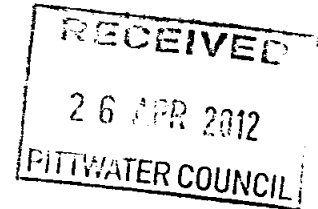


10 April 2012



The General Manager
Pittwater Council
PO Box 882
MONA VALE NSW 1660

Attention: Records Department

**Proposed Sushi Bar - Woolworths Mona Vale
Complying Development Certificate No. 251937**

Please find attached a copy of the Complying Development Certificate and Notification of commencement of building works and appointment of Principal Certifying Authority recently issued for this project.

Attached is a copy of the stamp-approved plans and other relevant documentation relied upon to issue this certificate, as required by the Legislation, together with the appropriate registration fee.

Please contact this office should you have any queries regarding this matter.

Yours sincerely



Brian Banning
Senior Building Surveyor

Email: bbanning@davislangdon.com.au
Tel: 02 8934 2222
Mobile: 0458 524 057

\$36 REC:32697 26/4/12.

Notice to commence building work and appointment of a Principal Certifying Authority

Issued under the Environmental Planning & Assessment Act 1979, Section 81A

1. Details of the owner of the land (applicant/person entitled to act on consent)

Mr ☐ Mrs ☐ Ms ☐ Dr ☐ Other ☒ Sanwick Pty Ltd

First Name: Nick Family Name:

Address: 107, Carlingford Street Sefton NSW 2162

Tel: 02 9644 1747 Fax: 02 9644 3334 Email: nick@sanwick.com.au

2. Description of the work proposed

Type of work proposed Building ☒

Description of the work Installation of Sushi Bar

3. Details of the land to be developed

Address: Woolworths Mona Vale Supermarket, 25-29 Park Street MONA VALE NSW 2103

Lot No. Section DP/MPS No

4. Details of the development approvals granted

Complying Development Certificate No.

Date the certificate was issued

251937

10 April 2012

5. Appointment of Principal Certifying Authority (PCA)

Indicate the steps you have taken by placing a cross in the appropriate boxes ☒ I have met all the conditions in the development consent or the complying development certificate required to be satisfied before I can begin work.
☒ I have appointed a Principal Certifying Authority

Name of the PCA Charles Slack-Smith

Address of the PCA Davis Langdon ABN 40 008 657 2
Level 21, 420 George Street, Sydney, NSW 2000

Telephone No of the PCA 02 8934 2222

Accreditation body and number Building Professionals Board / BPB0378

(continued)

**Notice to Commence Building Work
and Appointment of a Principal Certifying Authority**

Certificate No. 251937

6. Residential building work

1. Are you going to build a house or other dwelling or alter or add to a dwelling?

No ☒

Yes ☐

Please complete Part 2 below

2. Are you an owner-builder?

Yes ☐

Owner-builder permit no: _____

No ☐

Will the work be carried out by someone who is licensed to do so?

No ☐

Yes ☐

Please complete the section below

Name of builder _____

Telephone No of builder _____

Contractor Licence No of builder _____

Have you attached to this notice evidence that the licensed person is insured to carry out this type of work?

Yes ☐

No ☐ Please complete the section below

Have you attached to this notice a declaration (signed by each owner of the land) that the reasonable market cost of the labour and materials to be used is less than \$3,000.

Yes ☐

No ☐

7. Date the work will commence

Date 12 April 2012

8. PCA's Signature

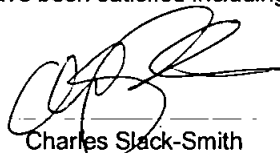
The Principal Certifying Authority must sign this notice.

1. I acknowledge that, in the case of residential building work, that I have seen evidence that a contract of insurance is in place pursuant to Part 6 of the Home Building Act 1989 and I have seen evidence that the building works are to be undertaken by a person with an owner-builder permit.
2. I acknowledge that I have been appointed by the applicant to carry out the role of the Principal Certifying Authority for this development.
3. I acknowledge that all conditions of the development consent that are required to be satisfied prior to the work commencing, have been satisfied including that all relevant fees, charges and contributions have been paid.

Signature of PCA

Name of PCA

Date


Charles Slack-Smith

10 April 2012

9. Applicant / Owner's Signature

The Applicant / Owner to sign Authority.

☒ Owner

☐ Applicant

Signature

See Owners Consent on Davis Langdon Application Form for Complying
Development Certificate and Principal Certifying Authority

Date

14 March 2012

Complying Development Certificate

Issued under the Environmental Planning & Assessment Act 1979, Division 3,
Sections 84, 85, 86 and 87 and
Environmental Planning & Assessment Regulation 2000 – Part 7, Division 2

Certificate No. 251937

1. Details of the applicant

Name Woolworths Limited
Address PO Box 8000, Baulkham Hills, NSW 2153
Contact Tel: 02 8885 0000 Fax: 02 8888 2455 Email: cmoyle@woolworths.com.au

2. Certifying Authority

Name of Certifying Authority Charles Slack-Smith
Accreditation No BPB0378
Accreditation Body Building Professionals Board
Address Davis Langdon Australia Pty Ltd ABN 40 008 657 289
Level 21, 420 George Street, Sydney, NSW 2000
Contact Tel: (02) 8934 2222 Fax: (02) 8934 0001

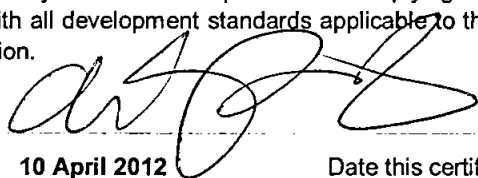
3. Certification

This certificate is issued: ☐ without any conditions
☒ subject to the conditions listed in **Attachment B**
☐ to erect a temporary building
☒ the issue of this certificate has been endorsed on the plans and specifications that were lodged with the application

Subject land Woolworths Mona Vale Supermarket, 25-29 Park Street, MONA VALE NSW 2103
Description of development Installation of Sushi Bar
Class of Building 6 Supermarket
Land Use Zoning 3(a) General Business A
Drawing Nos. 8-A prepared by Woolworths dated 5 December 2011; GA01, Rev P2, GA02, Rev P1, GA03, Rev P1 prepared by Christiansen O'Brien Pty Ltd dated March 2012
Plan Nos approved
Specification / References See Attachment "A"
Certificate No 251937
The decision was made under the following planning instrument SEPP (Exempt and Complying Development Codes) 2008

I **Charles Slack-Smith** certify that the development is a complying development and (if carried out as specified in the Certificate) will comply with all development standards applicable to the development and with such other requirements prescribed by this regulation.

Signature



Date of this Certificate 10 April 2012

Date this certificate will expire 10 April 2017

4. Information attached to this decision

- ☒ A fire safety schedule
- ☒ Information relied upon in Certificate determination - **Attachment A**
- ☒ The conditions of the certificate as listed in **Attachment B**

(continued)
Complying Development Certificate

Certificate No. 251937

5. Fire Safety Certificate and Fire Safety Schedule

To ensure compliance with the requirements of the Environmental Planning & Assessments Act Regulation, the owner of the buildings shall submit to Council/Certifier a certificate of compliance in respect to each essential service required to be installed within the building.

