PROPOSED ALTERATIONS AND ADDITIONS TO EXISTING DWELLING

3 WARATAH ROAD, PALM BEACH LOT 15 DP 651513

DEVELOPMENT APPLICATION NORTHERN BEACHES COUNCIL APPLICANT • STEPHEN AND SUSAN JONES



LOCATION PLAN NOT TO SCALE



two form pty Itd Nominated Architect Kristina Mitkovski NSW Reg No. 7998

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DA 02	DEMOLITION PLAN GROUND FLOOR	1:125
DA 03	DEMOLITION PLAN FIRST FLOOR	1:125
DA 04	ROOF PLAN	1:125
DA 05	GROUND FLOOR PLAN	1:100
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DA 07	NORTH WEST AND SOUTH WEST ELEVATIONS	1:100
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DA 09	SECTION 01 AND EXTERNAL FINISHES	1:100
DA 10	SHADOW DIAGRAMS	N/A
DA 11	BASIX CERTIFICATE	N/A
DA 12	SURVEY DRAWING PREPARED BY C&A SURVEYORS	1:200



LOCATION PLAN

SCALE N-A

AUG 2023

REVISION В

DATE

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REV. A B C	DATE 16.08.2023 20.09.2023 12.02.2024	DESCRIPTION ISSUED TO PLANNER FOR REVIEW ISSUED FOR DEVELOPMENT APPLICATION ROOF FALL AMENDED, EXTERNAL STAIR TO STUDIO DECK REMOVED	CHECKED KM KM	ABBREVIATIONS MATERIALS AND FINISHES AC AIR CONDITIONING AHD JN JOINERY LINEAR FLOOR WASTE AS AD ALUMINIUM DOOR PB PLASTERBOARD AS AUSTRALIAN HEIGHT DATUM AWINIGWINDOW LGF LOWER GROUND FLOOR AL ALUMINIUM WINDOW RC REINFORCED CONCRETE BB AWINIGWINDOW (N) NEW NEW BB BAGE GOARD S SLATE	- two f Nomi Repr
		STUDIO DEGR REMOVED	Λ ΙVI	BF BI-FOLD NCC NATIONAL CONSTRUCTION CODE (BCA) BICK ST STONE DB DOUBLE NGL NATIONAL CONSTRUCTION CODE (BCA) BMR BITUIMINOUS MEMBRANE T TIMBER DB DOUBLE NGL NATIRAL GROUND LEVEL BMR BITUIMINOUS MEMBRANE T TIMBER BATTEN DP DOWIPIPE NTS NOT TO SCALE CA CARPET T TIMBER DOOR EQ EQUAL RT ROOF TILE CA CARPET T TIMBER DOCR F FIXED SKL SK/L (GHT FB FASCLA BOARD & GROOVE FCL FINSHED CEILING LEVEL SL SLIDING DOR FC FIBRE CEMENT TUTC TLE - TERRACOTTA FF FIRST FLOOR SMK SMOKE ALARM G GLAZED TIMER DOOR TUF TILE - FLOOR FRL FINSHED FLOOR LEVEL V VENT MR METAL ROOF SHEETING WEATHEROARD GF GROUND FLOOR VOS VERIFY ON SITE <t< td=""><td>The comr for ir accu on th</td></t<>	The comr for ir accu on th

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REV.	DATE	DESCRIPTION	CHECKED	LEGEND	
A B	16.08.2023 20.09.2023	ISSUED TO PLANNER FOR REVIEW ISSUED FOR DEVELOPMENT APPLICATION	KM KM	ABBREVIATIONS MATERIALS AND FINISHES AC AIR CONDITIONING AND AUSTRALIAN HEIGHT DATUM AS JOINERY AUSTRALIAN HEIGHT DATUM AS JOINERY LINEAR FLOOR WASTE LGF AD ALUMINIUM DOOR ALUMINIUM WINDOW BB PB PLASTERBOARD REINFORCED CONCRETE AW AVISTRALIAN HEIGHT DATUM AS IN JOINERY LINEAR FLOOR WASTE AW AD ALUMINIUM DOOR ALUMINIUM WINDOW BB PB PLASTERBOARD REINFORCED CONCRETE BF BHOLD CN NATIONAL CONSTRUCTION CODE (BCA) N S SLATE DB DOUBLE NGL NATURAL GROUND LEVEL DP NCC NATURAL GROUND LEVEL CA CARPET T TIMBER BOOR T EQ EQUAL RT ROFING C CLEAR FINISH T TIMBER BOOR C C CARPET TO TIMBER BOOR T T EQ EQUAL RT ROFING F FINISH TMER PHORO KL SKULSKYLIGHT F F FASCIA BOADD & GROOVE AGROVE KG G GLAZED TIMBER DOOR TUF TUF TUF TUF TUF TUF TUF	F

