

PROPOSED ALTERATIONS AND ADDITIONS TO EXISTING DWELLING

# 3 WARATAH ROAD, PALM BEACH

LOT 15 DP 651513

DEVELOPMENT APPLICATION NORTHERN BEACHES COUNCIL

APPLICANT • STEPHEN AND SUSAN JONES



LOCATION PLAN NOT TO SCALE

DA 00	TITLE PAGE	N/A
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DA 02	DEMOLITION PLAN GROUND FLOOR	1:125
DA 03	DEMOLITION PLAN FIRST FLOOR	1:125
DA 04	ROOF PLAN	1:125
DA 05	GROUND FLOOR PLAN	1:100
DA 06	FIRST FLOOR PLAN	1:100
DA 07	NORTH WEST AND SOUTH WEST ELEVATIONS	1:100
DA 08	NORTH EAST AND SOUTH EAST ELEVATIONS	1:100
DA 09	SECTION 01 AND EXTERNAL FINISHES	1:100
DA 10	SHADOW DIAGRAMS	N/A
DA 11	BASIX CERTIFICATE	N/A
DA 12	SURVEY DRAWING PREPARED BY C&A SURVEYORS	1:200

REV.	DATE	DESCRIPTION
A	16.08.2023	ISSUED TO PLANNER FOR REVIEW
B	20.09.2023	ISSUED FOR DEVELOPMENT APPLICATION

CHECKED
KM
KM

LEGEND	
ABBREVIATIONS	MATERIALS AND FINISHES
AC AIR CONDITIONING	AD ALUMINIUM DOOR
AHD AUSTRALIAN HEIGHT DATUM	AL ALUMINIUM
AS AUSTRALIAN STANDARD	AW ALUMINIUM WINDOW
AW AWNING WINDOW	BB BARGE BOARD
BF BIFOLD	BR BRICK
CS CASEMENT WINDOW	BM BITUMINOUS MEMBRANE
DB DOUBLE	ROOFING
DP DOWNPIPE	NTS NOT TO SCALE
EL EXISTING	PV PHOTO VOLTAICS
EQ EQUAL	RT ROOF TILE
FIXED	SKL SKYLIGHT
FCL FINISHED CEILING LEVEL	SL SLIDING DOOR
FF FIRST FLOOR	SMK SMOKE ALARM
FLL FINISHED FLOOR LEVEL	TOS TOP OF GUTTER
FRL FINISHED REDUCED LEVEL	V VENT
GF GROUND FLOOR	VOS VERIFY ON SITE

AL ALUMINIUM DOOR	PB PLASTERBOARD
AL ALUMINIUM	R RENDERED
AW ALUMINIUM WINDOW	RC REINFORCED CONCRETE
BB BARGE BOARD	S SLATE
BR BRICK	ST STONE
BM BITUMINOUS MEMBRANE	T TIMBER
ROOFING	TB TIMBER BATTEN
NTS NOT TO SCALE	TD TIMBER DOOR
PV PHOTO VOLTAICS	TDK TIMBER DECKING
RT ROOF TILE	T & G TIMBER TONGUE
SKL SKYLIGHT	& GROOVE
SL SLIDING DOOR	TLTC TILE - TERRACOTTA
SMK SMOKE ALARM	TW TIMBER WINDOW
TOS TOP OF GUTTER	TLF TILE - FLOOR
V VENT	VB WEATHERBOARD
VOS VERIFY ON SITE	VT VITRIFIED TILE
	PAV PAVED
	ZRS ZINC ROOF SHEETING

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Nominated Architect Kristina Mitkovski NSW Reg No. 7998

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The Contractor shall confirm on site existing dimensions and conditions before commencement of works. All discrepancies should be reported to the Architect for instructions. Two Form does not accept responsibility for the dimensional accuracy of any data contained in CAD or other attachments as it may be based on third party origin information. All information should be verified in writing

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CLIENT  
STEPHEN AND SUSAN JONES

PROJECT  
ALTERATIONS AND ADDITION TO EXISTING DWELLING  
3 WARATAH ROAD, PALM BEACH LOT 15 DP 651513

DRAWING NAME  
TITLE PAGE AND  
LOCATION PLAN

DRAWING STAGE  
DEVELOPMENT APPLICATION

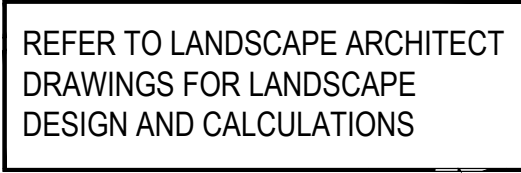
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22 026 AR DA 00

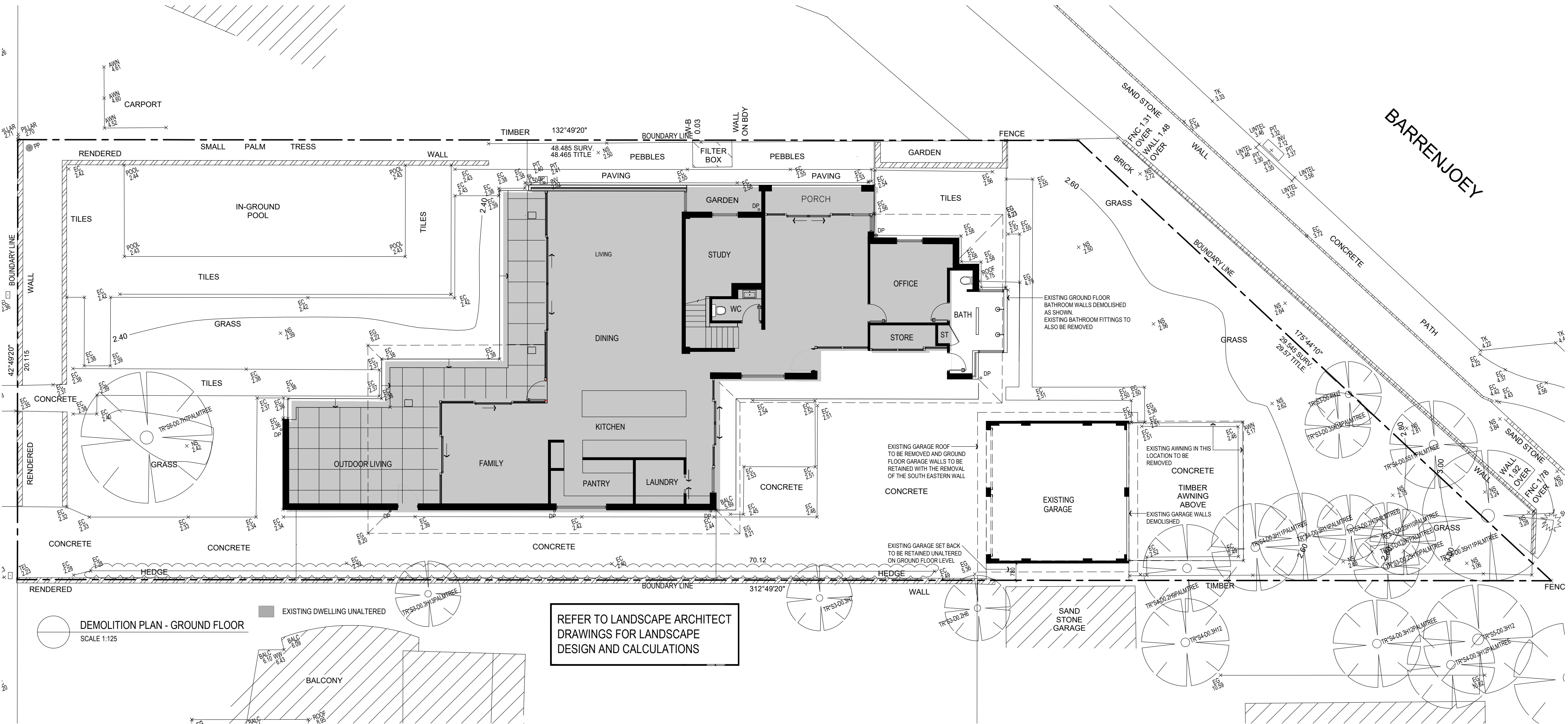
DATE  
AUG 2023

SCALE  
N-A

REVISION  
B



C



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AC	AIR CONDITIONING	JN	JOINERY	AD	ALUMINIUM DOOR	PB	PLASTERBOARD
AHD	AUSTRALIAN HEIGHT DATUM	LFW	LINEAR FLOOR WASTE	AL	ALUMINIUM	R	REINFORCED CONCRETE
AS	AUSTRALIAN STANDARD	LG	LOWER GROUND FLOOR	AW	ALUMINIUM WINDOW	RC	REINFORCED CONCRETE
AW	AWNING WINDOW	NI	NEW	BB	BRICK BOARD	S	SLATE
BF	B-FOLD	NCC	NATIONAL CONSTRUCTION CODE (C/N)	BK	BRICK	ST	STONE
CS	CASHEMENT WINDOW	NGL	NATURAL GROUND LEVEL	BM	BUTYLIUMOUS MEMBRANE	T	TIMBER
DB	DOUBLE	NTS	NOT TO SCALE	CL	CARPET	TB	TIMBER BATTEN
DN	DOWNPIPE	PV	PHOTO VOLTAGE	CR	CEMENT RENDER	TD	TIMBER DOOR
EX	EXISTING	RT	ROOF TILE	CR	CEMENT RENDER	TDK	TIMBER DOOR KICK
EQ	EQUAL	SKL	SKYLIGHT	FC	FIBRE CEMENT	T&G	TIMBER TONGUE & GROOVE
FB	FIBRE CEMENT	SL	SLIDING DOOR	FC	FIBRE CEMENT	TLC	TILE - TERRAZZOTA
FCL	FINISHED CEILING LEVEL	SMK	SMOKE ALARM	G	GLAZED	TW	TIMBER WINDOW
FF	FIRST FLOOR	TOG	TOP OF GUTTER	GL	GLAZED TIMBER DOOR	TLF	TILE - FLOOR
FFL	FINISHED FLOOR LEVEL	V	VENT	MRS	METAL ROOF SHEETING	WB	WEATHERBOARD
FRL	FINISHED REDUCED LEVEL	VOS	VERIFY ON SITE	P	PAINTED	VT	VITRIFIED TILE
GF	GROUND FLOOR			PAV	PAVING	ZRS	ZINC ROOF SHEETING

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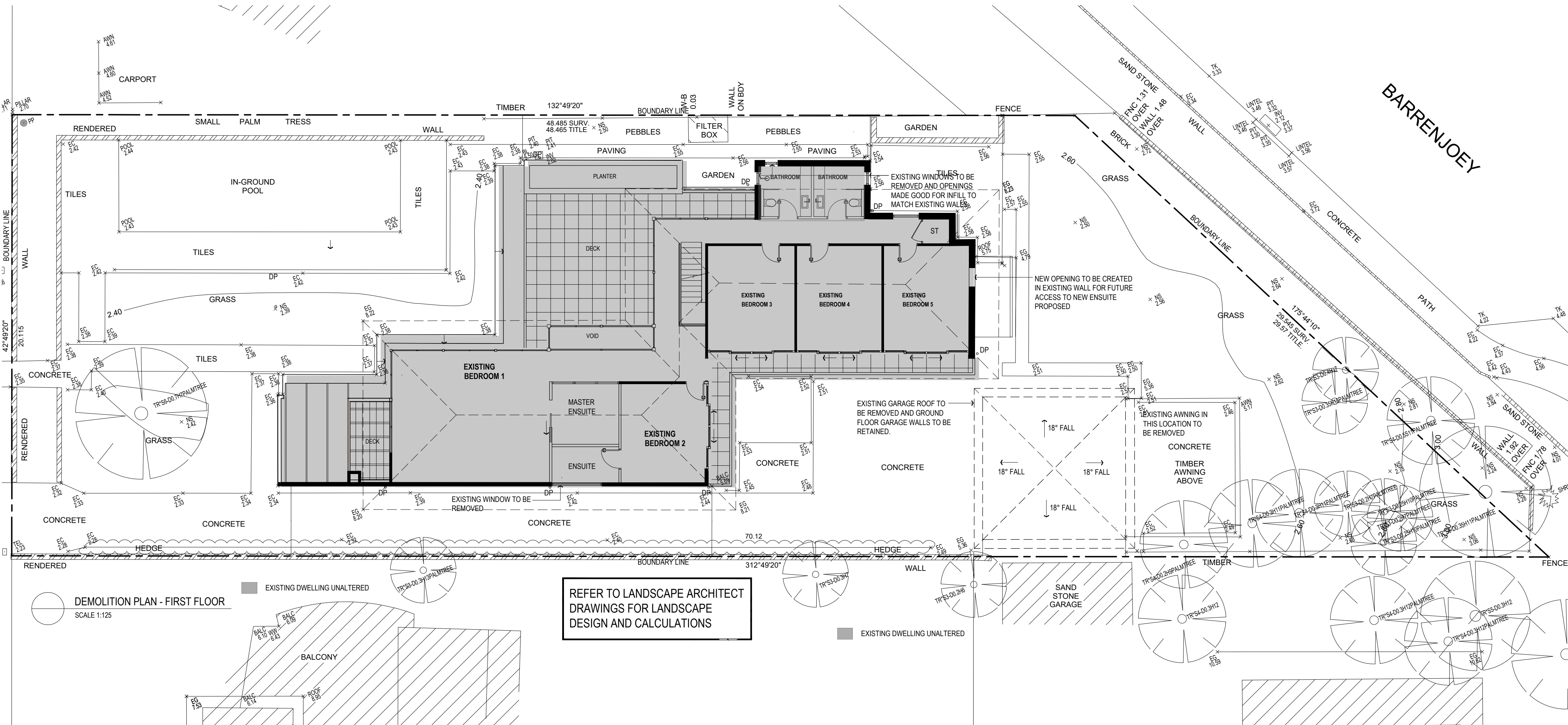
DRAWING NUMBER  
22 026 AR DA 02