- a) That the service(s) have been inspected and tested by a person competent to carry out such an inspection test; and
- b) That the service was or was not (as at the date on which it was inspected and tested) found to have been designed, installed and to be capable of operating to the standard as specified.

Such a certificate is required to be submitted on completion and prior to occupation of the building.

Essential services are required to be installed and maintained to approved operating standards as set out in the schedule attached hereto.

The owner of the building is required to submit to Council at least once in each twelve (12) month period after a certificate has been issued, a further certificate with respect to each essential service installed in the building.

Fire Safety Measure	Standard of Performance	Existing Fire Safety Measures	Altered Fire Safety Measures
Automatic fire suppression systems – sprinkler*	AS 2118.1 – 1978	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Emergency lighting	Ord 70 Part 55.12 & AS 2293.1 – 1995	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Exit signs*	Ord 70 Part 24.29 & AS 2293.1 – 1995	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Fire doors	Ord 70 Part 22.6 & AS 1905.1 – 1980	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Fire hydrant systems	Ord 70 Part 27.4 & AS 2419.1 – 1980	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Fire seals	Ord 70 Part 22.13	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Hose reel systems	Ord 70 Part 27.3 & AS 2441 – 1988	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Path of travel, stairways, passageways & ramps	EPA Regs 2000 Part 9 Division 7	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Portable fire extinguishers	AS 2444 – 1995	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

* Action required

(continued)
Complying Development Certificate

Certificate No. 251937

Attachment A – Information Relied Upon in Certificate Determination

- Davis Langdon Application for Complying Development Certificate dated 13 March 2012
- Annual Fire Safety Statement issued by Philip Wheeler dated 2 May 2011
- BCA Design Statement issued by Chris Moyle of Woolworths Limited
- Long Service Levy Receipt Reference No. 645422183 dated 16 March 2012

(continued)
Complying Development Certificate

Certificate No. 251937

Attachment B: Conditions of the Certificate

This certificate is subject to the following conditions identified in the following:

SEPP (Exempt & Complying Development Codes) 2008

Conditions of Complying Development Certificate

Note 1. Complying development must comply with the requirements of the *Environmental Planning and Assessment Act, 1979 (the Act)*, the *Environmental Planning and Assessment Regulation 2000* and the following conditions.

Note 2. A contributions plan setting out the contribution requirements towards the provision or improvement of public amenities or public services may specify that an accredited certifier must, under section 94EC of the Act, impose a condition on a complying development certificate requiring the payment of a monetary contribution in accordance with that plan. Contributions may be imposed in respect of development on certain land under section 61 the *City of Sydney Act 1988*.

Subdivision 1 Conditions applying before works commence

5.13 Protection of adjoining areas

A hoarding or a temporary construction site fence must be erected between the work site and adjoining lands before the works begin and must be kept in place until after the completion of works if the works:

- (a) could cause a danger, obstruction or inconvenience to pedestrian or vehicular traffic, or
- (b) could cause damage to adjoining lands by falling objects, or
- (c) involve the enclosure of a public place or part of a public place.

Note. See the entry in the General Exempt Development Code for scaffolding, hoardings and temporary construction site fences.

5.14 Toilet facilities

(1) Toilet facilities must be available or provided at the work site before works begin and must be maintained until the works are completed at a ratio of one toilet plus one additional toilet for every 20 persons employed at the site.

(2) Each toilet must:

- (a) be a standard flushing toilet connected to a public sewer, or
- (b) have an on-site effluent disposal system approved under the Local Government Act 1993, or
- (c) be a temporary chemical closet approved under the Local Government Act 1993.

5.15 Garbage receptacle

(1) A garbage receptacle must be provided at the work site before works begin and must be maintained until the works are completed.

(2) The garbage receptacle must have a tight fitting lid and be suitable for the reception of food scraps and papers.

Subdivision 2 Conditions applying during the works

Note. The Protection of the Environment Operations Act 1997 and the Protection of the Environment Operations (Noise Control) Regulation 2008 contain provisions relating to noise.

5.16 Hours for construction or demolition

Construction or demolition that is audible in any dwelling on an adjoining lot may only be carried out between 7.00 am and 8.00 pm on Monday to Saturday.

5.17 Compliance with plans

Works must be carried out in accordance with the plans and specifications to which the complying development certificate relates.

(continued)
Complying Development Certificate

Certificate No. 251937

5.18 Maintenance of site

- (1) Building materials and equipment must be stored wholly within the work site unless an approval to store them elsewhere is held.
- (2) Demolition materials and waste materials must be disposed of at a waste management facility.
- (3) The work site must be left clear of waste and debris at the completion of the works.

Subdivision 3 Construction requirements

5.19 Utility services

If the complying development requires alteration to, or the relocation of, utility services on the lot on which the complying development is carried out, the complying development is not complete until all such works are carried out.

5.20 Mechanical ventilation systems

If the complying development is a mechanical ventilation system that is a **regulated system** in **regulated premises** within the meaning of the *Public Health Act 1991*, the system must be notified as required by the *Public Health (Microbial Control) Regulation 2000*, before an occupation certificate (whether interim or final) for the complying development is issued.

5.21 Food businesses

If the complying development is a **food business** within the meaning of the *Food Act 2003*, the food business must be notified as required by that Act or licensed as required by the *Food Regulation 2004*, before an occupation certificate (whether interim or final) for the complying development is issued.

5.22 Premises where skin penetration procedures are carried out

If the complying development involves premises at which a **skin penetration procedure** within the meaning of the *Public Health Act 1991* will be carried out, the premises must be notified as required under the *Public Health (Skin Penetration) Regulation 2000* before an occupation certificate (whether interim or final) for the complying development is issued.

Asbestos

Any development involving asbestos removal to be undertaken by a business that is licensed under the Occupation Health and Safety Regulation 2001.

APPLICATION FOR:

(please tick)

- ☒ COMPLYING DEVELOPMENT CERTIFICATE
☒ PRINCIPAL CERTIFYING AUTHORITY
☐ STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT & COMPLYING DEVELOPMENT)
☐ LOCAL COUNCIL LEP / DCP

Under Sections 81A(4), 85, 85A, 86 of the of the Environmental Planning and Assessment Act 1979, and Clause 126 Part 7, Div 1 of the Environmental Planning and Assessment Regulations, 2000

Application submitted with
Davis Langdon, Level 21, 420 George Street
Sydney NSW 2000
Tel: +61 2 8934 2222 Fax: +61 2 8934 0001

Only

RECEIVED
14 MAR 2012
BY: _____

Subject

Address: WOOLWORTHS MONA VALE
CAN KEENAN STREET & WAARTHA STREET
Lot No, DP, SP, vol/ fol. etc MONA VALE, NSW, 1771