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В



REV. DATE DESCRIPTION	CHECKED	LEGEND	fu
A 16.08.2023 ISSUED TO PLANNER FOR REVIEW B 20.09.2023 ISSUED FOR DEVELOPMENT APPLICATION	KM KM	ABBREVIATIONS MATERIALS AND FINISHES AC AIR CONDITIONING AUSTRALIAN HEIGHT DATUM AUSTRALIAN HEIGHT DATUM AS JOINERY LINEAR FLOOR WASTE AS AD ALUMINIUM DOOR AUMINIUM WINDOW AW PB PLASTERBOARD REINFORCED CONCRETE BF BF BI-FOLD LOF LOWER GROUND FLOOR NOCE (GRA) AU ALUMINIUM WINDOW BB R REINFORCED CONCRETE BK BRICK BF BI-FOLD NCC NATURAL GROUND LEVEL CODE (BCA) BK BRICK ST STORE DB DOUBLE NGL NATURAL GROUND LEVEL CA CARPET TIMBER BATTEN TIMBER DOOR CE EQUAL RT ROOF TILE CA CARPET TIMBER DOOR F FIXED SKL SK/LIGHT FB FB FB CAGADARD F FIXED SKL SK/LIGHT FB FB FAGADARD F FIXED CLUAL RT ROOF TILE CR CEMENT FENDER FC FINISHED FLOOR SMK SMOKE ALARM G GLAZED TIMBER DOOR K GROOVE FL <t< td=""><td>Re Re Th co fo ac or</td></t<>	Re Re Th co fo ac or

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	on third party origin information. All information should be verified in writing
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REV.	DATE	DESCRIPTION	CHECKED	L	EGEND						
А	16.08.2023	ISSUED TO PLANNER FOR REVIEW	KM	A	BBREVIATIONS			MAT	FERIALS AND FINISHE	S	
B C	20.09.2023 12.02.2024	ISSUED FOR DEVELOPMENT APPLICATION ROOF FALL AMENDED, EXTERNAL STAIR TO STUDIO DECK REMOVED	КМ	A(Ał Aś BF C C DE DE EC F F F	D AUSTRALIAN HEIGHT DATUM AUSTRALIAN STANDARD AWNING WINDOW BI-FOLD CASEMENT WINDOW DOUBLE DOWNPIPE EXISTING EQUAL FIXED	JN LFW LGF (N) NGL NGL NTS PV RTS SL SL SL	JOINERY LINEAR FLOOR WASTE LOWER GROUND FLOOR NEW NATIONAL CONSTRUCTION CODE (BCA) NATURAL GROUND LEVEL NOT TO SCALE PHOTO VOLTAICS ROOF TILE SKYLIGHT SLIDING DOOR SMOKE AL ARM	AD AL BB BK CA CCR FB C CR FC C	ALUMINIUM DOOR ALUMINIUM ALUMINIUM WINDOW BARGE BOARD BRICK BITUMINOUS MEMBRANE ROOFING CARPET CLEAR FINISH CEMENT RENDER FASCIA BOARD FIBRE CEMENT GI AZED	PB RC S ST TDK TDK T & G TL/TC	PLAS REND SLATI STON TIMBI TIMBI TIMBI & GR TIMBI





KM	ABB	REVIATIONS			MAT	ERIALS AND FINISHE	S	
KM KM	ACHD AS AW BF CDB DP (E) EQ F FCL FFLL GF	AIR CONDITIONING AUSTRALIAN HEIGHT DATUM AUSTRALIAN STANDARD AWNING WINDOW BI-FOLD OUBLE DOWPIPE EXISTING EQUAL FIXED FINISHED CEILING LEVEL FINISHED REDUCED LEVEL FINISHED FROOR FINISHED FROOR EVEL GROUND FLOOR	JN LFW LGF (N) NCC NTS PV RT SKL SL SMK TOG V VOS	JOINERY LINEAR FLOOR WASTE LOWER GROUND FLOOR NEW NATIORAL CONSTRUCTION CODE (BCA) NATURAL GROUND LEVEL NOT TO SCALE PHOTO VOLTAICS ROOF TILE SKYLIGHT SLIDING DOOR SMOKE ALARM TOP OF GUTTER VERIFY ON SITE	AD AL AW BB BK BMR CA CL CR FB GD GD MRS PAV	ALUMINIUM DOOR ALUMINIUM WINDOW BARGE BOARD BRICK BITUMINOUS MEMBRANE ROOFING CARPET CLEAR FINISH CEMENT RENDER FASCIA BOARD FIBRE CEMENT GLAZED TIMBER DOOR METAL ROOF SHEETING PAVING	PB RC S T T T D T D T D K G T L/T C T W T L/F WB Z RS	PLASTERBOARD RENDERED SLATE SLATE STONE TIMBER BATTEN TIMBER BATTEN TIMBER DOCK TIMBER DOCKING TIMBER DOCKING TIMBER TONGUE & GROOVE TILE - TERRACOTTA TIMBER WINDOW TILE - PLOOR WEATHERBOARD VITRIFIED TILE ZINC ROOF SHEETING