DATE  
AUG 2023

SCALE  
1:100 AT A2

REVISION  
B





REV.	DATE	DESCRIPTION
A	16.08.2023	ISSUED TO PLANNER FOR REVIEW
B	20.09.2023	ISSUED FOR DEVELOPMENT APPLICATION

CHECKED
KM
KM

LEGEND	
ABBREVIATIONS	
AC	AIR CONDITIONING
AD	AUSTRALIAN HEIGHT DATUM
AS	AUSTRALIAN STANDARD
AW	AWNING WINDOW
BF	B-FOLD
CS	CASHERMENT WINDOW
DB	DOUBLE
DP	DOWNPIPE
EQ	EQUAL
F	FIXED
FCL	FINISHED CEILING LEVEL
FF	FIRST FLOOR
FFL	FINISHED FLOOR LEVEL
FRL	FINISHED REDUCED LEVEL
GF	GROUND FLOOR
JN	JOINERY
LFW	LINEAR FLOOR WASTE
LG	LOWER GROUND FLOOR
NI	NEW
NCC	NATIONAL CONSTRUCTION CODE (BCA)
NTS	NOT TO SCALE
PV	PHOTO VOLTAGE TAGS
RT	ROOF TILE
SKL	SKYLIGHT
SL	SLIDING DOOR
SMK	SMOKE ALARM
TOG	TOP OF GUTTER
V	VENT
VOS	VERIFY ON SITE
AD	ALUMINUM DOOR
AL	ALUMINUM WINDOW
AW	ALUMINUM WINDOW
BB	BARGE BOARD
BR	BRICK
BM	BITUMINOUS MEMBRANE
CA	CARPET
CL	CLEAR FINISH
CR	CEMENT RENDER
FB	FASCIA BOARD
FC	FIBRE CEMENT
G	GLAZED
GD	GLAZED TIMBER DOOR
MRS	METAL ROOF SHEETING
PAV	PAVING
PB	PLASTERBOARD
R	REINFORCED CONCRETE
RC	REINFORCED CONCRETE
S	SLATE
ST	STONE
T	TIMBER
TB	TIMBER BATTEN
TD	TIMBER DOOR
TOK	TIMBER DECKING
T & G	TIMBER TONGUE & GROOVE
TLTC	TILE - TERRACOTTA
TW	TIMBER WINDOW
TUF	TILE - FLOOR
WB	WEATHERBOARD
VT	VITRIFIED TILE
ZRS	ZINC ROOF SHEETING

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3 WARATAH ROAD, PALM BEACH LOT 15 DP 651513

DRAWING NAME  
DEMOLITION PLAN -  
FIRST FLOOR

DRAWING STAGE  
DEVELOPMENT APPLICATION

DRAWING NUMBER  
22 026 AR DA 03

DATE  
AUG 2023

SCALE  
1:100 AT A2

REVISION  
B



[illegible][illegible]

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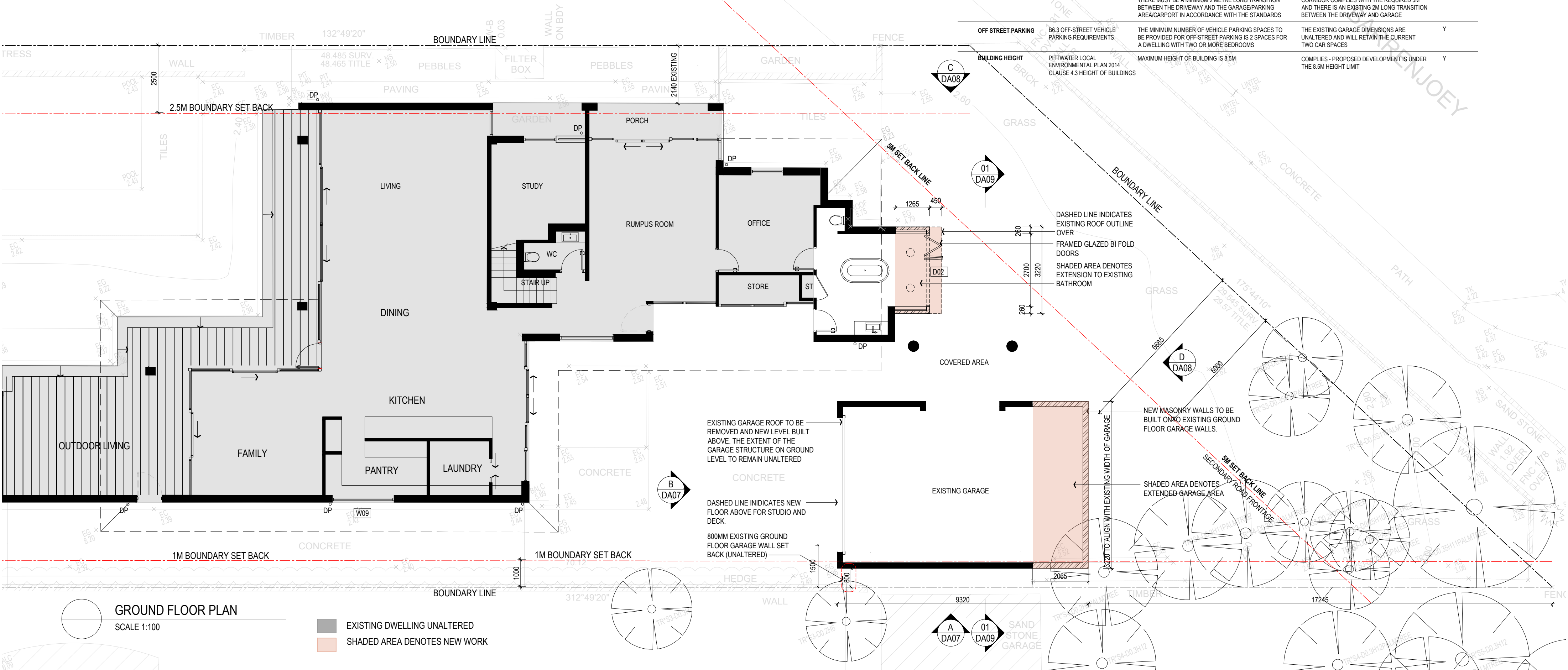
[illegible]

# ROOF PLAN / SITE PLAN

22 026 AR DA 04

C



[illegible]

REV.	DATE	DESCRIPTION
A	16.08.2023	ISSUED TO PLANNER FOR REVIEW
B	20.09.2023	ISSUED FOR DEVELOPMENT APPLICATION
C	12.02.2024	ROOF FALL AMENDED, EXTERNAL STAIR TO STUDIO DECK REMOVED

**CHECKED**  
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KM  
KM

[illegible]

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**ALTERATIONS AND ADDITION TO EXISTING DWELLING**  
3 WARATAH ROAD, PALM BEACH LOT 15 DP 651513

DRAWING NAME

**DRAWING STAGE**  
**DEVELOPMENT APPLICATION**

DRAWING NUMBER

DATE  
AUG 2023

SCALE  
1:100 AT A2

## REVISION

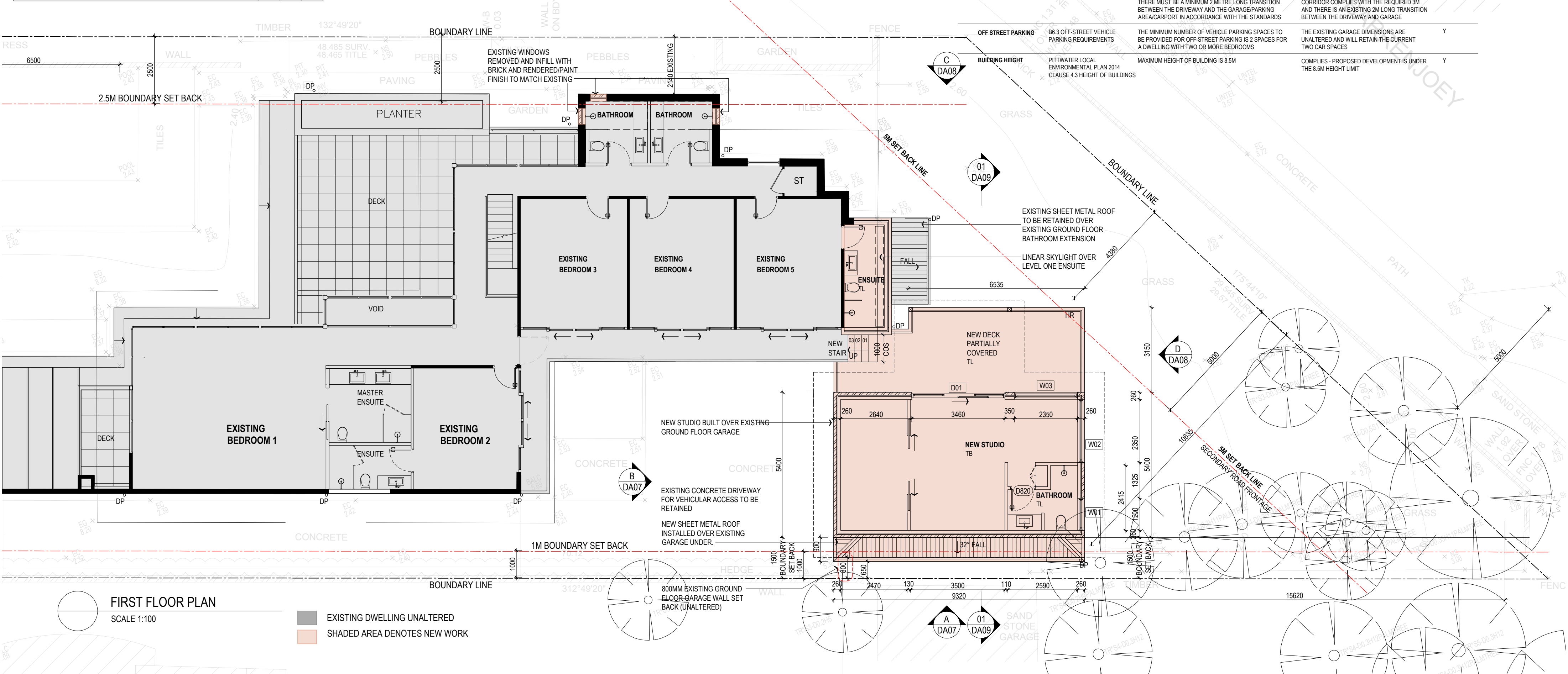
## GROUND FLOOR PLAN

22 026 AR DA 05

**C**



Fixtures and systems			Show on DA Plans	Show on CCDC Plans & specs	Certifier Check	Glazing requirements			Show on DA Plans	Show on CCDC Plans & specs	Certifier Check	Glazing requirements			Show on DA Plans	Show on CCDC Plans & specs	Certifier Check						
Lighting						Windows and glazed doors												Skylights					
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.						✓						✓						✓					
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The applicant																							



REV.	DATE	DESCRIPTION
A	16.08.2023	ISSUED TO PLANNER FOR REVIEW
B	20.09.2023	ISSUED FOR DEVELOPMENT APPLICATION
C	12.02.2024	ROOF FALL AMENDED, EXTERNAL STAIR TO STUDIO DECK REMOVED

CHECKED		LEGEND				
KM	ABBREVIATIONS			MATERIALS AND FINISHES		
KM	AC	AIR CONDITIONING	JN	JOBNERY	AD	ALUMINIUM DOOR
	AHD	AUSTRALIAN HEIGHT DATUM	LF	LOWER FLOOR WASTE	AL	ALUMINIUM
	AW	AUSTRALIAN STANDARD	LGF	LOWER GROUND FLOOR	AW	ALUMINIUM WINDOW
	BF	B-FOLD	NCC	NATIONAL CONSTRUCTION CODE	BK	BRIK
	CS	CASSEMENT WINDOW	NSW	NEW SOUTH WALES	BMR	BUTYRUMING MEMBRANE
	DB	DOUBLE	NSL	NATURAL GROUND LEVEL	CA	CARPET
	DN	DOWNPIPE	NT	NOTE NOT TO SCALE	CL	CLEAR FINISH
	EQ	EQUAL	NSW	NSW	CR	CEMENT RENDER
	FF	FIRST FLOOR	NSL	NATURAL GROUND LEVEL	FC	FIBRE CEMENT
	FL	FINISHED FLOOR LEVEL	NT	NOTE NOT TO SCALE	GL	GLAZED
	FRL	FINISHED REDUCED LEVEL	NSL	NATURAL GROUND LEVEL	GD	GLAZED TIMBER DOOR
	GF	GROUND FLOOR	NSL	NATURAL GROUND LEVEL	MRS	METAL ROOF SHEETING
			NT	NOTE NOT TO SCALE	P	PAINTED
			NSL	NATURAL GROUND LEVEL	PAV	PAVING
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two form Pty Ltd  
Nominated Architect Kristina Mitkovski NSW Reg No. 7998

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The Contractor shall confirm on site existing dimensions and conditions before commencement of works. All discrepancies should be reported to the Architect for instructions. Two Form does not accept responsibility for the dimensional accuracy of any data contained in CAD or other attachments as it may be based on third party origin information. All information should be verified in writing

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Check and verify all dimensions on site and refer any errors and/or omissions to the Architect before proceeding further. Do not scale off the drawings. Drawings shall not be used for construction purposes until issued by the Architect for such purpose. For explanation of abbreviations and symbols refer to appropriate legends. © Copyright TWO FORM PTY LTD

