



Corona Projects

DEVELOPMENT APPLICATION **STATEMENT OF ENVIRONMENTAL EFFECTS**

Demolition of the existing structures, construction of a new attached dual occupancy and strata title
subdivision

20 Campbell Avenue Cromer

January 2025

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PROJECT DETAILS

Client: Mr Harbans Dhillon
Subject land: 20 Campbell Avenue Cromer
Lot Description: Lot 13 in DP 848133
Proposed development: Demolition of existing structure, construction of a new attached dual occupancy and strata title subdivision

The report is prepared by

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I certify that the contents of the Statement of Environmental Effects to the best of my knowledge, has been prepared as follows:

- In accordance with Section 4.12 of the Environmental Planning and Assessment Act 1979 and Clause 24 of the Environmental Planning and Assessment Regulation 2021;
- The statement contains all available information that is relevant to the environmental impact assessment of the proposed development;
- To the best of my knowledge the information contained in this report is neither false nor misleading.

REV	Description	Date
A	Final Report	30.01.2025

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1.0 INTRODUCTION

This Statement of Environmental Effects has been prepared for Mr Harbans Dhillon to accompany a Development Application (DA) to Northern Beaches Council for the demolition of the existing structures, construction of a new attached dual occupancy and strata title subdivision at 20 Campbell Avenue Cromer.

More specifically, the proposed development comprises of;

- Demolition of the existing structures on site,
- Construction of a new two-storey attached dual occupancy,
- Construction of a new driveway crossing,
- Associated landscaping works,
- Strata Title subdivision.

The proposal is permissible with consent and is suitable for the site and the area. The proposal has been designed to relate to its site and to the streetscape in terms of appearance, envelope, setbacks, bulk, and scale. The proposal will operate without any significant impact to the amenity of neighbouring properties. This statement assesses any numeric non-compliance as acceptable on merit, resulting in no adverse impacts and in compliance with all relevant DCP and LEP objectives.

The purpose of this SEE is to:

- Describe the site to which the application applies and its context;
- Describe the proposed development
- Describe the legislative framework against which the application is to be assessed and determined; and
- Provide an assessment of the environmental impacts in accordance with the Section 4.15 of the EP&A Act 1979.

This Statement has been prepared in reference to the following:

Document	Author	Date
Architectural Plans	Corona Projects	01.11.2024
Geotechnical Letter	Rapid Geo	31.01.2025
Landscape Plans	BlueGum Designs	23.01.2025
Stormwater Plans	Grand Engineering	10.02.2025
Survey Plan	Ensure Consulting	25.11.2024

2.0 SITE ANALYSIS & CONTEXT

2.1 The Site

The site is located at 20 Campbell Avenue Cromer and is legally described as Lot 13 in Deposited Plan 848133. The site is located on the western side of Campbell Avenue with a secondary frontage to Bruzzano Place.

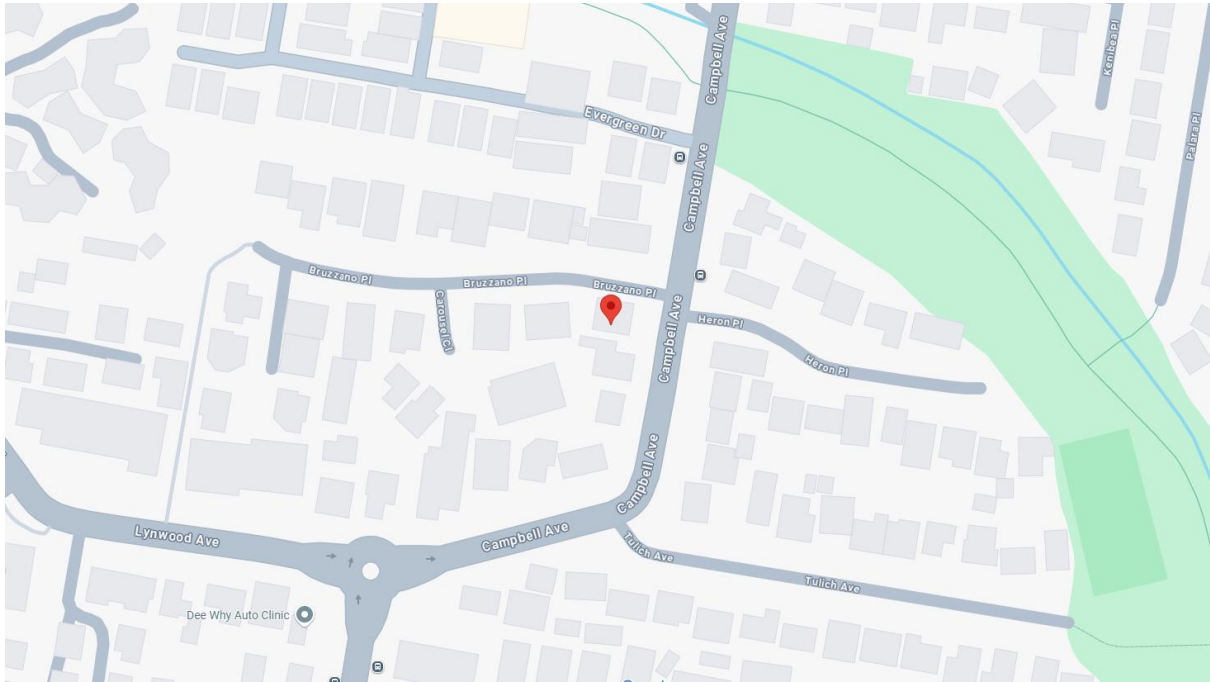


Figure 1: Site locality map (Google Maps 2024)



