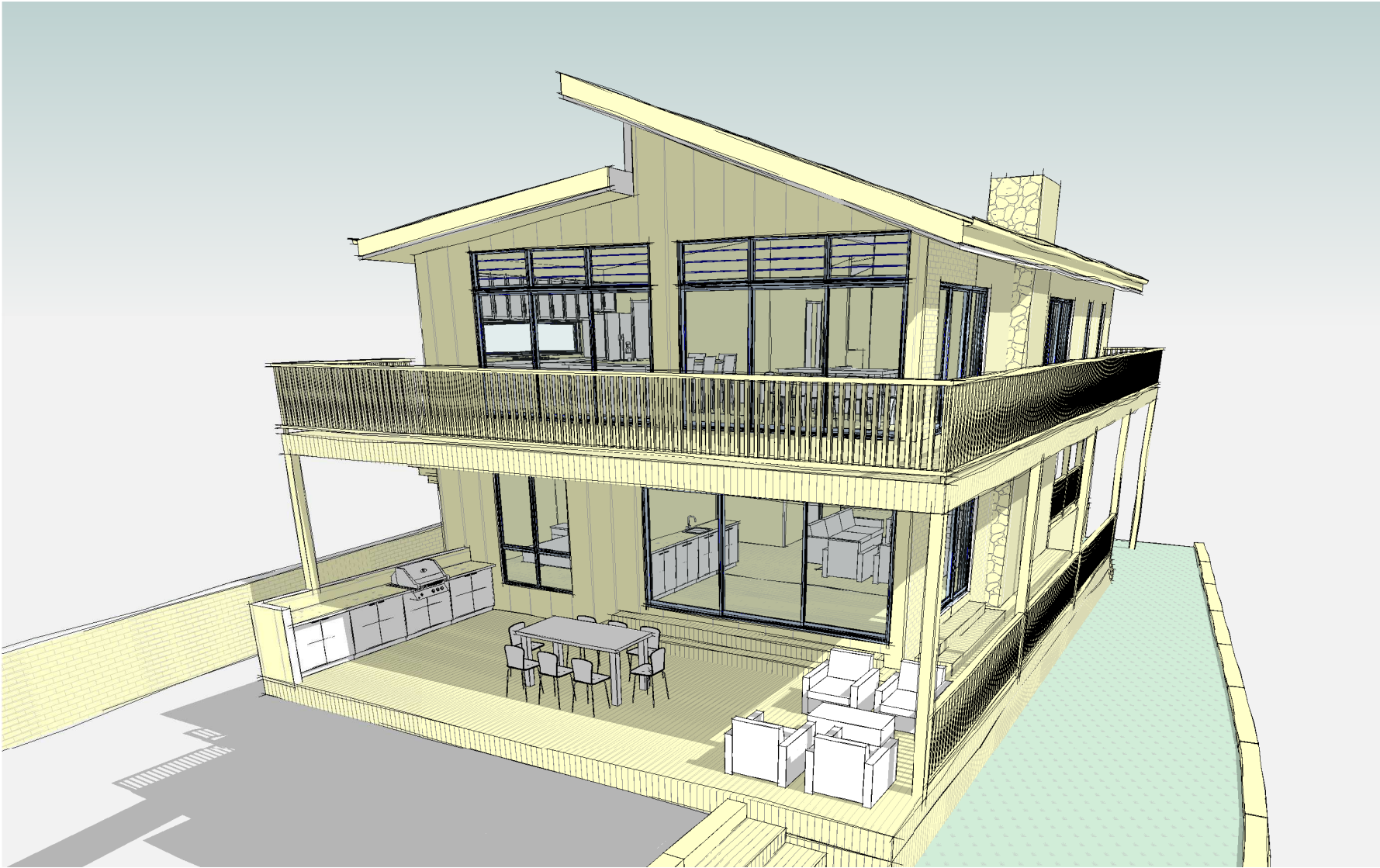


17 TAMWORTH PLACE 20 CHURCHILL AVENUE ALLAMBIE HEIGHTS

DEVELOPMENT APPLICATION

For alterations and additions



DRAWING LIST

A001	Cover Sheet	D	13.03.20
A002	BASIX Commitments	D	13.03.20
A003	Shadow Diagram June 21st 9am	D	13.03.20
A004	Shadow Diagram June 21st 12pm	D	13.03.20
A005	Shadow Diagram June 21st 3pm	D	13.03.20
A006	Concept Drainage Plan	D	13.03.20
A007	Soil and Water Management Plan	D	13.03.20
A008	Site Analysis Plan	D	13.03.20
A009	Site Plan	D	13.03.20
A100	Existing / Demolition Ground Floor Plan	D	13.03.20
A100b	Existing / Demolition First Floor Plan	D	13.03.20
A100c	Existing / Demolition Roof Plan	D	13.03.20
A101	Proposed Ground Floor Plan	D	13.03.20
A102	Proposed First Floor Plan	D	13.03.20
A103	Roof Plan	D	13.03.20
A200	North East & South West Elevations	D	13.03.20
A201	North West & South East Elevations	D	13.03.20
A300	Section AA	D	13.03.20
A301	Section BB	D	13.03.20
A500	Perpsectives	D	13.03.20
A501	Perspectives	D	13.03.20
A502	Ground Floor 3D	D	13.03.20
A503	First Floor 3D	D	13.03.20
A504	Roof 3D	D	13.03.20
A600	Finishes Schedule	D	13.03.20

DEVELOPMENT APPLICATION

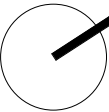
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True North

Drawn: JO

Checked:

Project
17 Tamworth Place

Client
Yanni Fotiadis

Address
17 Tamworth Place
Allambie Heights

Drawing Title

Cover Sheet

NOT FOR CONSTRUCTION

Scale @A3 Date:13.03.20

1904	DA	A001
Project no.	Drawing Phase.	Drawing No.

D
Rev

Project address	
Project name	17 Tamworth Place, Allambie Heights
Street address	20 Churchill Crescent Allambie Heights 2100
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 241941
Lot number	6
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Fixtures and systems
Lighting
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
Fixtures
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)	
floor above existing dwelling or building.	nil	
external wall: cavity brick	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
internal wall shared with garage: cavity brick wall (R0.67)	nil	
raked ceiling, pitched/skillion roof: framed	ceiling: R3.00 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)

Glazing requirements						
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.						
The following requirements must also be satisfied in relation to each window and glazed door:						
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.						
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.						
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.						
External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.						
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.						
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.						
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W1	NW	0.7	5.6	4.8	external louvre/blind (adjustable)	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W2	NW	0.7	5.6	4.8	external louvre/blind (adjustable)	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W3	SW	3.4	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W4	NW	2.5	3.1	4.8	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W5	NW	0.7	3.1	4.8	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W6	NE	2.4	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W7	NE	2.4	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W8	NE	0.56	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W9	SE	1	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W10	SE	1	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W11	SW	2.1	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W12	SW	2.1	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
D01	NW	3.1	7.1	4.8	none	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
D03	NE	2.2	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
D04	SE	5.6	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
D05	SW	9.2	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
D06	SE	5.6	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
D07	SE	5.6	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
D08	SW	7.5	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
D09	SW	7.5	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W13	NW	6.9	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)

DEVELOPMENT APPLICATION

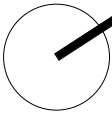
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True North

Drawn: JO

Checked:

Project
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Client
Yanni Fotiadis