CLIENT  
STEPHEN AND SUSAN JONES

PROJECT  
ALTERATIONS AND ADDITION TO EXISTING DWELLING  
3 WARATAH ROAD, PALM BEACH LOT 15 DP 651513

DRAWING NAME  
FIRST FLOOR PLAN

DRAWING STAGE  
DEVELOPMENT APPLICATION

DRAWING NUMBER  
22 026 AR DA 06

DATE  
AUG 2023

SCALE  
1:100 AT A2

REVISION

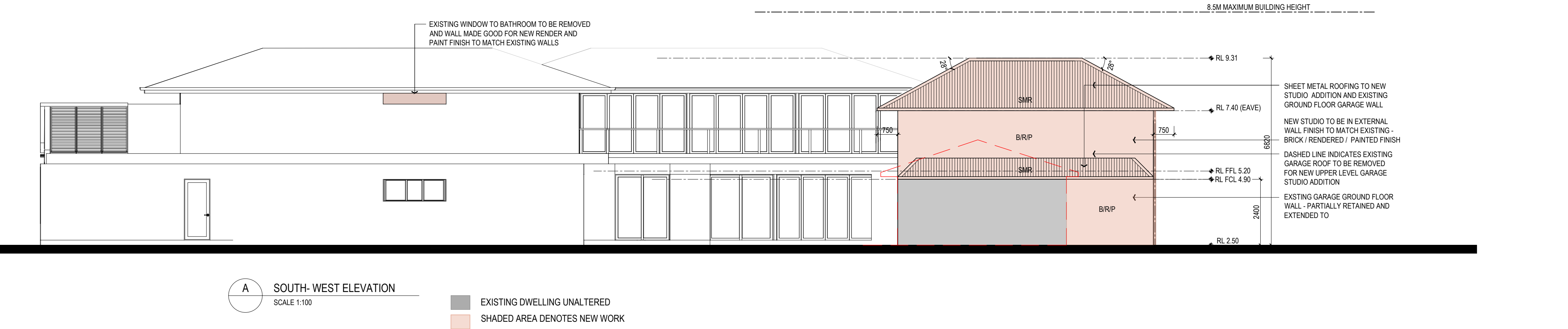
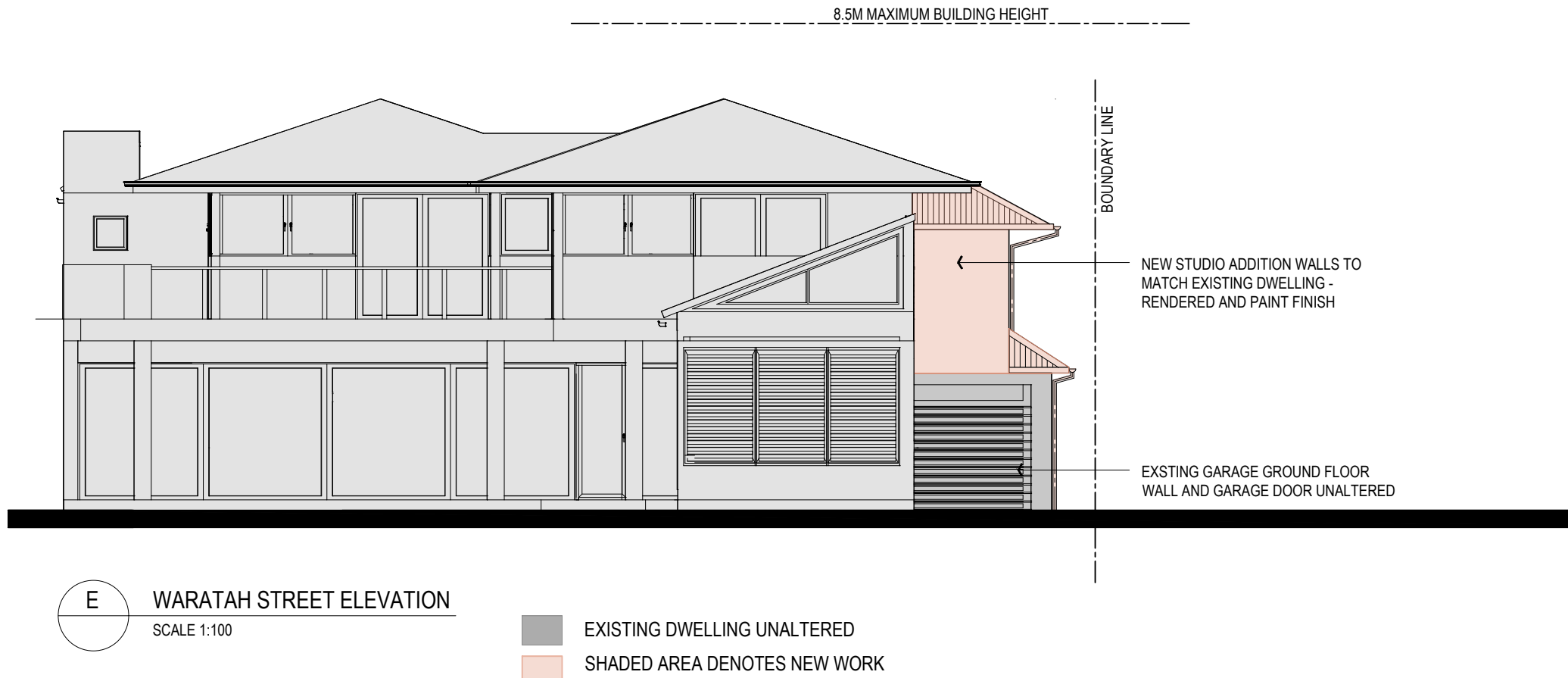
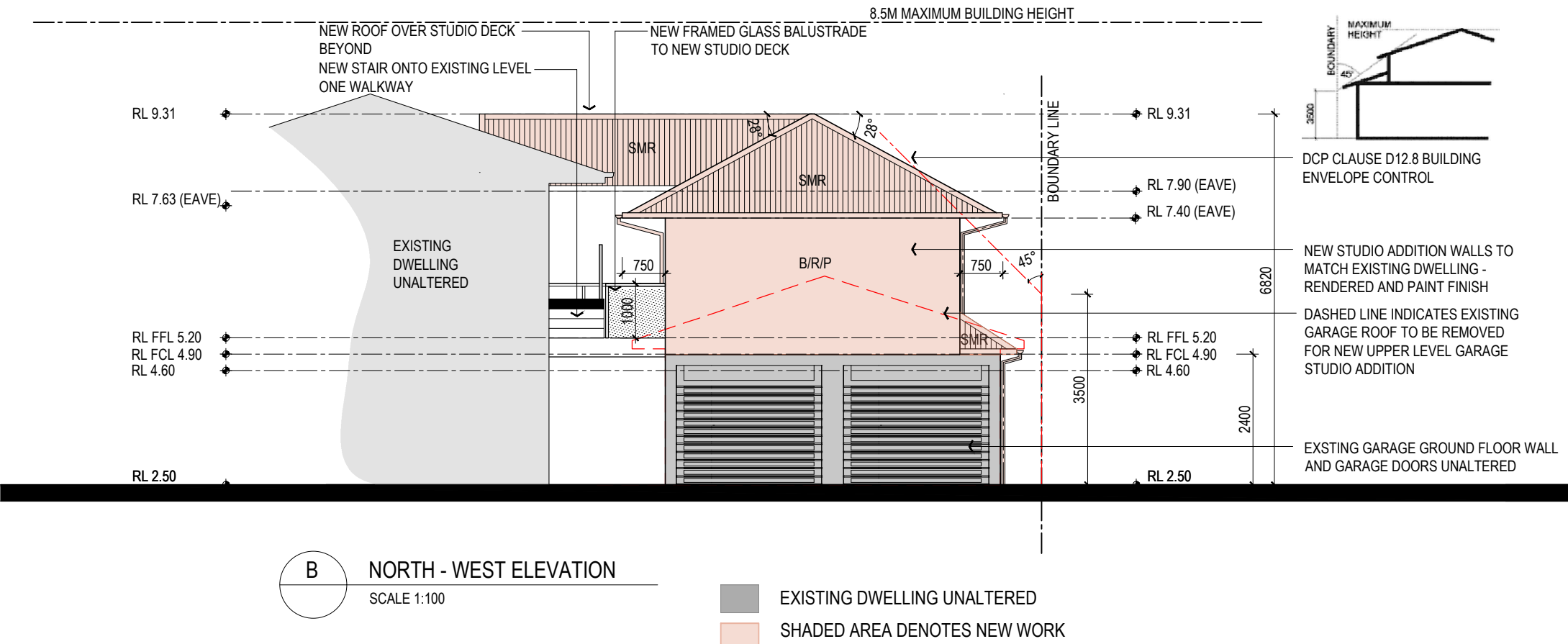
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Fixtures and systems	Show on DA Plans	Show on CO/DOC Plans & specs	Certifier Check
<b>Lighting</b> The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
<b>Fixtures</b> The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓ ✓ ✓	✓
<b>Construction</b>	Show on DA Plans	Show on CO/DOC Plans & specs	Certifier Check
<b>Insulation requirements</b> The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m <sup>2</sup> , b) insulation specified is not required for parts of altered construction where insulation already exists.	✓		✓
	Additional insulation required (R-value)	Other specifications	
concrete slab on ground floor.	nil		
suspended floor above garage: framed (R0.7)	nil		
floor above existing dwelling or building.	nil		
external wall: brick veneer	R1.16 (or R1.70 including construction)		
external wall: framed (weatherboard, fibre, metal clad)	R1.30 (or R1.70 including construction)		
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)	

Glazing requirements					Show on DA Plans	Show on CO/DOC Plans & specs	Certifier Check
<b>Windows and glazed doors</b>					✓	✓	✓
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overhanging specifications must be satisfied for each window and glazed door.							
The following requirements must also be satisfied in relation to each window and glazed door:							
Each window or glazed door with standard aluminium or timber frames and single clear or tinted glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.							
For projections described in millimetres, the leading edge of each eave, pergola, verandah or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.							
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.							
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.							
<b>Windows and glazed doors glazing requirements</b>					✓	✓	✓
no.	orientation	area of glazing (m <sup>2</sup> )	height (m)	distance (m)	shading device	frame and glass type	
D01	NE	8.65	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	
D02	SE	5.94	0	0	eave/verandah/pergola/balcony >=400 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	
W01	SE	0.84	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	
W02	SE	2.11	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	
W03	NE	2.11	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	

Glazing requirements	Show on DA Plans	Show on CO/DOC Plans & specs	Certifier Check								
<b>Skylights</b> The applicant must install the skylights in accordance with the specifications listed in the table below. The following requirements must also be satisfied in relation to each skylight: Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.	✓	✓	✓								
<b>Skylights glazing requirements</b> <table><tr><th>Skylight number</th><th>Area of glazing in: frame (m2)</th><th>Shading device</th><th>Frame and glass type</th></tr><tr><td>SK01_Ems</td><td>1.5</td><td>no shading</td><td>timber, double clearer fill, (or U-value: 4.3, SHGC: 0.5)</td></tr></table>	Skylight number	Area of glazing in: frame (m2)	Shading device	Frame and glass type	SK01_Ems	1.5	no shading	timber, double clearer fill, (or U-value: 4.3, SHGC: 0.5)	✓	✓	✓
Skylight number	Area of glazing in: frame (m2)	Shading device	Frame and glass type								
SK01_Ems	1.5	no shading	timber, double clearer fill, (or U-value: 4.3, SHGC: 0.5)								
<b>Legend</b> In these commitments, "applicant" means the person carrying out the development. Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development). Commitments identified with a "✓" in the "Show on CO/DOC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development. Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.											



REV.	DATE	DESCRIPTION
A	16.08.2023	ISSUED TO PLANNER FOR REVIEW
B	20.09.2023	ISSUED FOR DEVELOPMENT APPLICATION
C	12.02.2024	ROOF PITCH AMENDED, EXTERNAL STAIR TO STUDIO DECK REMOVED

CHECKED
KM
KM
KM

LEGEND

ABBREVIATIONS

AC	AIR CONDITIONING	JN	JOINERY
AD	LINEAR FLOOR WASTE	LWF	LOWER GROUND FLOOR
AS	AUSTRALIAN STANDARD	NCC	NATIONAL CONSTRUCTION
AW	AWNING WINDOW	CODE (B)A	CASHEMENT WINDOW
BF	B-FOLD	NGL	NATURAL GROUND LEVEL
CS	CASHEMENT WINDOW	NTS	NOT TO SCALE
DB	DOUBLE	PV	PHOTO VOLTATICS
DP	DOWNPIPE	RT	ROOF TILE
EQ	EQUAL	SIL	SKYLIGHT
FC	FIBRE CEMENT	SL	SLIDING DOOR
FF	FIRST FLOOR	SMK	SMOKE ALARM
FCL	FINISHED CEILING LEVEL	TOG	TOP OF GUTTER
FFL	FINISHED FLOOR LEVEL	V	VERIFY ON SITE
FRL	FINISHED REDUCED LEVEL	VOS	VERIFY ON SITE
GF	GROUND FLOOR		

MATERIALS AND FINISHES

AD	ALUMINIUM DOOR	PB	PLASTERBOARD
AL	ALUMINIUM	RC	REINFORCED CONCRETE
AW	ALUMINIUM WINDOW	S	SLATE
BB	BARGE BOARD	ST	STONE
BK	BRICK	TB	TIMBER BATTEN
BMR	BITUMINOUS MEMBRANE	TD	TIMBER DOOR
CR	CEMENT RENDER	TDK	TIMBER DOCKING
CR	CEMENT RENDER	T & G	TIMBER TONGUE & GROOVE
FC	FIBRE CEMENT	TLTC	TILE - TERRACOTTA
GL	GLAZED	TW	TIMBER WINDOW
GD	GLAZED TIMBER DOOR	TLF	TILE - FLOOR
MRS	METAL ROOF SHEETING	WB	WEATHERBOARD
P	PAINTED	VT	VITRIFIED TILE
PAV	PAVING	ZRS	ZINC ROOF SHEETING

two form Pty Ltd  
Nominated Architect Kristina Mitkovski NSW Reg No. 7998

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**two form**  
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CLIENT  
STEPHEN AND SUSAN JONES