Figure 2: Aerial map (NSW SIX Maps 2024)

The site is irregular with a total area of 513.8 square metres by survey, with an 11.74 metre street frontage to Campbell Avenue. The secondary frontage to Bruzzano Place measures 25.40m. The southern side boundary measures 34.15m metres and the southern boundary measures 14.99 metres. The frontage provides a splayed corner measuring 4.95 metres in the north-eastern corner of the site. The site falls approximately 1 metre from east to west.

The site currently contains a two-storey brick dwelling with a tile roof. The rear of the site contains a paved courtyard, brick outbuilding and is also landscaped with shrubs and grass. Vehicular access is available from Campbell Avenue.

The land is zoned R2: Low Density Residential under the provisions of Warringah Local Environmental Plan 2011 (LEP). The site is not identified as a Heritage Item, nor is it located within a Heritage Conservation Area (HCA). It is also not considered to be located within the close vicinity of any Item or HCA, or as a contributory item.



Figure 3: Subject site as viewed from Campbell Avenue (Corona Projects 2025)



Figure 4: Subject site as viewed from the rear (Corona Projects 2025)



Figure 5: Subject site as viewed from Bruzzano Place (Corona Projects 2025)

2.2 The Locality

The site is located within the local residential centre of Cromer. The locality comprises of predominately residential development of buildings heights typically of one to two storeys. The site adjoins a one storey brick dwelling to the south at 18 Campbell Avenue. The site adjoins a two-storey brick dwelling to the west at 3 Bruzzano Place.

2.4 Development History

A search on Council's DA Tracker found there is no recent recorded planning history for the site.

3.0 THE PROPOSAL

3.1 Overview

The Development Application proposes demolition of existing structures, construction of a new attached dual occupancy and strata title subdivision at 20 Campbell Avenue Cromer.

More specifically, the proposed development comprises of;

- Demolition of existing structures on site,
- Construction of a new two-storey attached dual occupancy,
- Construction of a new driveway crossing,
- Associated landscaping works,
- Strata Title subdivision.

The proposal has been designed to relate to its site and to the streetscape in relation to appearance, envelope, setbacks, bulk, and scale. The contemporary design utilises high quality materials and detailing to present an unobtrusive visual outcome for the locality.

Please refer to plans prepared by Corona Projects.

3.2 Development Configuration

The proposed development comprises the following:

Level	Site A	Site B
Ground Floor	Garage	Garage
	Open plan kitchen/living/dining	Open plan kitchen/living/dining
	Powder room	Powder room
	Laundry	Laundry
	Pantry	Store room
First Floor	Master bedroom with WIR and ensuite	Master bedroom with WIR and ensuite
	Bedroom 2	Bedroom 2
	Bedroom 3	Bedroom 3
	Bathroom	Bathroom
	Balcony	Balcony

3.3 Numerical Overview

A brief numerical overview of the development parameters for the proposed development is included in Table 1 below.

Component	Site A	Site B
Site area	259.7m ²	250.2m ²
Gross Floor Area	159m ²	159m ²
Floor Space Ratio	0.61:1	0.63:1
Landscaped Area	107m ² (41%)	102m ² (40%)
Height	2 storeys 7m	2 storeys 7m
Boundary setbacks		
Front (E)	6.5m	
Side (S)	0.9m	
Side (N)	3.61m	
Rear (W)	6.49m	
Car spaces	2	1

Table 1: Key development components

4.0 STATUTORY PLANNING FRAMEWORK AND ENVIRONMENTAL ASSESSMENT

This Chapter provides an environmental assessment in accordance with Section 4.15 of the Environmental Planning and Assessment Act 1979.

4.1 Statutory and Policy Compliance

The relevant matters for consideration under Section 4.15(a) of the EP&A Act, 1979, are identified as:

- State Environmental Planning Policy (Resilience and Hazards) 2021
- State Environmental Planning Policy (Sustainable Buildings) 2022
- State Environmental Planning Policy (Housing) 2021
- Warringah Local Environmental Plan 2011
- Warringah Development Control Plan 2011

The primary statutory document that relates to the subject site and the proposed development is Warringah Local Environmental Plan 2011. The primary non-statutory plan relating to the subject site and the proposed development is Warringah Development Control Plan 2011.

4.1.1 State Environmental Planning Policy (Resilience and Hazards) 2021

This Policy is to provide for a state-wide planning approach to the remediation of contaminated land. Subject to Clause 4.6, considerations should be given to the suitability of land in terms of contamination.

The subject site has a long history of being used for the residential purpose. Thus, the land is not likely to be contaminated and, given that no change of use is proposed, no further consideration is required under Clause 4.6(1)(b) and (c) of the Resilience and Hazards SEPP.

