

# 17 TAMWORTH PLACE 20 CHURCHILL AVENUE ALLAMBIE HEIGHTS

## DEVELOPMENT APPLICATION

For alterations and additions



### DRAWING LIST

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A600	Finishes Schedule	D	13.03.20

### DEVELOPMENT APPLICATION

#### Notes

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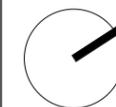
Rev	Comments	Date
A	ISSUED TO CLIENT FOR REVIEW	07.10.19
B	ISSUED TO CLIENT FOR REVIEW	27.10.19
C	ISSUED TO COUNCIL FOR DA	30.01.20
D	ISSUED TO COUNCIL FOR RFI	13.03.20

## JO Architecture

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Drawn: JO

Checked:



True North

#### Project

17 Tamworth Place

#### Client

Yanni Fotiadis

#### Address

17 Tamworth Place  
Allambie Heights

#### Drawing Title

Cover Sheet

NOT FOR CONSTRUCTION

Scale @A3

Date: 13.03.20

1904

Project no.

DA

Drawing Phase.

A001

Drawing No.

D

Rev

Project address	
Project name	17 Tamworth Place, Allambie Heights
Street address	20 Churchill Crescent Allambie Heights 2100
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 241941
Lot number	6
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Fixtures and systems	
<b>Lighting</b>	
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	
<b>Fixtures</b>	
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.	
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.	
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	

Construction		
<b>Insulation requirements</b>		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m <sup>2</sup> , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)	
floor above existing dwelling or building.	nil	
external wall: cavity brick	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
internal wall shared with garage: cavity brick wall (R0.67)	nil	
raked ceiling, pitched/skillion roof: framed	ceiling: R3.00 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)

Glazing requirements						
<b>Windows and glazed doors</b>						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.						
The following requirements must also be satisfied in relation to each window and glazed door:						
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.						
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.						
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.						
External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.						
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.						
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.						
<b>Windows and glazed doors glazing requirements</b>						
Window / door no.	Orientation	Area of glass inc. frame (m <sup>2</sup> )	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W1	NW	0.7	5.6	4.8	external louvre/blind (adjustable)	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W2	NW	0.7	5.6	4.8	external louvre/blind (adjustable)	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W3	SW	3.4	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W4	NW	2.5	3.1	4.8	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W5	NW	0.7	3.1	4.8	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W6	NE	2.4	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W7	NE	2.4	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W8	NE	0.56	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W9	SE	1	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W10	SE	1	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W11	SW	2.1	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W12	SW	2.1	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
D01	NW	3.1	7.1	4.8	none	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
D03	NE	2.2	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
D04	SE	5.6	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
D05	SW	9.2	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
D06	SE	5.6	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
D07	SE	5.6	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
D08	SW	7.5	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
D09	SW	7.5	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W13	NW	6.9	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)

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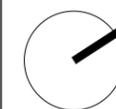
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Drawn: JO

Checked:



True North

Project  
**17 Tamworth Place**

Client  
**Yanni Fotiadis**

Address  
**17 Tamworth Place  
Allambie Heights**

Drawing Title

**BASIX Commitments**

NOT FOR CONSTRUCTION

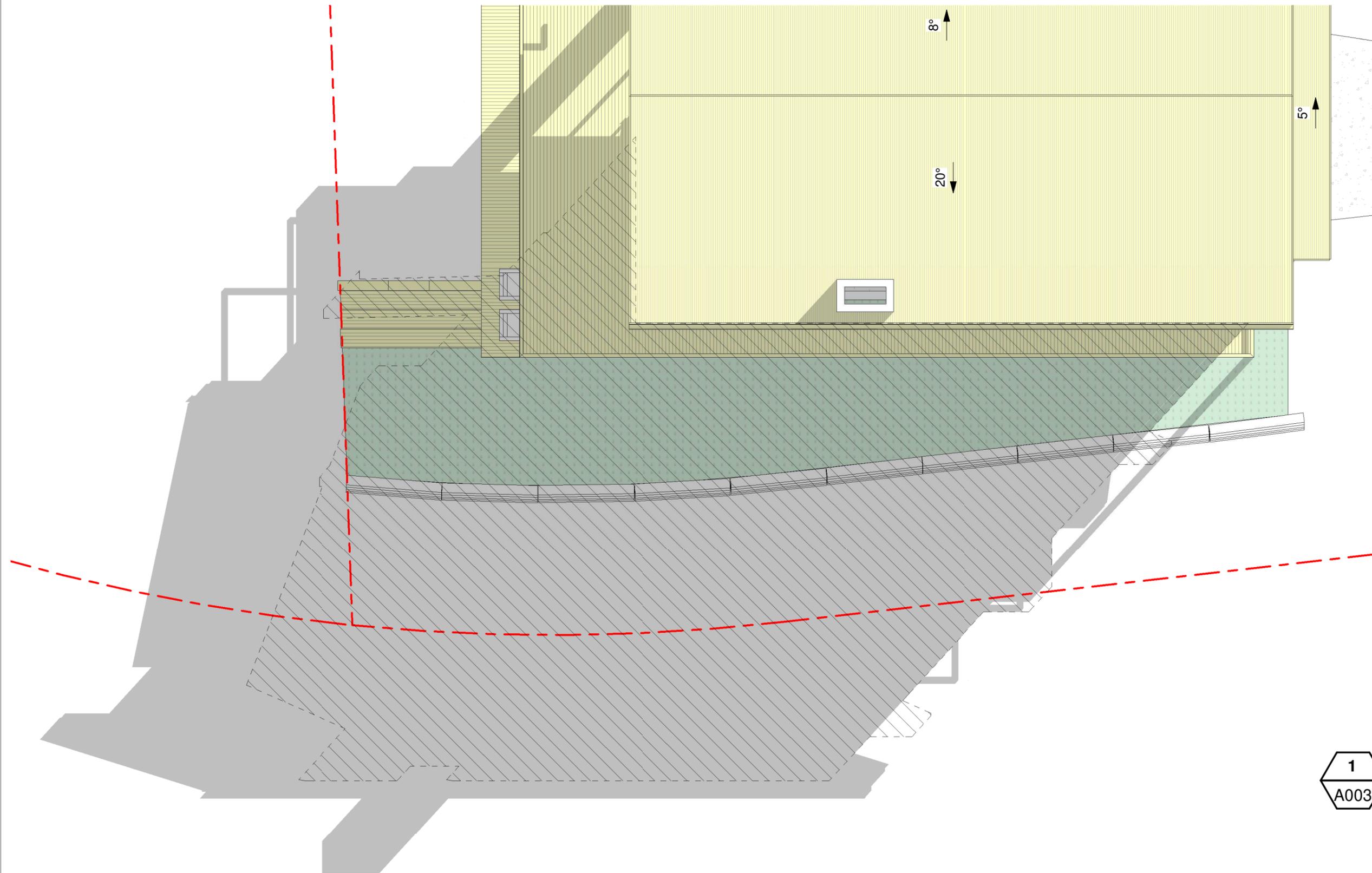
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**1904** **DA** **A002**  
 Project no. Drawing Phase. Drawing No.

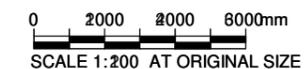
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**LEGEND**

-  Existing Shadow
-  Proposed Shadows



**1** Shadow Diagram - 9am  
**A003** SCALE 1 : 100



**DEVELOPMENT APPLICATION**

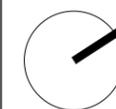
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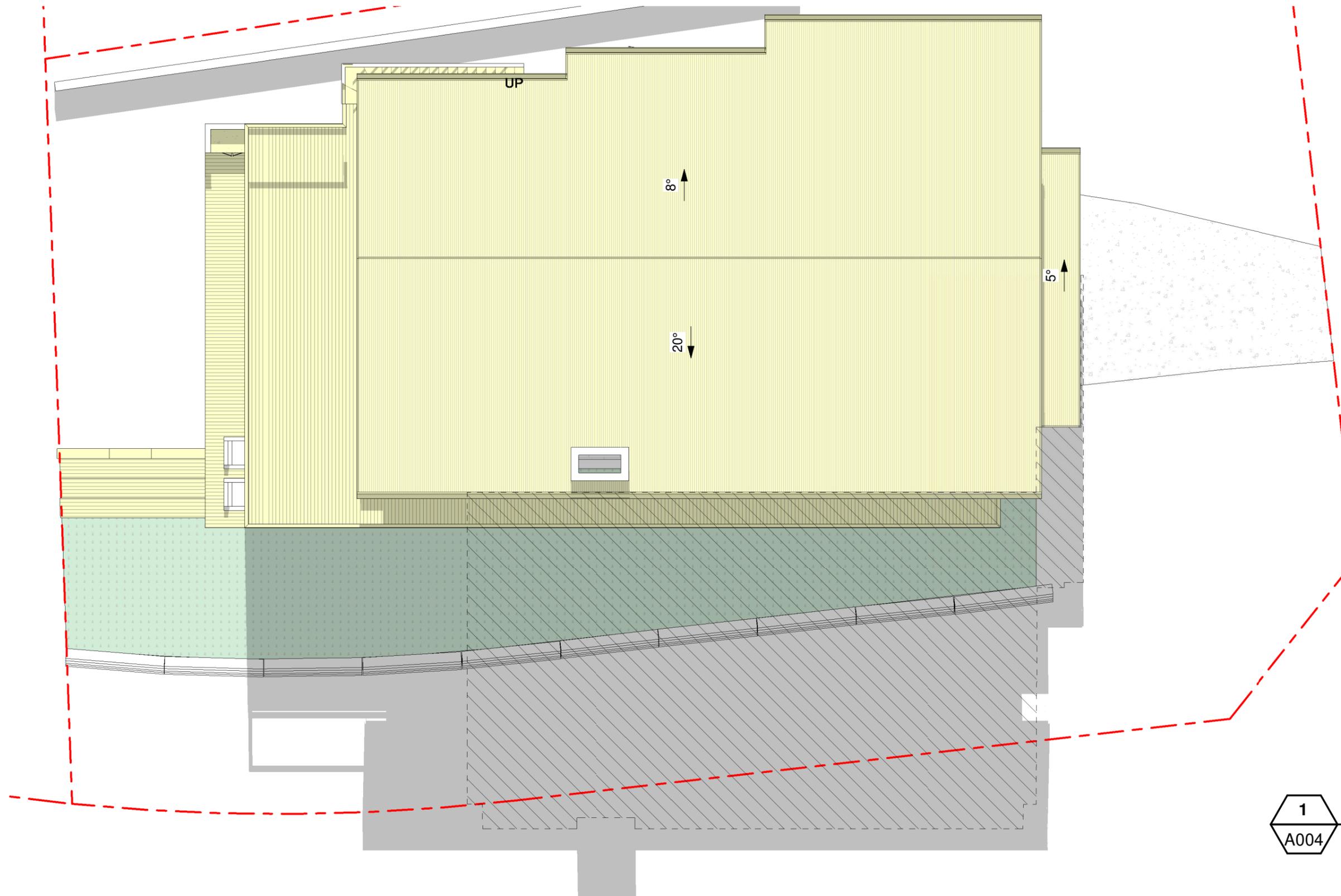
Project  
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**Allambie Heights**

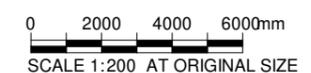
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NOT FOR CONSTRUCTION			
Scale 1 : 100 @A3	Date: 13.03.20		
<b>1904</b> Project no.	<b>DA</b> Drawing Phase.	<b>A003</b> Drawing No.	<b>D</b> Rev