PROJECT  
ALTERATIONS AND ADDITION TO EXISTING DWELLING  
3 WARATAH ROAD, PALM BEACH LOT 15 DP 651513

DRAWING NAME  
NORTH WEST AND  
SOUTH WEST ELEVATION

DRAWING STAGE  
DEVELOPMENT APPLICATION

DRAWING NUMBER  
22 026 AR DA 07

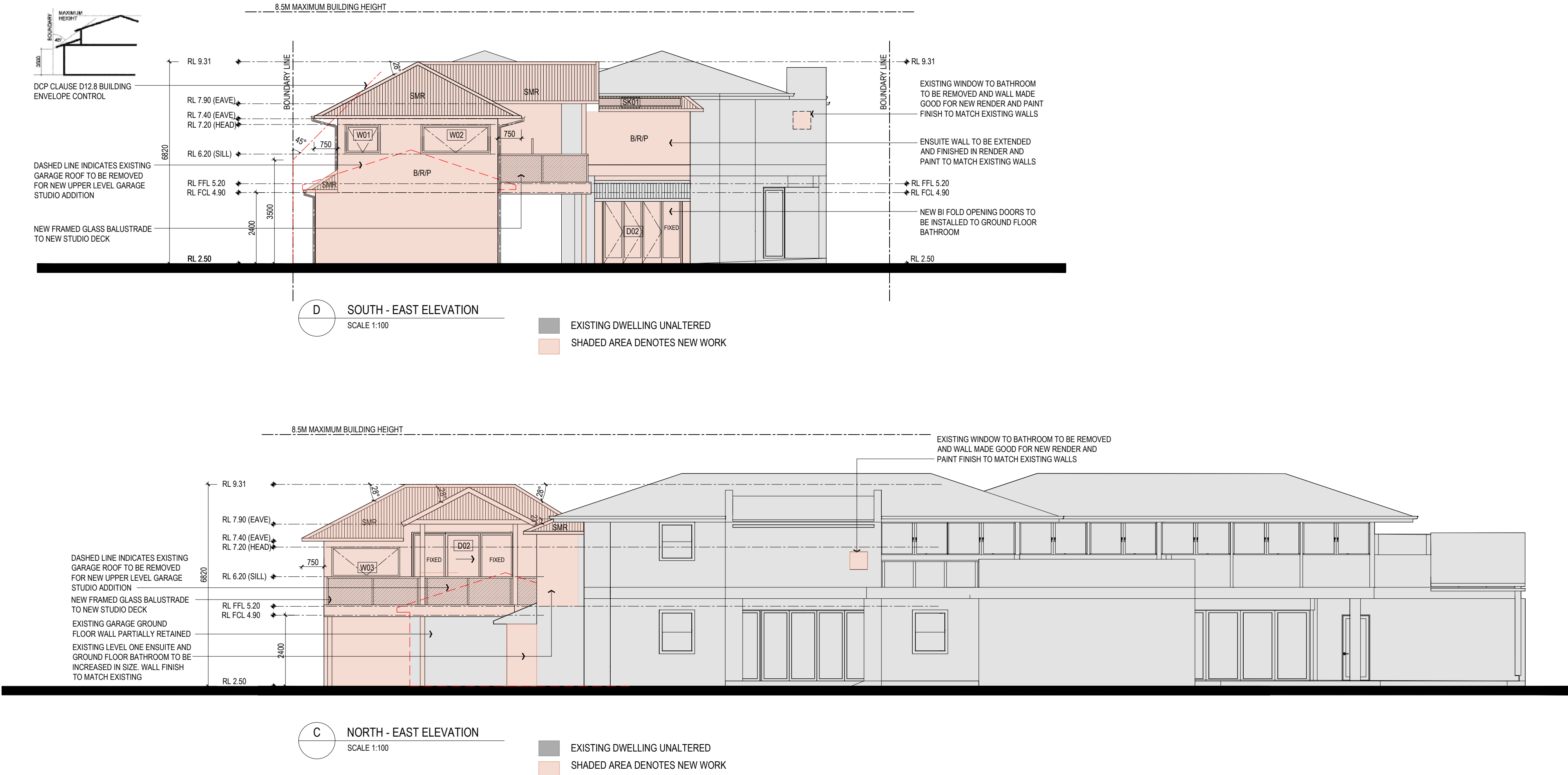
DATE  
AUG 2023

SCALE  
1:100 AT A2

REVISION  
C



Fixtures and systems				Show on DA Plans	Show on COC/DC Plans & specs	Certifier Check	Glazing requirements	Show on DA Plans	Show on COC/DC Plans & specs	Certifier Check	Glazing requirements	Show on DA Plans	Show on COC/DC Plans & specs	Certifier Check
<b>Lighting</b> The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.					✓	✓	<b>Windows and glazed doors</b> The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door. The following requirements must also be satisfied in relation to each window and glazed door: Each window or glazed door with standard aluminium or timber frames and single clear or tinted glass may either match the description, or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35. Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.	✓	✓	✓	<b>Skylights</b> The applicant must install the skylights in accordance with the specifications listed in the table below. The following requirements must also be satisfied in relation to each skylight: Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.	✓	✓	✓
<b>Fixtures</b> The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.					✓	✓					✓	✓	✓	
<b>Construction</b>				Show on DA Plans	Show on COC/DC Plans & specs	Certifier Check					<b>Skylights glazing requirements</b>			
											Skylight number	Area of glazing (m <sup>2</sup> )	Shading device	Frame and glass type
											SK01_Ens	1.5	no shading	timber, double clear or 6L (or U-value: 4.3, SHGC: 0.6)
<b>Insulation requirements</b> The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m <sup>2</sup> , b) insulation specified is not required for parts of altered construction where insulation already exists.				✓	✓	✓	<b>Windows and glazed doors glazing requirements</b> The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m <sup>2</sup> , b) insulation specified is not required for parts of altered construction where insulation already exists.							
				Window / door type	Orientation	Frame type	Height (m)	Distance (m)	Shading device	Frame and glass type	In these commitments, "applicant" means the person carrying out the development.			
<b>Construction</b>											Commitments identified with a "u" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).			
concrete slab on ground floor				nil							Commitments identified with a "u" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.			
suspended floor above garage: framed (R0.7)				nil										
floor above existing dwelling or building				nil										
external wall: brick veneer				R1.16 (or R1.70 including construction)										
external wall: framed (weatherboard, fibre, metal clad)				R1.30 (or R1.70 including construction)										
flat ceiling, pitched roof				ceiling: R1.45 (up), roof: foil backed blanket (55 mm)										



REV.	DATE	DESCRIPTION
A	16.08.2023	ISSUED TO PLANNER FOR REVIEW
B	20.09.2023	ISSUED FOR DEVELOPMENT APPLICATION
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CHECKED	
KM	
KM	
KM	

LEGEND

ABBREVIATIONS	
AC	AIR CONDITIONING
AD	AUSTRALIAN HEIGHT DATUM
AS	AUSTRALIAN STANDARD
AW	AWNING WINDOW
BF	B-FOLD
CS	CASHERMENT WINDOW
DB	DOUBLE
DN	DOWNPIPE
EQ	EQUAL
FF	FINISHED CEILING LEVEL
FF	FIRST FLOOR
FF	FINISHED FLOOR LEVEL
FF	FINISHED REDUCED LEVEL
GF	GROUND FLOOR

MATERIALS AND FINISHES	
AD	ALUMINUM DOOR
AL	ALUMINUM
AW	ALUMINUM WINDOW
BB	BRICK
BM	BUTYRAMOUS MEMBRANE
CA	CARPET
CL	CLEAR FINISH
CR	CEMENT RENDER
FB	FASCIA BOARD
FC	FIBRE CEMENT
GL	GLAZED
GD	GLAZED TIMBER DOOR
GR	METAL ROOF SHEETING
PAV	PAVING

two form Pty Ltd  
Nominated Architect Kristina Mitkovski NSW Reg No. 7998

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CLIENT  
STEPHEN AND SUSAN JONES

PROJECT  
ALTERATIONS AND ADDITION TO EXISTING DWELLING  
3 WARATAH ROAD, PALM BEACH LOT 15 DP 651513

DRAWING NAME  
NORTH EAST AND  
SOUTH EAST ELEVATIONS

DRAWING STAGE  
DEVELOPMENT APPLICATION

DRAWING NUMBER  
22 026 AR DA 08

DATE  
AUG 2023

SCALE  
1:100 AT A2

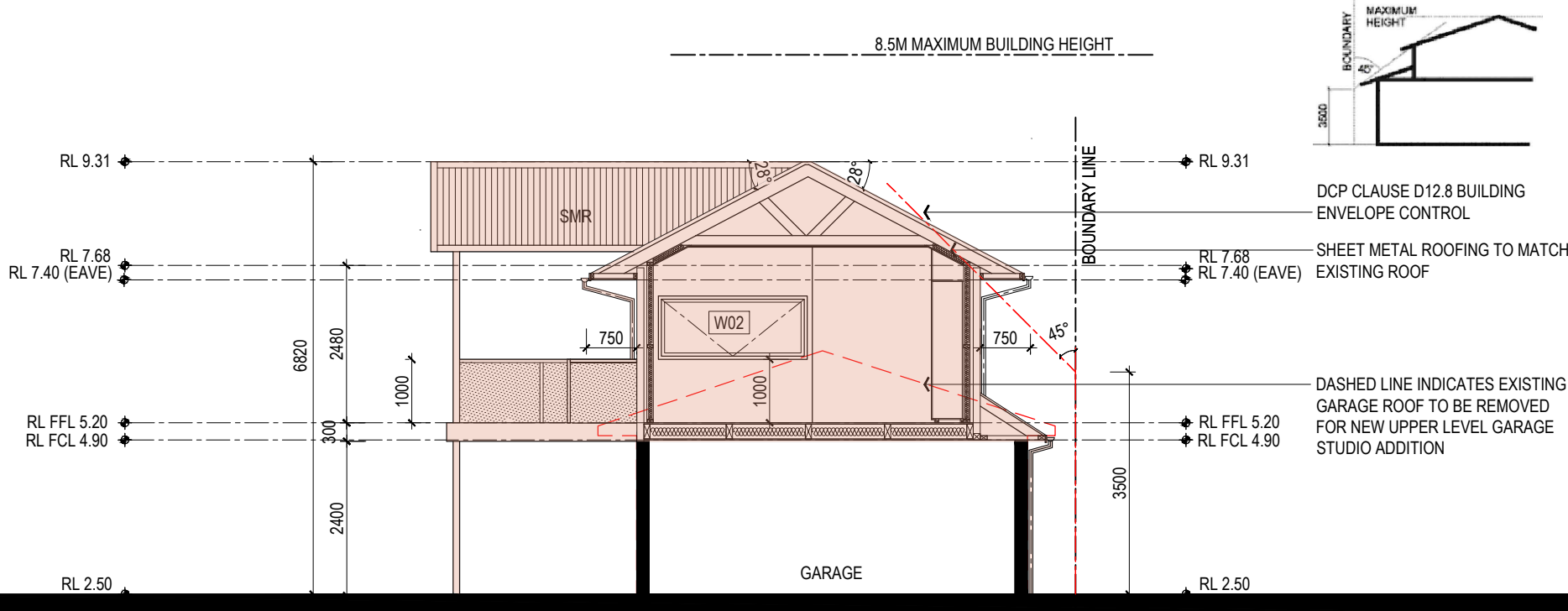
REVISION  
C



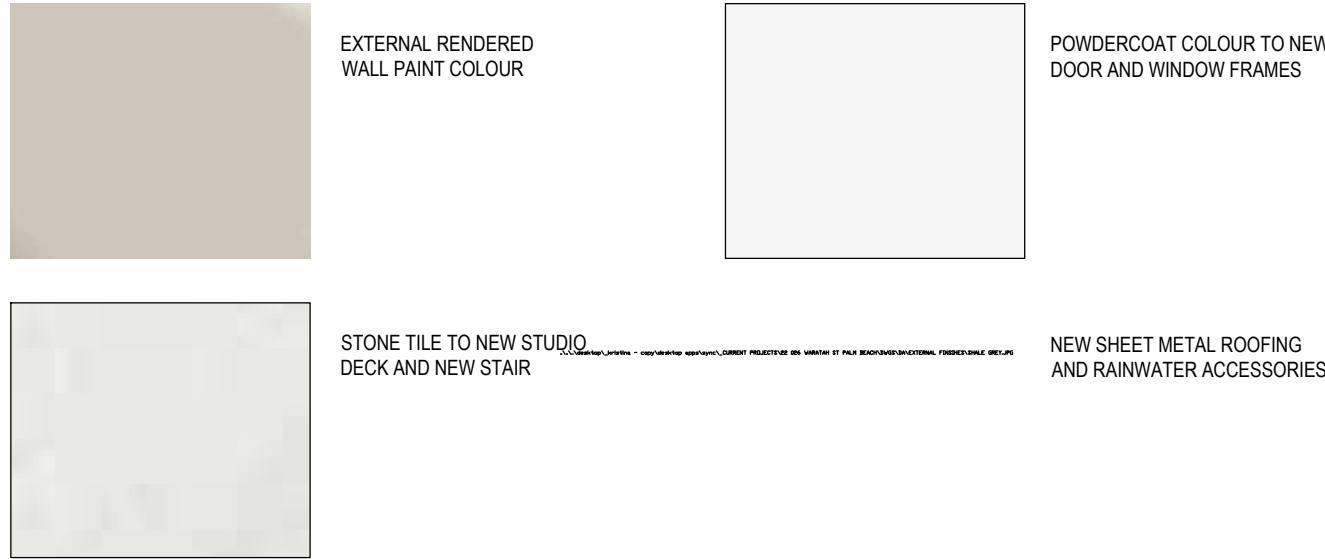
Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<b>Lighting</b> The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
<b>Fixtures</b> The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓ ✓ ✓	✓ ✓ ✓
<b>Construction</b>	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<b>Insulation requirements</b> The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m <sup>2</sup> , b) insulation specified is not required for parts of altered construction where insulation already exists.			
	Additional insulation required (R-value)	Other specifications	✓
concrete slab on ground floor	nil		
suspended floor above garage: framed (R0.7)	nil		
floor above existing dwelling or building	nil		
external wall: brick veneer	R1.16 (or R1.70 including construction)		
external wall: framed (weatherboard, fibre, metal clad)	R1.30 (or R1.70 including construction)		
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)	

