NO	0048R

YU CACHIA
DESIGN & CONSTRUCTION

OFFICE CONTACT INFO
21 STONEY HILL, BAYSWATER VIC 3153
T: 03 9725 2471
E: YOUP@YUCACHIA.COM
M: 0431 280 416

DO NOT SCALE THIS DRAWING.
PAPER DIMENSIONS TO THIS RESOLUTION OVER
ANY DIMENSIONS OF THE DRAWING TO BE USED FOR
CONSTRUCTION OR FOR ANY OTHER PURPOSES.
CONSIDER ON SITE PRIOR COMMENCEMENT OF
WORKS.

THESE PLANS REMAIN THE PROPERTY OF
YU CACHIA DESIGN AND CONSTRUCTION AND
ARE SUBJECT TO COPYRIGHT LEGISLATION.

A20

LAND SURVEY
LEGEND

ADJ: ADJOINING BUILDING
AHD: AUSTRALIAN HEIGHT
DATUM
BM: BENCH MARK
COMM: COMMUNICATION PIT
CONC: CONCRETE
D/H/S: DIAMETER/ HEIGHT/
SPREAD
D: DOOR
E-C: EDGE OF CONCRETE
E-G: EAVE & GUTTER
E-P: EDGE OF PAVEMENT
GUTT: GUTTER
NS: NATURAL SURFACE
PP: POWER POLE
S.P.O.S: SECLUDED P.O.S

DS: DOUBLE STOREY
SS: SINGLE STOREY
GWB: WEATHERBOARD
CTR: CONCRETE TILE ROOF
P: PORCH
HW: HABITABLE WINDOW
POS: PRIVATE OPEN SPACE
#x#: HEIGHT x SPREAD
FOL: FOLIAGE
V: VERANDAH
GI: GALVANIZED SHED
SEP: SIDE ENTRY PIT