Address
17 Tamworth Place
Allambie Heights

Drawing Title

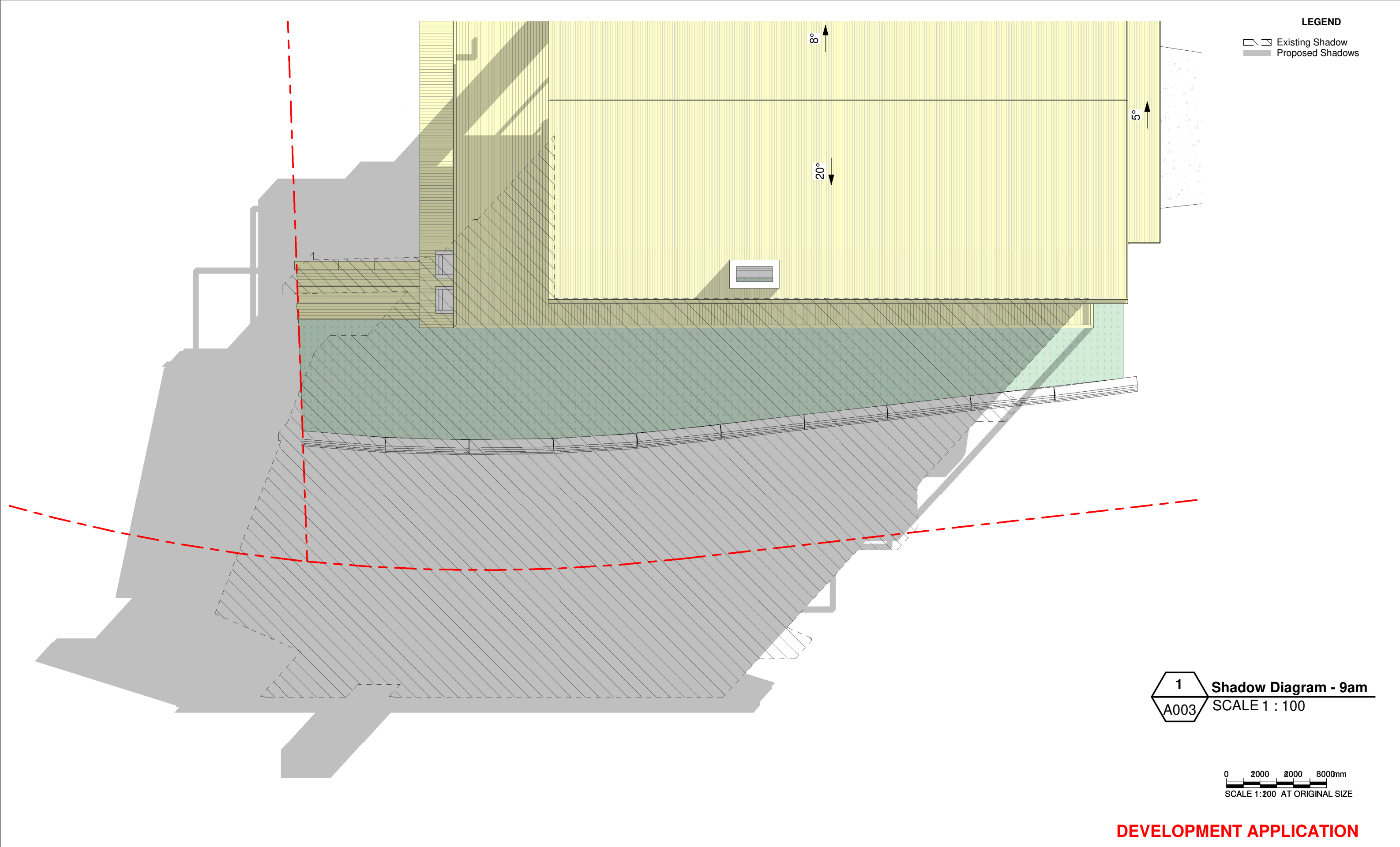
BASIX Commitments

NOT FOR CONSTRUCTION

Scale @A3 Date:13.03.20

1904 DA A002
Project no. Drawing Phase. Drawing No.