**LEGEND**

-  Existing Shadow
-  Proposed Shadows



**1** Shadow Diagram - 12pm  
**A004** SCALE 1 : 100



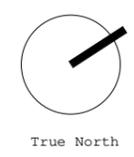
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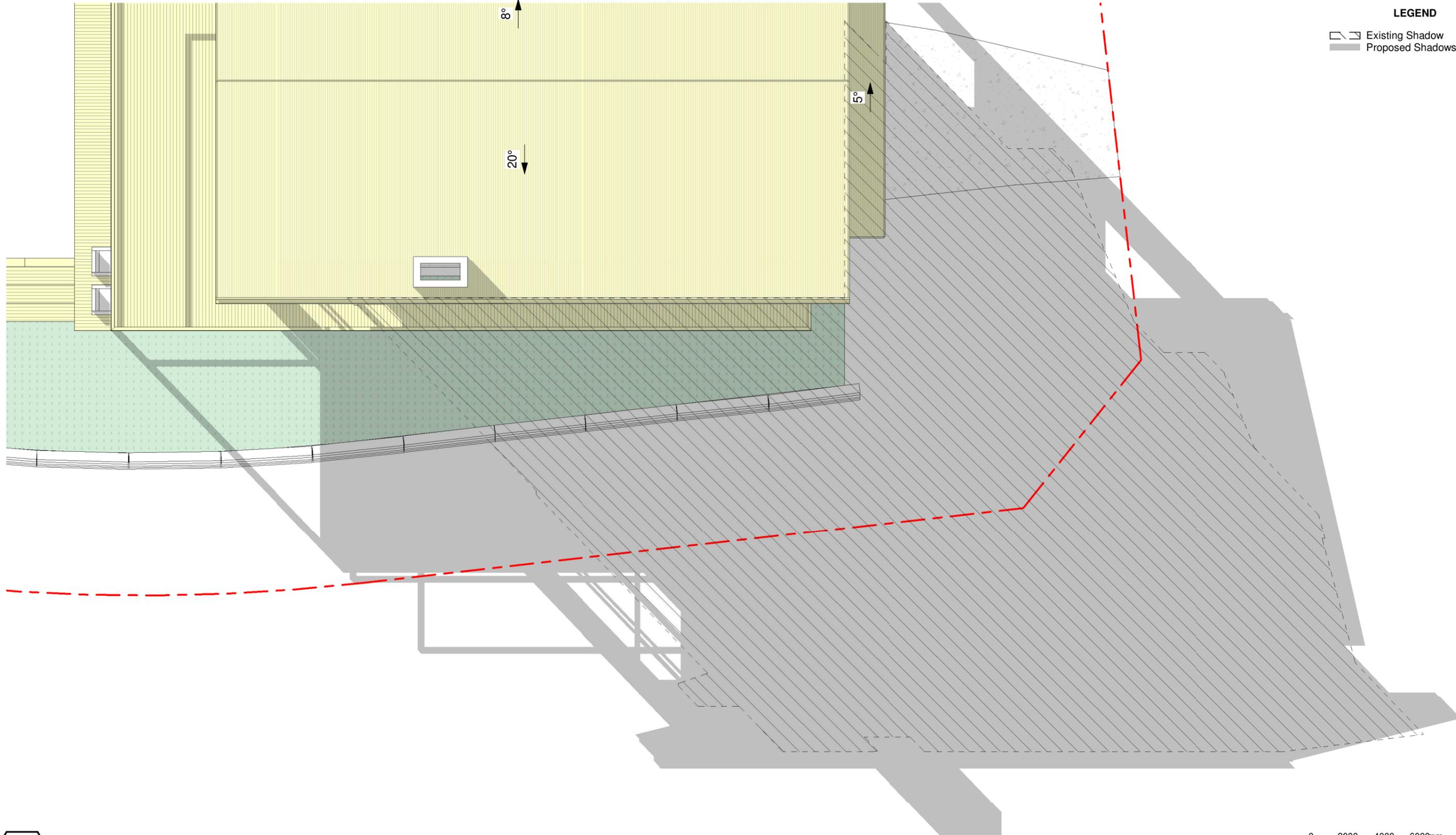
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Project  
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 Address  
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**Allambie Heights**

Drawing Title <b>Shadow Diagram June 21st 12pm</b>			
NOT FOR CONSTRUCTION			
Scale 1 : 100 @A3	Date: 13.03.20		
<b>1904</b> Project no.	<b>DA</b> Drawing Phase.	<b>A004</b> Drawing No.	<b>D</b> Rev



**LEGEND**  
 Existing Shadow  
 Proposed Shadows

**1** Shadow Diagram - 3pm  
 A005 SCALE 1 : 100

0 2000 4000 6000mm  
 SCALE 1:200 AT ORIGINAL SIZE

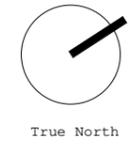
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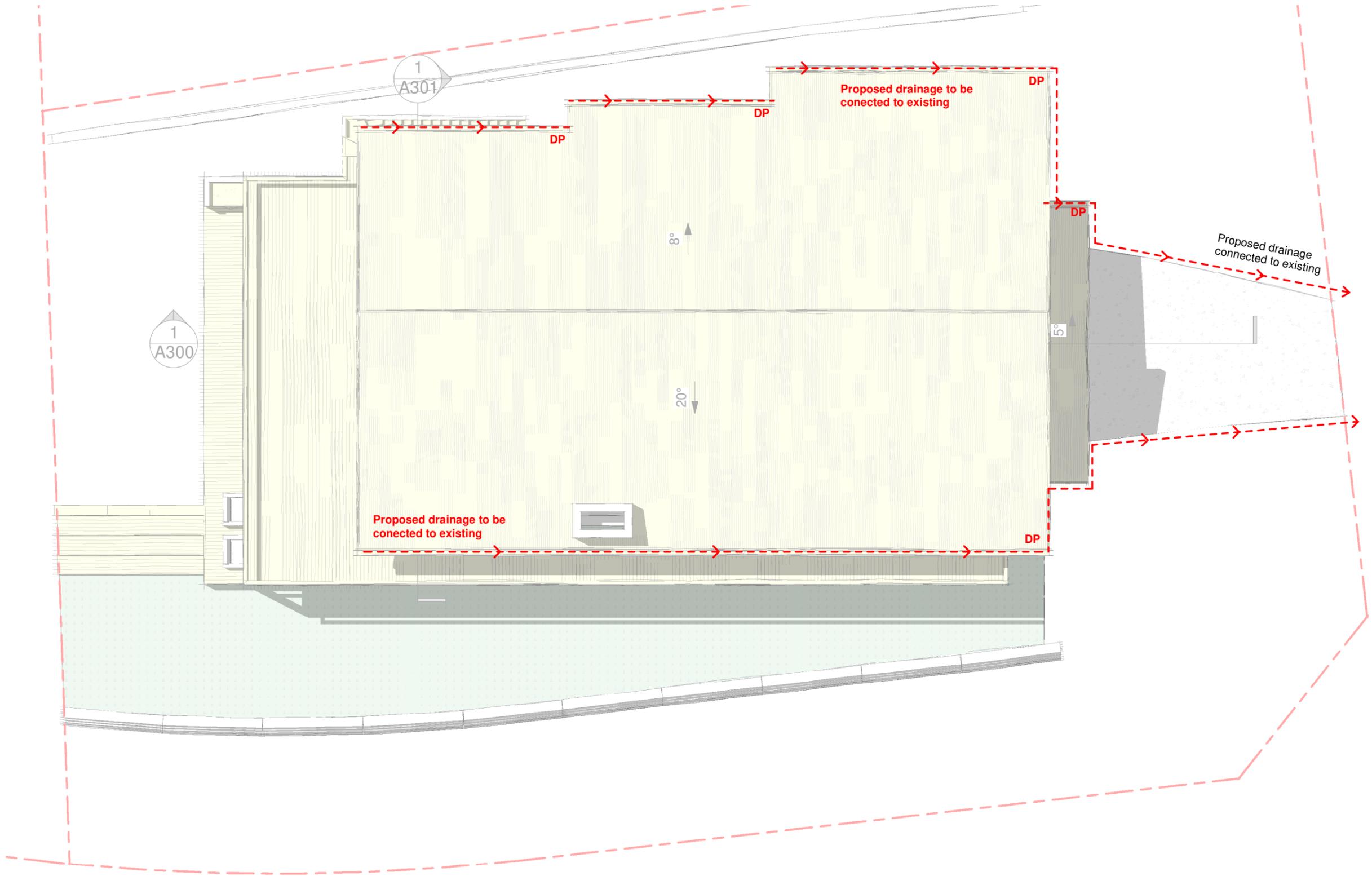
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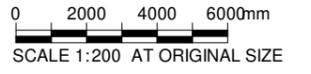
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NOT FOR CONSTRUCTION			
Scale 1 : 100 @A3	Date: 13.03.20		
<b>1904</b> Project no.	<b>DA</b> Drawing Phase.	<b>A005</b> Drawing No.	<b>D</b> Rev

**DRAINAGE LEGEND**

- Existing Drainage
- - - Proposed Drainage
- DP New Downpipe
- DP Existing Downpipe



**1** Concept Drainage Plan  
A006 SCALE 1 : 100



**DEVELOPMENT APPLICATION**

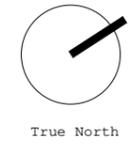
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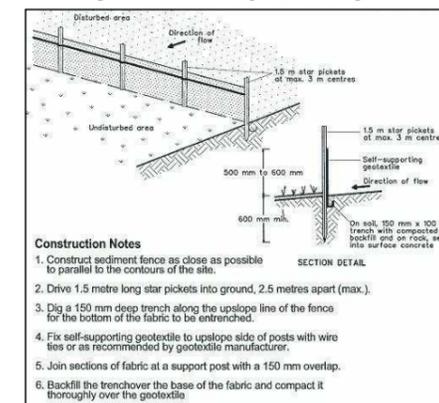
Address  
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Drawing Title <b>Concept Drainage Plan</b>			
NOT FOR CONSTRUCTION			
Scale 1 : 100 @A3	Date: 13.03.20		
<b>1904</b> Project no.	<b>DA</b> Drawing Phase.	<b>A006</b> Drawing No.	<b>D</b> Rev

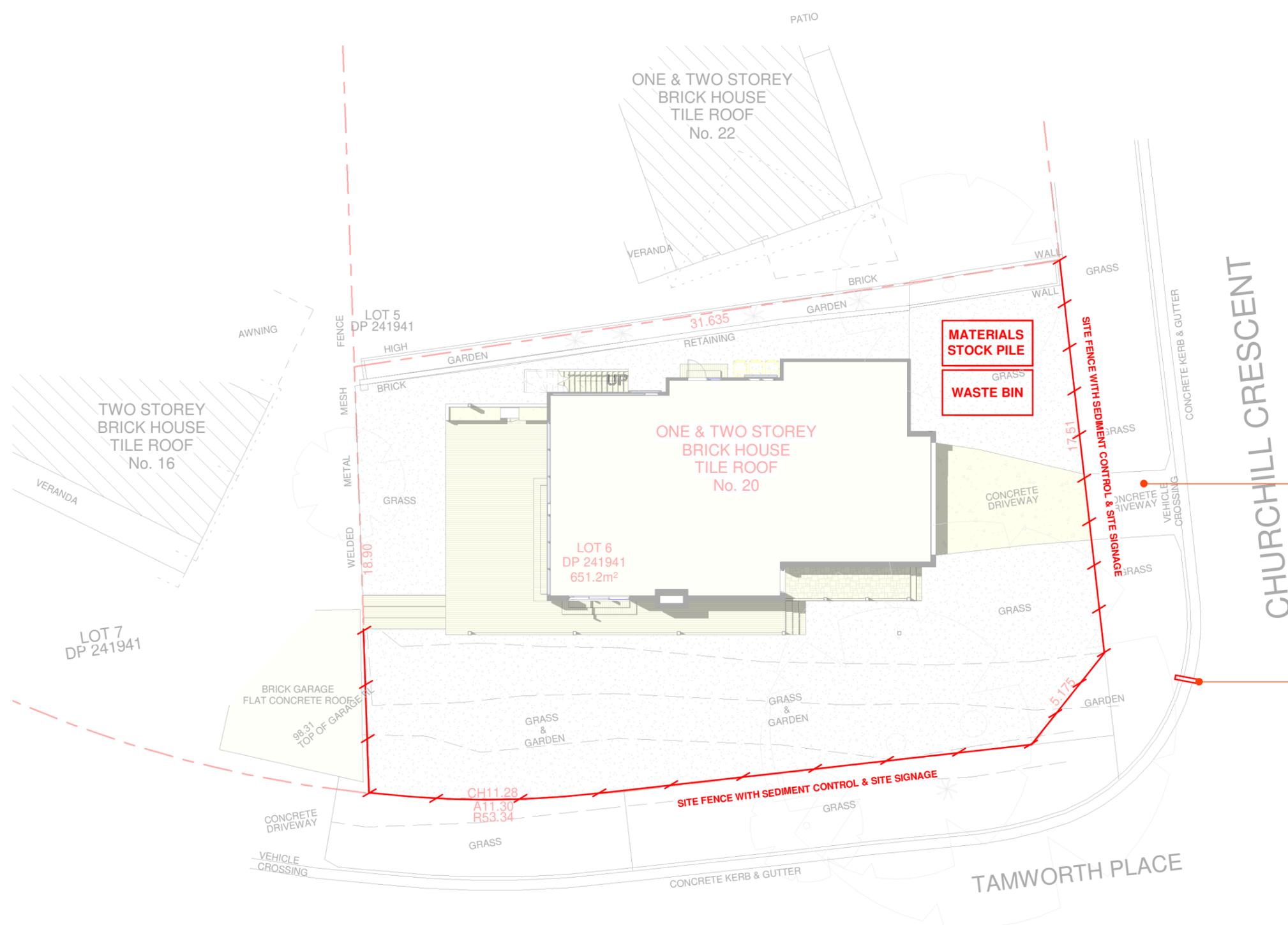
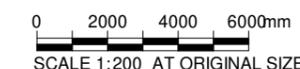
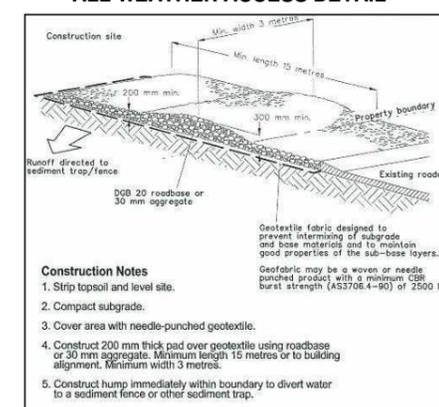
**SITE & SEDIMENT CONTROL**

- The site manager shall ensure at all times that all soil and sediment control works and devices are implemented in accordance with the department of housing "managing urban Stormwater soils & construction 1998. The Blue Book"
- Prior to commencement sediment control details are to be installed as detailed on this plan.
- Stabilized construction access is to be installed as required
- Area disturbed are to be minimized at all times. Sediment fence or other suitable devices are to be installed downstream of disturbed areas
- During windy and prolonged dry periods, disturbed areas are to be kept moist by sprinkling with water for dust containment.
- Diversion banks/channels etc. are to be installed where required to divert upstream overland flows from entering disturbed areas.
- The site manager must inspect all sedimentation control devices at least weekly and also at end each storm event to ensure they are operational and perform their functions as intended.
- Where a device is unsuitable a new device shall be installed to specification to ensure it will perform the necessary sediment & erosion control task
- Clean and remove trapped sediments and dispose off site and/or spread and compact on site in a manner to prevent further erosion & pollution.
- Assess the effectiveness of devices and install additional and or new devices in accordance with "The Blue Book" to ensure that downstream protection is achieved.
- Where feasible all disturbed areas are to be rehabilitated as soon as possible with vegetative cover.
- Waste bins are to be provided for contaminated wastes eg. paint, concrete, mortar slurries, light weight materials, litters etc. and bins are to be emitted at regular intervals at waste disposal sites.
- All contaminated materials are to be stored in waste bins clear off poor drainage areas, eg. overland flow paths etc so that they will not be transported to downstream waterways & drainage systems.