--- REFERENCE LINE

AREA SCHEDULE

GROUND FLOOR AREA: 57.7M²
FIRST FLOOR AREA: 153.9M²
SECOND FLOOR AREA: 62M²
GARAGE: 30M²

DRIVEWAY AREA: 53M²
PAVEMENT AREA: 88M²
POOL AREA: 49M²

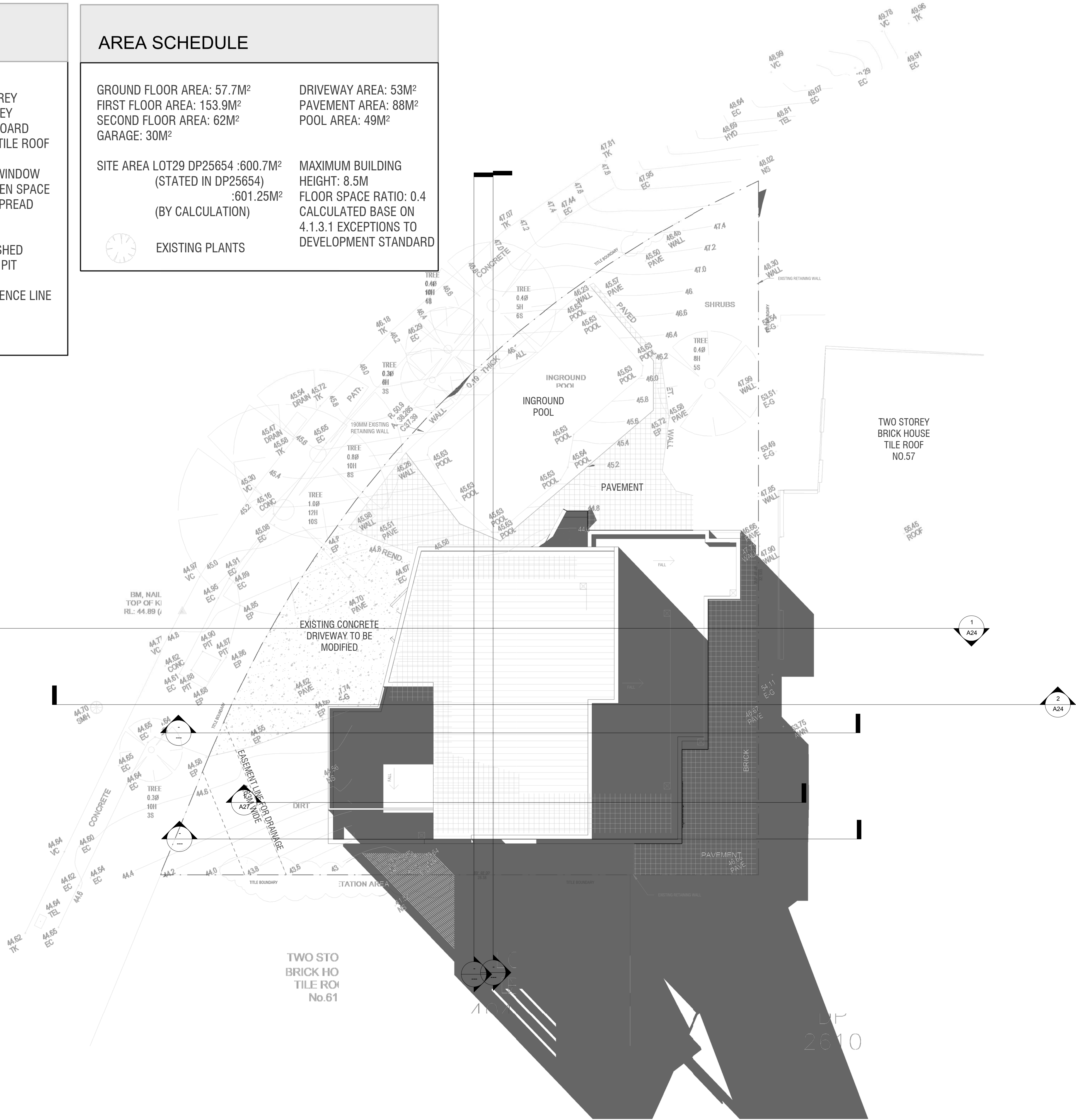
SITE AREA LOT29 DP25654 :600.7M²
(STATED IN DP25654)
:601.25M²
(BY CALCULATION)

MAXIMUM BUILDING
HEIGHT: 8.5M
FLOOR SPACE RATIO: 0.4
CALCULATED BASE ON
4.1.3.1 EXCEPTIONS TO
DEVELOPMENT STANDARD

EXISTING PLANTS



CUTLER



REVISIONS

01	
02	
03	
04	
05	
06	
07	
08	
09	
10	
11	
12	

PROJECT INFO

CLIENT	Ms Chen
TITLE	SHADOW 3PM(JUN 21)
PROPOSED	PROPOSED EXTENSION
ADDRESS	59 Cutler Rd, Clontarf NSW 2093, Australia

DRAWING INFO

DATE	05SEP2018
SCALE	1 : 100
DRAWN BY	LL
PROJECT NO	0048R

YU CACHIA
DESIGN & CONSTRUCTION

OFFICE CONTACT INFO
21 STONEY HILL, BAYSWATER VIC 3153
T: 03 9725 2471
E: INFO@YUCACHIA.COM
M: 0431 280 416

DO NOT SCALE THIS DRAWING.
PLANS SHOWN TO THE PRESENCE OF
THESE PLANS SHALL BE THE PROPERTY OF
YU CACHIA. ANY REUSE OR MODIFICATION
WITHOUT THE WRITTEN CONSENT OF YU CACHIA
IS STRICTLY PROHIBITED.