Applicant

Names / Company: WOOLWORTHS LIMITED
**ABN No. (Mandatory) 88000014675
Address: PO BOX 8000
BAULKHAM HILLS, NSW Post Code: 2153
Contact Numbers: Phone: (02) 8885-2455 Mobile: 0404-829-046
Facsimile: (02) 8888-2455 Email: CMOYLE@WOOLWORTHS.COM.AU
Name of Applicant (in full) CHRIS MOYLE
Signature of Applicant: Chris Moyle Date: 13/3/2012
Furthermore by completing this section I hereby confirm that I am not the Principal Contractor or Builder. See Applicant Description on the following page

Consent of Owner(s)

I / we as the owner/s of the above property engage and authorise Shane Berry, Robert Briant, Brett Clabburn, Justin Jones-Gardiner, Bruno Scenna, Paul Schenko, Charles Slack-Smith of Davis Langdon to provide the Complying Development Certification and to act as the Principal Certifying Authority for the subject building works, and/or carry out site inspections and lodge the Notice of Commencement / Appointment of the Principal Certifying Authority with the relevant Council. Furthermore, by signing this owners consent I also give permission to the tenant, architect, designer, project manager, builder or principal contractor to issue Final/Interim Fire Safety Certificate in accordance with Clause 149 of EP&A Regs 2000.

Names(s) / Company: SANWICK P/L
**ABN No. (Mandatory) 95 675 704 234
Address: 107 CARLINGFORD ST
SEFTON NSW 2162
Contact Numbers: Phone: 96441747 Mobile: 0422 479 248
Facsimile: 96443334 Email: nick@sanwick.com.au
Signature of Registered owner(s) [Signature]

Company stamp or seal
to be affixed if applicable
(If agent provide documentary evidence such
as Power of Attorney etc as evidence of commission)

Date: 14/3/12



Description of Proposed Development

CDC No. _____

INSTALLATION OF A SUSHI BAR IN ACCORDANCE
WITH THE DRAWINGS IDENTIFIED BELOW

Estimated cost of work: \$ \$130,000 Existing use of Site: RETAIL
example Office/Retail etc.

Gross floor area of building m²: (Existing) _____ (Proposed) _____

Site Area m²: _____ Number of storeys (including underground storeys) _____

Please attach relevant Plans and Specifications from the attached list.

List of documents accompanying this application:

- WOOLWORTHS MONA VALE-REFURB-CONTROL PLAN ^{1771/REV} ~~A~~ A.
- SUSHI BAR DETAILS GA01 - P2 SHEET 1/3
- SUSHI BAR DETAILS GA01 - P2 SHEET 2/3
- SUSHI BAR DETAILS GA01 - P2 SHEET 3/3
- _____
- _____
- _____

Project Management (Principal Contractor)

The overall co-ordination and control of this project will be carried out by:

<input type="checkbox"/> Principal Contractor: (Bus. Name)	<u>INTEW CONSTRUCTION</u>
Contact:	<u>ANDREW APPLETON</u>
Address:	<u>3/5-11 MELLOR ST WEST RYDE</u>
Contact No:	<u>0218-483-389</u>

Construction Materials

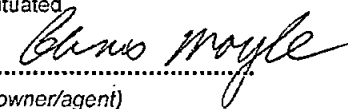
Walls:		Roof:		Floor:	
Brick Veneer		Aluminium		Concrete	✓
Full Brick		Concrete		Timber	
Single Brick		Concrete tile		Other	
Concrete Block		Fibrous cement		Unknown	
Concrete/ masonry		Fibreglass			
Concrete	✓	Masonry			
Steel		Shingle tiles			
Fibrous cement		Slate			
Hardiplank		Steel	✓		
Timber/ weatherboard		Terracotta		FRAME	
Cladding-aluminium		Other		Timber	
Curtain glass		unknown		Steel	✓
Other				Other	

Schedule to Application for Certification &/or PCA CDC No. _____

Schedule of existing/proposed or modified Fire Safety measures
(for any existing building and the land on which it is situated) _____

Item No.	Proposed / Existing Measure	Is this measure installed in the building? Yes/ No	If yes, enter the current standard of performance (eg: BCA and Aust Stand)	Proposed alteration of existing measure (✓)
1.	Access Panels, doors and hoppers to fire resisting shafts	✓	BCA	
2.	Automatic fail safe devices	✓	BCA	
3.	Automatic fire detection and alarm system	✓	BCA	
4.	Automatic fire suppression system (sprinkler)	✓	BCA	
5.	Automatic fire suppression system (others - specify)			
6.	Emergency lifts			
7.	Emergency lighting	✓	BCA	
8.	Emergency warning and intercommunication system	✓	BCA	
9.	Exit signs	✓	BCA	
10.	Fire alarm monitoring	✓	BCA	
11.	Fire control centres and rooms	✓	BCA	
12.	Fire dampers			
13.	Fire doors	✓	BCA	
14.	Fire hose reel systems	✓	BCA	
15.	Fire hydrant systems	✓	BCA	
16.	Fire seals (protecting openings in fire resisting components of the building)	✓	BCA	
17.	Fire shutters			
18.	Fire windows			
19.	Light weight construction			
20.	Mechanical air handling systems	✓	BCA	
21.	Perimeter vehicle access for emergency vehicles	✓	BCA	
22.	Portable fire extinguishers & fire blankets	✓	BCA	
23.	Pressurising system	✓	BCA	
24.	Safety curtains in proscenium openings			
25.	Smoke and heat Vents	✓	BCA	
26.	Smoke dampers			
27.	Smoke detectors and heat detectors	✓	BCA	
28.	Smoke doors	✓	BCA	
29.	Solid-Core doors	✓	BCA	
30.	Stand-By power systems	✓	BCA	
31.	Wall wetting sprinkler and drencher systems			
32.	Warning and operational signs	✓	BCA	
33.	OTHERS - Specify			

This is an accurate statement of the existing fire safety schedule implemented in the whole building and the land on which it is situated

Signed: 
(owner/agent)

Name: CHAIS MOYLE

Date: 12/3/2012

Annual Fire Safety Statement

Issued under the Environmental Planning and Assessment Regulations 2000

Type of Statement: ☒ Annual ☐ Supplementary

Name of Owner: WOOLWORTHS LIMITED
Owners Address: 1 Woolworths Way, Bella Vista NSW 2153

Agents Name: Chubb Fire Safety on behalf of Woolworths Limited
Agents Address: 120 Silverwater Road Silverwater NSW


Identification of Building

Tenancy Name: Woolworths Mona Vale #1771
Street Address: Cnr Park & Keenan St Suburb: Mona Vale NSW 2103
Nearest Cross St:
Building Use: Retail
Description of Areas: Woolworths site only

I Certify that:

- a) Each essential fire safety measure specified in this statement has been assessed by a properly qualified person and was found, when it was assessed, to be capable of performing:
- i. in the case of an essential fire safety measure applicable by virtue of a fire safety schedule, to a standard not less than that specified in the schedule, or
- ii. in the case of an essential fire safety measure applicable otherwise than by virtue of a fire safety schedule, to a standard no less than that to which the measure was originally designed and implemented, and;
- b) the building has been inspected by a properly qualified person and was found, when it was inspected, to be in a condition that did not disclose any grounds for a prosecution under Part 9 Division 7 of the Environmental Planning and Assessment Regulations 2000, and;
- c) The information contained in this statement is, to the best of my knowledge and belief, true and accurate.