4.1.2 State Environmental Planning Policy (Sustainable Buildings) 2022

SEPP (Sustainable Buildings) 2022 applies to the proposed development. A BASIX Certificate is submitted with the application and confirms that the proposal will comply with the water, thermal comfort, and energy efficiency requirements of the policy.

4.1.3 State Environmental Planning Policy (Housing) 2021

SEPP (Housing) 2021 applies to the proposed development, specifically Chapter 3, Part 12 Dual occupancies, and semi-detached dwellings in Zone R2.

Clause	Comment
141B Land to which part applies	
<p>(1) This part applies to the whole of the State, other than the following land—</p> <p>(a) bush fire prone land,</p> <p>(b) land identified as a coastal vulnerability area or a coastal wetlands and littoral rainforests area within the meaning of <i>State Environmental Planning Policy (Resilience and Hazards) 2021</i>, Chapter 2,</p> <p>(c) land in a Transport Oriented Development Area under Chapter 5,</p> <p>(d) land that comprises a heritage item or on which a heritage item is located,</p> <p>(e) the following local government areas—</p> <p>(i) Bathurst Regional,</p> <p>(ii) City of Blue Mountains,</p> <p>(iii) City of Hawkesbury,</p> <p>(iv) Wollondilly,</p> <p>(f) flood prone land in the Georges River Catchment and Hawkesbury-Nepean Catchment under <i>State Environmental Planning Policy (Biodiversity and Conservation) 2021</i>, Chapter 6,</p> <p>(g) land in a flood planning area in the following local government areas—</p> <p>(i) Armidale Regional,</p> <p>(ii) Ballina,</p> <p>(iii) Bellingen,</p> <p>(iv) Byron,</p> <p>(v) City of Cessnock,</p> <p>(vi) Clarence Valley,</p> <p>(vii) City of Coffs Harbour,</p> <p>(viii) Dungog,</p> <p>(ix) Goulburn Mulwaree,</p> <p>(x) Kempsey,</p> <p>(xi) Kyogle,</p> <p>(xii) City of Lismore,</p> <p>(xiii) City of Maitland,</p> <p>(xiv) Nambucca Valley,</p> <p>(xv) City of Newcastle,</p> <p>(xvi) Port Stephens,</p> <p>(xvii) Queanbeyan-Palerang Regional,</p> <p>(xviii) Richmond Valley,</p> <p>(xix) City of Shoalhaven,</p> <p>(xx) Singleton,</p>	<p>The site is not identified as bushfire prone land.</p> <p>The site is not identified as a coastal vulnerability area or a coastal wetlands and littoral rainforests area.</p> <p>The site is not located within a TOD area.</p> <p>The site is not on land which contains a heritage item.</p> <p>The site is not located within one of the mentioned Councils in clause (e).</p> <p>The site is not located on flood prone land in the the Georges River Catchment and Hawkesbury-Nepean Catchment.</p> <p>The site is not located within a floor planning area in one of the Councils mentioned in clause (g).</p> <p>The site is not located in an ANEF contour.</p> <p>The site is not located within 200m of a relevant pipeline.</p>

Clause	Comment
(xxi) Tweed, (xxii) Upper Hunter Shire, (xxiii) Walcha, (h) land in an ANEF contour or ANEC contour of 20 or greater, (i) land within 200m of a relevant pipeline within the meaning of <i>State Environmental Planning Policy (Transport and Infrastructure) 2021</i> , section 2.77.	
141C Development permitted with development consent	
Development for the purposes of dual occupancies and semi-detached dwellings is permitted with development consent in Zone R2 Low Density Residential on land to which this part applies.	The proposed development is for the purpose of a dual occupancy within an R2 zone, and thus is permitted with consent.

4.1.4 Warringah Local Environmental Plan 2011

The development complies with the provisions of Warringah Local Environmental Plan 2011 (LEP 2011).

Zoning and permissibility

The site is located in Zone R2: Low Density Residential.