A21

LAND SURVEY
LEGEND

ADJ: ADJOINING BUILDING
AHD: AUSTRALIAN HEIGHT
DUTUM
BM: BENCH MARK
COMM: COMMUNICATION PIT
CONC: CONCRETE
D/H/S: DIAMETER/ HEIGHT/
SPREAD
D: DOOR
E-C: EDGE OF CONCRETE
E-G: EAVE & GUTTER
E-P: EDGE OF PAVEMENT
GUTT: GUTTER
NS: NATURAL SURFACE
PP: POWER POLE

DS: DOUBLE STOREY
SS: SINGLE STOREY
GWB: WEATHERBOARD
CTR: CONCRETE TILE ROOF
P: PORCH
HW: HABITABLE WINDOW
POS: PRIVATE OPEN SPACE
#x#: HEIGHT x SPREAD
FOL: FOLIAGE
V: VERANDAH
GI: GALVANIZED SHED
SEP: SIDE ENTRY PIT

----- REFERENCE LINE

S.P.O.S: SECLUDED P.O.S

AREA SCHEDULE

GROUND FLOOR AREA: 57.7M²
FIRST FLOOR AREA: 153.9M²
SECOND FLOOR AREA: 62M²
GARAGE: 30M²

DRIVEWAY AREA: 53M²
PAVEMENT AREA: 88M²
POOL AREA: 49M²

SITE AREA LOT29 DP25654 :600.7M²
(STATED IN DP25654)
:601.25M²
(BY CALCULATION)