SOUTH- WEST ELEVATION SCALE 1:100

LEGEND

AC AHD AS AW BF CS DB DP

FCL FF FFL FRL GF

ABBREVIATIONS

D AUSTRALIAN HEIGHT DAT AUSTRALIAN HEIGHT DAT AUSTRALIAN STANDARD BLFOLD DUBLE DUBLE

LFW LGF

NCC

NGL NTS PV RT

SKL SL SMK TOG V VOS

CHECKED

KΜ

KM

KΜ

REV. DATE

С

16.08.2023

20.09.2023

12.02.2024

DESCRIPTION

ISSUED TO PLANNER FOR REVIEW

STUDIO DECK REMOVED

ISSUED FOR DEVELOPMENT APPLICATION

ROOF PITCH AMENDED, EXTERNAL STAIR TO

EXISTING DWELLING UNALTERED SHADED AREA DENOTES NEW WORK

PB PLASTERBOARD R RENDERED RC REINFORCED CONCRETE S SLATE ST STONE T IMBER BATTEN TD TIMBER DOOR TDK TIMBER DOOR T&G TIMBER TONGUE & GROOVE TL/TC TILE - TERRACOTTA TW TIMBER WINDOW TL/F TILE - RLOR WB WEATHERBOARD VT VITRIFIED TILE ZRS ZINC ROOF SHEETING

MATERIALS AND FINISHES

ALUMINIUM DOOR ALUMINIUM ALUMINIUM WINDOW BARGE BOARD BRICK BITUMINOUS MEMBRANE ROOFING CARPET CLEAR FINISH CEMENT RENDER FASCIA BOARD FIBRE CEMENT GLAZED TIMBER DOOR METAL ROOF SHEETING PANTNG

JOINERY AD LINEAR FLOOR WASTE LOWER GROUND FLOOR AW NEW BB NATIONAL CONSTRUCTION CODE (BCA) BMR NATURAL GROUND LEVEL NOT TO SCALE CA PHOTO VOLTAICS CL ROOF TILE CR SYLLIGHT FB SLIDING DOOR FC SWOKE ALARM G TOP OF GUTTER GD VENT WRS

FB FC GD MRS P PAV

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terations and Additions tificate number: A505299

REV. DATE

С

16.08.2023

20.09.2023

12.02.2024

DESCRIPTION

ISSUED TO PLANNER FOR REVIEW

STUDIO DECK REMOVED

ISSUED FOR DEVELOPMENT APPLICATION

ROOF PITCH AMENDED, EXTERNAL STAIR TO

Fixtures and systems				Show on Certifier CC/CDC Check Plans & specs	Glazing re						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check	Glazing						Show on CC/CDC Plans & specs	Certifier Check
Lighting					Windows a	and glazed o	doors							Skylights	3						
The applicant must ensure a minimum of 40% light-emitting-diode (LED) lamps.	of new or altered light fixtures are fitted with fluo	prescent, compact fluorescent, or		✓ ✓	The applica Relevant ov	nt must install vershadowing s	the windows, specifications	glazed doors and must be satisfied	d shading devices, in accordance wi I for each window and glazed door.	th the specifications listed in the table below.	~	~	~			lights in accordance with the also be satisfied in relation to		d in the table below.	~	× .	1
Fixtures					The followin	ng requirement	is must also b	e satisfied in rela	tion to each window and glazed doo	r.		~	~		o 1		, .			¥.	× .
The applicant must ensure new or altered sho	owerheads have a flow rate no greater than 9 litre	s per minute or a 3 star water rating.		✓ ✓	Each windo	w or glazed do	oor with stand ar Heat Gain (ard aluminium or Coefficient (SHG)	timber frames and single clear or to C) no greater than that listed in the t	ned glass may either match the description, or, able below. Total system U-values and SHGCs		~	~	the table b		ie description, or, have a U-v	alue and a Solar H	eat Gain Coefficient (SHGC) no greater than that listed in		~	×
The applicant must ensure new or altered toile	ets have a flow rate no greater than 4 litres per av	verage flush or a minimum 3 star water rating.		V V	must be cal	culated in acco	ordance with I	National Fenestra	tion Rating Council (NFRC) condition	ns.				Skylight	ts glazing requirem	nents					i.
	s have a flow rate no greater than 9 litres per min	ute or minimum 3 star water rating.		~	For projection above the h	ons described lead of the win	in millimetres dow or glazed	, the leading edge d door and no mo	e of each eave, pergola, verandah, b re than 2400 mm above the sill.	alcony or awning must be no more than 500 mm	~	~	~	Skylight n	number Area of glazing inc. frame (m2			Frame and glass type			1
Construction			Show on DA Plans	Show on Certifier CC/CDC Check	Pergolas wi	th polycarbona	ate roof or sim	ilar translucent m	naterial must have a shading coeffici	ent of less than 0.35.		×	~	SK01_En	ns 1.5	no shading		timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)			
				Plans & specs					the window or glazed door above w attens must not be more than 50 mm	hich they are situated, unless the pergola also		~	~	Legend							
Insulation requirements					- · ·			zing requiren			-			In these co	ommitments, "applicant"	means the person carrying of	out the developmen	nt.			
The applicant must construct the new or altere the table below, except that a) additional insul is not required for parts of altered construction	ed construction (floor(s), walls, and ceilings/roofs lation is not required where the area of new cons n where insulation already exists.) in accordance with the specifications listed in truction is less than 2m2, b) insulation specified	- ×	✓ ✓					Shading device	Frame and glass type						" in the "Show on DA plans" odged for the proposed devel		own on the plans accompanying the development application	n for the propos	ed developn	nent (if a
Construction	Additional insulation required (R-value)	Other specifications					(m2)											mn must be shown in the plans and specifications accompan	ying the applica	ation for a co	nstruction
concrete slab on ground floor.	nil				D01	NE	8.65	0 0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)				certificate /	/ complying development	nt certificate for the proposed	I development.				
suspended floor above garage: framed (R0.7).	nil				D02	SE	5.94	0 0	eave/verandah/pergola/balcony >=450 mm	v standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)					ents identified with a "√" ent may be issued.	" in the "Certifier check" colu	mn must be certifie	d by a certifying authority as having been fulfilled, before a fi	nal occupation	certificate fo	the
floor above existing dwelling or building.	nil				W01	SE	0.84	0 0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			l								
external wall: brick veneer	R1.16 (or R1.70 including construction)				W02	SE	2.11	0 0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)											
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				W03	NE	2.11	0 0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)											
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)									1										