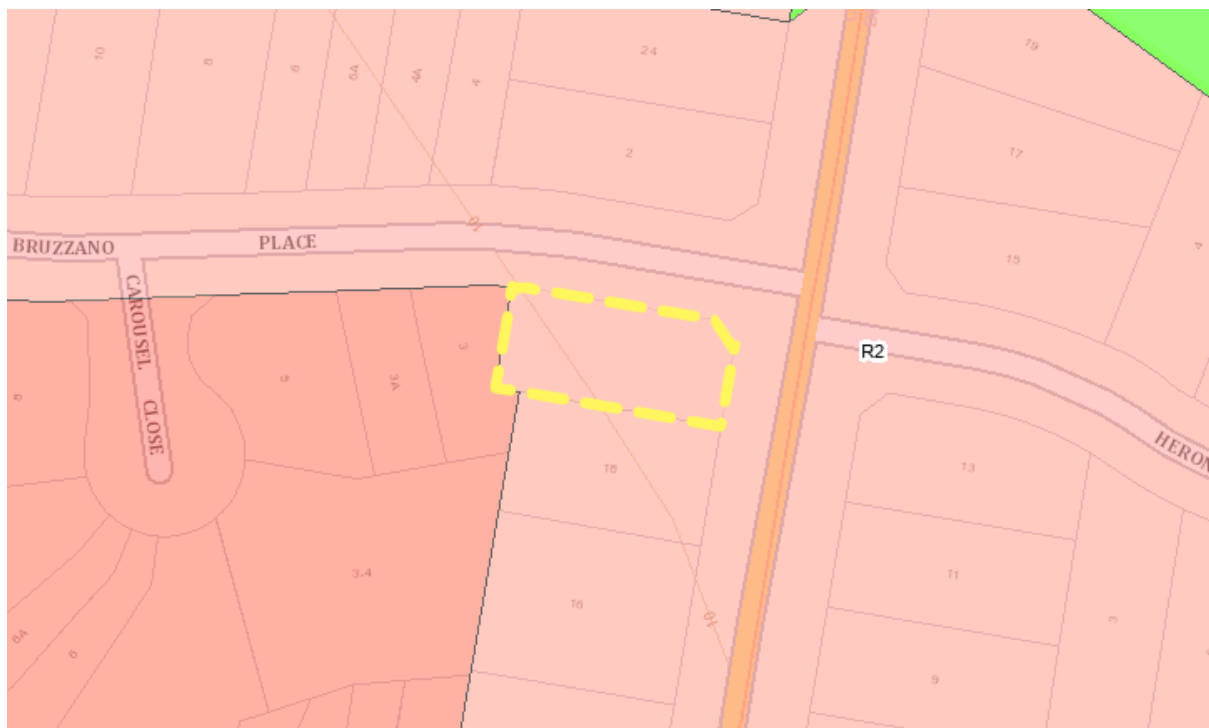


Figure 6: Land Zoning Map (NSW Spatial Planning Viewer 2024)

The development is identified to be a *dual occupancy*, which is permitted with consent in the R2 Low Density Residential zone, under SEPP (Housing) 2021, as discussed above.

The objectives of the zone are:

- *To provide for the housing needs of the community within a low-density residential environment.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
- *To ensure that low density residential environments are characterised by landscaped settings that are in harmony with the natural environment of Warringah.*

The proposed development supports the objectives of the zone by providing for the housing needs of the community within a low-density setting. The proposed dual occupancy complies with the objectives for dwelling houses as outlined in the DCP. The development does not impact the ability for other land uses to meet the day to day needs of the residents in the community. The resultant development supports the low-density residential zone by ensuring the local landscaped settings and natural environment of Warringah with consistent and sufficient landscaping on site.

Clause 4.3 Height of buildings

The LEP Height of Building Map stipulates that the maximum building height permitted for the site is 8.5 metres. The proposed height of the development is 7 metres.

Clause 4.4 Floor space ratio

The LEP Floor Space Ratio Map does not stipulate a maximum floor space ratio permitted for the site.

Clause 5.10 Heritage Conservation

The site is not identified as a Heritage Item, nor is it located within a Heritage Conservation Area (HCA). It is also not considered to be located within the close vicinity of any Item or HCA, or as a contributory item.

Clause 6.1 Acid sulphate soils

The Acid Sulphate Soils Map stipulates that the site is Class 5. The proposed works will not be below 5 metres Australian Height Datum and are unlikely to lower the water table below 1 metre Australian Height Datum on adjacent Class 1, 2, 3, or 4 land.

Clause 6.4 Development on sloping land

The Landslide Risk Land Map stipulates that the land is located within Area A. The proposed development does not pose any significant adverse impacts on development and on properties in the vicinity of development sites resulting from landslides. The proposed development minimises the impacts of stormwater runoff and does not adversely affect the stability of the land. The proposal ensures the existing subsurface flows are not adversely affected by the residential development and proposes suitable stormwater plan for stormwater disposal on site. Refer to Geotechnical Letter prepared by Rapid Geo and submitted with this application.

4.1.6 Warringah Development Control Plan 2011

The development achieves a high level of compliance with the provisions of Warringah Development Control Plan 2011.

Control	Comment	Compliance	
Part B Built Form Controls			
B1 Wall Heights			
1	Walls are not to exceed 7.2 metres from ground level (existing) to the underside of the ceiling on the uppermost floor of the building (excluding habitable areas wholly located within a roof space).	The proposed wall heights on the four facades of the dual occupancy are less than 7.2m, when measured from natural ground level to the underside of the first-floor ceiling.	Complies
B2 Number of Storeys			
1	Buildings on land shown coloured on the DCP Map Number of Storeys must comply with the maximum number of storeys identified on the DCP Map Number of Storeys.	The DCP Map does not specify the maximum number of storeys for the subject site.	Not Applicable
B3 Side Boundary Envelope			
1	Buildings on land shown coloured on the DCP Map Side Boundary Envelopes must be sited within a building envelope determined by projecting planes at 45 degrees from a height above ground level (existing) at the side boundaries of: <ul style="list-style-type: none">4 metres	Due to the contemporary building design with a flat roof, there is a minor encroachment of the building eaves beyond the prescribed side boundary envelope. This encroachment is considered to be minor and does not result in any adverse privacy or shadow impacts to neighbouring properties. Achieving strict numerical compliance in this instance would not result in a better overall outcome.	Merit Assessment