MAXIMUM BUILDING
HEIGHT: 8.5M
FLOOR SPACE RATIO: 0.4
CALCULATED BASE ON
4.1.3.1 EXCEPTIONS TO
DEVELOPMENT STANDARD

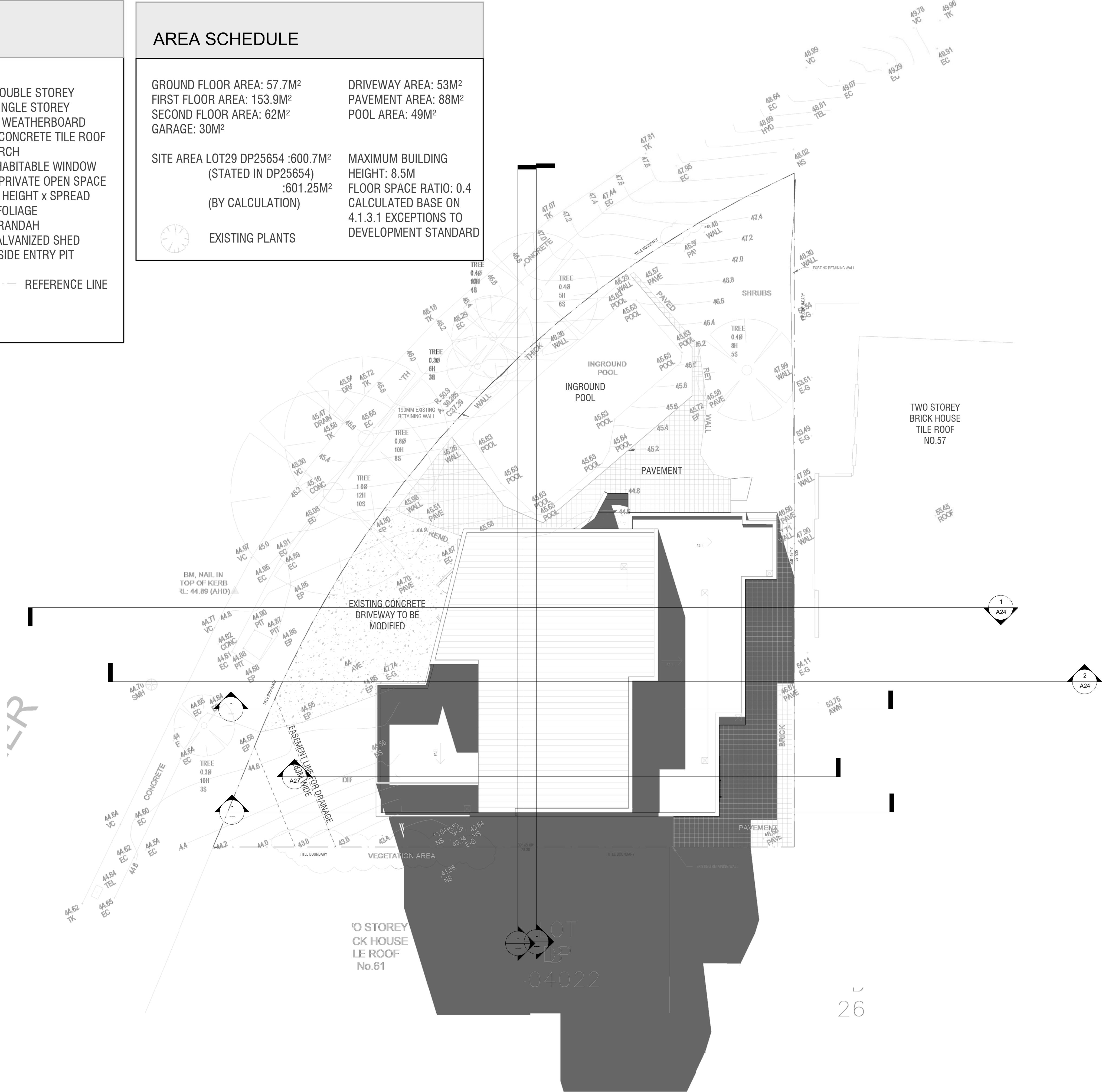
EXISTING PLANTS

Certificate Number:
Assessor Name:
Accreditation number:
Certificate date:
Dwelling address:
www.nathers.gov.au

ELDRBORNIK
Terry Stamatoopoulos
VIC/BD/AV10/1015
14 May 2019
59 Cutler Road Clontarf
NSW 2093
www.nathers.gov.au

4.7
NATIONWIDE
HOUSE
VALUATION
70.9 M²
www.nathers.gov.au

QR CODE



REVISIONS

01	
02	
03	
04	
05	
06	
07	
08	
09	
10	
11	
12	

PROJECT INFO

CLIENT	Ms Chen
TITLE	SHADOW 1PM(JUN 21)
PROPOSED	PROPOSED EXTENSION
ADDRESS	59 Cutler Rd, Clontarf NSW 2093, Australia

DRAWING INFO

DATE	05SEP2018
SCALE	1 : 100
DRAWN BY	LL
PROJECT NO	0048R

YU CACHIA
DESIGN & CONSTRUCTION

OFFICE CONTACT INFO
21 SHIVER HILL, BAYSWATER VIC 3153
T: 03 9725 2471
E: yu@yucachia.com.au
M: 0431 280 416

DO NOT SCALE THIS DRAWING
PAPER DIMENSIONS TO THIS RESOLUTION OVER
LARGE DIMENSIONS WILL BE USED TO REPLY ALL
CONSIDER ON SITE PRIOR COMMENCEMENT OF
WORKS

THESE PLANS REMAIN THE PROPERTY OF
YU CACHIA DESIGN AND CONSTRUCTION AND
ARE SUBJECT TO COPYRIGHT REGISTRATION
LAW

1

A22

ADJ: ADJOINING BUILDING	DS: DOUBLE STOREY
AHD: AUSTRALIAN HEIGHT	SS: SINGLE STOREY
DATUM	GWB: WEATHERBOARD
BM: BENCH MARK	CTR: CONCRETE TILE ROOF
COMM: COMMUNICATION PIT	P: PORCH
CONC: CONCRETE	HW: HABITABLE WINDOW
D/H/S: DIAMETER/ HEIGHT/ SPREAD	POS: PRIVATE OPEN SPACE
D: DOOR	#x#: HEIGHT x SPREAD
E-C: EDGE OF CONCRETE	FOL: FOLIAGE
E-G: EAVE & GUTTER	V: VERANDAH
E-P: EDGE OF PAVEMENT	GI: GALVANIZED SHED
GUTT: GUTTER	SEP: SIDE ENTRY PIT
NS: NATURAL SURFACE	— — — REFERENCE LINE
PP: POWER POLE	