С NORTH - EAST ELEVATION SCALE 1:100

EXISTING DWELLING UNALTERED

SHADED AREA DENOTES NEW WORK

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	1	

CHECKED

KM

KM

KM

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8.5M MAXIMUM BUILDING HEIGHT

LEGEND ABBREVIATIONS		MATERIALS AND FINISHES	
AC AIR CONDITIONING AHD AUSTRALIAN HEIGHT DATUM AS AUSTRALIAN HEIGHT DATUM AW AWNING WINDOW BF BI-FOLD CS CASEMENT WINDOW DB DOUBLE DP DOWNPIPE IE() EXISTING EQ EQUAL F FXED FCL FINISHED CEILING LEVEL FF FIRST FLOOR FFL FINISHED FLOOR LEVEL GF GROUND FLOOR	JN JOINERY LFW LINEAR FLOOR WASTE LGF LOWRE GROUND FLOOR (N) NEW NCC NATIONAL CONSTRUCTION CODE (BCA) NGL NATURAL GROUND LEVEL NTS NOT TO SCALE PV PHOTO VOLTAICS RT ROOF TILE SL SLUDING DOOR SLUDING DOOR SLUDING DOOR SMK SMOKE ALARM TOG TOP OF GUTTER V VERIFY ON SITE	AD ALUMINIUM DOOR PB AL ALUMINIUM WINDOW RC BB BARGE BOARD SC BK BRICK ST BMR BITUMINOUS MEMBRANE T CA CARPET TD CL CLEAR FINISH TOK CR CEMENT RENDER T& CA CARPET TO CL CLEAR FINISH TOK CC FIBRE CEMENT TUT G GLAZED TUMBER DOOR TUF G GLAZED TUMBER DOOR TUF MIRS METAL ROOF SHEETING WB P P AINTED VT PAV PAVING ZRS	G TIMBER TONGUE & GROOVE C TILE - TERRACOTTA TIMBER WINDOW TILE - FLOOR WEATHERBOARD VITRIFIED TILE

EXISTING WINDOW TO BATHROOM TO BE REMOVED
AND WALL MADE GOOD FOR NEW RENDER AND
PAINT FINISH TO MATCH EXISTING WALLS



two form **ARCHITECTURE + INTERIOR DESIGN** Suite 203 level 2 34 Charles Street Paramatta NSW 2150 p 02 9098 8921 e info@twoform.com.au twoform.com.au

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SOUTH EAST ELEVATIONS





REV.	DATE	DESCRIPTION	CHECKED	ED LEGEND ABBREVIATIONS MATERIALS AND FINISHES	- two fo
A B C	16.08.2023 20.09.2023 12.02.2024	ISSUED TO PLANNER FOR REVIEW ISSUED FOR DEVELOPMENT APPLICATION ROOF PITCH AMENDED, EXTERNAL STAIR TO STUDIO DECK REMOVED	KM KM KM	AC AIR CONDITIONING AUSTRALIAN FEIGHT DATUM JOINERY LINEAR FLOOR WASTE AS ALUMINUM DOOR AUSTRALIAN STANDARD PB PLASTERBOARD AF AUSTRALIAN STANDARD LGF LOWER GROUND FLOOR AL ALUMINUM MNDOW R REINFORCED CONCRETE AW AUSTRALIAN STANDARD LGF LOWER GROUND FLOOR AL ALUMINUM MNDOW RC REINFORCED CONCRETE BF BLFOLD NCC NCC REINFORCED CONCRETE AW ALUMINUM WNDOW RC REINFORCED CONCRETE DB DOUBLE NCC NCC CASTERED ST STONE STONE DB DOUBLE NCC NATURAL GROUND LEVEL BMR BITUMINOUS MEMBRANE T TIMBER DP DOUNNEPIPE NTS NOT TO SCALE CA CARPET T TIMBER DOOR EQ EQUAL RT ROOF TILE CR CARPET T TIMBER DOOR F FIXED SKYLIGHT FE FB FASCA BOARD XG TIMBER TONGUE XG GOOVE XG GOVE	 Nomina Reprod The Co comme for inst accura on third