Statutory Fire Safety Measures	Standard of Performance	Assessment Date
Automatic fire suppression systems – sprinkler *	AS 2118.1 – 1978	08/02/2011
Emergency lighting	Ord 70 Part 55.12 & AS 2293.1 – 1995	08/02/2011
Exit signs*	Ord 70 Part 24.29 & AS 2293.1 – 1995	08/02/2011
Fire doors	Ord 70 Part 22.6 & AS 1905.1 – 1980	08/02/2011
Fire hydrant systems	Ord 70 Part 27.4 & AS 2419.1 – 1980	08/02/2011
Fire seals	Ord 70 Part 22.13	08/02/2011
Hose reel systems	Ord 70 Part 27.3 & AS 2441 – 1988	08/02/2011
Path of Travel, stairways, passageways & ramps	EPA Regs 2000 Part 9 Division 7	08/02/2011
Portable fire extinguishers	AS 2444 – 1995	08/02/2011

Date of Statement: 2/05/2011 Name: Philip Wheeler Signature: 

*action required

In accordance with Clauses 177 & 180 of the E.P. & A. Regulations 2000, the owner of the building must cause a copy of this Statement:

- to be forwarded to the Council and a copy (together with a copy of the current Fire Safety Schedule), to the Commissioner of the New South Wales Fire Brigades, Locked Bag 12, Greenacre, NSW, 2190.
- To be prominently displayed (together with a copy of the current Fire Safety Schedule), within the building.

Your provider does not endorse the submission of the annual fire safety statement until all deficiencies (if any) are rectified.

DESIGN STATEMENT - RETAIL
COMPLIANCE WITH THE BUILDING CODE OF AUSTRALIA (2011)

ADDRESS:	WOOLWORTHS MONA VALE, CAN BERTMAN ST + WARRATA ST, MONA VALE
PROJECT:	SUBSTANTIAL RENOVATION

1. Part D3 of the BCA requires access for people with disabilities to comply with AS 1428.1-2009 and AS 1428.4. (Please note if the applicant is not a part lessor of the building upgrade provisions may be applicable in accordance with AS1428.1-2009 and Access to Premises 2010.)
- 850mm clear openings for doorways
 - Increased circulation requirements in accordance with AS1428.1-2009.
 - Glazing-All frameless or fully glazed doors, side lights must be clearly marked in accordance with AS1428.1-2009.
 - Luminance contrast for doorways, doors and circulation space at doorways, will be provide in accordance with Clause 13.1 of AS1428.1-2009.
2. Specification C1.10 of the Building Code of Australia ("BCA") requires floors, walls and ceilings to comply with Group numbers, CRF values and smoke developed indices requirements as nominated in that part of the BCA.
3. Clause D2.21 of the BCA requires all door handles to ... "be readily operable without a key from the side that faces a person seeking egress, by a single hand downward action or pushing action on a single device which is located between 900mm and 1,100mm from the floor, except if it is fitted with a fail-safe device ..."
- Note: If fail safe devices are proposed then compliance with BCA D2.21 and D2.19 is required as applicable (FIP failsafe).
4. Part B1 of the BCA requires all glazing to comply with Australian Standard 1288 – 2006 and AS 2047 – 1999.
5. Clause D1.6 of the BCA requires all exits and paths of travel to an exit including spacing of shop fittings to have a minimum unobstructed width of 1m.
6. Part J6 of the BCA requires all artificial lighting and power to achieve compliance with the requirements of that part of the BCA, one part is to not exceed the maximum lamp power density of 18W/m2 (excluding lighting in display cabinet, signage and emergency lighting).
4. Boiling water and chilled water storage units will be placed on a time switch in accordance with Specification J6, & Clause J7.2 hot water in accordance with AS3500.4
5. All works are to comply with AS4674 – Design, Construction and Fitout of Food Premises
7. Note: Also switching zones, motion detection / timers for lighting and hot water billy unit requirements in Section J to be complied with.
- Accordingly, it is specified that for the proposed works at the above premises:
- All floor, wall and ceiling materials and linings will have fire hazard properties complying with Specification C1.10 of the BCA as applicable;
 - All door handles and locks will comply with Clause D2.21 of the BCA;
 - All glazing will comply with AS 1288-2006 and 2047; and
 - Disabled access, facilities and circulation space will comply with Part D3 of the BCA and AS1428.1-2009 and AS 1428.4;
 - All exits and paths of travel to an exit from any point on the floor will comply with Clause D1.6 of the BCA.
 - Artificial lighting has been designed to achieve compliance with Part J6 of the BCA.

Applicant Details:	
Name:	CHAS MOYLE
Company:	WOOLWORTHS LIMITED
Address:	PO BOX 8000, BRUKITTAM HILLS, NSW 2153
Signature:	Chas Moyle
	Date:

Levy Online Payment Receipt

LONG SERVICE
CORPORATION

Thank you for using our Levy Online payment system. Your payment for this building application has been processed.

Applicant Name:	WOOLWORTHS LTD
Levy Application Reference:	5025384
Application Type:	CDC
Application No.:	251937
Local Government Area/Government Authority:	WARRINGAH COUNCIL
Site Address:	CNR KEENAN & WARATAH ST
	MONA VALE
	NSW
	2103
Value Of Work:	\$122,000
Levy Due:	\$427
Levy Payment:	\$427
Online Payment Ref.:	645422183
Payment Date:	16/03/2012 4:15:49 PM