**SEDIMENT FENCE DETAILS**



**ALL WEATHER ACCESS DETAIL**



HARD STAND SURFACE FOR LOADING AND UNLOADING OF MATERIALS

PROVIDE SILT BAG WITH GEOTEXTILE FABRIC TO PREVENT DOWNSTREAM RUN OFF, INSPECT & CLEAR REGULARLY & AFTER STORM EVENTS

**1** Soil and Water Management Plan  
**A007** SCALE 1 : 200

**DEVELOPMENT APPLICATION**

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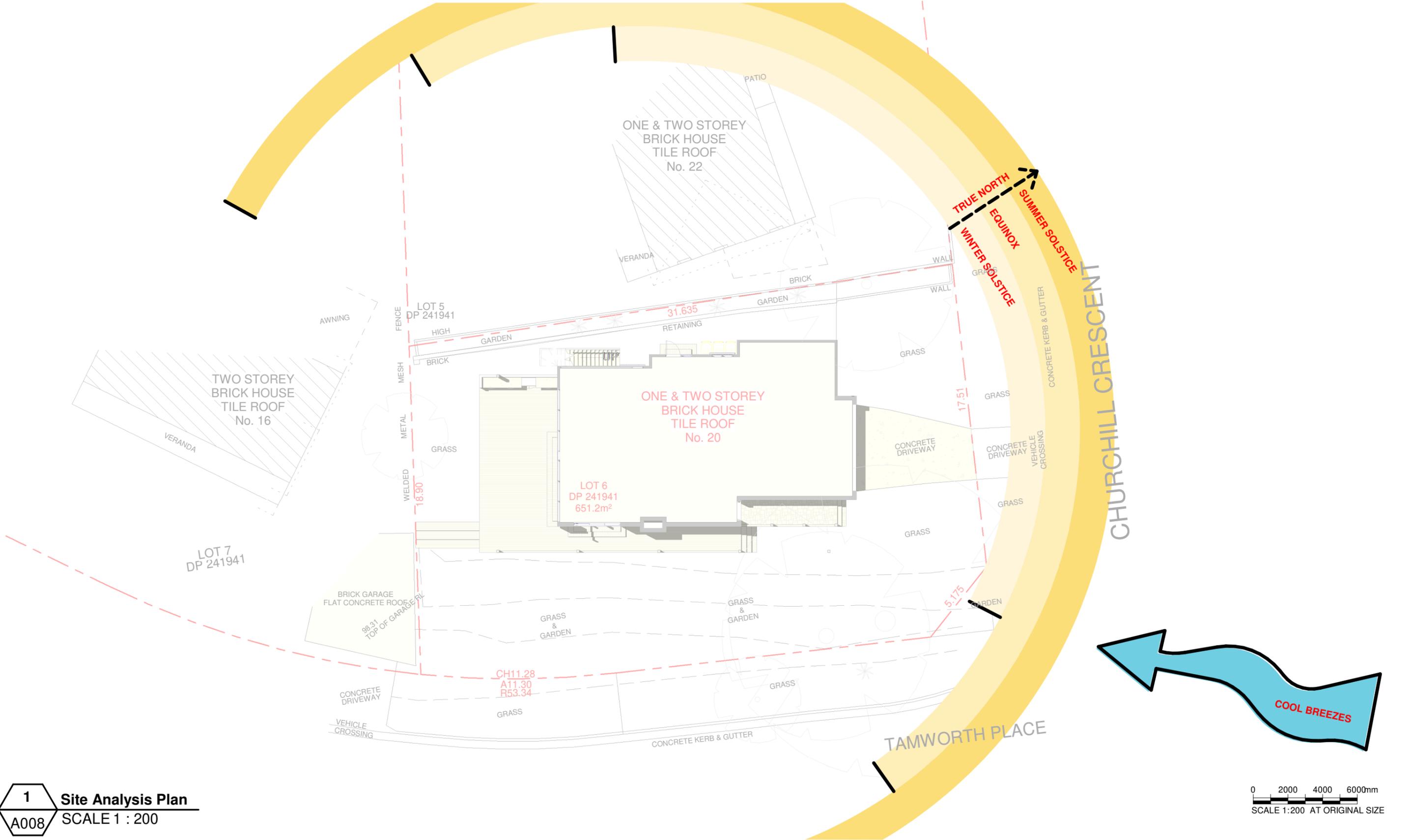
Address  
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Drawing Title  
**Soil and Water Management Plan**

NOT FOR CONSTRUCTION

Scale As indicated      Date: 13.03.20

Project no. **1904**      Drawing Phase. **DA**      Drawing No. **A007**      Rev **D**



**DEVELOPMENT APPLICATION**

**Notes**

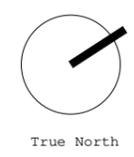
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**17 Tamworth Place**

Client  
**Yanni Fotiadis**

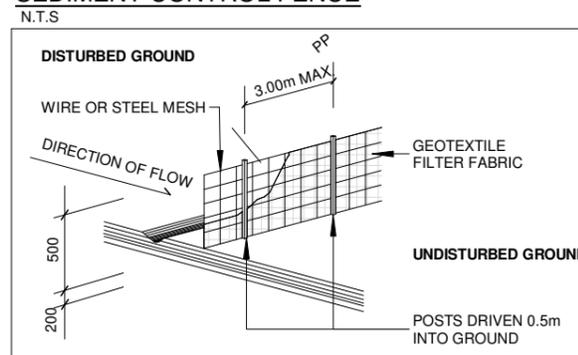
Address  
**17 Tamworth Place  
Allambie Heights**

Drawing Title <b>Site Analysis Plan</b>			
NOT FOR CONSTRUCTION			
Scale 1 : 200 @A3	Date: 13.03.20		
<b>1904</b> Project no.	<b>DA</b> Drawing Phase.	<b>A008</b> Drawing No.	<b>D</b> Rev

**SITE SUMMARY**

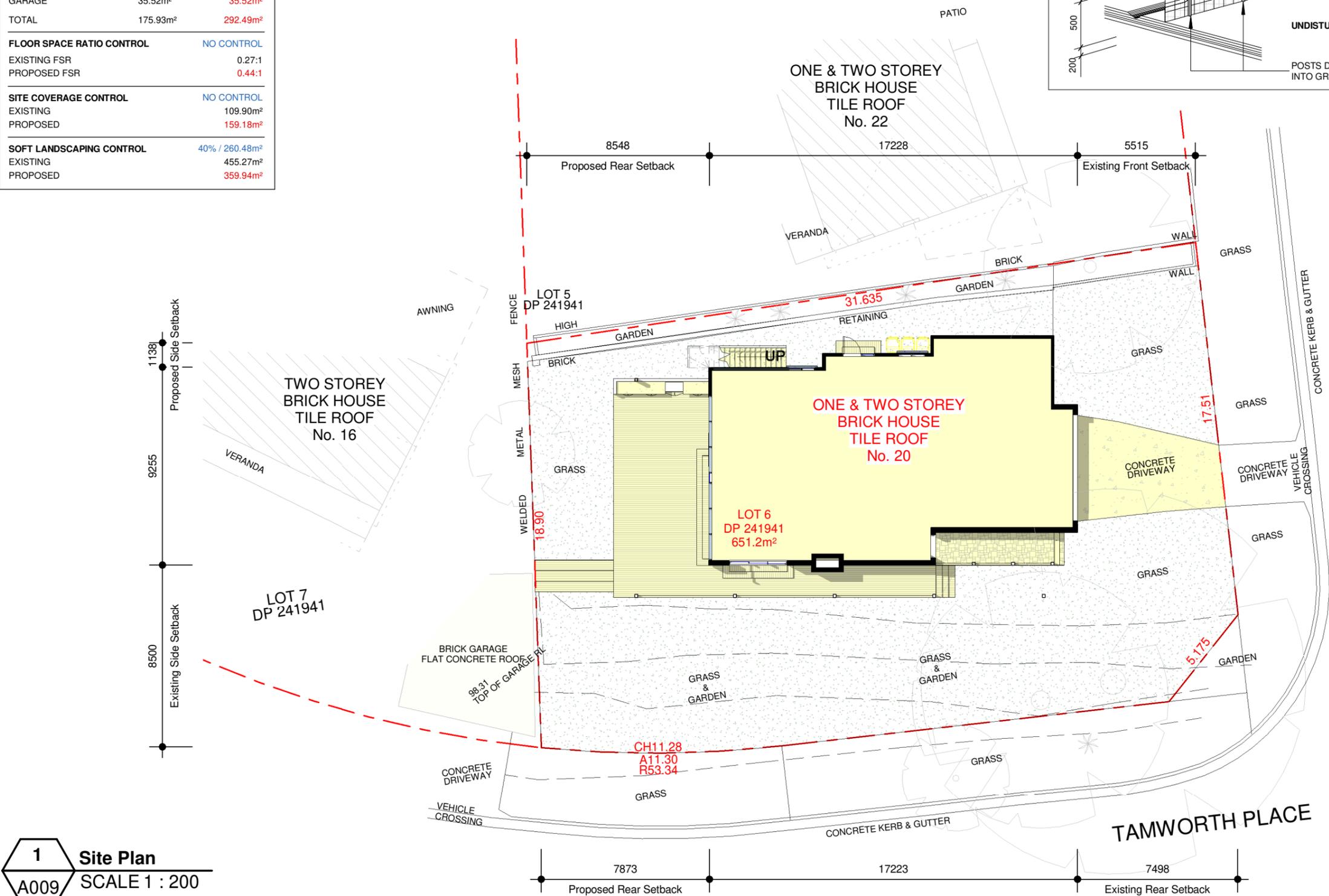
NORTHERN BEACHES COUNCIL		
<b>SITE AREA</b>	651.2m <sup>2</sup> PER SURVEY	
<b>GROSS FLOOR AREA</b>	X% / X m <sup>2</sup>	
	<b>EXISTING</b>	<b>PROPOSED</b>
GROUND FLOOR	51.51m <sup>2</sup>	111.07m <sup>2</sup>
FIRST FLOOR	88.90m <sup>2</sup>	145.90m <sup>2</sup>
GARAGE	35.52m <sup>2</sup>	35.52m <sup>2</sup>
TOTAL	175.93m <sup>2</sup>	292.49m <sup>2</sup>
<b>FLOOR SPACE RATIO CONTROL</b>	NO CONTROL	
EXISTING FSR	0.27:1	
PROPOSED FSR	0.44:1	
<b>SITE COVERAGE CONTROL</b>	NO CONTROL	
EXISTING	109.90m <sup>2</sup>	
PROPOSED	159.18m <sup>2</sup>	
<b>SOFT LANDSCAPING CONTROL</b>	40% / 260.48m <sup>2</sup>	
EXISTING	455.27m <sup>2</sup>	
PROPOSED	359.94m <sup>2</sup>	

**SEDIMENT CONTROL FENCE**



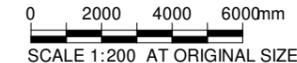
**SEDIMENT NOTE**

1. NO STOCKPILING OF MATERIALS IS PERMITTED ON THE VERGE BETWEEN KERB & PROPERTY BOUNDARY.
2. NO VEHICLE CROSSING OR STOCKPILING OF MATERIAL ON VEGETATION BUFFER.
3. ALL SEDIMENT RETAINING STRUCTURES TO BE CLEANED ON REACHING 50% STORAGE CAPACITY.
4. ALL EXISTING VEGETATION WILL BE RETAINED OUTSIDE THE CONSTRUCTION SITE.
5. ROOF DRAINAGE IS TO BE CONNECTED TO THE STORMWATER SYSTEM AS SOON AS PRACTICABLE.
6. DEPRESSIONS LEFT IN THE FOOTPATH BY HEAVY TRUCKS ARE TO BE FILLED AS SOON AS POSSIBLE.
7. ONLY ONE EXIT POINT SHOULD BE USED & SHOULD BE CONSTRUCTED SO AS TO PREVENT SOIL REACHING THE ROAD & TO STOP BOGGING.
8. DRAINAGE DITCHES ABOVE & BELOW CUT & FILLED AREAS ARE TO REDUCE EROSION FROM DISTURBED GROUND.