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		Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check				
e with the specifications listed in	n the table below.	×	~	~				
relation to each skylight:			~	✓				
have a U-value and a Solar Hea	t Gain Coefficient (SHGC) no greater than that listed in		\checkmark	~				
	Frame and glass type							
	timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)							
n carrying out the development.								
DA plans* column must be shown on the plans accompanying the development application for the proposed development (if a osed development).								
CCICDC plans & specs* column must be shown in the plans and specifications accompanying the application for a construction proposed development.								
heck" column must be certified	by a certifying authority as having been fulfilled, before a fin	al occupatior	o certificate fo	or the				

EXTERNAL RENDERED	

WALL PAINT COLOUR

POWDERCOAT COLOUR TO NEW DOOR AND WINDOW FRAMES



STONE TILE TO NEW STUDIO DECK AND NEW STAIR

NEW SHEET METAL ROOFING AND RAINWATER ACCESSORIES



SECTION SCALE 1:100



AUG 2023 SCALE

1:100 AT A2

REVISION

С

DATE







CHECKED KM		i end Breviations			MAT	ERIALS AND FINISHE	S	
КМ	ACHD ACHASS BCC BC BC BC BC BC FC FF FFR FFR FFR FFR FFR FFR FFR FFR	AIR CONDITIONING AUSTRALIAN HEIGHT DATUM AUSTRALIAN STANDARD AWNING WINDOW BI-FOLD DOUBLE DOWNPIPE EXISTING EQUAL EXISTING EQUAL FINISHED CEILING LEVEL FINISHED RELOOR FINISHED RELOOR FINISHED RELOOR FINISHED RELOOR	JN LFW LGF (N) NCC NGL NTS PV RT SKL SL SMK TOG V VOS	JOINERY LINEAR FLOOR WASTE LOWER ROUND FLOOR NEW NATIONAL CONSTRUCTION CODE (BCA) NATURAL GROUND LEVEL NOT TO SCALE PHOTO VOLTAICS ROOF TILE SKYLIGHT SLIDING DOOR SWOKE ALARM TOP OF GUTTER VENT VERIFY ON SITE	AD AL AW BB BK BMR CA CCR FB FC GD MRS P AV	ALUMINIUM DOOR ALUMINIUM WINDOW BARGE BOARD BRICK BITUMINOUS MEMBRANE ROOFING CARPET CLEAR FINISH CEMENT RENDER FASCIA BOARD FIBRE CEMENT GLAZED GLAZED TIMBER DOOR METAL ROOF SHEETING PAVING	PB RC S T T D T D K G T L/TC T W T L/F WB Z RS	PLASTERBOARD RENDERED SLATE SLATE STONE TIMBER BATTEN TIMBER BATTEN TIMBER BATTEN TIMBER DECKING TIMBER TONGUE & GROOVE TILE - TERRACOTTA TIMBER WINDOW TILE - FLOOR WEATHERBOARD VITRIFIED TILE ZINC ROOF SHFETING

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JUNE 21 9AM

- - - - - EXISTING SHADOWS ----- PROPOSED SHADOWS

JUNE 21 12PM

- - - - - EXISTING SHADOWS

----- PROPOSED SHADOWS

JUNE 21 3PM

STEPHEN AND SUSAN JONES

CLIENT

– – – – – EXISTING SHADOWS ----- PROPOSED SHADOWS



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	•
PROJECT	DRAWING STAGE
ALTERATIONS AND ADDITION TO EXISTING DWELLING	DEVELOPMENT APPLICATION
3 WARATAH ROAD, PALM BEACH LOT 15 DP 651513	
DRAWING NAME	DRAWING NUMBER
	22 026 AP DA 10

SHADOW DIAGRAMS

22 026 AR **DA 10**

REVISION

В

DATE

SCALE

N-A

AUG 2023

	page 1 / 6	BASIX Certificate number: A505299
BASIX [°] Certificate	Project address Project name Alt & add @ 3 Waratah Road Palm Beach Street address 3 Waratah Road Palm Beach 2108 Local Government Area Northern Beaches Council Plan type and number Deposited Plan 651513	Fixtures and systems
Alterations and Additions Certificate number: A505299 This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au Secretary Date of issue: Monday, 11, September 2023 To be valid, this certificate must be lodged within 3 months of the date of issue.	Local Government Area Northern Beaches Council Plan type and number Deposited Plan 651513 Lot number 15 Section number - Project type Deparate dwelling house Type of alteration and addition My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).	Lighting The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compactinght-emitting-diode (LED) lamps. Fixtures The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum
Industry & Environment	Certificate Prepared by (please complete before submitting to Council or PCA) Name / Company Name: Ecoplus Consultants Pty Ltd ABN (if applicable): 16645179013	Planning, Industry & Environment