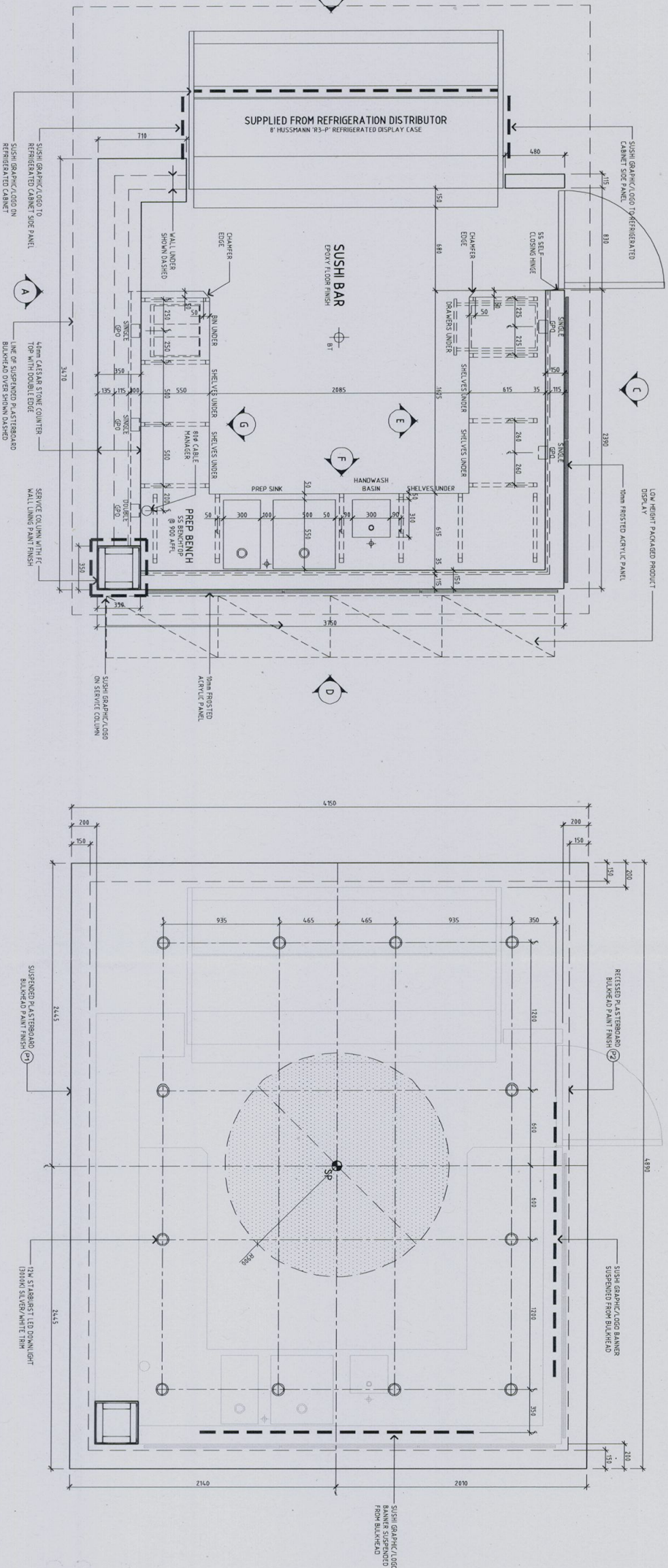
NOTE: 1. DIMENSIONS TO BE CHECKED ON SITE & AMEND PRIOR TO CONSTRUCTION
2. USE FIGURED DIMENSIONS ONLY, DO NOT SCALE
3. IF IN DOUBT ASK
4. ALL DIMENSIONS, DIMENSIONS AND SPOT LEVELS SUBJECT TO SURVEY PLAN

ISSUE	DATE	AMENDMENT
P1	11-11-17	PRELIMINARY ISSUE
P2	11-11-17	REVISED PRELIMINARY ISSUE

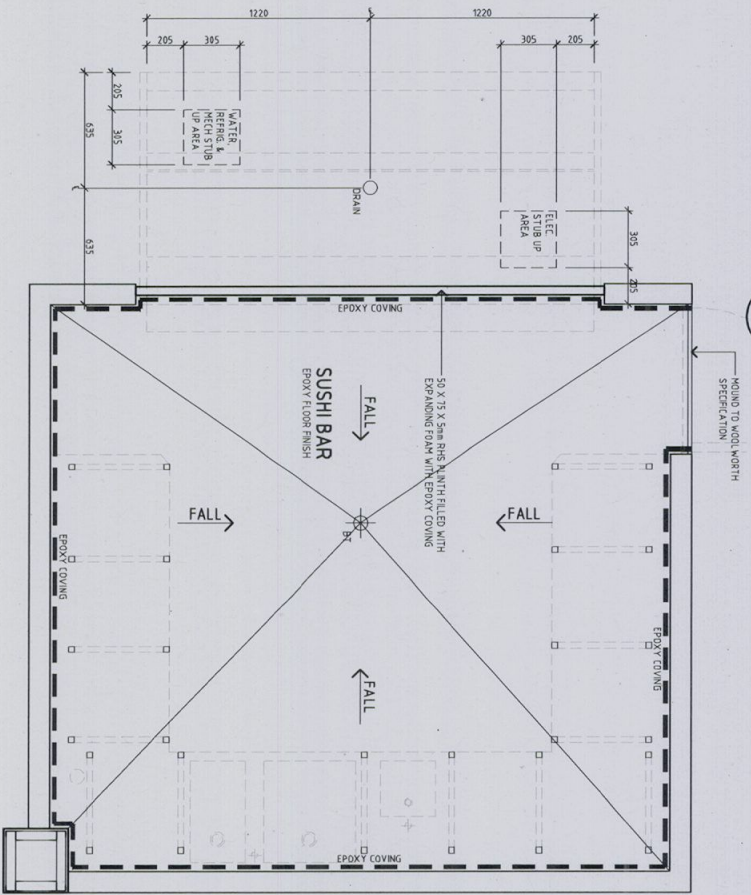
FINISHES SCHEDULE

- ① DOLLY BENSHEAR WHITE PLASTER
② MASH & WEAR LOW SPEN ACRYLIC
③ DOLLY RAWO POCKET
④ MASH & WEAR LOW SPEN ACRYLIC
⑤ DOLLY RED BOX TRAY
⑥ MASH & WEAR LOW SPEN ACRYLIC