**CHURCHILL CRESCENT**

**TAMWORTH PLACE**



**1 Site Plan**  
A009 SCALE 1 : 200

**DEVELOPMENT APPLICATION**

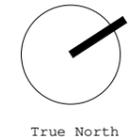
- Notes**
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  - 4) Copyright on this drawing and design retained by JO Arch.

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A	ISSUED TO CLIENT FOR REVIEW	07.10.19
B	ISSUED TO CLIENT FOR REVIEW	27.10.19
C	ISSUED TO COUNCIL FOR DA	30.01.20
D	ISSUED TO COUNCIL FOR RFI	13.03.20

**JO Architecture**

17a Campbell Avenue, Dee Why NSW 2099  
p. +61 450 446 299  
e. jonormaza.bd@gmail.com

Drawn: JO      Checked:



True North

Project  
**17 Tamworth Place**

Client  
**Yanni Fotiadis**

Address  
**17 Tamworth Place  
Allambie Heights**

Drawing Title <b>Site Plan</b>			
NOT FOR CONSTRUCTION			
Scale 1 : 200 @A3	Date: 13.03.20		
<b>1904</b>	<b>DA</b>	<b>A009</b>	<b>D</b>
Project no.	Drawing Phase.	Drawing No.	Rev

**LEGEND**

-  Existing walls removed
-  Existing walls to remain

**EXISTING DAMAGE REPORT**

Prior to commencement of any works on site, the applicant shall notify Council in writing with digital photographs of any existing damages to Council's assets fronting the property and the immediate adjoining properties. Failure to do so will result in the applicant being liable for any construction related damages to these assets. In this respect, the damage deposit lodged by the applicant may be used by Council to repair such damages.

**DEMOLITION**

Carry out demolition and/or removal in accordance with AS 2601 & Conditions set out in councils notice of determination.

**TREE PROTECTION**

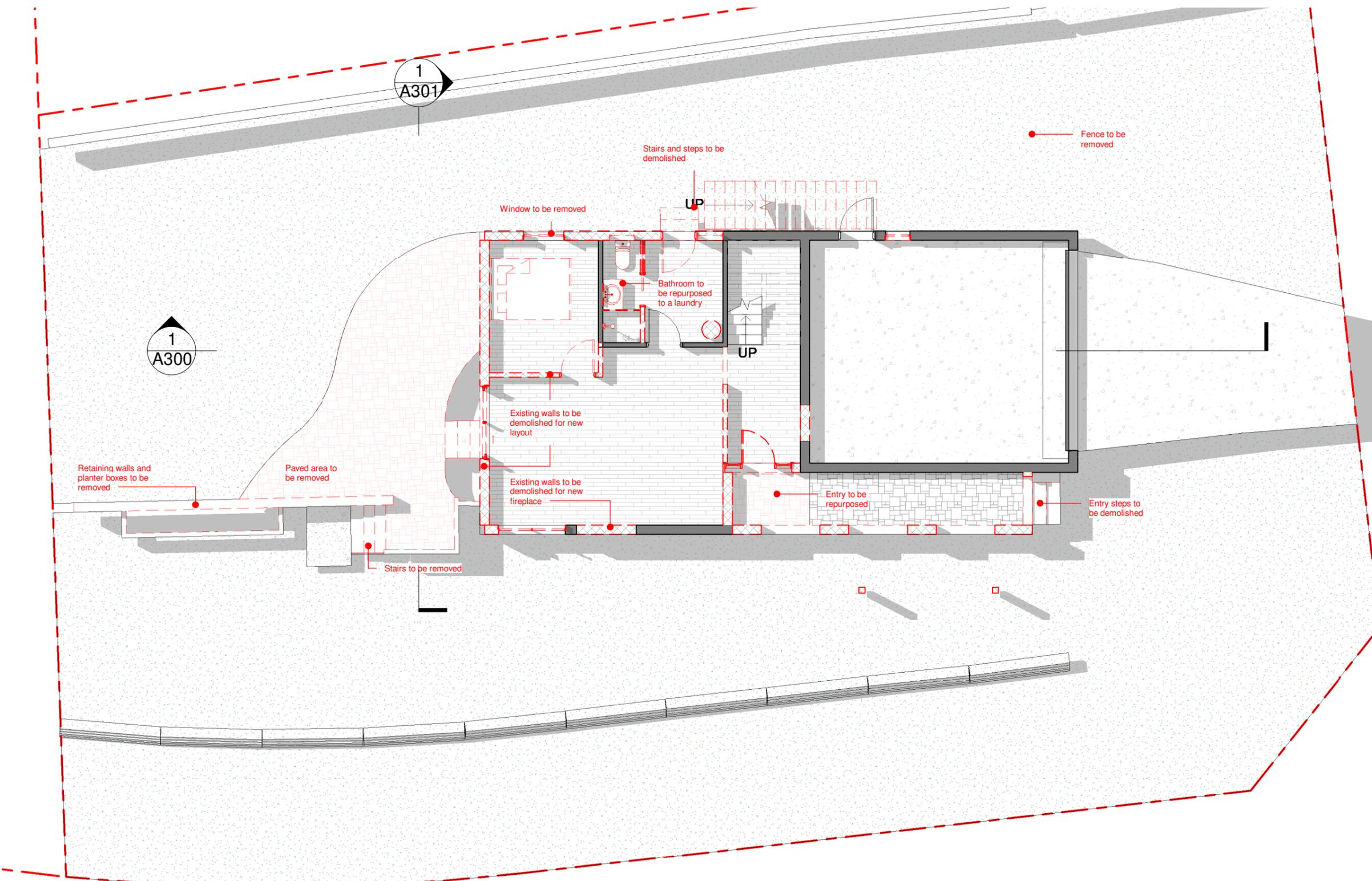
Protect all tree's to remain in accordance with councils notice of determination

**HAZARDOUS MATERIALS**

Remove hazardous materials in accordance with Australian Standards and councils requirements. Refer to councils notice of determination

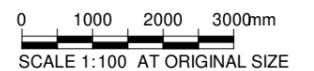
**BUILDING PROTECTION**

Provide adequate and proper protection to weatherproof the adjoining and remaining existing buildings and to protect persons and existing private and public property from injury and/or damage. Reduce dust to a minimum. Any dust created is to be properly controlled and prevented from being a nuisance to the public and/or occupiers of adjoining and remaining existing buildings. Take all practicable steps to minimize noise resulting from the works.



1  
A300

1  
A301



**1 Existing / Demolition Ground Floor**  
A100 SCALE 1 : 100

**DEVELOPMENT APPLICATION**

**Notes**

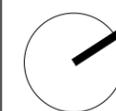
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**JO Architecture**

17a Campbell Avenue, Dee Why NSW 2099  
p. +61 450 446 299  
e. jonormaza.bd@gmail.com

Drawn: JO      Checked:



True North

Project  
**17 Tamworth Place**

Client  
**Yanni Fotiadis**  
Address  
**17 Tamworth Place  
Allambie Heights**

Drawing Title <b>Existing / Demolition Ground Floor Plan</b>			
NOT FOR CONSTRUCTION			
Scale 1 : 100 @A3	Date: 13.03.20		
<b>1904</b> Project no.	<b>DA</b> Drawing Phase.	<b>A100</b> Drawing No.	<b>D</b> Rev

**LEGEND**

-  Existing walls removed
-  Existing walls to remain

**EXISTING DAMAGE REPORT**

Prior to commencement of any works on site, the applicant shall notify Council in writing with digital photographs of any existing damages to Council's assets fronting the property and the immediate adjoining properties. Failure to do so will result in the applicant being liable for any construction related damages to these assets. In this respect, the damage deposit lodged by the applicant may be used by Council to repair such damages.

**DEMOLITION**

Carry out demolition and/or removal in accordance with AS 2601 & Conditions set out in councils notice of determination.

**TREE PROTECTION**

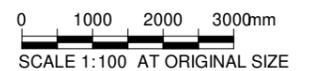
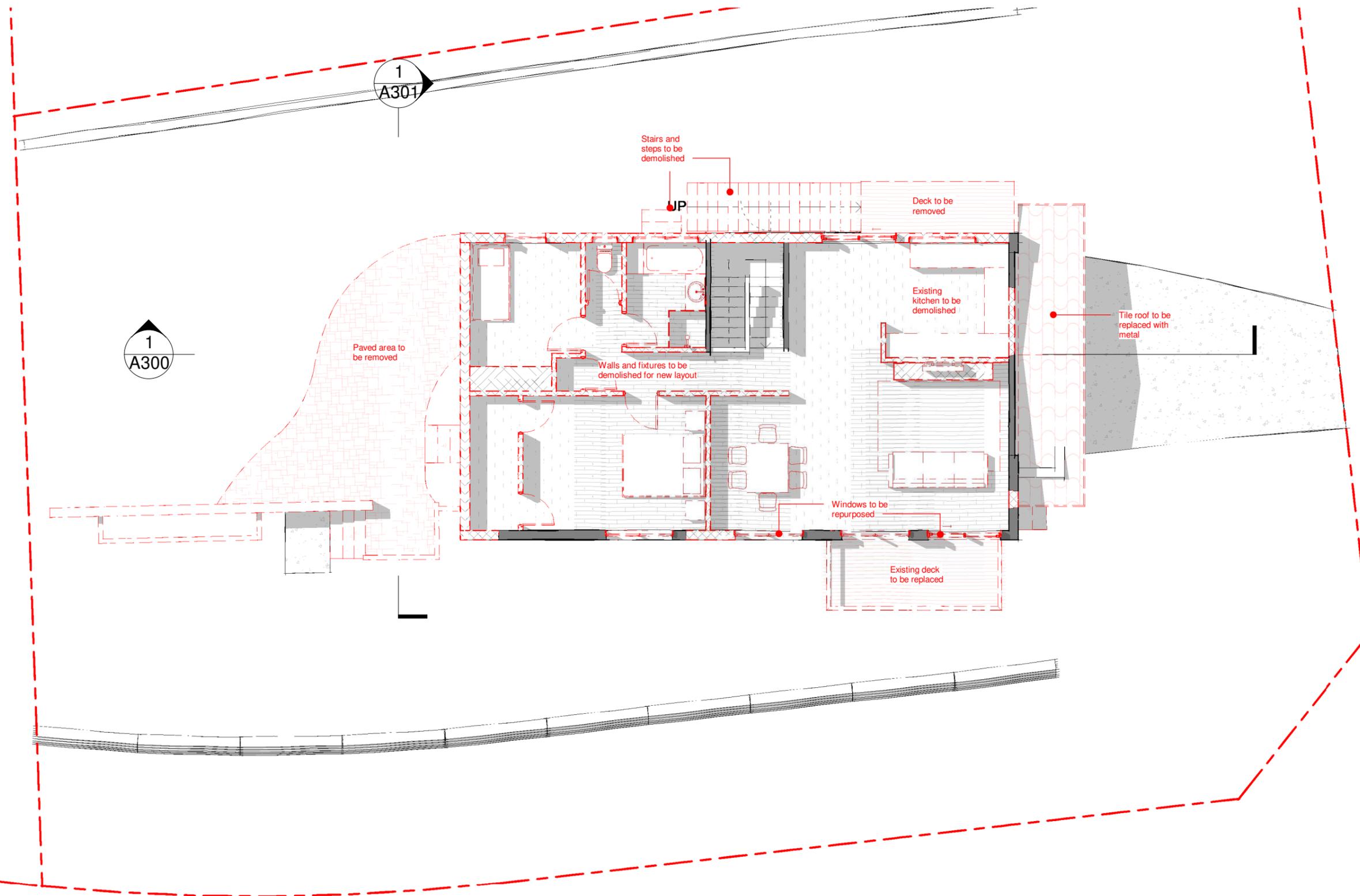
Protect all tree's to remain in accordance with councils notice of determination

**HAZARDOUS MATERIALS**

Remove hazardous materials in accordance with Australian Standards and councils requirements. Refer to councils notice of determination

**BUILDING PROTECTION**

Provide adequate and proper protection to weatherproof the adjoining and remaining existing buildings and to protect persons and existing private and public property from injury and/or damage.  
Reduce dust to a minimum. Any dust created is to be properly controlled and prevented from being a nuisance to the public and/or occupiers of adjoining and remaining existing buildings. Take all practicable steps to minimize noise resulting from the works.