cations mus t also be sa h standard a t Gain Coef e with Natic imetres, the r glazed doo of or similar t t have batte . The spacin	t be satisfied for ear isfied in relation to luminium or timber icient (SHGC) no g nal Fenestration R leading edge of ear or and no more than ranslucent material ns parallel to the w	ach window and glazed door. each window and glazed door: r frames and single clear or toned greater than that listed in the table tating Council (NFRC) conditions. ach eave, pergola, verandah, balc n 2400 mm above the sill. Il must have a shading coefficient	cony or awning must be no more than 500 mm	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check	Skylights The applica The followir Each skylig the table be Skylights	ng requirements mus ht may either match elow. s glazing require mber Area of glazi inc. frame (n	t also be satisfied in relation to ea the description, or, have a U-value ments ing Shading device	ue and a Solar Heat Gain Coefficient (SHGC) no greater
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ea of Over uss Heig t. (m) me 2)	shadowing S nt Distance (m)	Shading device	Frame and glass type							
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			Bui	lding Sustainab	ility Index www.l	basix.nsw.gov.au	u Planning, Indus	try & Environment		
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REV. DATE	DESCRIPTION	CHECKED	LEGEND ABBREVIATIONS MATERIALS AND FINISHES
A 16.08.2023	ISSUED TO PLANNER FOR REVIEW	KM	
B 20.09.202	ISSUED FOR DEVELOPMENT APPLICATION	КМ	AC AIC CONDITIONING JN JOINERY AH ALJINTULIAN HEIGHT DATUM LEW LINEAR FLOOR WASTE AUSTRALIAN HEIGHT DATUM LEW LINEAR FLOOR WASTE AW AUSTRALIAN STANDARD LGF AW MAINING WINDOW IN BF BLFOLD CODE (BCA) C CASEMENT WINDOW NCC DB DOUBLE NGL DP DOWNPPE NGL DP DOWNPPE NGL DP DOWNPPE NGL C CASEMENT WINDOW NGL DP DOWNPPE NGL DP DOWNPPE NGL C EQUAL RT ROOF TILE C F FLODR F FLODR F SKL SKL SKLIGHT G GAZED F FLOOR F FLODR F FLODR F SML SUDING COR F SML SUDING COR F FLODR F SML F FLODR F FLOR F <t< td=""></t<>

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The Contractor shall confirm on site existing dimensions and conditions before commencement of works. All discrepancies should be reported to the Architect for instructions. Two Form does not accept responsibility for the dimensional accuracy of any data contained in CAD or other attachments as it may be based on third party origin information. All information should be verified in writing

			page 2 / 6	BASIX Certificate number: A505299					page 3 / 6
	DA Plans	Show on CC/CDC Plans & specs	Certifier Check	Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
				Insulation requirements					
ct fluorescent, or		~	~	The applicant must construct the new or alter the table below, except that a) additional insu is not required for parts of altered construction	ed construction (floor(s), walls, and ceilings/roofs) lation is not required where the area of new const n where insulation already exists.	in accordance with the specifications listed in ruction is less than 2m2, b) insulation specified	d 🗸	~	~
a 3 star water rating.		✓	×	Construction	Additional insulation required (R-value)	Other specifications			
minimum 3 star water rating.		~	~	concrete slab on ground floor.	nil				
3 star water rating.		√		suspended floor above garage: framed (R0.7).	nil				
				floor above existing dwelling or building.	nil				
				external wall: brick veneer	R1.16 (or R1.70 including construction)				
				external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				
				flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)			
Bui	lding Sustainability	/ Index www.b	asix.nsw.gov.au	Planning, Industry & Environment		E	Building Sustainabi	lity Index www.	basix.nsw.gov.





Check and verify all dimensions on sile and refer any errors and/or omissions to the Architect before proceeding further. Do not scale off the drawings. Drawings shall not be used for construction purposes until sissed by the Architect for such purpose. For explanation of abbreviations and symbols refer to appropriate legends. © Copyright TWO FORM PTY LTD

CLIENT		DATE
STEPHEN AND SUSAN JONES		AUG 2023
PROJECT	DRAWING STAGE	SCALE
ALTERATIONS AND ADDITION TO EXISTING DWELLING 3 WARATAH ROAD, PALM BEACH LOT 15 DP 651513	DEVELOPMENT APPLICATION	N/A
DRAWING NAME	DRAWING NUMBER	REVISION
BASIX CERTIFICATE NO. A505299 PREPARED BY ECOPLUS CONSULTANTS	22 026 AR DA 11	В