Control	Comment	Compliance	
B4 Site Coverage			
1	Development on land shown coloured on the DCP Map Site Coverage shall not exceed the maximum site coverage shown on the map.	The DCP Map does not specify a maximum Site Coverage Map.	Not Applicable
B5 Side Boundary Setbacks			
1	Development on land shown coloured on the DCP Map Side Boundary Setbacks is to maintain a minimum setback from side boundaries as shown on the map. The minimum side boundary setback on the DCP Map is 0.9m.	The development provides for a side setback of 0.9m at the worst point.	Complies
2	Side boundary setback areas are to be landscaped and free of any above or below ground structures, car parking or site facilities other than driveways and fences.	The southern side boundary setback area is paved to allow for access to the air conditioning units. The proposed paving does not reduce the landscaped area of the site to a non-compliant level, nor does it take away from the landscaped character of the site as there is ample landscaping in the front setback and private open spaces areas.	Merit Assessment
B7 Front Boundary Setbacks			
1	Development is to maintain a minimum setback to road frontages. The minimum front boundary setback on the DCP Map is 6.5m.	The proposed development provides a front setback of 6.5m, measured at the closest point, from the Campbell Street boundary (primary frontage).	Complies
2	The front boundary setback area is to be landscaped and generally free of any structures, basements, carparking or site facilities other than driveways, letter boxes, garbage storage areas and fences.	The front boundary setback area is landscaped and generally free of structures, except for the proposed driveway and footpath.	Complies
-	<u>Exceptions</u> Land Zoned R2 or R3 On corner allotments or sites with a double street frontage, where the minimum front building setback is 6.5 metres to both frontages,	The secondary frontage provides a 3.5m setback and is consistent with the neighbouring setback at 3 Bruzzano Place.	Complies

Control	Comment	Compliance
the front building setback may be reduced to a minimum of 3.5 metres for the secondary frontage, but secondary street variations must consider the character of the secondary street and the predominant setbacks existing to that street.		

B9 Rear Boundary Setbacks

1	Corner Allotments on Land Zoned R2 or R3 On corner allotments for land zoned R2 Low Density Residential or R3 Medium Density Residential, where the minimum rear building setback is 6 metres, the rear building setback does not apply.	-	Not applicable
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Part C Siting Factors**C1 Subdivision**

1	<u>Requirements</u> R2 Low Density Residential zone requirements: Proposed new allotments: a) Minimum width: 13 metres b) Minimum depth: 27 metres; and c) Minimum building area: 150m ²	The proposal provides for Strata Title subdivision and therefore has no changes to the lot size.	Complies
2	<u>Access</u> Motor vehicle access to each residential allotment is required from a constructed and dedicated public road.	The proposal provides for a new driveway crossing to both residential dwellings from public roads.	Complies
4	<u>Drainage</u> Provision should be made for each allotment to be drained by gravity to a Council-approved drainage system. The topography of the land should not be altered to adversely affect the natural drainage patterns. Stormwater should drain directly to a Council-approved drainage system and not via adjoining properties unless via a formalised interallotment drainage system. The proposed allotments are to be drained to the direction of the natural fall of the land. Interallotment drainage easements will be	The proposed development provides for approved drainage system that directs stormwater to the surrounding Council-approved drainage, following the natural fall of the land. The proposal does not alter the natural topography of the land and does not adversely impact upon the natural drainage patterns.	Complies

Control		Comment	Compliance
	required through adjoining properties to adequately drain land to Council's downstream system.	Refer to Stormwater Plan submitted with this development application for further assessment.	
6	<p><u>Environmentally constraint land</u></p> <p>In areas subject to constraints such as flooding, tidal inundation, threatened species, landslip risk, bushfire or any other matter, adequate safe area for building, where the risk from hazard is minimised, is to be provided within an allotment.</p> <p>Where possible, lot boundaries should utilise natural land features such as creeks, escarpments, and rock outcrops.</p>	<p>The subject site is located within Area A.</p> <p>The subject site is relatively flat and has been assessed for the possible risk associated with landslides. The proposal will not adversely affect the stability of the land and will not result in significant detrimental impacts on the site.</p> <p>The lot boundaries do not contain creeks, escarpments, or rock outcrops.</p>	Complies

C2 Traffic, Access, and Safety

1	<p><u>Vehicular Access</u></p> <p>Applicants shall demonstrate that the location of vehicular and pedestrian access meets the objectives.</p>	<p>The proposed driveway crossing is appropriately located so that it does not result in traffic hazards or vehicular queuing. The vehicular access will not conflict with pedestrian access to the site.</p> <p>The proposed driveway crossing meets the objectives of vehicular access.</p>	Complies
4	Vehicle crossing approvals on public roads are to be in accordance with Council's Vehicle Crossing Policy (Special Crossings) LAP-PL413 and Vehicle Access to Roadside Development LAP-PL 315.	The proposed driveway crossing will be designed in accordance with the relevant Council's Vehicle Crossing Policy.	Complies
5	Vehicle crossing construction and design is to be in accordance with Council's Minor works specification.	The design and construction of the driveway crossing follows Council's minor works specification.	Complies