**1 Existing / Demolition First Floor**  
SCALE 1 : 100

**DEVELOPMENT APPLICATION**

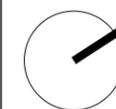
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**JO Architecture**

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e. jonormaza.bd@gmail.com



True North

Project  
**17 Tamworth Place**

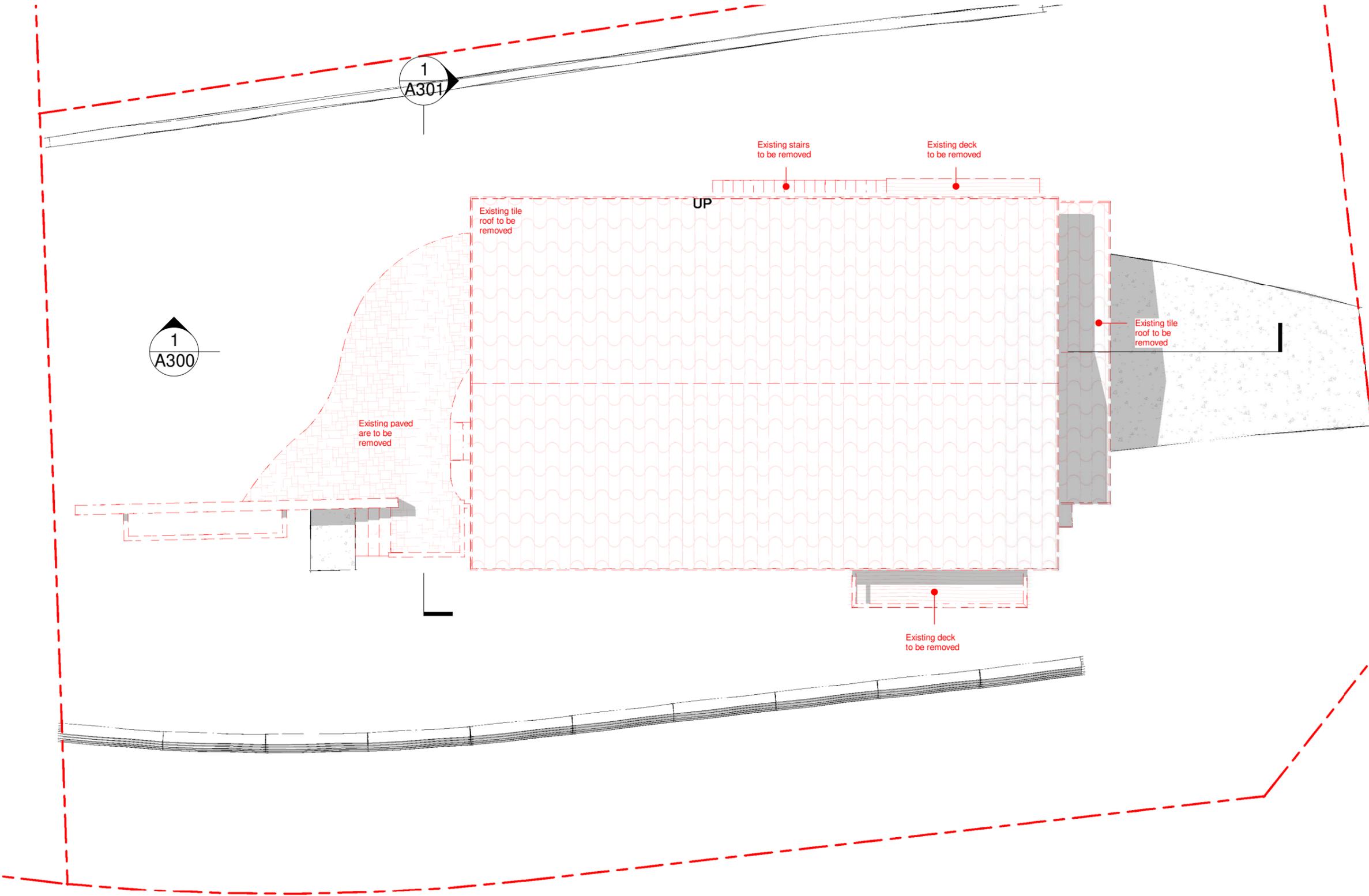
Client  
**Yanni Fotiadis**  
Address  
**17 Tamworth Place  
Allambie Heights**

Drawn: JO      Checked:

Drawing Title  
**Existing / Demolition First Floor Plan**

NOT FOR CONSTRUCTION  
Scale 1 : 100 @A3      Date: 13.03.20

<b>1904</b> Project no.	<b>DA</b> Drawing Phase.	<b>A100b</b> Drawing No.	<b>D</b> Rev
----------------------------	-----------------------------	-----------------------------	-----------------



**LEGEND**  

 Existing walls removed  
 Existing walls to remain

**EXISTING DAMAGE REPORT**  
 Prior to commencement of any works on site, the applicant shall notify Council in writing with digital photographs of any existing damages to Council's assets fronting the property and the immediate adjoining properties. Failure to do so will result in the applicant being liable for any construction related damages to these assets. In this respect, the damage deposit lodged by the applicant may be used by Council to repair such damages.

**DEMOLITION**  
 Carry out demolition and/or removal in accordance with AS 2601 & Conditions set out in councils notice of determination.

**TREE PROTECTION**  
 Protect all tree's to remain in accordance with councils notice of determination

**HAZARDOUS MATERIALS**  
 Remove hazardous materials in accordance with Australian Standards and councils requirements. Refer to councils notice of determination

**BUILDING PROTECTION**  
 Provide adequate and proper protection to weatherproof the adjoining and remaining existing buildings and to protect persons and existing private and public property from injury and/or damage. Reduce dust to a minimum. Any dust created is to be properly controlled and prevented from being a nuisance to the public and/or occupiers of adjoining and remaining existing buildings. Take all practicable steps to minimize noise resulting from the works.

1  
A300

1  
A100c  
**Existing / Demolition Roof**  
SCALE 1 : 100

0 1000 2000 3000mm  
SCALE 1:100 AT ORIGINAL SIZE

**DEVELOPMENT APPLICATION**

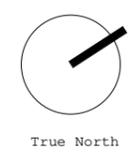
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D	ISSUED TO COUNCIL FOR RF1	13.03.20

**JO Architecture**

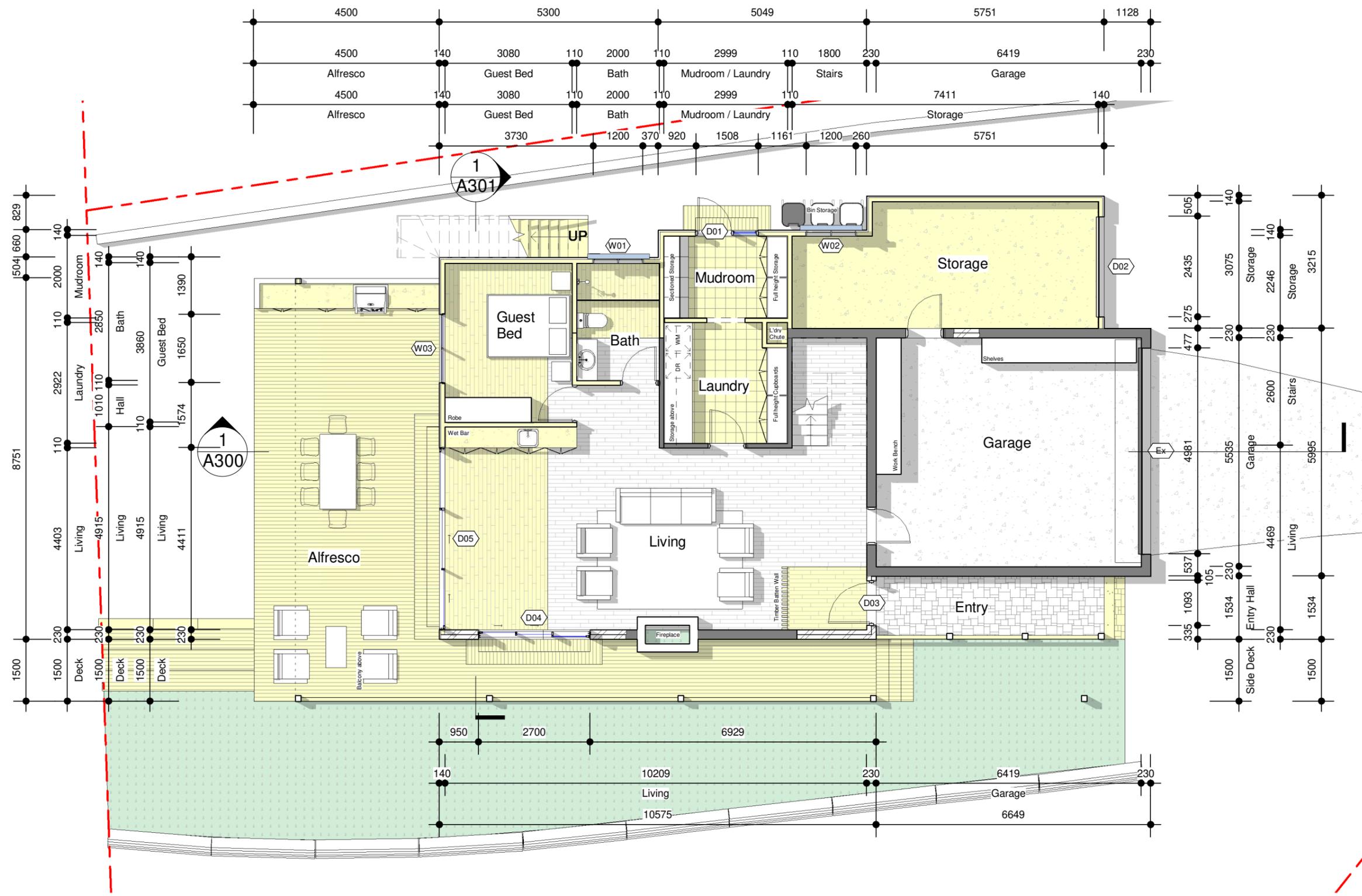
17a Campbell Avenue, Dee Why NSW 2099  
 p. +61 450 446 299  
 e. jonormaza.bd@gmail.com

Drawn: JO      Checked:



Project  
**17 Tamworth Place**  
 Client  
**Yanni Fotiadis**  
 Address  
**17 Tamworth Place  
Allambie Heights**

Drawing Title <b>Existing / Demolition Roof Plan</b>			
NOT FOR CONSTRUCTION			
Scale 1 : 100 @A3	Date: 13.03.20		
<b>1904</b> Project no.	<b>DA</b> Drawing Phase.	<b>A100c</b> Drawing No.	<b>D</b> Rev



**1** Ground Floor Plan  
 A101 SCALE 1 : 100

0 1000 2000 3000mm  
 SCALE 1:100 AT ORIGINAL SIZE

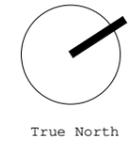
**DEVELOPMENT APPLICATION**

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**JO Architecture**

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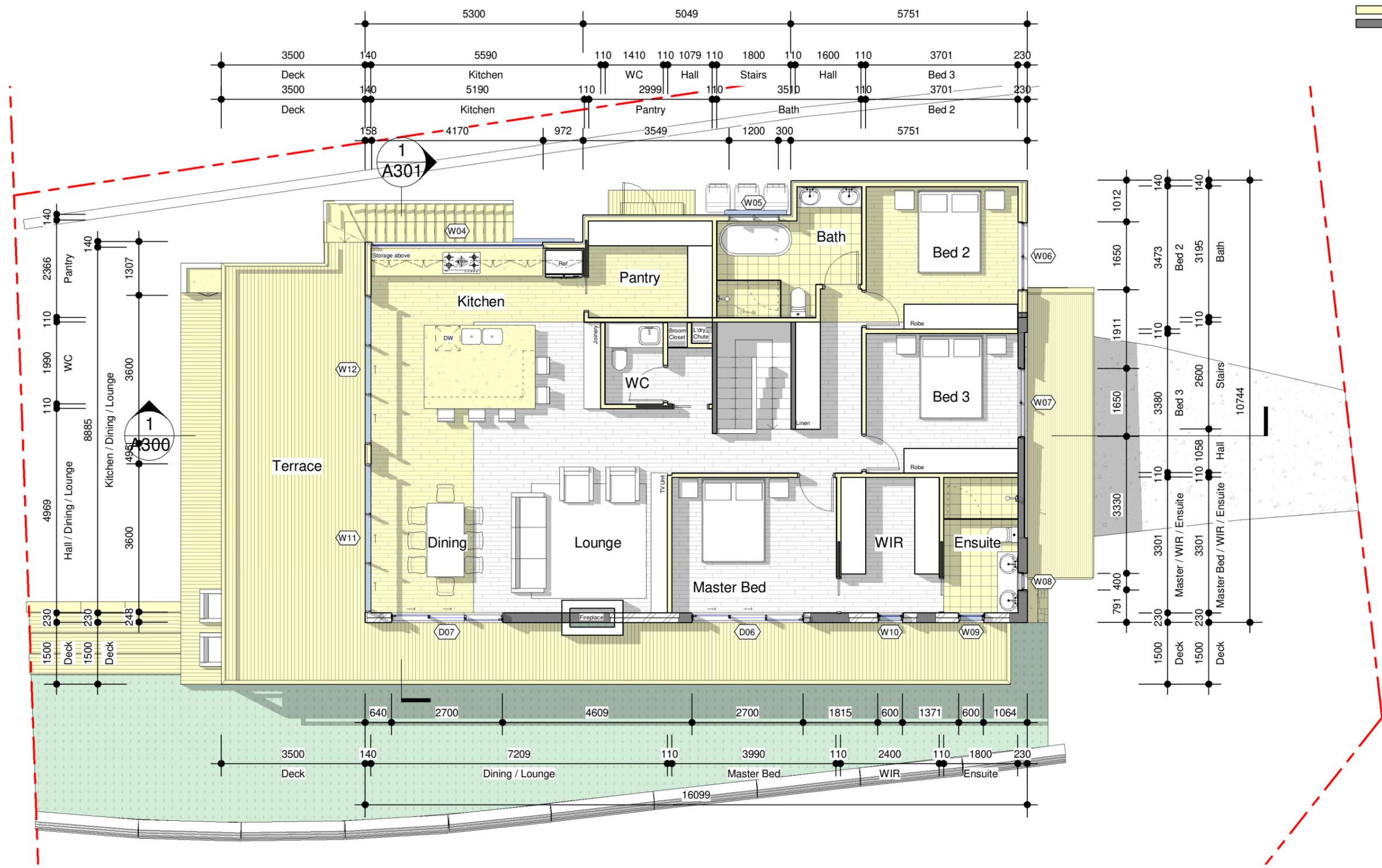
Drawn: JO      Checked:

Project  
**17 Tamworth Place**

Client  
**Yanni Fotiadis**  
 Address  
**17 Tamworth Place  
 Allambie Heights**

Drawing Title <b>Proposed Ground Floor Plan</b>	
NOT FOR CONSTRUCTION	
Scale 1 : 100 @A3	Date: 13.03.20
<b>1904</b> Project no.	<b>DA</b> Drawing Phase.
<b>A101</b> Drawing No.	<b>D</b> Rev

**LEGEND**  
 Proposed Construction  
 Existing Construction



**1** First Floor Plan  
 A102 SCALE 1 : 100

0 1000 2000 3000mm  
 SCALE 1:100 AT ORIGINAL SIZE

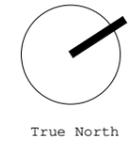
**DEVELOPMENT APPLICATION**

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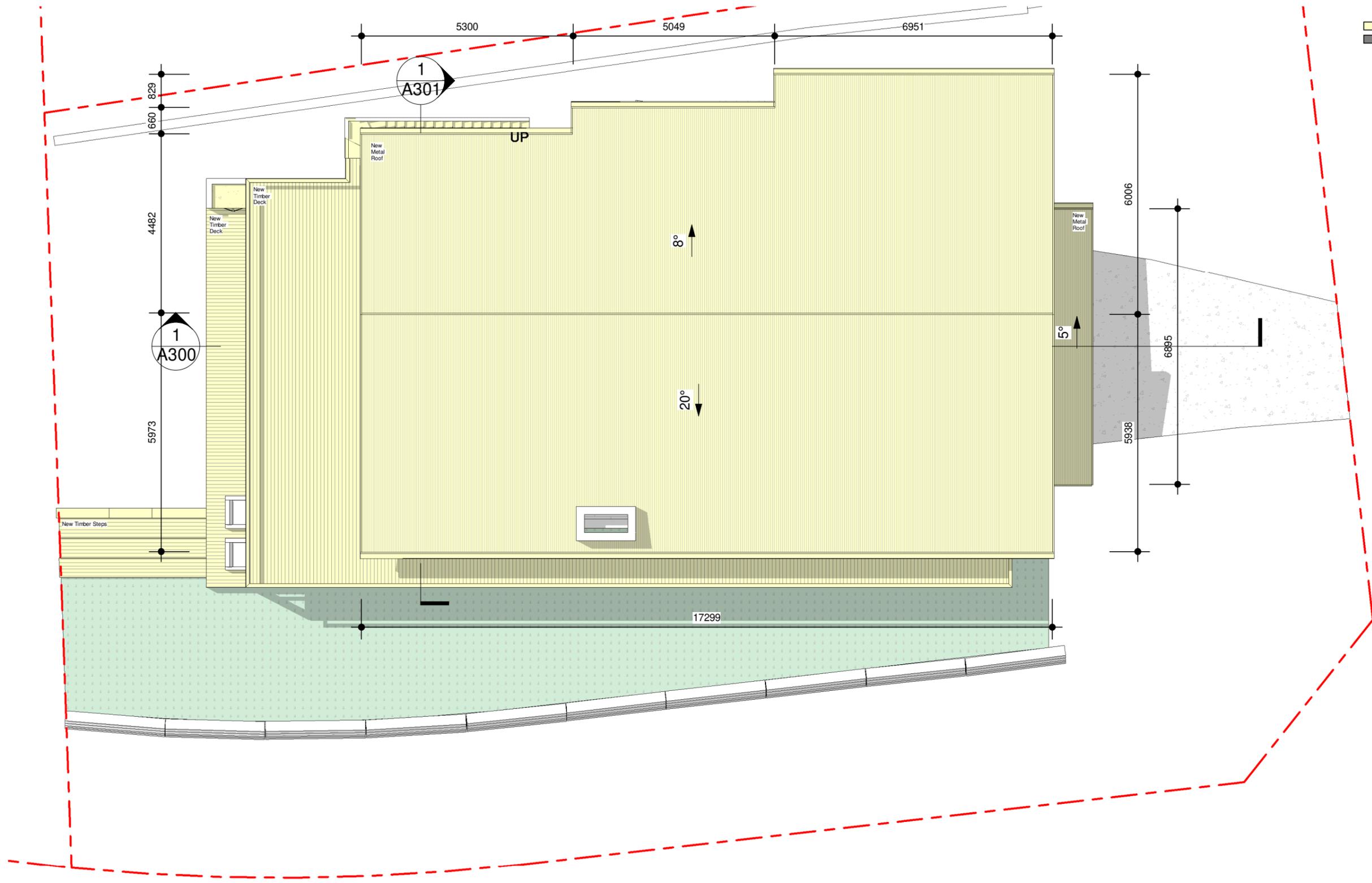
Drawn: JO      Checked:

Project  
**17 Tamworth Place**  
 Client  
**Yanni Fotiadis**  
 Address  
**17 Tamworth Place  
 Allambie Heights**

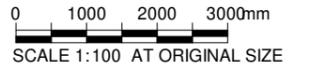
Drawing Title <b>Proposed First Floor Plan</b>			
NOT FOR CONSTRUCTION			
Scale 1 : 100 @A3	Date: 13.03.20		
<b>1904</b> Project no.	<b>DA</b> Drawing Phase.	<b>A102</b> Drawing No.	<b>D</b> Rev

**LEGEND**

- Proposed Construction
- Existing Construction



**1** Roof Plan  
A103 SCALE 1 : 100



**DEVELOPMENT APPLICATION**

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Drawn: JO      Checked:

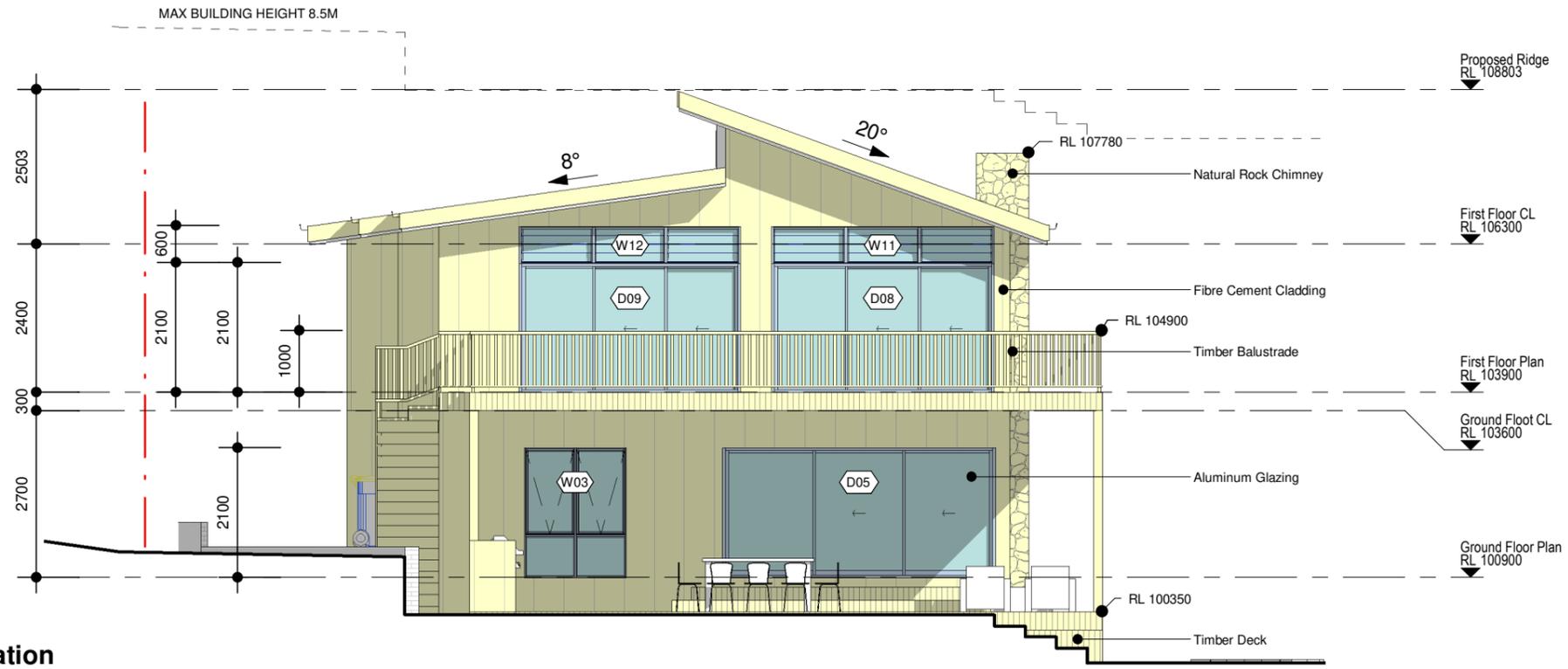
Project  
**17 Tamworth Place**

Client  
**Yanni Fotiadis**  
 Address  
**17 Tamworth Place  
 Allambie Heights**

Drawing Title <b>Roof Plan</b>			
NOT FOR CONSTRUCTION			
Scale 1 : 100 @A3	Date: 13.03.20		
<b>1904</b> Project no.	<b>DA</b> Drawing Phase.	<b>A103</b> Drawing No.	<b>D</b> Rev

**LEGEND**

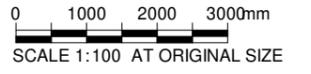
- Proposed Construction
- Existing Construction



**1 North East Elevation**  
A200 SCALE 1 : 100



**2 South West Elevation**  
A200 SCALE 1 : 100



**DEVELOPMENT APPLICATION**

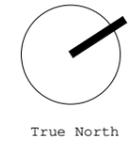
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Drawn: JO      Checked:

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Client  
**Yanni Fotiadis**

Address  
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Allambie Heights**

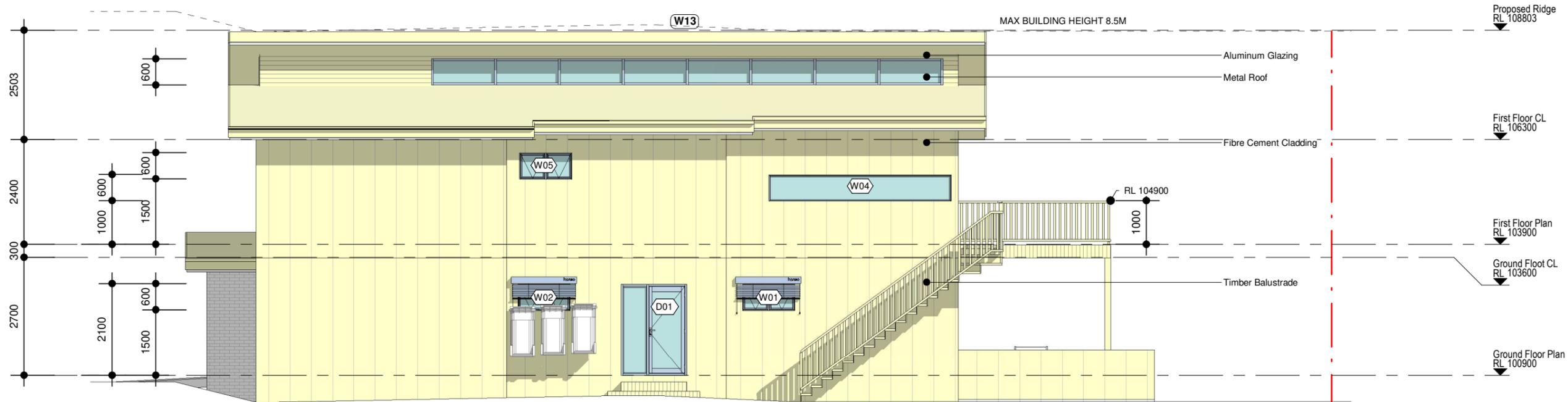
Drawing Title <b>North East &amp; South West Elevations</b>			
NOT FOR CONSTRUCTION			
Scale 1 : 100 @A3	Date: 13.03.20		
<b>1904</b>	<b>DA</b>	<b>A200</b>	<b>D</b>
Project no.	Drawing Phase.	Drawing No.	Rev