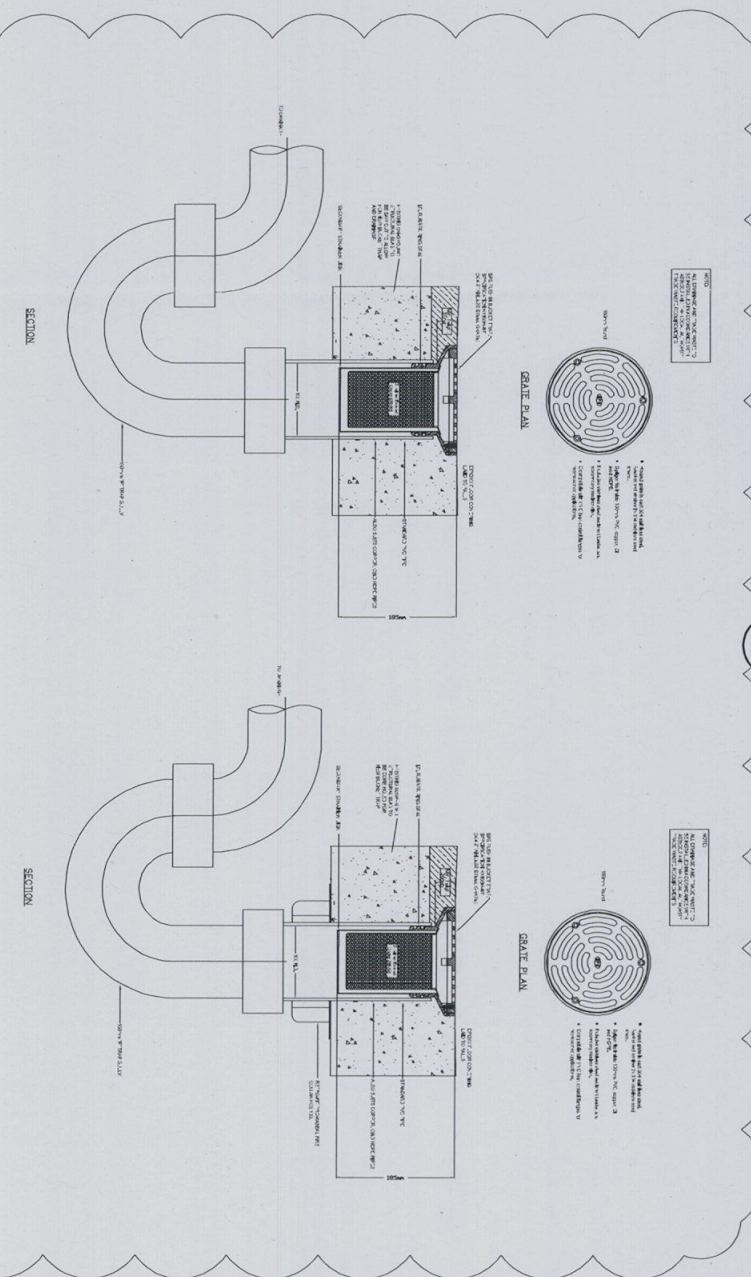
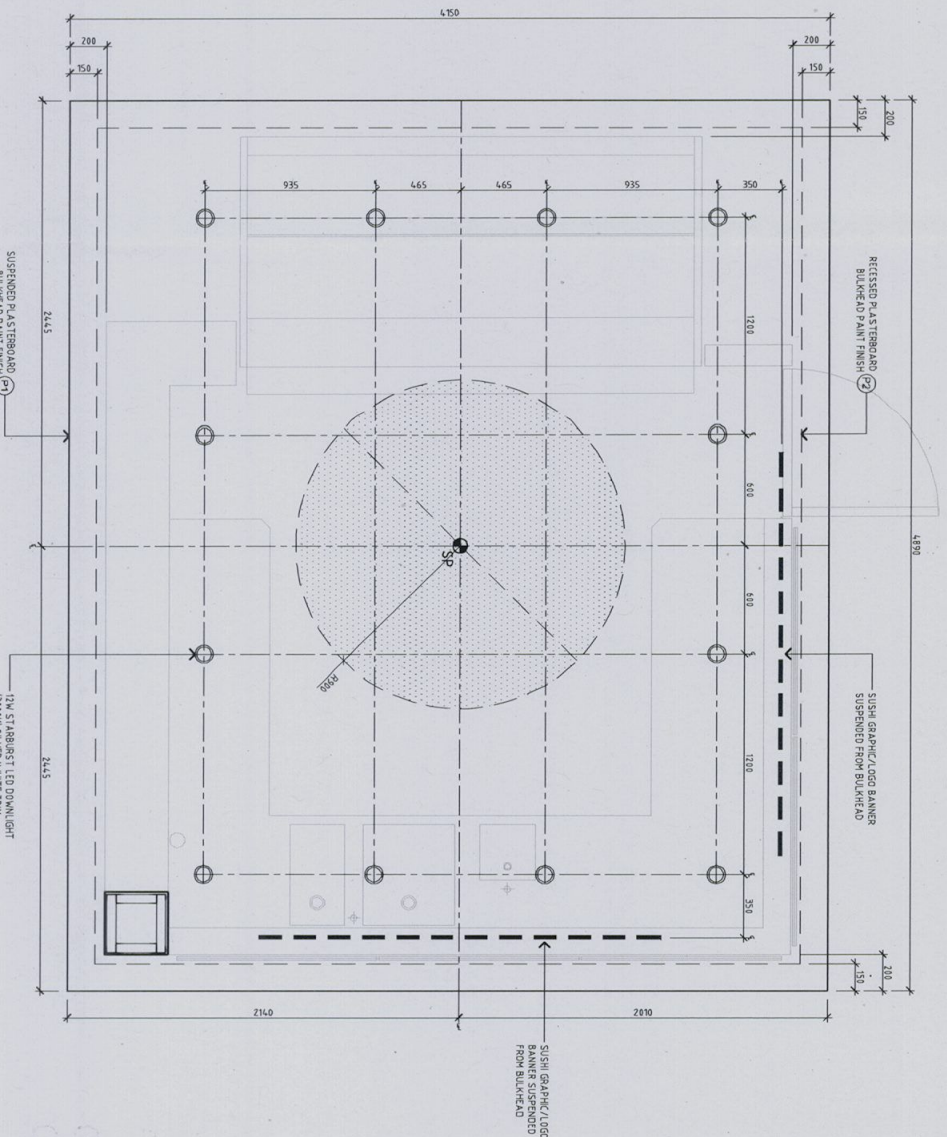
DAVIS LANCODON AUSTRALIA
This Drawing/Specification/Detail/
or Current/Conditions forms part of
Contracting Dev 2519937
Certificate NO: 2519937



FLOOR PLAN 1
SCALE: 1:20



REFLECTED CEILING PLAN 2
SCALE: 1:20



GENERIC

WOOL WORTHS PTY LTD

ARCHITECT
CHRISTIANSEN
BRIEN PTY LTD
11, 88 Adelaide Road
P 02 9439 8822
F 02 9439 8822
W www.ccsa.com.au

SUSHI BAR DETAILS SHEET 1 OF 3

SCALE	VARS & AT	200	500	REV
DATE	MAR 2017	-	GA01	P2

[illegible]

FINISHES SCHEDULE

- (P1) DULUX BERKSHIRE WHITE 'PCWC7'
WASH & WEAR LOW SHEEN ACRYLIC
- (P2) DULUX RAKU 'PGZ7'
WASH & WEAR LOW SHEEN ACRYLIC
- (P2) DULUX RED BOX 'P04H9'
WASH & WEAR LOW SHEEN ACRYLIC

DAVIS LANGDON AUSTRALIA

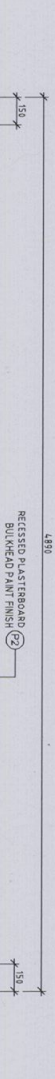
This Drawing/Specification/Detail/
Attachment/Conditions forms part of