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check																																										
<b>Windows and glazed doors</b> The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door. The following requirements must also be satisfied in relation to each window and glazed door: Each window or glazed door with standard aluminium or timber frames and single clear or tinted glass may either match the description, or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. For projections described in millimetres, the leading edge of each eave, pergola, verandah or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35. Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.	✓	✓	✓																																										
<b>Windows and glazed doors glazing requirements</b> <table><tr><th>Window / door</th><th>Orientation</th><th>Area of glass (m<sup>2</sup>)</th><th>Centre-to-centre height (m)</th><th>Distance (m)</th><th>Shading device</th><th>Frame and glass type</th></tr><tr><td>D01</td><td>NE</td><td>8.65</td><td>0</td><td>0</td><td>none</td><td>standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)</td></tr><tr><td>D02</td><td>SE</td><td>5.94</td><td>0</td><td>0</td><td>eave/verandah/pergola/balcony &gt;=450 mm</td><td>standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)</td></tr><tr><td>W01</td><td>SE</td><td>0.84</td><td>0</td><td>0</td><td>none</td><td>standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)</td></tr><tr><td>W02</td><td>SE</td><td>2.11</td><td>0</td><td>0</td><td>none</td><td>standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)</td></tr><tr><td>W03</td><td>NE</td><td>2.11</td><td>0</td><td>0</td><td>none</td><td>standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)</td></tr></table>	Window / door	Orientation	Area of glass (m <sup>2</sup> )	Centre-to-centre height (m)	Distance (m)	Shading device	Frame and glass type	D01	NE	8.65	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	D02	SE	5.94	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	W01	SE	0.84	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	W02	SE	2.11	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	W03	NE	2.11	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	✓	✓	✓
Window / door	Orientation	Area of glass (m <sup>2</sup> )	Centre-to-centre height (m)	Distance (m)	Shading device	Frame and glass type																																							
D01	NE	8.65	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)																																							
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Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check								
<b>Skylights</b> The applicant must install the skylights in accordance with the specifications listed in the table below. The following requirements must also be satisfied in relation to each skylight:  Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.  <b>Skylights glazing requirements</b> <table><tr><th>Skylight number</th><th>Area of glazing (m<sup>2</sup>)</th><th>Shading device</th><th>Frame and glass type</th></tr><tr><td>SK01_Ems</td><td>1.5</td><td>no shading</td><td>timber, double clear/tint fill, (or U-value: 4.3, SHGC: 0.6)</td></tr></table>	Skylight number	Area of glazing (m <sup>2</sup> )	Shading device	Frame and glass type	SK01_Ems	1.5	no shading	timber, double clear/tint fill, (or U-value: 4.3, SHGC: 0.6)	✓	✓	✓
Skylight number	Area of glazing (m <sup>2</sup> )	Shading device	Frame and glass type								
SK01_Ems	1.5	no shading	timber, double clear/tint fill, (or U-value: 4.3, SHGC: 0.6)								
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01 SECTION  
SCALE 1:100



01 SECTION  
SCALE 1:100

REV.	DATE	DESCRIPTION
A	16.08.2023	ISSUED TO PLANNER FOR REVIEW
B	20.09.2023	ISSUED FOR DEVELOPMENT APPLICATION
C	12.02.2024	ROOF PITCH AMENDED, EXTERNAL STAIR TO STUDIO DECK REMOVED

CHECKED
KM
KM
KM

LEGEND

ABBREVIATIONS	
AC	AIR CONDITIONING
AHD	AUSTRALIAN HEIGHT DATUM
AS	AUSTRALIAN STANDARD
AW	AWNING WINDOW
BF	B-FOLD
CS	CASHERMENT WINDOW
DB	DOUBLE
DP	DOWNPIPE
(E)	EXISTING
EQ	EQUAL
F	FIXED
FCL	FINISHED CEILING LEVEL
FF	FIRST FLOOR
FFL	FINISHED FLOOR LEVEL
FRL	FINISHED REDUCED LEVEL
GF	GROUND FLOOR
JN	JOINERY
LFW	LOWER FLOOR WASTE
LG	LOWER GROUND FLOOR
N	NEW
NCC	NATIONAL CONSTRUCTION
CODE (BA)	NATURAL GROUND LEVEL
NTS	NOT TO SCALE
PV	PHOTO VOLTAGE
RT	ROOF TILE
SIL	SKYLIGHT
SL	SLIDING DOOR
SMK	SMOKE ALARM
TOG	TOP OF GUTTER
V	VENT
VOS	VERIFY ON SITE

MATERIALS AND FINISHES			
AD	ALUMINIUM DOOR	PB	PLASTERBOARD
AL	ALUMINIUM		RENDERED
AW	ALUMINIUM WINDOW	RC	REINFORCED CONCRETE
BB	BARGE BOARD	S	SLATE
BK	BRICK	ST	STONE
BMR	BITUMINOUS MEMBRANE	TB	TIMBER BATTEN
	ROOFING	TD	TIMBER DOOR
CA	CARPET	T&G	TIMBER TONGUE & GROOVE
CL	CLEAR FINISH	TLC	TILE - TERRACOTTA
CR	CEMENT RENDER	TUF	TILE - FLOOR
FB	FASCIA BOARD	WB	WEATHERBOARD
FC	FIBRE CEMENT	VIT	VITRIFIED TILE
GL	GLAZED TIMBER WINDOW	ZRS	ZINC ROOF SHEETING
TD	TIMBER DOOR		
MRS	METAL ROOF SHEETING		
P	PAINTED		
PAV	PAVING		

two form Pty Ltd  
Nominated Architect Kristina Mitkovski NSW Reg No. 7998

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CLIENT  
STEPHEN AND SUSAN JONES

PROJECT  
ALTERATIONS AND ADDITION TO EXISTING DWELLING  
3 WARATAH ROAD, PALM BEACH LOT 15 DP 651513

DRAWING NAME  
SECTION 01 AND  
EXTERNAL FINISHES

DRAWING STAGE  
DEVELOPMENT APPLICATION

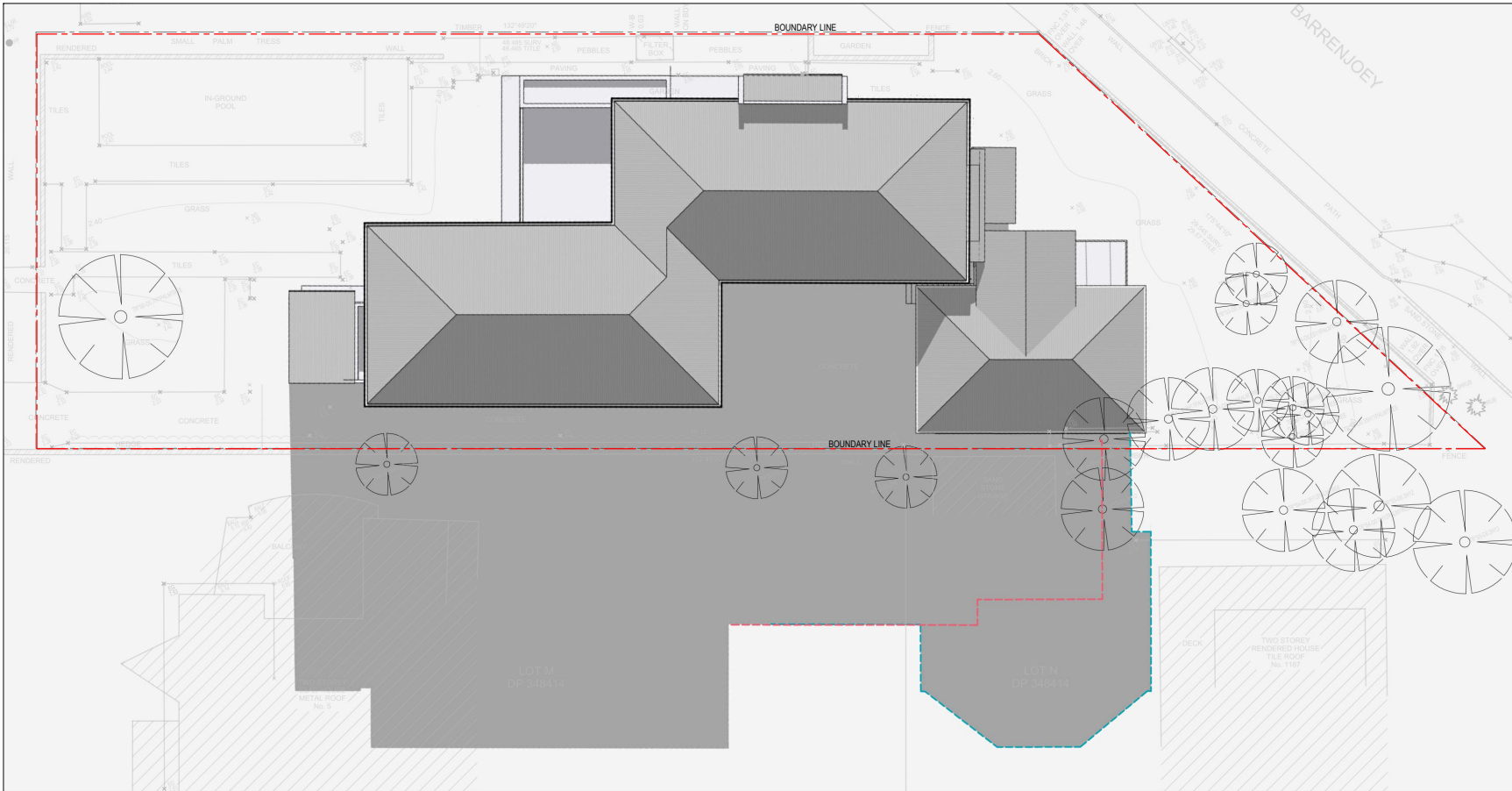
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DATE  
AUG 2023

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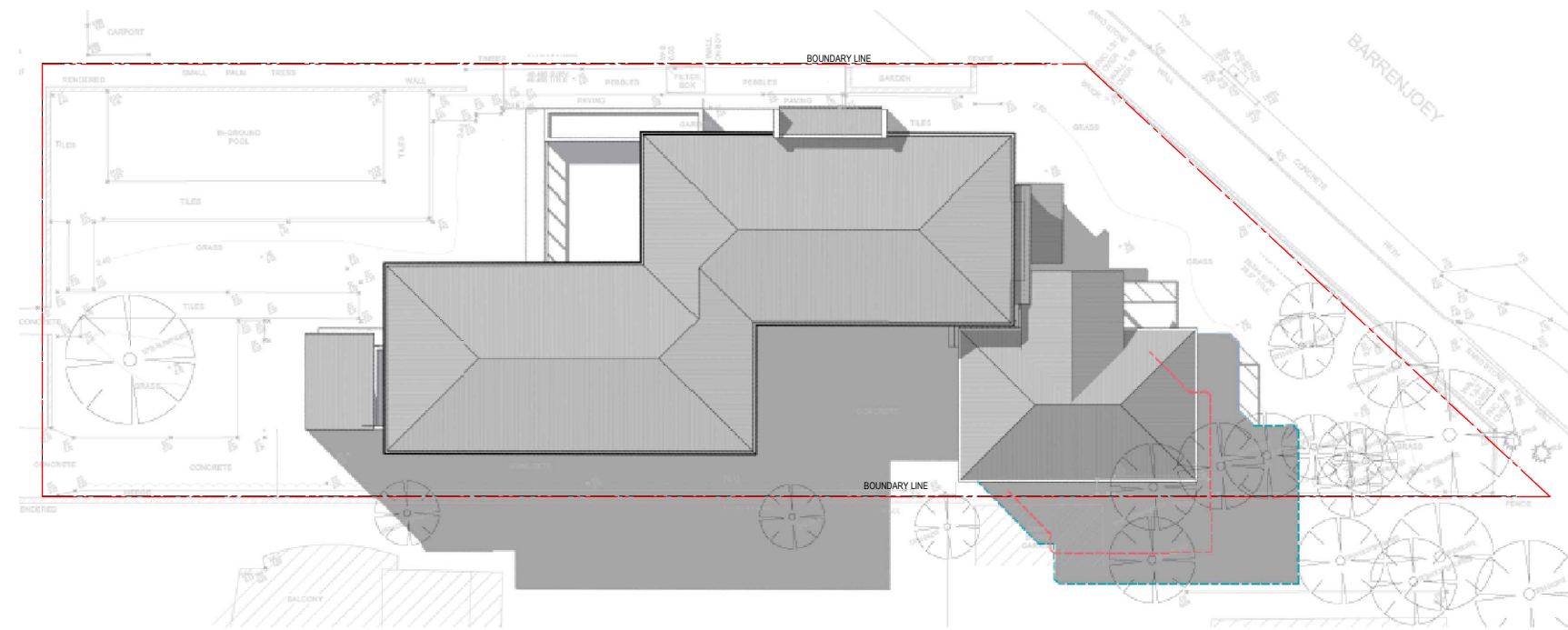
REVISION  
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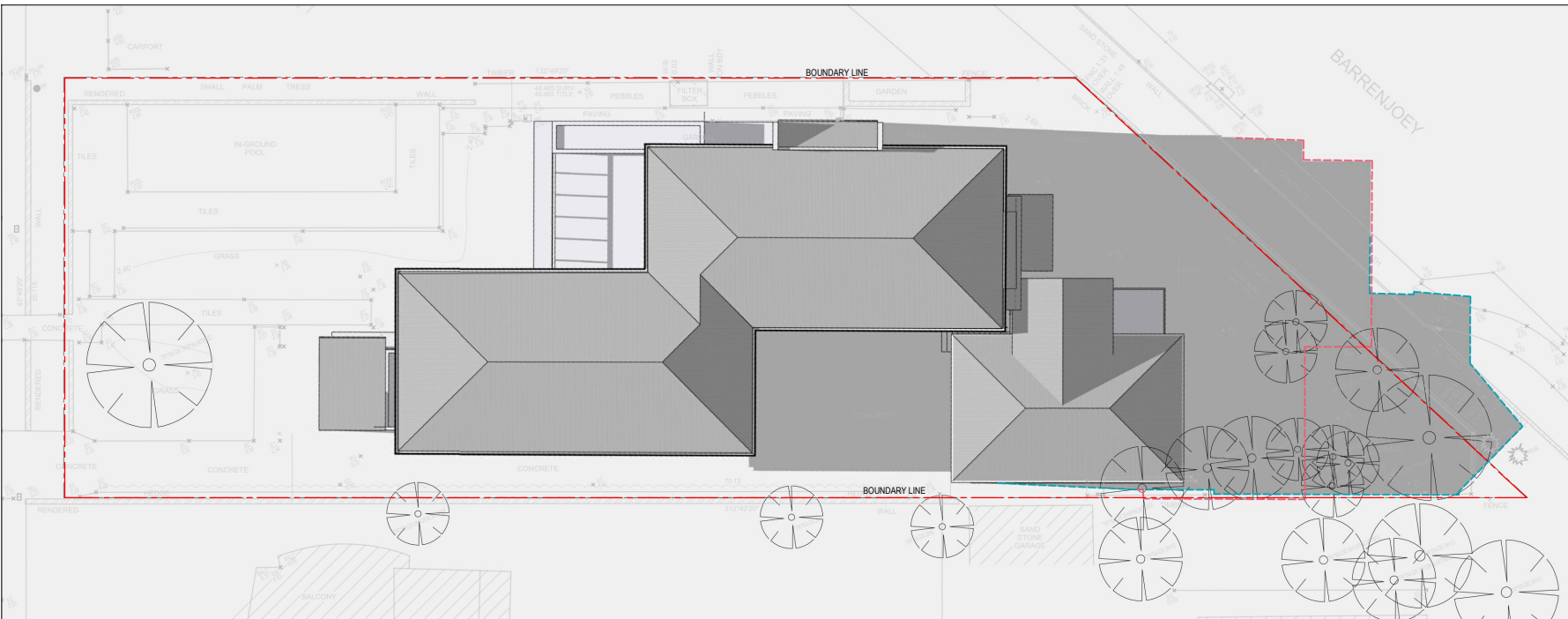
JUNE 21 9AM