**LEGEND**

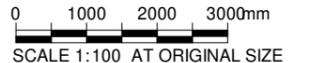
Proposed Construction  
Existing Construction



**1 North West Elevation**  
A201 SCALE 1 : 100



**2 South East Elevation**  
A201 SCALE 1 : 100



**DEVELOPMENT APPLICATION**

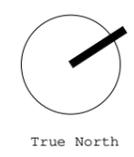
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Drawn: JO Checked:

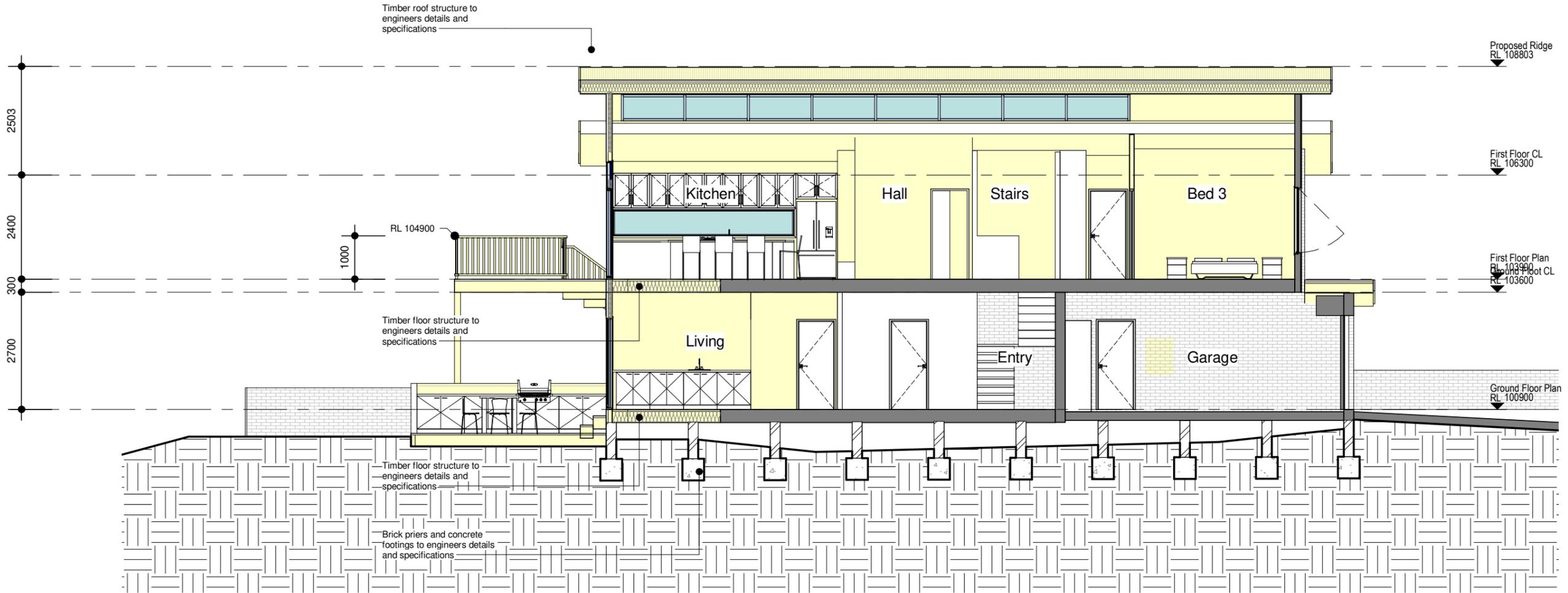


Project  
**17 Tamworth Place**  
  
 Client  
**Yanni Fotiadis**  
 Address  
**17 Tamworth Place Allambie Heights**

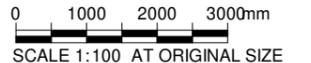
Drawing Title <b>North West &amp; South East Elevations</b>			
NOT FOR CONSTRUCTION			
Scale 1 : 100 @A3	Date: 13.03.20		
<b>1904</b> Project no.	<b>DA</b> Drawing Phase.	<b>A201</b> Drawing No.	<b>D</b> Rev

**LEGEND**

- Proposed Construction
- Existing Construction



**1 Section AA**  
**A300 SCALE 1 : 100**



**DEVELOPMENT APPLICATION**

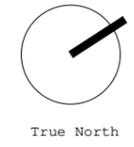
- Notes**
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Rev	Comments	Date
A	ISSUED TO CLIENT FOR REVIEW	07.10.19
B	ISSUED TO CLIENT FOR REVIEW	27.10.19
C	ISSUED TO COUNCIL FOR DA	30.01.20
D	ISSUED TO COUNCIL FOR RF1	13.03.20

**JO Architecture**

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 p. +61 450 446 299  
 e. jonormaza.bd@gmail.com

Drawn: JO      Checked:



Project  
**17 Tamworth Place**

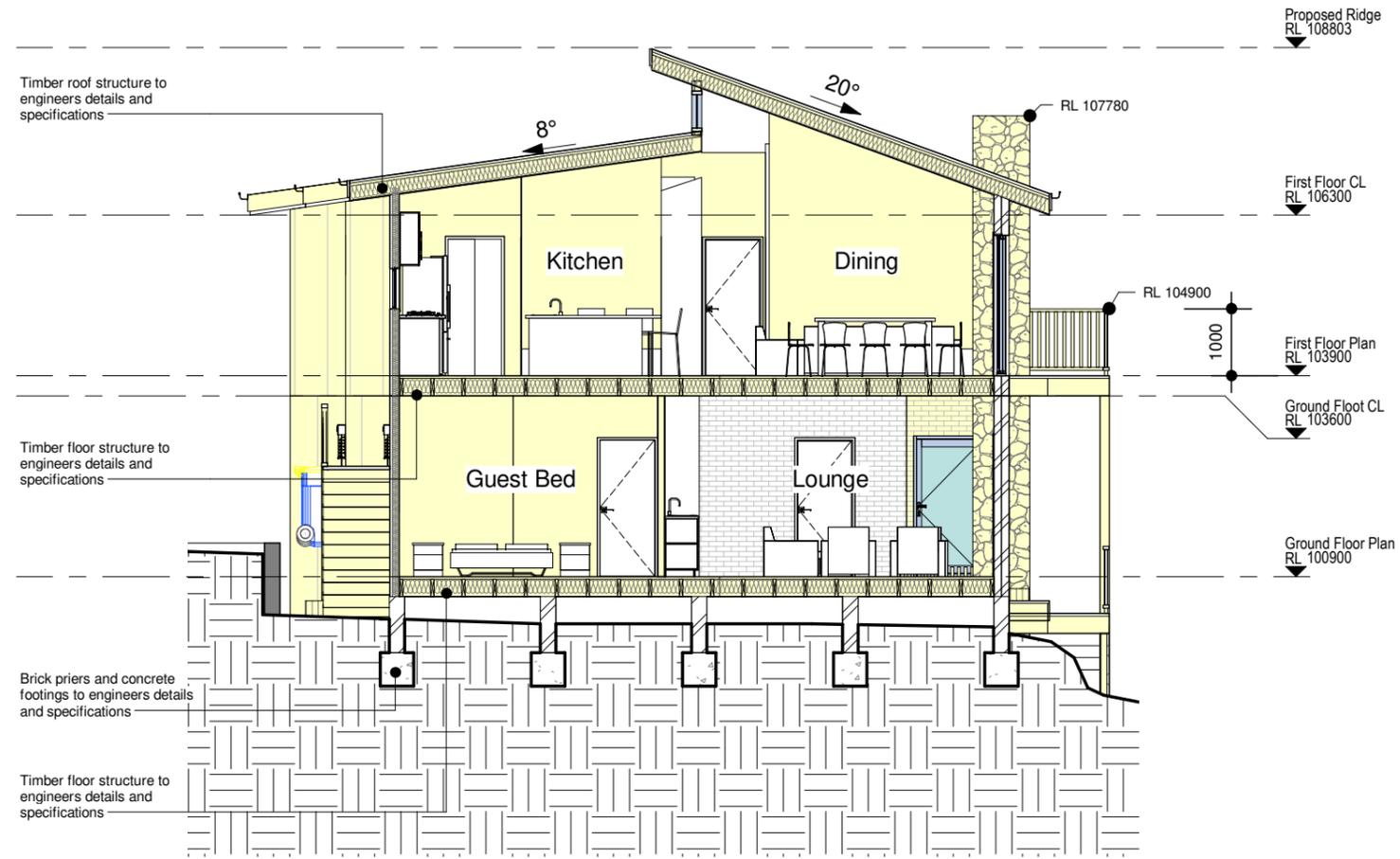
Client  
**Yanni Fotiadis**

Address  
**17 Tamworth Place  
 Allambie Heights**

Drawing Title <b>Section AA</b>			
NOT FOR CONSTRUCTION			
Scale 1 : 100 @A3	Date: 13.03.20		
<b>1904</b>	<b>DA</b>	<b>A300</b>	<b>D</b>
Project no.	Drawing Phase.	Drawing No.	Rev

**LEGEND**

- Proposed Construction
- Existing Construction



**1 Section BB**  
A301 SCALE 1 : 100



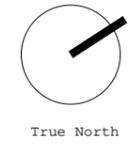
**DEVELOPMENT APPLICATION**

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Drawn: JO      Checked:

Project  
**17 Tamworth Place**

Client  
**Yanni Fotiadis**

Address  
**17 Tamworth Place  
Allambie Heights**

Drawing Title <b>Section BB</b>			
NOT FOR CONSTRUCTION			
Scale 1 : 100 @A3	Date: 13.03.20		
<b>1904</b> Project no.	<b>DA</b> Drawing Phase.	<b>A301</b> Drawing No.	<b>D</b> Rev



**DEVELOPMENT APPLICATION**

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 e. jonormaza.bd@gmail.com



Drawn: JO      Checked:

Project  
**17 Tamworth Place**

Client  
**Yanni Fotiadis**  
 Address  
**17 Tamworth Place  
 Allambie Heights**

Drawing Title  
**Perpectives**

NOT FOR CONSTRUCTION

Scale @A3      Date: 13.03.20

**1904**      **DA**      **A500**

Project no.      Drawing Phase.      Drawing No.

**D**  
Rev



**DEVELOPMENT APPLICATION**

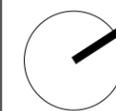
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**JO Architecture**

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True North

Drawn: JO      Checked:

Project  
**17 Tamworth Place**

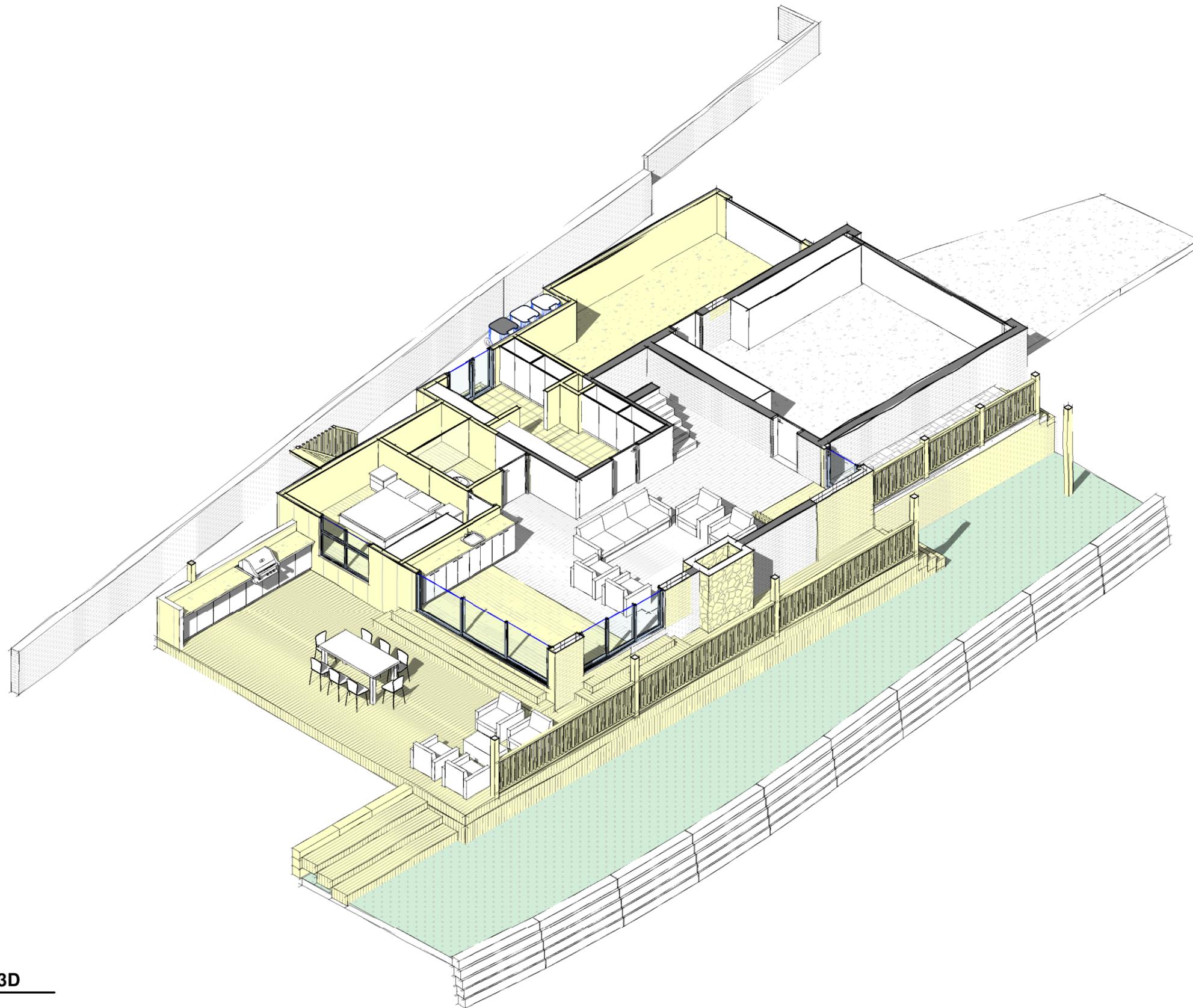
Client  
**Yanni Fotiadis**  
 Address  
**17 Tamworth Place  
 Allambie Heights**