C3 Parking Facilities

1	<p>The following design principles shall be met:</p> <ul style="list-style-type: none"> • Garage doors and carports are to be integrated into the house design and to not dominate the 	The two single garage doors are well integrated with the overall design of the dwelling facades. The proposed garages	Complies
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Control	Comment	Compliance
<p>façade. Parking is to be located within buildings or on site.;</p> <ul style="list-style-type: none"> • Laneways are to be used to provide rear access to carparking areas where possible; • Carparking is to be provided partly or fully underground for apartment buildings and other large scale developments; • Parking is to be located so that views of the street from front windows are not obscured; and • Where garages and carports face the street, ensure that the garage or carport opening does not exceed 6 metres or 50% of the building width, whichever is the lesser. 	<p>are appropriately located and will not obscure views of the street from front windows. The garage doors are generally setback from the front building alignment and do not exceed a total door width of 6m.</p>	

C4 Stormwater

<p>Stormwater runoff must not cause downstream flooding and must have minimal environmental impact on any receiving stormwater infrastructure, watercourse, stream, lagoon, lake and waterway or the like.</p> <p>The stormwater drainage systems for all developments are to be designed, installed and maintained in accordance with Council's Water Management for Development Policy.</p>	<p>The stormwater drainage system is designed to allow for appropriate stormwater discharge from the site and will not result in downstream flooding or adverse environmental impacts upon the local stormwater infrastructure or watercourse.</p> <p>The proposed stormwater drainage system is to be installed and maintained in accordance with the relevant Council's policy. Refer to Stormwater Plan submitted with this application for further assessment.</p>	Complies
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C8 Demolition and Construction

1	<p>All development that is, or includes, demolition and/or construction, must comply with the appropriate sections of the Waste Management Guidelines and all relevant Development Applications must be accompanied by a Waste Management Plan.</p>	<p>The proposed development complies with the Waste Management Guidelines. Refer to the Waste Management Plan accompanied this application for details.</p>	Complies
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C9 Waste Management

Control	Comment	Compliance
1 All development that is, or includes, demolition and/or construction, must comply with the appropriate sections of the Waste Management Guidelines and all relevant Development Applications must be accompanied by a Waste Management Plan.	As above.	Complies

Part D Design**D1 Landscaped Open Space and Bushland**

1	<p>The required minimum area of landscaped open space is shown on DCP Map Landscaped Open Space and Bushland Setting. To measure the area of landscaped open space:</p> <ul style="list-style-type: none"> a) Driveways, paved areas, roofed areas, tennis courts, car parking and stormwater structures, decks, etc, and any open space areas with a dimension of less than 2 metres are excluded from the calculation; b) The water surface of swimming pools and impervious surfaces which occur naturally such as rock outcrops are included in the calculation; c) Landscaped open space must be at ground level (finished); and d) The minimum soil depth of land that can be included as landscaped open space is 1 metre. 	The proposal provides for a landscaped open space area of 107m ² (41%) and 102m ² (40%) for Site A and Site B respectively.	Complies
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D2 Private Open Space

1	Residential development is to include private open space for each dwelling.	The proposed development provides for a compliant private open space (POS) area for each dwelling.	Complies				
2	<div>The minimum area and dimensions of private open space are as follows:</div> <table><tr><td>Dwelling Type</td><td>Area and Minimum Dimensions per dwelling</td></tr><tr><td></td><td></td></tr></table>	Dwelling Type	Area and Minimum Dimensions per dwelling			The proposed dual occupancy has a POS area of 60m ² for Site A and a POS area of 60m ² for Site B. Therefore, compliance with this control is achieved.	Complies
Dwelling Type	Area and Minimum Dimensions per dwelling						

Control			Comment	Compliance
	Dwelling houses (including dual occupancy) and attached dwellings with 3 or more bedrooms	A total of 60m ² with minimum dimensions of 5 metres		
3	Private open space is to be directly accessible from a living area of a dwelling and be capable of serving as an extension of the dwelling for relaxation, dining, entertainment, recreation and children's play.		The POS areas on each site is directly accessible from the primary living spaces of each dwelling within the dual occupancy and serves as an extension of for outdoor relaxation and recreation opportunities.	Complies
4	Private open space is to be located and designed to ensure privacy of the occupants of adjacent buildings and occupants of the proposed development.		The proposal ensures that the POS is properly designed and located to ensure privacy of the occupants of the development and adjacent properties.	Complies
5	Private open space shall not be located in the primary front building setback.		<p>The proposed POS is primarily located in the side setbacks due to the corner lot configuration, with a small area of POS being located within the designated front setback. This is due to the configuration of the site and is unavoidable.</p> <p>The proposed configuration is acceptable on merit as the POS remains consistent with the objectives notwithstanding the non-compliance. The dwelling is provided with functional and usable POS which is directly accessible from the main living areas. The POS is located away from adjoining dwellings POS to avoid any acoustic concerns as well as being north facing to ensure solar access is achieved. The area will be screened by a boundary fence to ensure privacy from the public street is maintained.</p>	Merit Assessment.
6	Private open space is to be located to maximise solar access.		Each POS has a northerly aspect and will achieve compliant solar access.	Complies