REV. A	DATE 16.08.2023	DESCRIPTION ISSUED TO PLANNER FOR REVIEW	CHECKED KM		GEND BREVIATIONS			MA	TERIALS AND FINISHE	S		two form pty la
B C	20.09.2023 29.09.2023	ISSUED FOR DEVELOPMENT APPLICATION ADDITIONAL INFORMATION SHOWN - ISSUED FOR DA	КМ	ACH AS AW BF CDB DP (E) EQ FCL FFL FRL GF	AIR CONDITIONING AUSTRALIAN HEIGHT DATUM AUSTRALIAN STANDARD AUSTRALIAN STANDARD BI-FOLD CASEMENT WINDOW DOUBLE DOWNPIPE EXISTING EQUAL FIXED FINISHED CEILING LEVEL FINISHED COR LEVEL FINISHED FLOOR FINISHED FLOOR	JN LFW LGF NCC NTS PV RTS SL KKL SMK V VOS	JOINERY LINEAR FLOOR WASTE LOWER GROUND FLOOR NEW NATIONAL CONSTRUCTION CODE (BCA) NATURAL GROUND LEVEL NOT TO SCALE PHOTO VOLTAICS ROOF TILE SUDING DOOR SUDING DOOR SUDING DOOR SUDING DOOR SUDING DOOR SUDING DOOR SUDING DOOR SUDIE ALARM TOP OF GUTTER VENIT VERIFY ON SITE	AD AL BB BK CA CL CR FB FC GD MRS PAV	ALUMINIUM DOOR ALUMINIUM ALUMINIUM WINDOW BARGE BOARD BRICK BTUMINOUS MEMBRANE ROOFING CLEAR FINISH CEMENT RENDER FASCIA BOARD FIBRE CEMENT GLAZED GLAZED TIMBER DOOR METAL ROOF SHEETING PAVING		PLASTERBOARD RENDERED SLATE STONE TIMBER BATTEN TIMBER BATTEN TIMBER DECKING TIMBER DECKING TIMBER DECKING TIMBER TONGUE & GROOVE TILE - TERRACOTTA TIMBER WINDOW TILE - FLOOR WEATHERBOAD VITRIFED TILE ZINC GROOF SHEETING	Reproduction of The Contractor commencement for instructions accuracy of any on third party of

y Itd Architect Kristina Mitkovski NSW Reg No. 7998

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ctor shall confirm on site existing dimensions and conditions before ment of works. All discrepancies should be reported to the Architect ons. Two Form does not accept responsibility for the dimensional accuracy of any data contained in CAD or other attachments as it may be based on third party origin information. All information should be verified in writing



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GENERAL NOTES

All work to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Local Authorities Regulations and all other relevant Authorities concerned. All structural work and site drainage to be subject to Engineer's details or certification where required by Council. This shall include r.c. slabs and footings, r.c. and steel beams & columns, wind bracing to AS 1170 and AS4055, anchor rods or bolts, tie downs, fixings etc., driveway slabs and drainage to Council's satisfaction. All timbers to be in accordance with SAA Timber Structure Code AS1720 and SAA Timber Framing Code AS 1684. All work to be carried out in a professional and workman- shiplike manner according to the plans and specification. NOTĖ

Do not scale off the drawings unless otherwise stated and use figured dimensions in preference. All dimensions are to be checked and verified on site before the commencement of any work, all dimensions and levels are subject to final survey and set-out No responsibility will be accepted by Sitedesign for any variations in design, builder's method of construction or materials used, deviation from specification without permission or accepted work practices resulting in inferior construction. Locate and protect all services prior to construction. COPYRIGHT CLAUSE This drawing and design is the property of Sitedesign and should not be reproduced either in part or whole without the written consent of this firm.



SITE CALCULATION

SITE AREA OF BLOCK = 1192 sqm

Total Existing Landscape Area =430 sqm = 36.07% of Site Area

Total Proposed Landscape Area =446 sqm = 37.42% of Site Area

Minimal landscape area of site = 60%

Project **PROPOSED ALTERATIONS AND ADDITION TO EXISTING DWELLING** Address **3 WARATAH ROAD, PALM BEACH LOT 15 DP 651513**

Drawing Title LANDSCAPE AREA CALCULATION

SYDNEY NORTH STUDIO PO Box 265 SEAFORTH NSW 2092 0417685846 p 1300 22 44 55 info@sdstudios.com.au www.sdstudios.com.au

LEGEND

EXISTING LANDSCAPED AREAS

PROPOSED LANDSCAPED AREAS

EXISTING RESIDENCE

EXISTING DRIVEWAY AND OTHER HARD MATERIALS

EXISTING TREE LEGEND







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creating places to live in and enjoy

Drawing No.**1489**









AS SELECTED PAVING
TURF
DEEP SOIL GARDENS
EXISTING PLANTING
EXISTING POOL
PROPOSED BUILDING
AS SELECTED TILES
AS SELECTED TILES
EXISTING DRIVEWAY AND