Complying Development
Certificate No. **251957** 2. 3



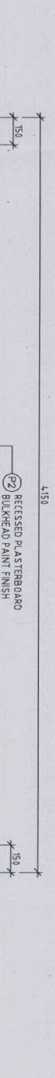
ELEVATION

SCALE: 1/20



ELEVATION

SCALE: 1/20



CHRISTIANSEN
O'BRIEN PTY LTD

WOOLWORTHS PTY LTD

PROJECT

GENERIC

TITLE
SUSHI BAR DETAILS
SHEET 2 OF 3

SCALE: VARIES @,
DATE: MAR 20
DRN: 4

A1	JOB:	DRG:
12	-	GA02
KK		

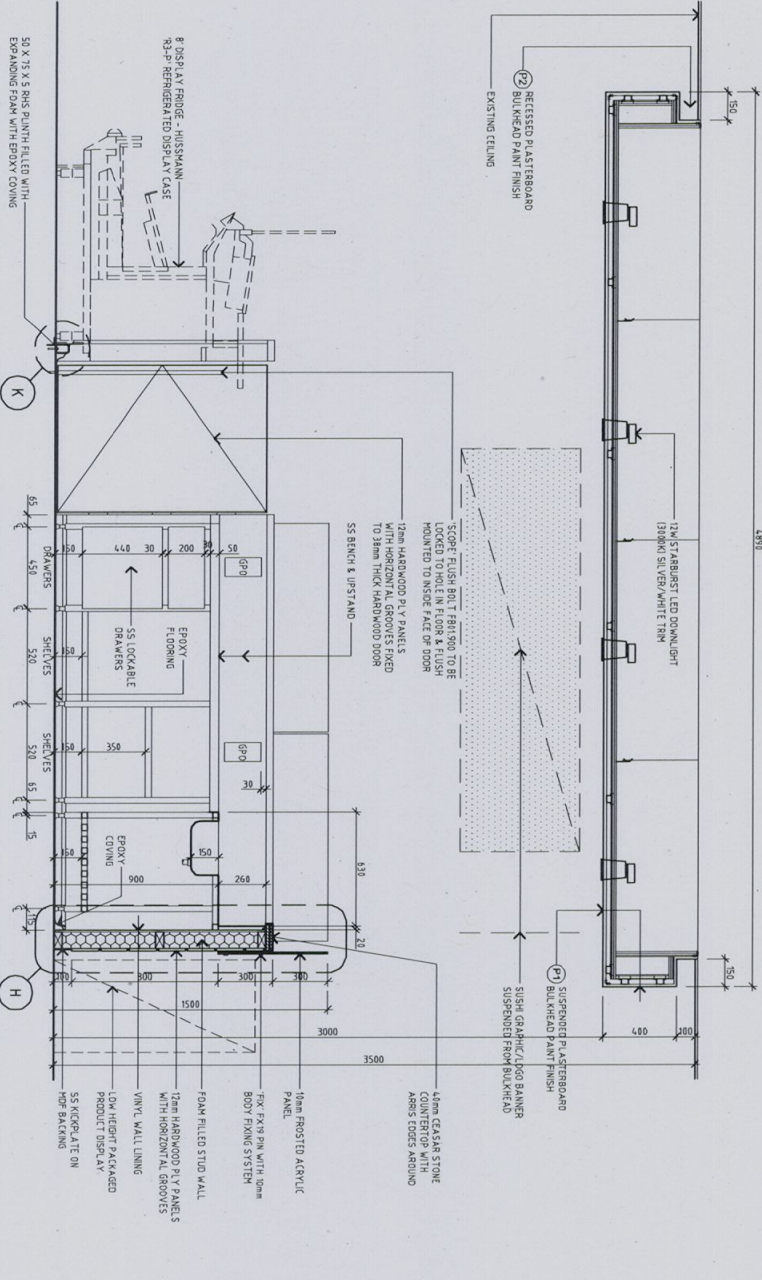
NOTE: 1. DIMENSIONS TO BE CHECKED ON SITE BY BUILDER PRIOR TO CONSTRUCTION.
2. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE STATED.
3. FINISHES TO BE AS SPECIFIED IN THE FINISHES SCHEDULE.
4. ALL BOUNDARIES, CONTIGUOUS AND SPOT LEVELS SUBJECT TO SURVEY PLAN.

ISSUE	DATE	AMENDMENT
P1	12-11-12	PRELIMINARY ISSUE

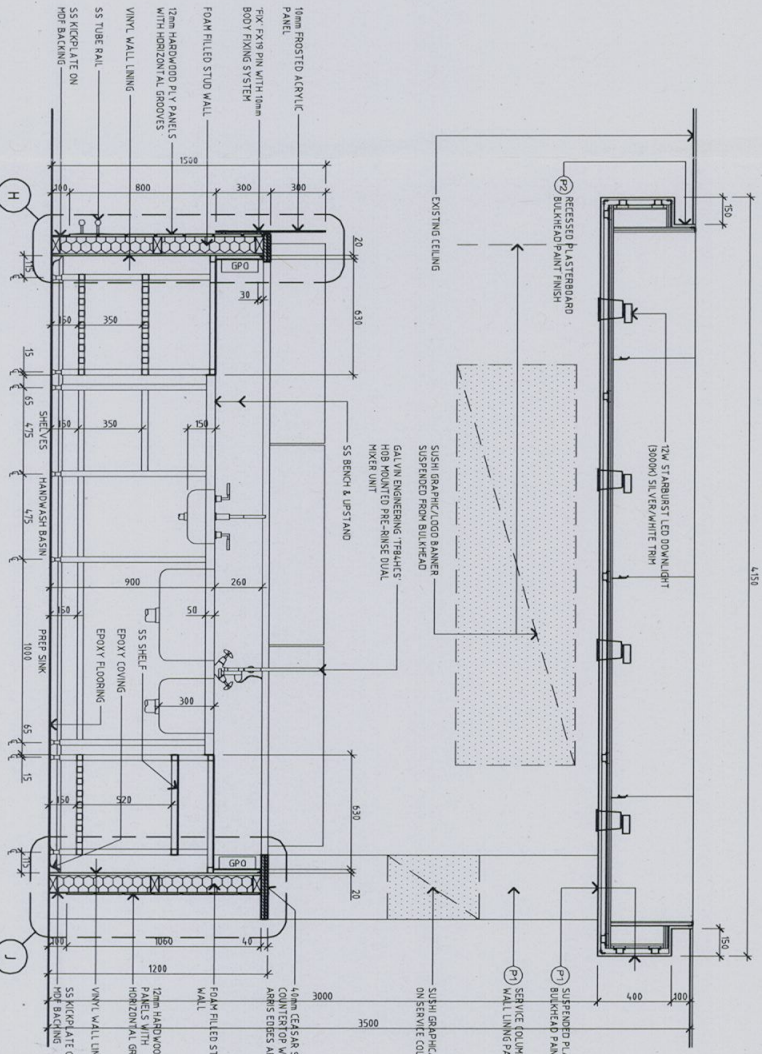
FINISHES SCHEDULE

- (P1) DILUX ACRYLIC WHITE STONE
(P2) DILUX RADIUM PROTECT
(P3) DILUX RADIUM PROTECT
(P4) DILUX RADIUM PROTECT
(P5) DILUX RADIUM PROTECT
(P6) DILUX RADIUM PROTECT
(P7) DILUX RADIUM PROTECT
(P8) DILUX RADIUM PROTECT
(P9) DILUX RADIUM PROTECT
(P10) DILUX RADIUM PROTECT