DS: DOUBLE STOREY
SS: SINGLE STOREY
GWB: WEATHERBOARD
CTR: CONCRETE TILE ROOF
P: PORCH
HW: HABITABLE WINDOW
POS: PRIVATE OPEN SPACE
#x#: HEIGHT x SPREAD
FOL: FOLIAGE
V: VERANDAH
GI: GALVANIZED SHED
SEP: SIDE ENTRY PIT

AREA SCHEDULE

SITE AREA LOT29 DP25654 :600.7M ² (STATED IN DP25654) :601.25M ² (BY CALCULATION)	MAXIMUM BUILDING HEIGHT: 8.5M FLOOR SPACE RATIO: 0.4 CALCULATED BASE ON 4.1.3.1 EXCEPTIONS TO DEVELOPMENT STANDARD
 EXISTING PLANTS	



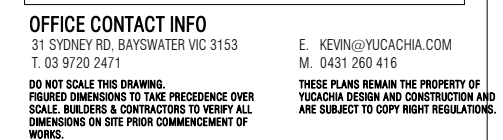
MAXIMUM BUILDING
HEIGHT: 8.5M
FLOOR SPACE RATIO: 0.4
CALCULATED BASE ON
4.1.3.1 EXCEPTIONS TO
DEVELOPMENT STANDARD



01	
02	
03	
04	
05	
06	
07	
08	
09	
10	
11	
12	

CLIENT	Ms Chen
TITLE	SHADOW 2PM(JUN 21)
PROPOSED	PROPOSED EXTENSION
ADDRESS	59 Cutler Rd, Clontarf NSW 2093, Australia

DATE	05SEP2018
SCALE	1 : 100
DRAWN BY	L.L
PROJECT NO	0048R



MATERIAL SCHEDULE

REVISIONS	
01	
02	
03	
04	
05	
06	
07	
08	
09	
10	
11	
12	



A. WHITE WEATHERBOARD
(EXISTING)



E. TIMBER
SCREEN
CLADDING



B. TIMBER-LOOK
ALUMINUM CLADDING



F. WHITE ALUMINUM
FRAME



C. CONCRETE EFFECT
RENDER



D. WHITE RENDER



G. GARAGE GATE CORTEN

4.7
NATIONWIDE
HOUSE
ENERGY RATING SCHEME
70.9 MJ/m²
www.nathers.gov.au

Certificate Number:
Assessor Name:
Accreditation number:
Certificate date:
Dwelling address:
NSW 2093
www.nathers.gov.au

ELDRBORN1K
Terry Stamatopoulos
VIC150A11010135
14 May 2019
59 Cutler Road Clontarf
NSW 2093
www.nathers.gov.au

Record and verify this data
ELDRBORN1K

PROJECT INFO

CLIENT
Ms Chen

TITLE
MATERIAL SCHEDULE

PROPOSED
PROPOSED EXTENSION

ADDRESS
59 Cutler Rd, Clontarf NSW 2093,
Australia

DRAWING INFO

DATE
05SEP2018

SCALE

DRAWN BY
LL

PROJECT NO
0048R

YU CACHIA
DESIGN & CONSTRUCTION

OFFICE CONTACT INFO

21 SLOVENY HILL, BAYSWATER VIC 3153
T: 03 9729 2471
E: info@yucachia.com

DO NOT SCALE THIS DRAWING
THIS DRAWING IS THE PROPERTY OF
YU CACHIA. IT IS TO BE USED FOR THE
PROJECT ONLY. ANY OTHER USE OR
REPRODUCTION WITHOUT THE
WRITTEN PERMISSION OF YU CACHIA
IS STRICTLY PROHIBITED.

THESE PLANS REMAIN THE PROPERTY OF
YU CACHIA. ANY AND ALL RIGHTS AND
OBLIGATIONS ARE SUBJECT TO THE
TERMS AND CONDITIONS OF THE
AGREEMENT.

A25