Control	Comment	Compliance	
D3 Noise			
4	Where possible, locate noise sensitive rooms such as bedrooms and private open space away from noise sources. For example, locate kitchens or service areas closer to busy road frontages and bedrooms away from road frontages.	The location of rooms in each dwelling is considered to be appropriate to minimise noise impacts upon the living environments.	Complies
D6 Access to Sunlight			
2	<p>At least 50% of the required area of private open space of each dwelling and at least 50% of the required area of private open space of adjoining dwellings are to receive a minimum of 3 hours of sunlight between 9am and 3pm on June 21.</p> <p>Council may consider a variation to this control in the particular circumstances of a proposal, where an applicant can demonstrate, to the satisfaction of Council that:</p> <ul style="list-style-type: none">i) the slope or topography of the site or adjoining property makes compliance impractical; andii) other design options have been investigated which would comply but would unreasonably constrain the development of an otherwise compliant building.	<p>The proposed development achieves solar access to at least 50% of the private open space and adjoining properties for a minimum of 3 hours during the required assessment time.</p> <p>Refer to shadow diagrams in the set of architectural plans for further details.</p>	Complies
D7 Views			
1	Development shall provide for the reasonable sharing of views.	No views are obtained from the site or adjoining properties.	Complies
D8 Privacy			
1	Building layout should be designed to optimise privacy for occupants of the development and occupants of adjoining properties.	Windows at the first floor adjoin rooms of low use and minimises the opportunities for overlooking into adjoining properties. The upper level of each dwelling also provides for an increased setback of 2.77m from southern side boundary.	Complies
2	Orientate living areas, habitable rooms and windows to private open space areas or to the street to limit overlooking.		

Control		Comment	Compliance
3	The effective location of doors, windows and balconies to avoid overlooking is preferred to the use of screening devices, high sills or obscured glass.	Noted. The locations of the listed items in this control are placed to minimise overlooking concerns where possible.	Complies
4	The windows of one dwelling are to be located so they do not provide direct or close views (ie from less than 9 metres away) into the windows of other dwellings.	There are no upper floor windows which provide direct views into neighbouring properties within 9m of the site.	Complies
D9 Building Bulk			
1	Side and rear setbacks are to be progressively increased as wall height increases.	The upper level is recessed from the ground floor of the dual occupancy.	Complies
3	On sloping land, the height and bulk of development (particularly on the downhill side) is to be minimised, and the need for cut and fill reduced by designs which minimise the building footprint and allow the building mass to step down the slope. In particular: The amount of fill is not to exceed one metre in depth. Fill is not to spread beyond the footprint of the building. Excavation of the landform is to be minimised.	The site is relatively flat, and therefore this control is not applicable.	N/A
4	Building height and scale needs to relate to topography and site conditions.	The proposed dual occupancy is below the maximum building height limit in a suitable scale that respond to natural topography and site conditions.	Complies
5	Orientate development to address the street.	The proposed dual occupancy is oriented to address both Campbell Avenue and Bruzzano Place.	Complies
6	Use colour, materials and surface treatment to reduce building bulk.	The proposed development will have suitable colour schemes, materials and surface treatment to reduce bulk.	Complies
7	Landscape plantings are to be provided to reduce the visual bulk of new building and works.	The proposed landscaping and retention of tree on site reduces the visual bulk of the dual occupancy,	Complies

Control		Comment	Compliance
8	Articulate walls to reduce building mass.	The external walls on each façade of the dual occupancy are well articulated with varying setbacks.	Complies
D10 Building Colours and Materials			
1	In highly visible areas, the visual impact of new development (including any structures required to retain land) is to be minimized through the use of appropriate colours and materials and landscaping.	The proposal provides for appropriate building colours, materials and associated landscaping on site that will not visually dominate the streetscape or cause other adverse visual impact on the community.	Complies
D11 Roofs			
2	Roofs should complement the roof pitch and forms of the existing buildings in the streetscape.	The proposal consists of a 2-degree low pitched metal roof for each dwelling that is compatible with the characteristics of the Cromer area.	Complies
3	Articulate the roof with elements such as dormers, gables, balconies, verandahs and pergolas.	The proposed roof is well articulated and has an appropriated design.	Complies
4	Roofs shall incorporate eaves for shading.	The proposed roofs have eaves for shading.	Complies
D14 Site Facilities			
1	<p>Site facilities including garbage and recycling enclosures, mail boxes and clothes drying facilities are to be adequate and convenient for users and services and are to have minimal visual impact from public places. In particular:</p> <ul style="list-style-type: none"> • Waste and recycling bin enclosures are to be durable, integrated with the building design and site landscaping, suitably screened from public places or streets and located for convenient access for collection; • All dwellings which are required to have landscaped open space are to be provided with adequate open air clothes drying facilities which are suitably screened from public places or streets; 	The development is capable of supporting all required site facilities in appropriate locations. Refer to the site plan for further detail.	Complies

Control	Comment	Compliance
<ul style="list-style-type: none"> • Garbage areas are to be designed to avoid common problems such as smell, noise from collection vehicles and the visibility of containers; • Landscaping is to be provided to reduce the impact of all garbage and recycling enclosures. They are to be located away from habitable rooms, bedrooms or living areas that may detract from the amenity of occupants; and • Mail boxes are to be incorporated into the front fence or landscaping design. They are to be easily accessible and clearly identifiable. 		