- EXISTING SHADOWS
- PROPOSED SHADOWS



JUNE 21 12PM

- EXISTING SHADOWS
- PROPOSED SHADOWS



JUNE 21 3PM

- EXISTING SHADOWS
- PROPOSED SHADOWS

REV.	DATE	DESCRIPTION
A	16.08.2023	ISSUED TO PLANNER FOR REVIEW
B	20.09.2023	ISSUED FOR DEVELOPMENT APPLICATION

CHECKED		LEGEND		MATERIALS AND FINISHES	
		ABBREVIATIONS			
AC	AIR CONDITIONING	JN	JOINERY	AD	ALUMINUM DOOR
AD	AIR CONDITIONING	LFW	LINEAR FLOOR WASTE	AL	ALUMINUM
AS	AUSTRALIAN STANDARD	LG	LOWER GROUND FLOOR	AW	ALUMINUM WINDOW
AW	AWNING WINDOW	LG	LOWER GROUND FLOOR	RC	REINFORCED CONCRETE
BN	B-FOLD	NCC	NATIONAL CONSTRUCTION	SB	BRICK
CS	CASHEMENT WINDOW	CODE (BCA)	CODE (BCA)	ST	STONE
DB	DOUBLE	NGL	NATURAL GROUND LEVEL	TB	TIMBER BATTEN
DP	DOWNPIPE	NTS	NOT TO SCALE	TD	TIMBER DOOR
EQ	EQUAL	PV	PHOTO VOLTATICS	TDK	TIMBER DOOR
F	FIXED	RT	ROOF TILE	TR	TIMBER TONGUE
FCL	FINISHED CEILING LEVEL	SL	SKYLIGHT	T&G	TIMBER TONGUE & GROOVE
FF	FIRST FLOOR	SLD	SLIDING DOOR	FC	FIBRE CEMENT
FFL	FINISHED FLOOR LEVEL	SMK	SMOKE ALARM	GLD	GLAZED TIMBER DOOR
FRL	FINISHED REDUCED LEVEL	TOG	TOP OF GUTTER	GLD	GLAZED TIMBER DOOR
GF	GROUND FLOOR	VOS	VERIFY ON SITE	MRS	METAL ROOF SHEETING
				PAV	PAVING
				ZRS	ZINC ROOF SHEETING

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CLIENT  
STEPHEN AND SUSAN JONES

PROJECT  
ALTERATIONS AND ADDITION TO EXISTING DWELLING  
3 WARATAH ROAD, PALM BEACH LOT 15 DP 651513

DRAWING NAME  
SHADOW DIAGRAMS

DRAWING STAGE  
DEVELOPMENT APPLICATION

DRAWING NUMBER  
22 026 AR DA 10

DATE  
AUG 2023

SCALE  
N-A

REVISION  
B

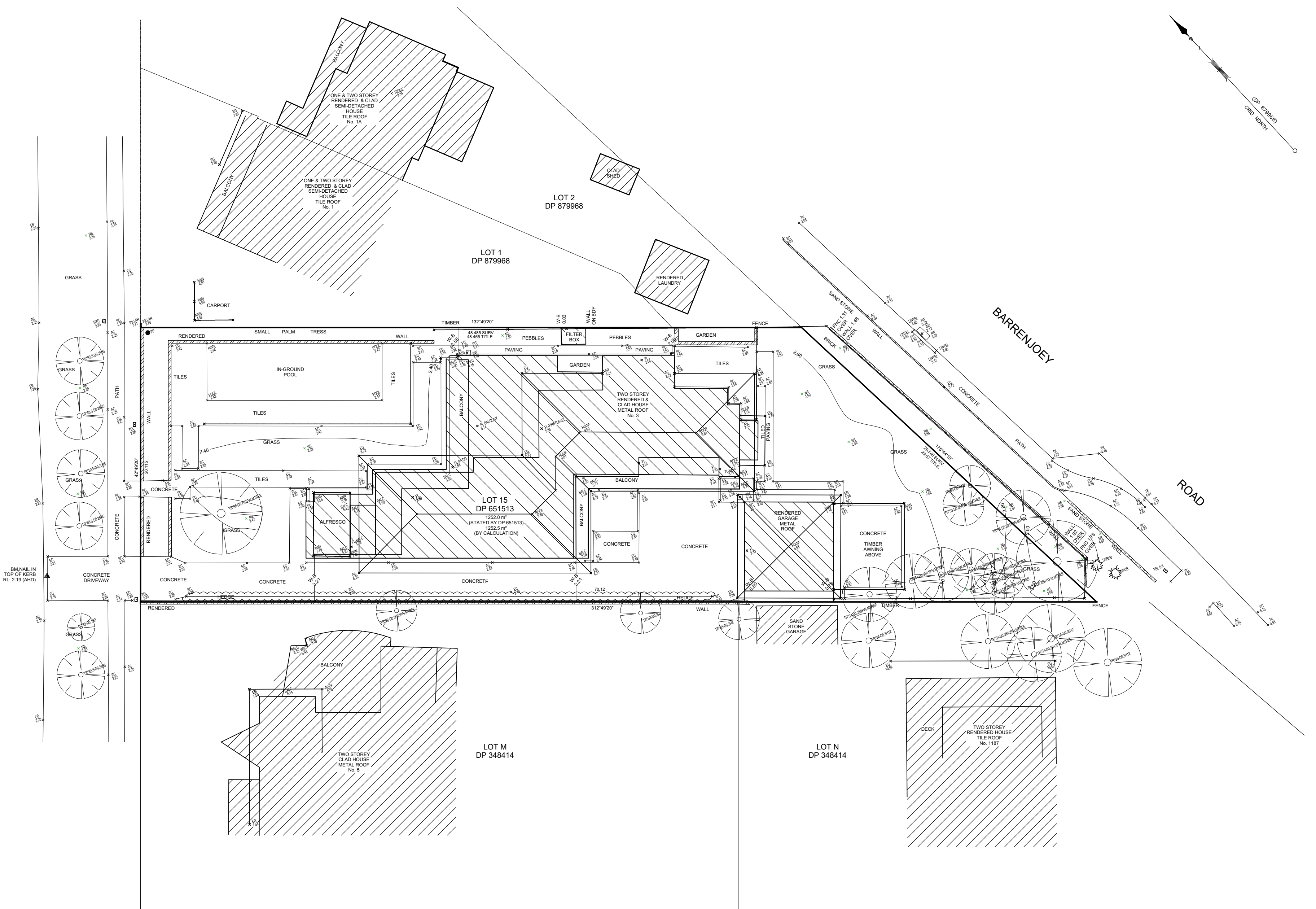






WARATAH ROAD

WARATAH ROAD



REV.	DATE	DESCRIPTION
A	16.08.2023	ISSUED TO PLANNER FOR REVIEW
B	20.09.2023	ISSUED FOR DEVELOPMENT APPLICATION
C	29.09.2023	ADDITIONAL INFORMATION SHOWN - ISSUED FOR DA

CHECKED
KM
KM
KM

LEGEND

ABBREVIATIONS	
AC	AIR CONDITIONING
AD	AUSTRALIAN HEIGHT DATUM
AS	AUSTRALIAN STANDARD
AW	AWNING WINDOW
BF	B-FOLD
CS	CASHERMENT WINDOW
DB	DOUBLE
DP	DOWNPIPE
EX	EXISTING
EQ	EQUAL
FC	FIXED
FCL	FINISHED CEILING LEVEL
FF	FIRST FLOOR
FFL	FINISHED FLOOR LEVEL
FRL	FINISHED REDUCED LEVEL
GF	GROUND FLOOR
JN	JOINERY
LFW	LINEAR FLOOR WASTE
LG	LOWER GROUND FLOOR
LGW	LOWER GROUND FLOOR WASTE
NCC	NATIONAL CONSTRUCTION CODE (BCA)
NTS	NOT TO SCALE
PV	PHOTO VOLTATICS
RT	ROOF TILE
SML	SKYLIGHT
SL	SLIDING DOOR
SMK	SMOKE ALARM
TOG	TOP OF GUTTER
V	VENT
VOS	VERIFY ON SITE

MATERIALS AND FINISHES	
AD	ALUMINIUM DOOR
AL	ALUMINIUM
AW	ALUMINIUM WINDOW
BB	BALANCE BOARD
BK	BRICK
BMR	BITUMINOUS MEMBRANE
ROOFING	ROOFING
CA	CARPET
CF	CLEAR FINISH
CR	CEMENT RENDER
FC	FIBRE CEMENT
GL	GLAZED
GT	GLAZED TIMBER DOOR
MRS	METAL ROOF SHEETING
PAV	PAVING
PB	PLASTERBOARD
R	REINFORCED CONCRETE
RC	REINFORCED CONCRETE
ST	STONE
TB	TIMBER BATTEN
TD	TIMBER DOOR
TDK	TIMBER DOOR KICK
T&G	TIMBER TONGUE & GROOVE
TLTC	TILE - TERRACOTTA
TW	TIMBER WINDOW
TLF	TILE - FLOOR
WB	WEATHERBOARD
VT	VITRIFIED TILE
ZRS	ZINC ROOF SHEETING