Plant List	Botanical Name	Common Name		Mature Height	Mature Spread	Qty
ID			Scheduled Size			
Trees						
Shrubs						
rap-exc	Raphis excelsa	Lady Palm	300mm	3 - 5m	2.0 - 3.5m	9
Ros-off	Rosmarinus officinalis	Rosemary	200mm	1.5 - 3m	1.2 - 2.0m	7
Ground Covers						
wes-lh'	Westringia 'low horizon'	coastal rosmary	200mm	0.4m	0.8m	26
Grasses						
Dia-cae	Dianella caerulea	Blue Flax-lily	150mm	0.4m	0.6m	26
asp-aus	Asplenium australasicum	Birds Nest Fern	150mm	1m	1.2m	3
doo-asp	Doodia aspera	Rasp Fern	150mm	0.3	1m	67





steel beams & columns, wind bracing to AS 1170 and AS4055, anchor rods or bolts, tie downs, fixings etc., driveway slabs and drainage to Council's satisfaction. All timbers to be in accordance with SAA Timber Structure Code AS1720 and SAA Timber Framing Code AS 1684. All work to be carried out in a professional and workman- shiplike manner according to the plans and specification. NOTÉ

Do not scale off the drawings unless otherwise stated and use figured dimensions in preference. All dimensions are to be checked and verified on site before the commencement of any work, all dimensions and levels are subject to final survey and set-out No responsibility will be accepted by Sitedesign for any variations in design, builder's method of construction or materials used, deviation from specification without permission or accepted work practices resulting in inferior construction. Locate and protect all services prior to construction. COPYRIGHT CLAUSE

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3 WARATAH ROAD, PALM BEACH LOT 15 DP 651513 Address

Drawing Title **PLANTING DETAILS**

LANDSCAPE MAINTENANCE NOTES

THE CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ALL AREAS OF THE CONTRACT DURING THE PROGRESS OF THE WORKS. THE CONTRACTOR SHALL COMMENCE AND FULLY IMPLEMENT THE SHORT-TERM MAINTENANCE AND ESTABLISHMENT AFTER PRACTICAL COMPLETION HAS BEEN CONFIRMED. SITE CONTROL: REPORT TO THE PRINCIPAL'S DESIGNATED REPRESENTATIVE ON ARRIVING AT AND BEFORE LEAVING THE SITE. PLANT ESTABLISHMENT PERIOD: THE PERIOD BETWEEN THE DATE OF PRACTICAL COMPLETION AND THE DATE OF FINAL COMPLETION. MAINTENANCE/ ESTABLISHMENT PERIOD: 12 MONTHS.

PLANT ESTABLISHMENT: MAINTAIN THE CONTRACT AREA DURING THE PLANT ESTABLISHMENT PERIOD. ENSURE THE GENERAL APPEARANCE AND PRESENTATION OF THE LANDSCAPE AND THE QUALITY OF PLANT MATERIAL AT DATE OF PRACTICAL COMPLETION IS MAINTAINED FOR THE FULL PLANTING ESTABLISHMENT PERIOD. EXISTING PLANT MATERIAL: MAINTAIN EXISTING PLANTING WITHIN THE LANDSCAPE CONTRACT AREA AS SPECIFIED FOR NEW PLANTING.

REPLACEMENTS: REPLACE FAILED, DEAD AND/OR DAMAGED PLANTS AT MINIMUM 3 WEEK INTERVALS AS NECESSARY THROUGHOUT THE FULL PLANT ESTABLISHMENT PERIOD. REPORTING: SUBMIT REGULAR REPORTS BY THE LAST FRIDAY OF EACH MONTH SUMMARISING THE GENERAL STATUS OF WORKS. INCLUDE A MAINTENANCE SCHEDULE, A LOG BOOK OF MAINTENANCE ACTIVITY, SOIL TEST RESULTS AS REQUIRED FOR ANY FERTILISING PROGRAMS, AND PLANT REPLACEMENT REQUIREMENTS.

WATER RESTRICTIONS: COORDINATE THE WATER SUPPLY AND CONFIRM THE WATERING REGIME AGAINST RELEVANT GOVERNMENT LEGISLATION AND RESTRICTIONS AT THE TIME. STAKES AND TIES: REMOVE AT THE END OF THE PLANTING ESTABLISHMENT PERIOD. TEMPORARY FENCES: REMOVE TEMPORARY PROTECTIVE FENCES AT THE END OF THE PLANTING ESTABLISHMENT PERIOD.

COMPLIANCE: PLANT ESTABLISHMENT SHALL BE DEEMED COMPLETE, SUBJECT TO THE FOLLOWING:

* REPAIRS TO PLANTING MEDIA COMPLETED. * PESTS, DISEASE, OR NUTRIENT DEFICIENCIES OR TOXICITIES ARE NOT EVIDENT.

* MULCHED SURFACES HAVE BEEN MAINTAINED IN A WEED FREE AND TIDY

- CONDITION AND TO THE SPECIFIED DEPTH. * VEGETATION IS ESTABLISHED AND WELL FORMED.
- * PLANTS HAVE HEALTHY ROOT SYSTEMS.
- * VEGETATION IS NOT RESTRICTING ESSENTIAL SIGHT LINES AND SIGNAGE.
- * COLLECTION AND REMOVAL OF LITTER COMPLETED. * REMOVAL OF MULCH FROM DRAINAGE AND ACCESS AREAS COMPLETED.
- * ALL DEFECTS NOTIFICATIONS HAVE BEEN CLOSED OUT.