D
Rev



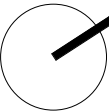
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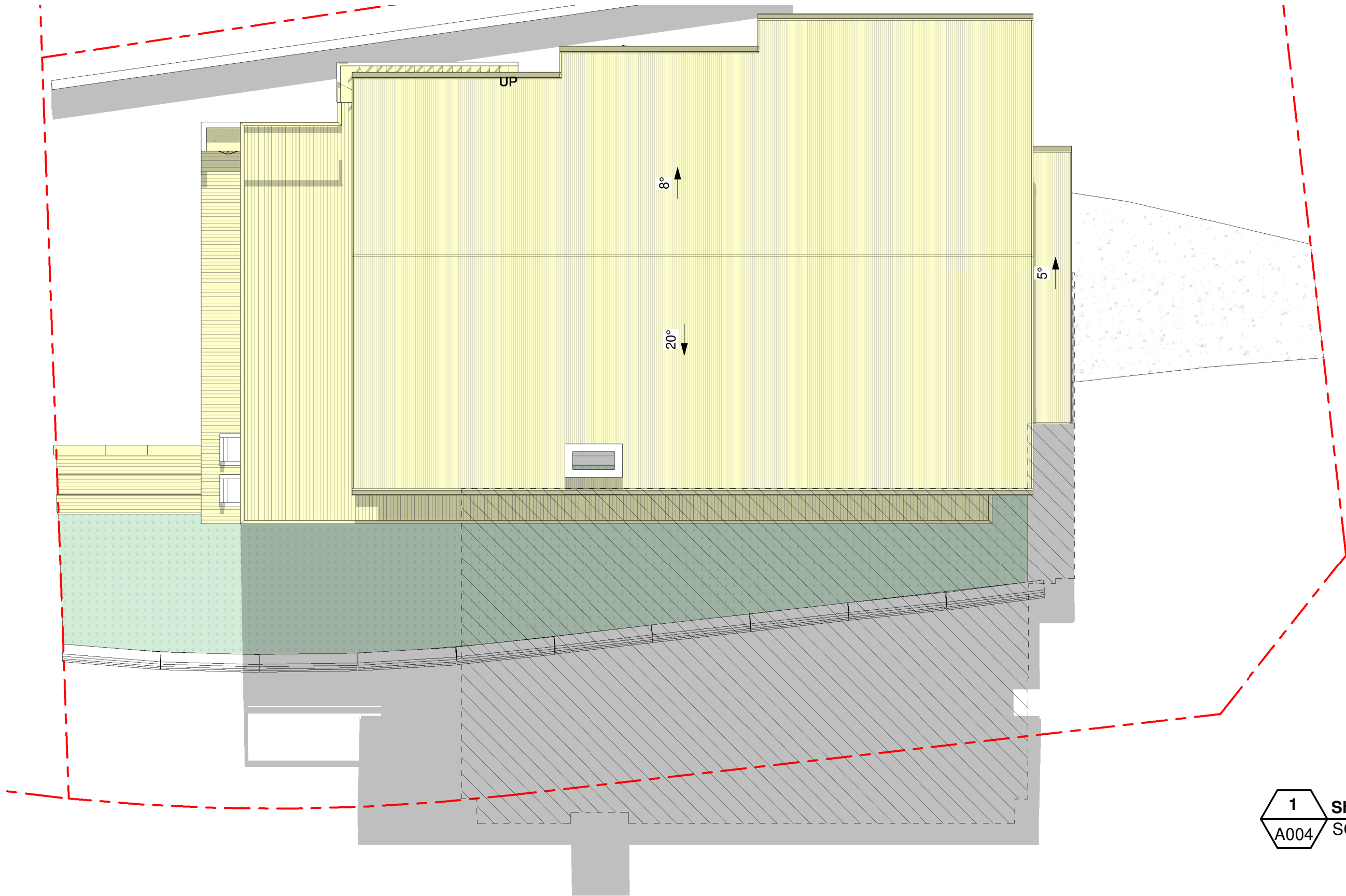
Drawing Title
Shadow Diagram June 21st 9am