D20 Safety and Security

1	Buildings are to overlook streets as well as public and communal places to allow casual surveillance.	The proposed dual occupancy allows for overlooking to Campbell Avenue and Bruzzano Place. The proposed development supports casual surveillance via windows at the ground floor, balconies and windows at the upper level of the front façades.	Complies
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D22 Conservation of Energy and Water

1	The orientation, layout and landscaping of sites is to make the best use of natural ventilation, daylight and solar energy.	The building orientation, layout and associated landscaping maximises natural ventilation and solar access across the site.	Complies
3	Buildings are to be designed to minimize energy and water consumption.	The proposed dual occupancy is designed to minimise energy and water consumption and meets the BASIX requirements.	Complies
4	Landscape design is to assist in the conservation of energy and water.	The proposed development has appropriate landscape design that facilitates water and energy conservation on site by directly accessing sunlight and supporting stormwater penetration.	Complies
6	All development must comply with Council's Water Management Policy.	The proposed development complies with Council's Water Management Policy.	Complies

Part H Appendices

Control		Comment	Compliance
Appendix 1 Car Parking Requirements			
	Residential		Merit Assessment
	Use	Requirement	
	Dwelling house and dual occupancy	2 spaces per dwelling, except for land known as Belrose Corridor (see Part G4) which has a maximum of 2 car spaces.	
	<p>The proposed development provides for 2 carparking spaces for Site A and 1 parking space for Site B.</p> <p>Site A provides one space within the garage and an additional space is provided forward of the garage. Site B provides one space within the garage and due to the secondary frontage width, is unable to accommodate a second space within the driveway area. The proposed driveway crossing however retains street parking which can be used by residents as Bruzzano Place is a moderately quiet street. The provision of a double garage to Site B is considered to be more detrimental as a double garage would dominate the façade.</p>		

4.1.7 Draft Planning Instruments

Northern Beaches Council does not have any current Draft Planning Instruments that apply to the proposed development, thus as demonstrated, the development achieves a high level of compliance with the applicable Environmental Planning Instruments.

4.2 Impacts of the Development

As noted in the above assessment against the provisions of the relevant Environmental Planning Instruments and Development Control Plan, the development is of a reasonable scale and nature, and does not present unreasonable environmental, social, and economic impacts.

4.2.1 Natural and Built Environment Impacts

The development does not impact upon native vegetation, soil conditions, foreshore environment or air quality. The proposed built form allows the neighbouring sites to retain their access to privacy, solar access, pleasant outlook, and overall residential amenity. Private outdoor areas are proposed for each

dwelling house that allows for sufficient amenity and private recreation. The proposed works do not require the removal of any significant vegetation.

4.2.2 Social and Economic Impacts

The development increases the amenity of the property with the proposed dual occupancy to provide additional housing stock in the locality. The development will thus also upgrade the presentation of the site to the street and improve aesthetic quality of the streetscape. The short-term economic impacts are positive, with the generation of employment opportunity through the physical construction stages. The use of high-quality materials will ensure a durable final built outcome, reducing the need to rebuild in the near future, resulting in a positive long term financial and sustainability outcome. The proposal does not engender any negative social or economic outputs.

4.3 Suitability of the Site

The subject site is considered suitable in size and shape to accommodate the development. The proposal does not introduce any incompatible uses to the site. The works are permissible under the R2: Low Density Residential zone.

4.3.1 Access to Services

The site is located within an established residential area with excellent access to services and public transport. As the site is within an established urban area, electricity, sewer, telephone, and water services are readily available to the subject site.

4.3.2 Parking and Access

The on-site parking provides a logical and considered approach to the provision of off-street car parking. The design and layout of on-site parking and vehicle access/egress is compliant with AS2890.1.

4.3.3 Hazards

The site is in an area recognised by Council as being subject to landslip. The affectation of this hazards on the site and the proposed development has been discussed above within the LEP and DCP assessment and any impact is considered to be negligible or minor. The proposed development is not likely to increase the likelihood of such hazards occurring and is considered appropriate in this instance. Refer to submitted Geotechnical Letter by Rapid Geo.

4.4 The Public Interest

The proposal is considered to be in the public interest as it produces nominal environmental, social, and economic impacts. Furthermore, it provides additional housing to meet the housing needs of the community. The proposed development has been designed to relate to the size, shape and context of the site and has been designed in accordance with the desired future character for development in the area.

The proposal seeks to provide a residential development that makes efficient use of space on the site in a prime location that is in high demand for residential accommodation. In addition, the proposal has been designed to minimise as far as practical any adverse effects on existing and future neighbouring properties. The proposal is consistent with the applicable LEP and DCP provisions except where identified and justified in this Statement of Environmental Effects. Accordingly, the proposed development is considered to be in the public interest.

5.0 CONCLUSION

The Statement of Environmental Effects (SEE) has been prepared to consider the environmental, social, and economic impacts of the dual occupancy at 20 Campbell Avenue Cromer. The report has addressed the applicable policies and plans and has provided an environmental assessment in accordance with Section 4.15 of the Environmental Planning and Assessment Act 1979.

The application proposes a permissible development within the subject site locality. The proposal incorporates appropriate design considerations to minimise any adverse impacts on the natural and built environment, and the amenity of the surrounding neighbourhood.

Given the benefits of the development and compliance with the relevant policies and plans, we conclude that the proposed development at 20 Campbell Avenue Cromer as described in this application is reasonable and supportable, and worthy of approval by Northern Beaches Council.

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