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STEPHEN AND SUSAN JONES

PROJECT  
ALTERATIONS AND ADDITION TO EXISTING DWELLING  
3 WARATAH ROAD, PALM BEACH LOT 15 DP 651513

DRAWING NAME  
SURVEY DRAWING PREPARED  
BY C&A SURVEYORS

DRAWING STAGE  
DEVELOPMENT APPLICATION

DRAWING NUMBER  
22 026 AR DA 12

DATE  
AUG 2023

SCALE  
1:200 AT A2

REVISION  
C



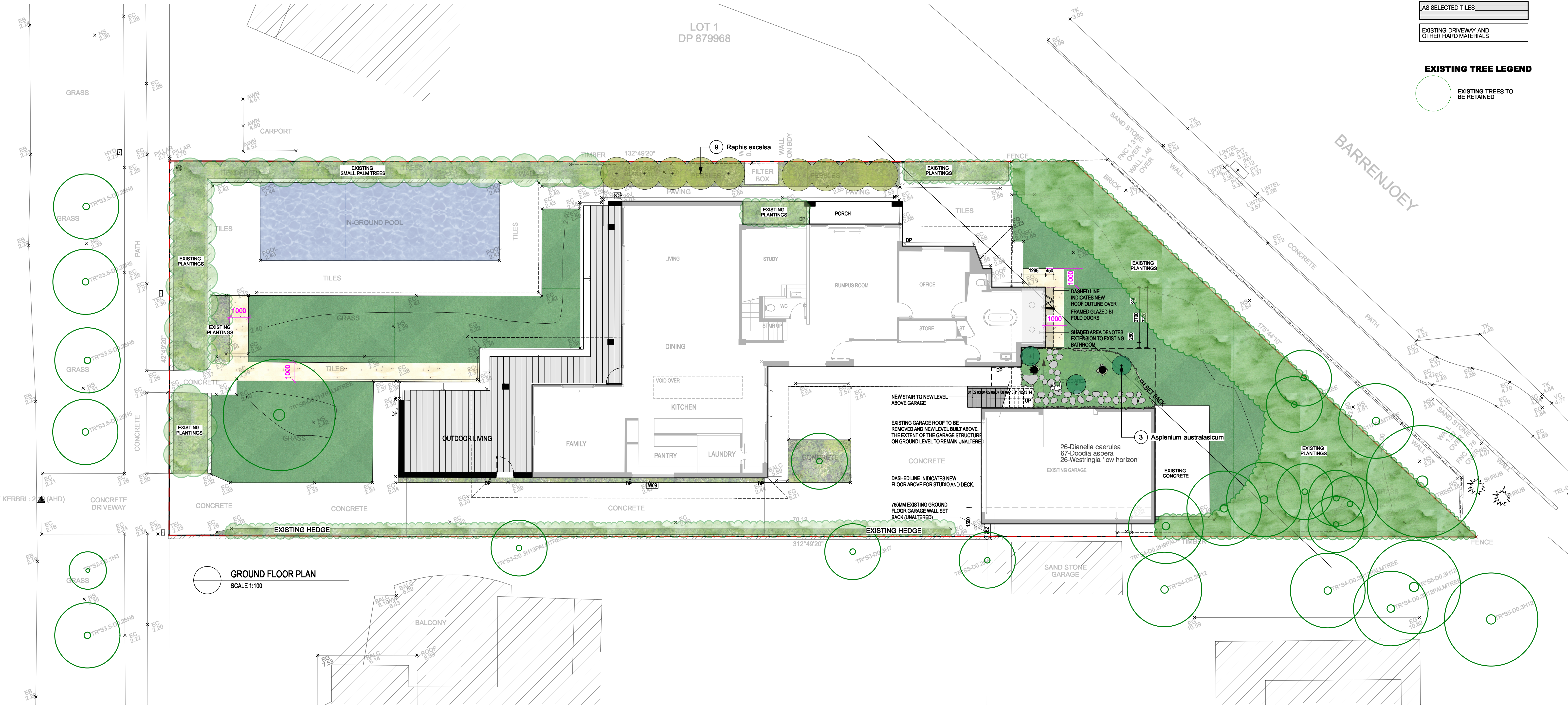




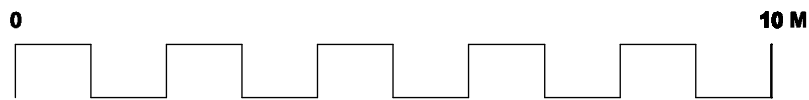
LEGEND

AS SELECTED PAVING
TURF
DEEP SOIL GARDENS
EXISTING PLANTING
EXISTING POOL
PROPOSED BUILDING
AS SELECTED TILES
AS SELECTED TILES
EXISTING DRIVEWAY AND OTHER HARD MATERIALS

EXISTING TREE LEGEND



GROUND FLOOR PLAN  
SCALE 1:100



**GENERAL NOTES**  
All work to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Local Authorities Regulations and all other relevant Authorities concerned.  
All structural work and site drainage to be subject to Engineer's details or certification where required by Council. This shall include r.c. slabs and footings, r.c. and steel beams & columns, wind bracing to AS 1170 and AS4055, anchor rods or bolts, tie downs, fixings etc., driveway slabs and drainage to Council's satisfaction. All timbers to be in accordance with SAA Timber Structure Code AS1720 and SAA Timber Framing Code AS 1884. All work to be carried out in a professional and workman- shiplike manner according to the plans and specification.  
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Project	PROPOSED ALTERATIONS AND ADDITION TO EXISTING DWELLING		
Address	3 WARATAH ROAD, PALM BEACH LOT 15 DP 651513	Date	15/08/23
Drawing Title	GROUND FLOOR LANDSCAPE PLAN	Scale	1:100@A1

Drawing No. **1489**

**A** 15/08/23 FOR REVIEW  
ISSUE DATE COMMENT  
AMENDMENTS

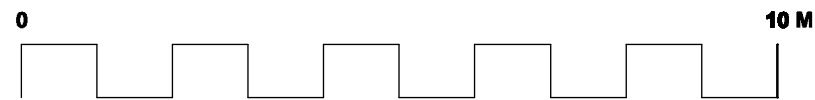
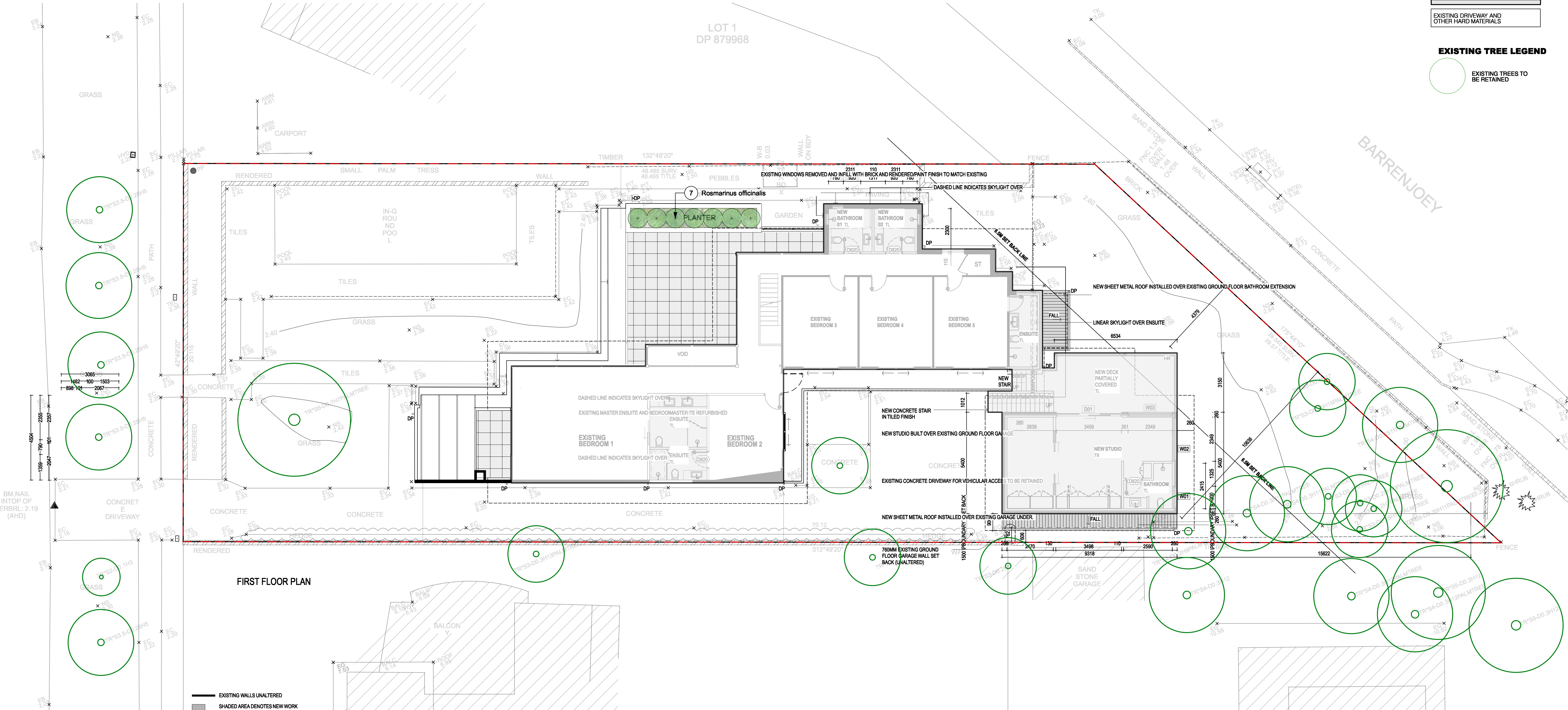
Page  
**L-02**



LEGEND

AS SELECTED PAVING
TURF
DEEP SOIL GARDENS
EXISTING PLANTING
EXISTING POOL
PROPOSED BUILDING
AS SELECTED TILES
AS SELECTED TILES
EXISTING DRIVEWAY AND OTHER HARD MATERIALS

EXISTING TREE LEGEND



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Project	PROPOSED ALTERATIONS AND ADDITION TO EXISTING DWELLING	
Address	3 WARATAH ROAD, PALM BEACH LOT 15 DP 651513	Date 15/08/23
Drawing Title	FIRST FLOOR LANDSCAPE PLAN	Scale 1:100@A1

Drawing No. **1489**

**A 15/08/23 FOR REVIEW**  
**ISSUE DATE COMMENT**  
**AMENDMENTS**

Page  
**L-03**



Plant List						
ID	Botanical Name	Common Name	Scheduled Size	Mature Height	Mature Spread	Qty
<b>Trees</b>						
<b>Shrubs</b>						
rap-exc	Raphis excelsa	Lady Palm	300mm	3 - 5m	2.0 - 3.5m	9
Ros-off	Rosmarinus officinalis	Rosemary	200mm	1.5 - 3m	1.2 - 2.0m	7
<b>Ground Covers</b>						
wes-lh'	Westringia 'low horizon'	coastal rosmary	200mm	0.4m	0.8m	26
<b>Grasses</b>						
Dia-cae	Dianella caerulea	Blue Flax-lily	150mm	0.4m	0.6m	26
asp-aus	Asplenium australasicum	Birds Nest Fern	150mm	1m	1.2m	3
doo-asp	Doodia aspera	Rasp Fern	150mm	0.3	1m	67