Drawing Title  
**Perspectives**

NOT FOR CONSTRUCTION

Scale @A3      Date: 13.03.20

<b>1904</b> Project no.	<b>DA</b> Drawing Phase.	<b>A501</b> Drawing No.	<b>D</b> Rev
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**1** Ground Floor 3D  
A502 SCALE

**DEVELOPMENT APPLICATION**

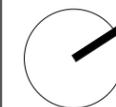
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True North

Drawn: JO      Checked:

Project  
**17 Tamworth Place**

Client  
**Yanni Fotiadis**  
Address  
**17 Tamworth Place  
Allambie Heights**

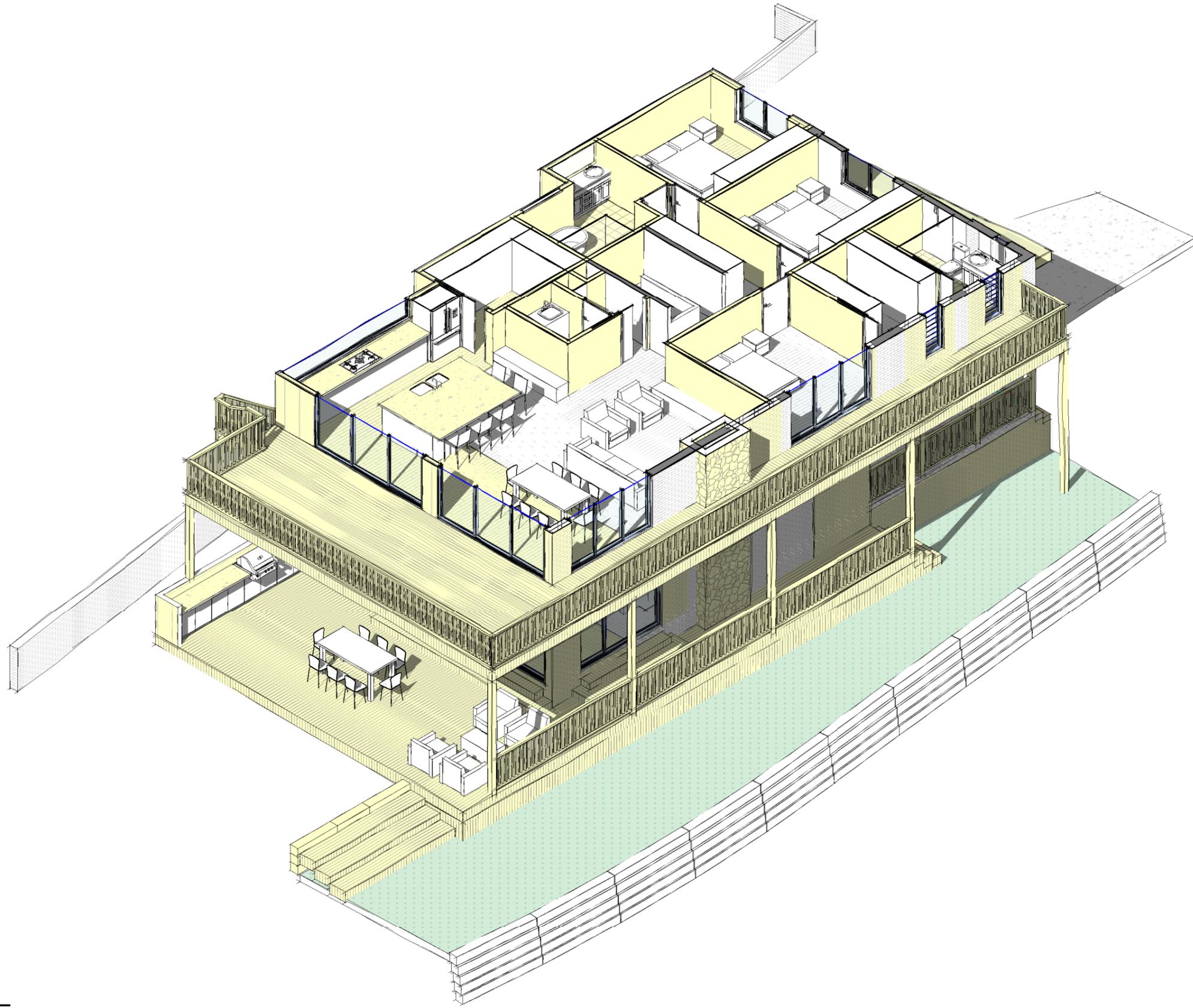
Drawing Title  
**Ground Floor 3D**

NOT FOR CONSTRUCTION

Scale @A3      Date: 13.03.20

**1904**      **DA**      **A502**  
Project no.      Drawing Phase.      Drawing No.

**D**  
Rev



**1** First Floor 3D  
A503 SCALE

**DEVELOPMENT APPLICATION**

**Notes**

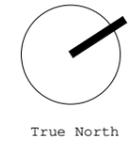
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Drawn: JO      Checked:

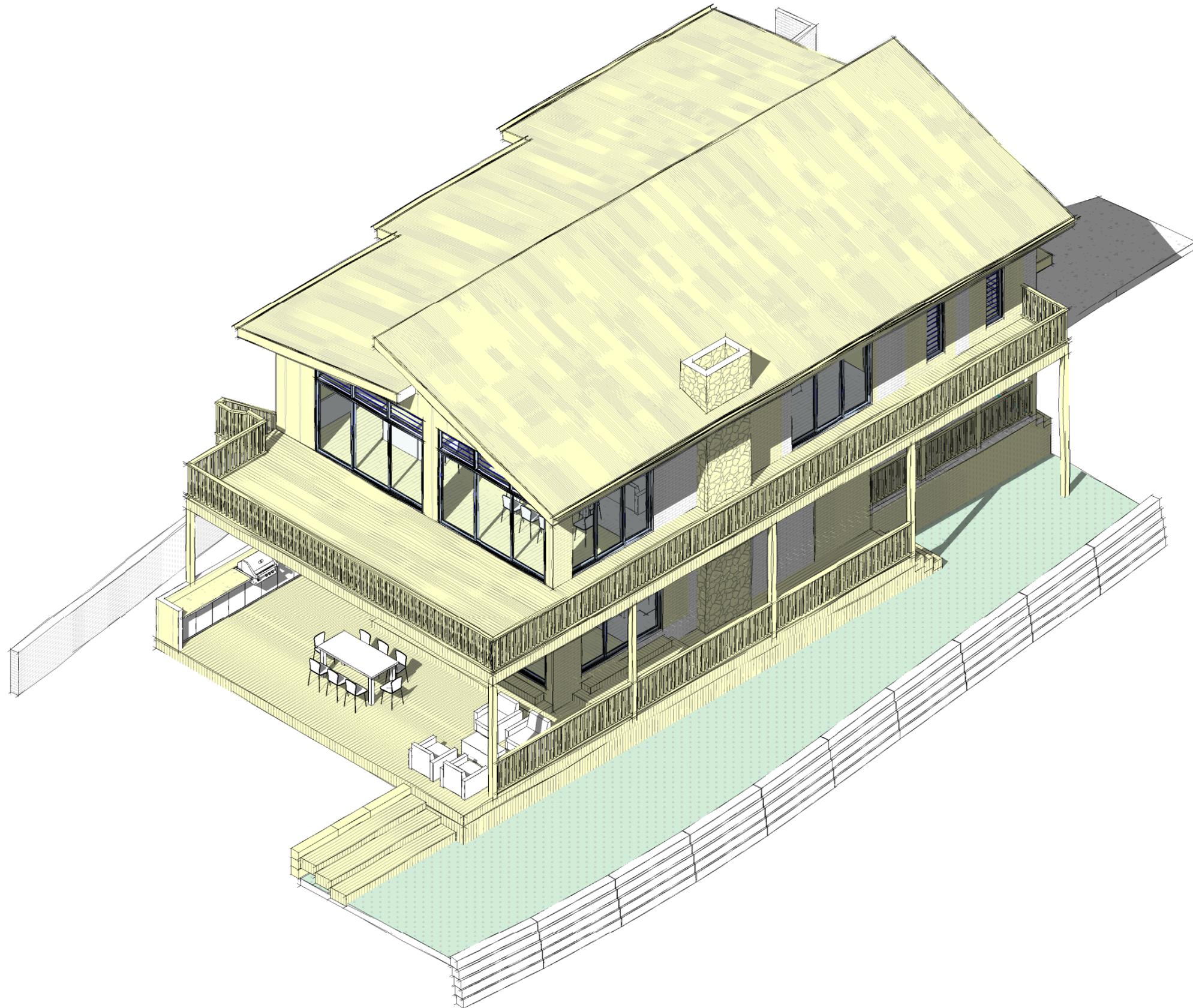


Project  
**17 Tamworth Place**

Client  
**Yanni Fotiadis**

Address  
**17 Tamworth Place  
Allambie Heights**

Drawing Title <b>First Floor 3D</b>			
NOT FOR CONSTRUCTION			
Scale @A3	Date: 13.03.20		
<b>1904</b>	<b>DA</b>	<b>A503</b>	<b>D</b>
Project no.	Drawing Phase.	Drawing No.	Rev



**1** Roof 3D  
A504 SCALE

**DEVELOPMENT APPLICATION**

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Drawn: JO      Checked:

Project  
**17 Tamworth Place**

Client  
**Yanni Fotiadis**  
Address  
**17 Tamworth Place  
Allambie Heights**

Drawing Title <b>Roof 3D</b>			
NOT FOR CONSTRUCTION			
Scale @A3	Date: 13.03.20		
<b>1904</b> Project no.	<b>DA</b> Drawing Phase.	<b>A504</b> Drawing No.	<b>D</b> Rev



**Material:** Brickwork  
**Location:** External walls  
**Finish:** Matching existing



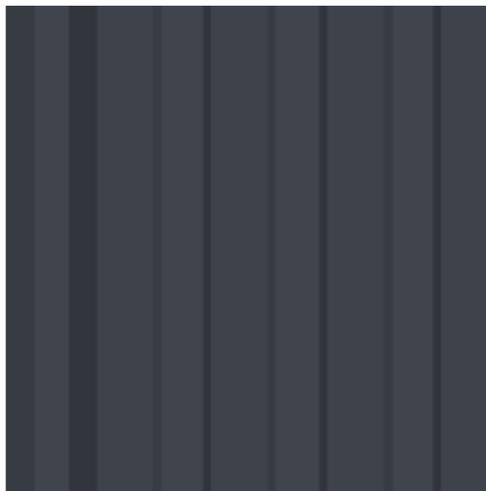
**Material:** Sandstone  
**Location:** Chimney  
**Finish:** Natural



**Material:** Metal Roofing  
**Location:** Throughout  
**Finish:** Shale Grey or similar;ar



**Material:** Perma Wood  
**Location:** External walls  
**Finish:** Zebrano/Hickory or similar



**Material:** Metal Cladding  
**Location:** External walls  
**Finish:** Ironstone or similar



**Material:** Aluminum glazing  
**Location:** Throughout  
**Finish:** Black anodized

**DEVELOPMENT APPLICATION**

**Notes**

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True North

Project  
**17 Tamworth Place**

Client  
**Yanni Fotiadis**  
 Address  
**17 Tamworth Place  
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Drawn: JO      Checked:

Drawing Title  
**Finishes Schedule**

NOT FOR CONSTRUCTION			
Scale @A3	Date: 13.03.20		
<b>1904</b> Project no.	<b>DA</b> Drawing Phase.	<b>A600</b> Drawing No.	<b>D</b> Rev