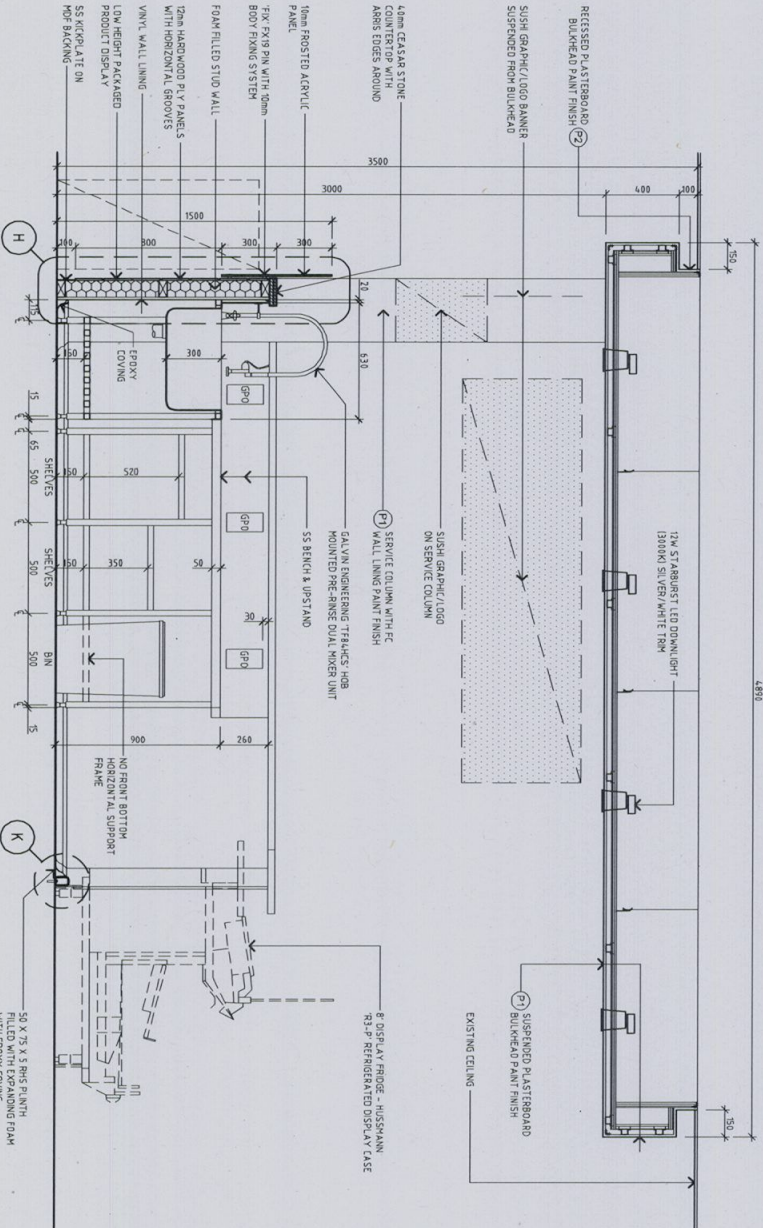
25/10/13 7 a.m.
Certificate No: 25/10/13 7 a.m.



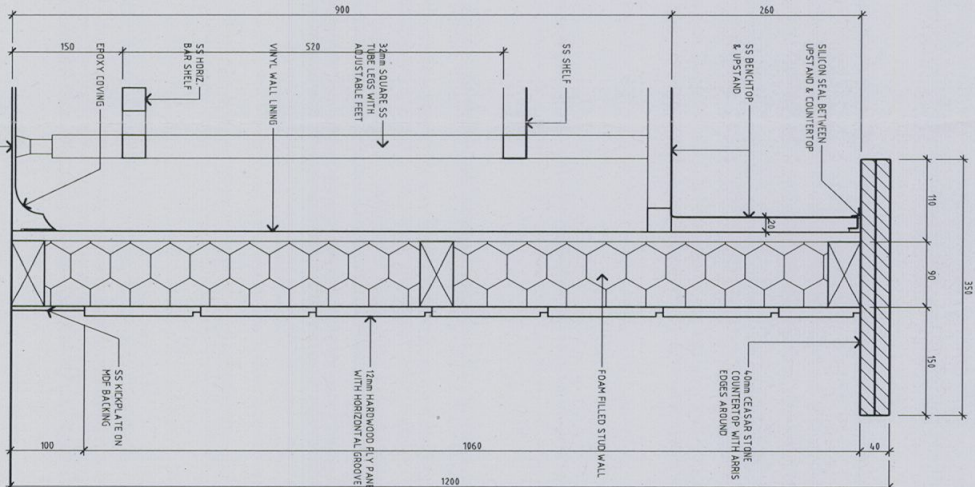
SECTION E
SCALE: 1/20



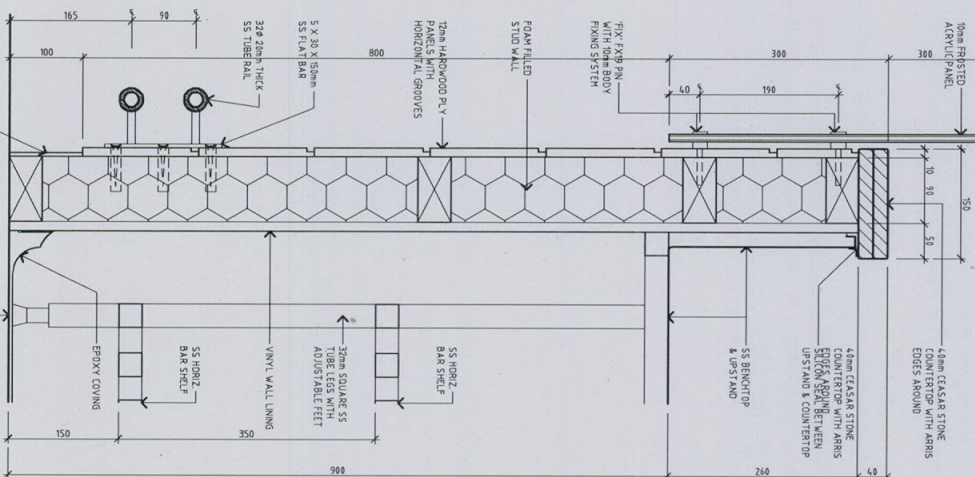
SECTION F
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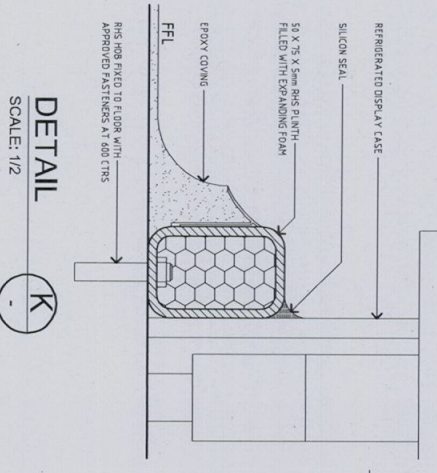
SECTION G
SCALE: 1/20



DETAIL H
SCALE: 1/5



DETAIL J
SCALE: 1/5



DETAIL K
SCALE: 1/2

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CLIENT:	WOOL WORTHS PTY LTD	
PROJECT:	GENERIC	
TITLE:	SUSHI BAR DETAILS SHEET 3 OF 3	
SCALE:	VARIES @ A1	DATE: MAR 2012
DRN:	KK	GA03 P1