Raphis excelsa  
Lady Palm



Rosmarinus officinalis  
Rosemary



Westringia low horizon  
Coastal rosemary



Dianella caerulea  
Flax Lilly



Asplenium australasicum  
Crow's nest fern

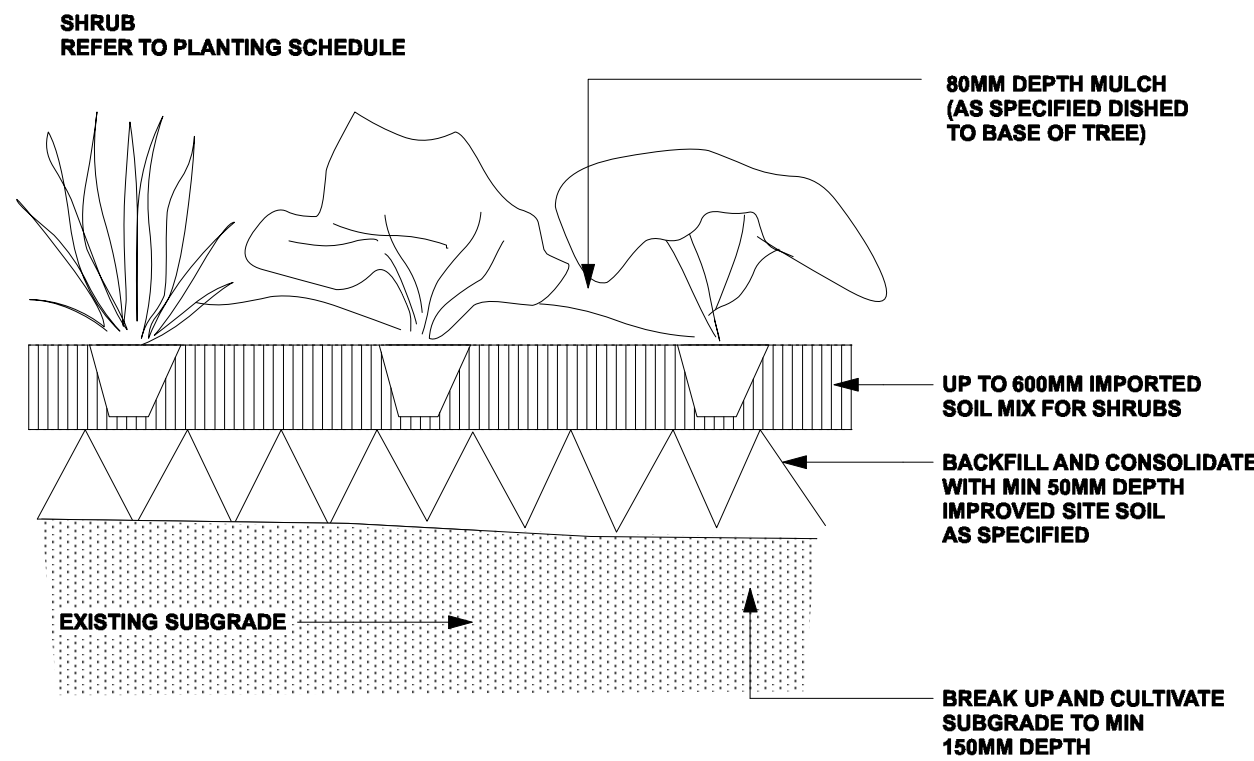


Doodia aspera  
Rasp Fern

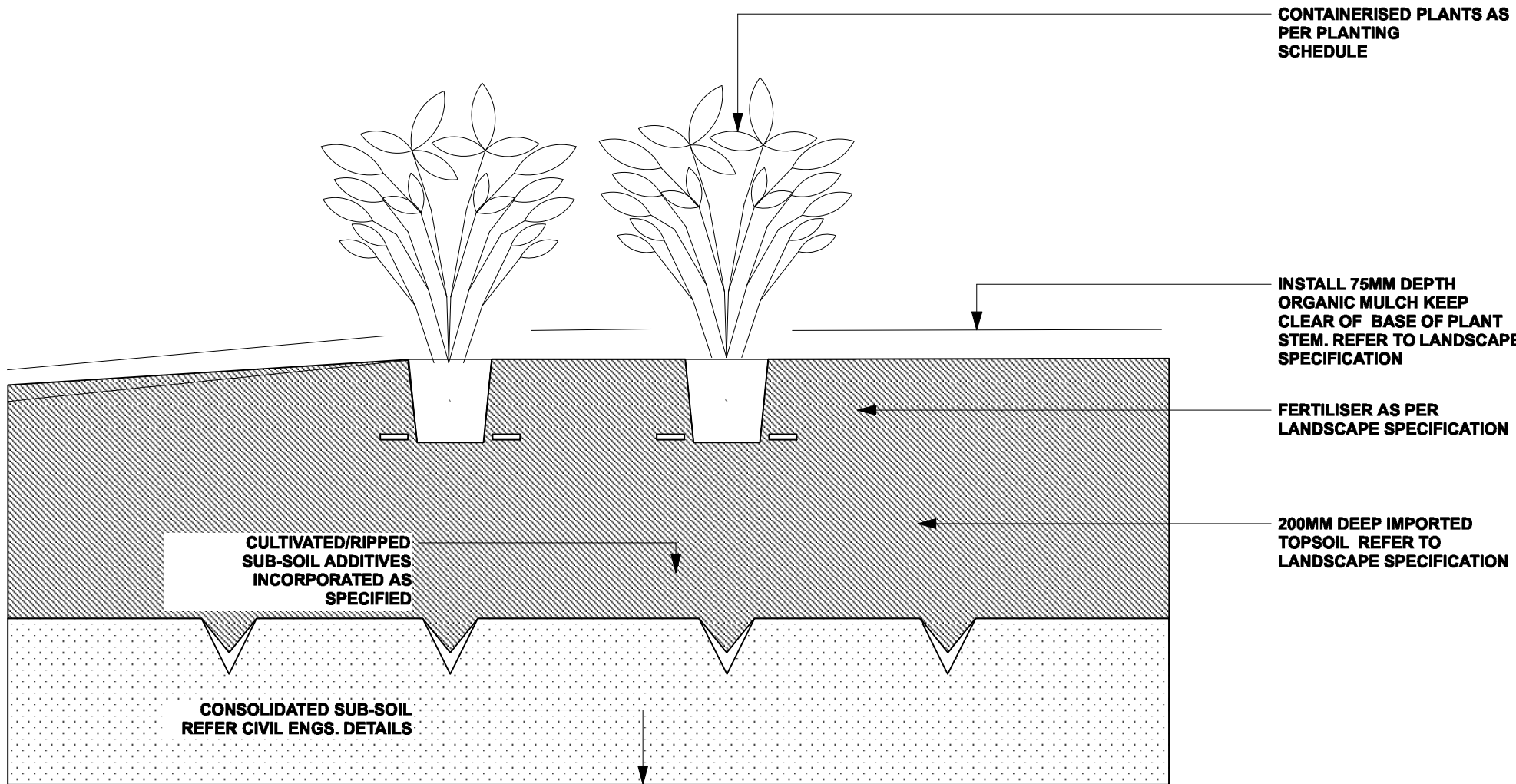
LANDSCAPE MAINTENANCE NOTES

THE CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ALL AREAS OF THE CONTRACT DURING THE PROGRESS OF THE WORKS. THE CONTRACTOR SHALL COMMENCE AND FULLY IMPLEMENT THE SHORT-TERM MAINTENANCE AND ESTABLISHMENT AFTER PRACTICAL COMPLETION HAS BEEN CONFIRMED. SITE CONTROL: REPORT TO THE PRINCIPAL'S DESIGNATED REPRESENTATIVE ON ARRIVING AT AND BEFORE LEAVING THE SITE. PLANT ESTABLISHMENT PERIOD: THE PERIOD BETWEEN THE DATE OF PRACTICAL COMPLETION AND THE DATE OF FINAL COMPLETION. MAINTENANCE/ ESTABLISHMENT PERIOD: 12 MONTHS.

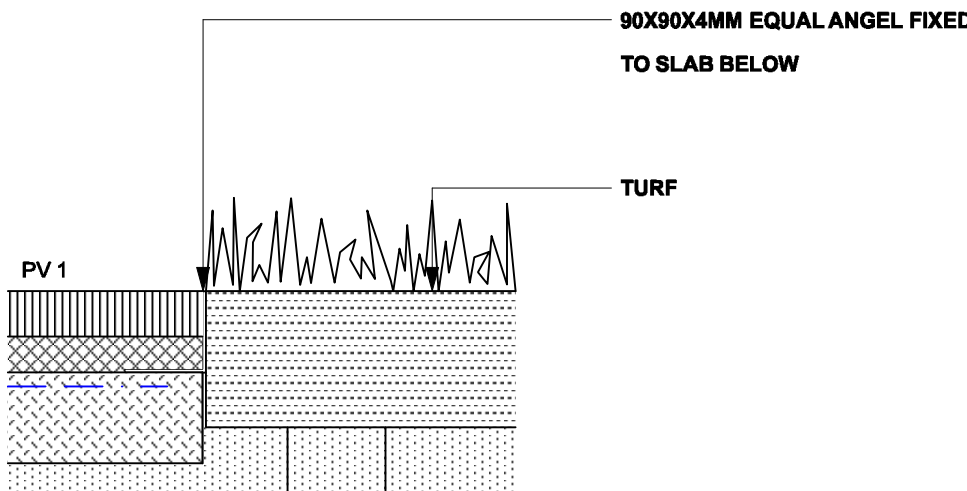
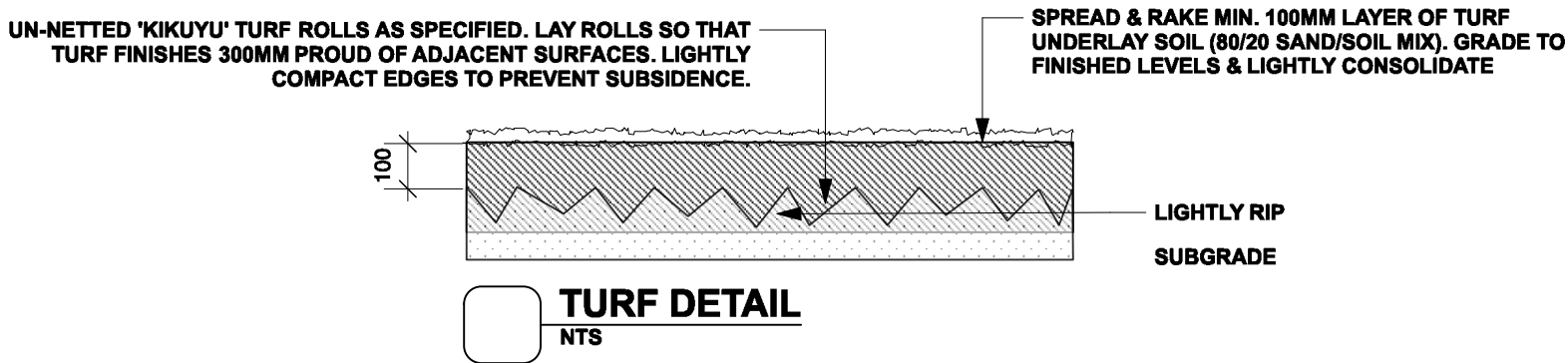
PLANT ESTABLISHMENT: MAINTAIN THE CONTRACT AREA DURING THE PLANT ESTABLISHMENT PERIOD. ENSURE THE GENERAL APPEARANCE AND PRESENTATION OF THE LANDSCAPE AND THE QUALITY OF PLANT MATERIAL AT DATE OF PRACTICAL COMPLETION IS MAINTAINED FOR THE FULL PLANTING ESTABLISHMENT PERIOD. EXISTING PLANT MATERIAL: MAINTAIN EXISTING PLANTING WITHIN THE LANDSCAPE CONTRACT AREA AS SPECIFIED FOR NEW PLANTING. REPLACEMENTS: REPLACE FAILED, DEAD AND/OR DAMAGED PLANTS AT MINIMUM 3 WEEK INTERVALS AS NECESSARY THROUGHOUT THE FULL PLANT ESTABLISHMENT PERIOD. REPORTING: SUBMIT REGULAR REPORTS BY THE LAST FRIDAY OF EACH MONTH SUMMARISING THE GENERAL STATUS OF WORKS. INCLUDE A MAINTENANCE SCHEDULE, A LOG BOOK OF MAINTENANCE ACTIVITY, SOIL TEST RESULTS AS REQUIRED FOR ANY FERTILISING PROGRAMS, AND PLANT REPLACEMENT REQUIREMENTS. WATER RESTRICTIONS: COORDINATE THE WATER SUPPLY AND CONFIRM THE WATERING REGIME AGAINST RELEVANT GOVERNMENT LEGISLATION AND RESTRICTIONS AT THE TIME. STAKES AND TIES: REMOVE AT THE END OF THE PLANTING ESTABLISHMENT PERIOD. TEMPORARY FENCES: REMOVE TEMPORARY PROTECTIVE FENCES AT THE END OF THE PLANTING ESTABLISHMENT PERIOD. COMPLIANCE: PLANT ESTABLISHMENT SHALL BE DEEMED COMPLETE, SUBJECT TO THE FOLLOWING:  
\* REPAIRS TO PLANTING MEDIA COMPLETED.  
\* PESTS, DISEASE, OR NUTRIENT DEFICIENCIES OR TOXICITIES ARE NOT EVIDENT.  
\* MULCHED SURFACES HAVE BEEN MAINTAINED IN A WEED FREE AND TIDY CONDITION AND TO THE SPECIFIED DEPTH.  
\* VEGETATION IS ESTABLISHED AND WELL FORMED.  
\* PLANTS HAVE HEALTHY ROOT SYSTEMS.  
\* VEGETATION IS NOT RESTRICTING ESSENTIAL SIGHT LINES AND SIGNAGE.  
\* COLLECTION AND REMOVAL OF LITTER COMPLETED.  
\* REMOVAL OF MULCH FROM DRAINAGE AND ACCESS AREAS COMPLETED.  
\* ALL DEFECTS NOTIFICATIONS HAVE BEEN CLOSED OUT.



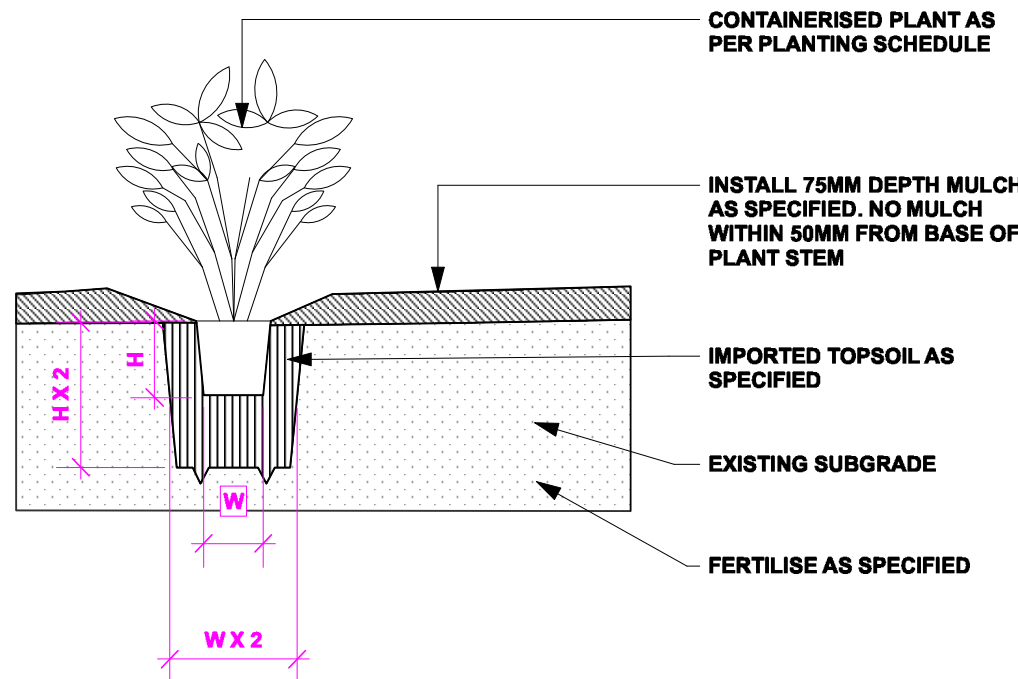
TYPICAL SHRUB PLANTING DETAIL  
NTS



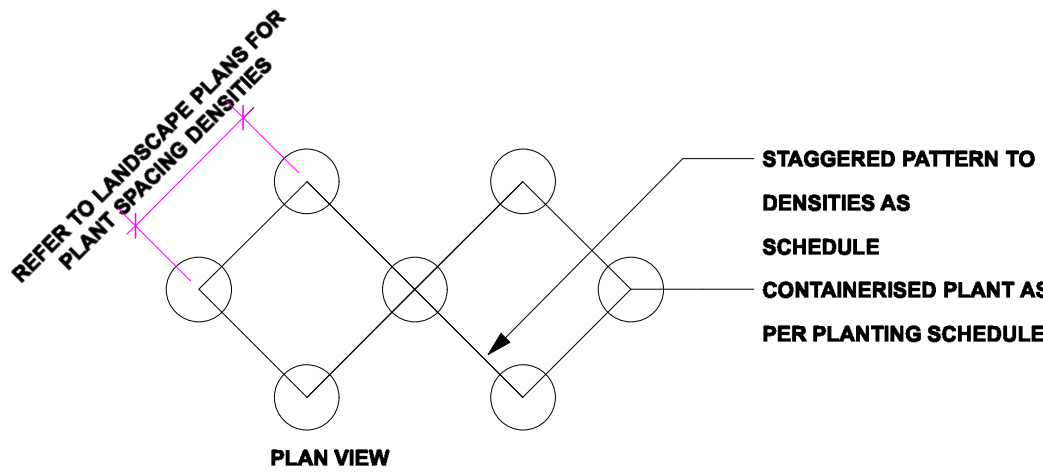
TYPICAL GROUNDCOVER PLANTING DETAIL  
NTS



EDGE TYPE 1 | 8MM CORTEN STEEL EDGE  
NTS



INDIVIDUAL PLANTING  
NTS



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Project **PROPOSED ALTERATIONS AND ADDITION TO EXISTING DWELLING**

Address **3 WARATAH ROAD, PALM BEACH LOT 15 DP 651513**

Date **15/08/23**

Drawing Title **PLANTING DETAILS**

Scale **N.T.S@A1**

Drawing No. **1489**

ISSUE DATE COMMENT  
AMENDMENTS

Page  
**L-04**