NOT FOR CONSTRUCTION

Scale 1 : 100 @A3 Date:13.03.20

1904	DA	A003
Project no.	Drawing Phase.	Drawing No.

D
Rev



LEGEND
Existing Shadow
Proposed Shadows

1 Shadow Diagram - 12pm
A004 SCALE 1 : 100

0 2000 4000 6000mm
SCALE 1:200 AT ORIGINAL SIZE

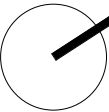
DEVELOPMENT APPLICATION

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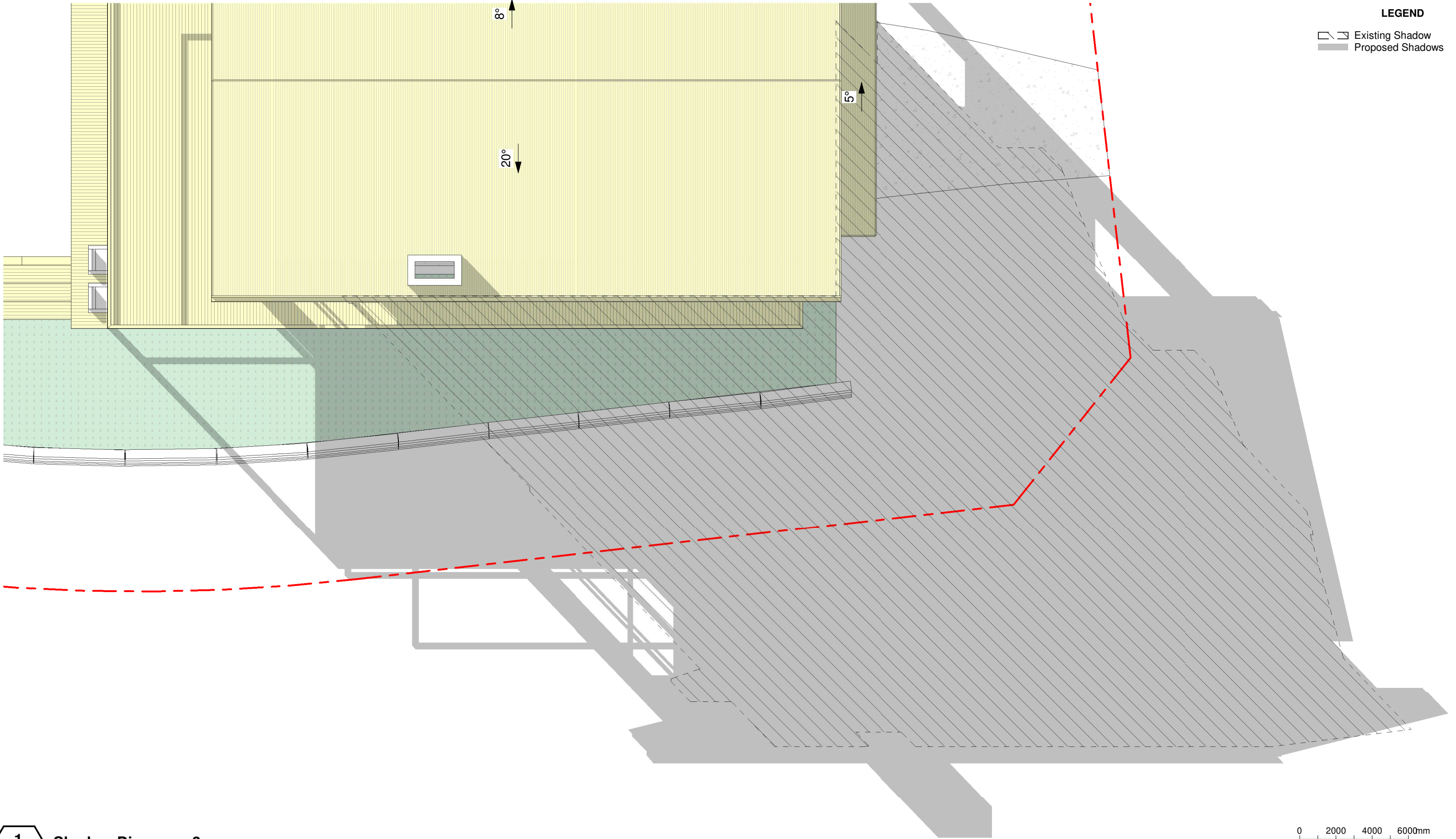
Drawing Title
Shadow Diagram June 21st 12pm

NOT FOR CONSTRUCTION

Scale 1 : 100 @A3 Date:13.03.20

1904	DA	A004
Project no.	Drawing Phase.	Drawing No.

D
Rev



LEGEND

Existing Shadow

Proposed Shadows

1 Shadow Diagram - 3pm

A005 SCALE 1 : 100

0 2000 4000 6000mm

SCALE 1:200 AT ORIGINAL SIZE

DEVELOPMENT APPLICATION

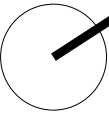
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17 Tamworth Place

Client
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Address
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Allambie Heights

Drawing Title
Shadow Diagram June 21st 3pm

NOT FOR CONSTRUCTION

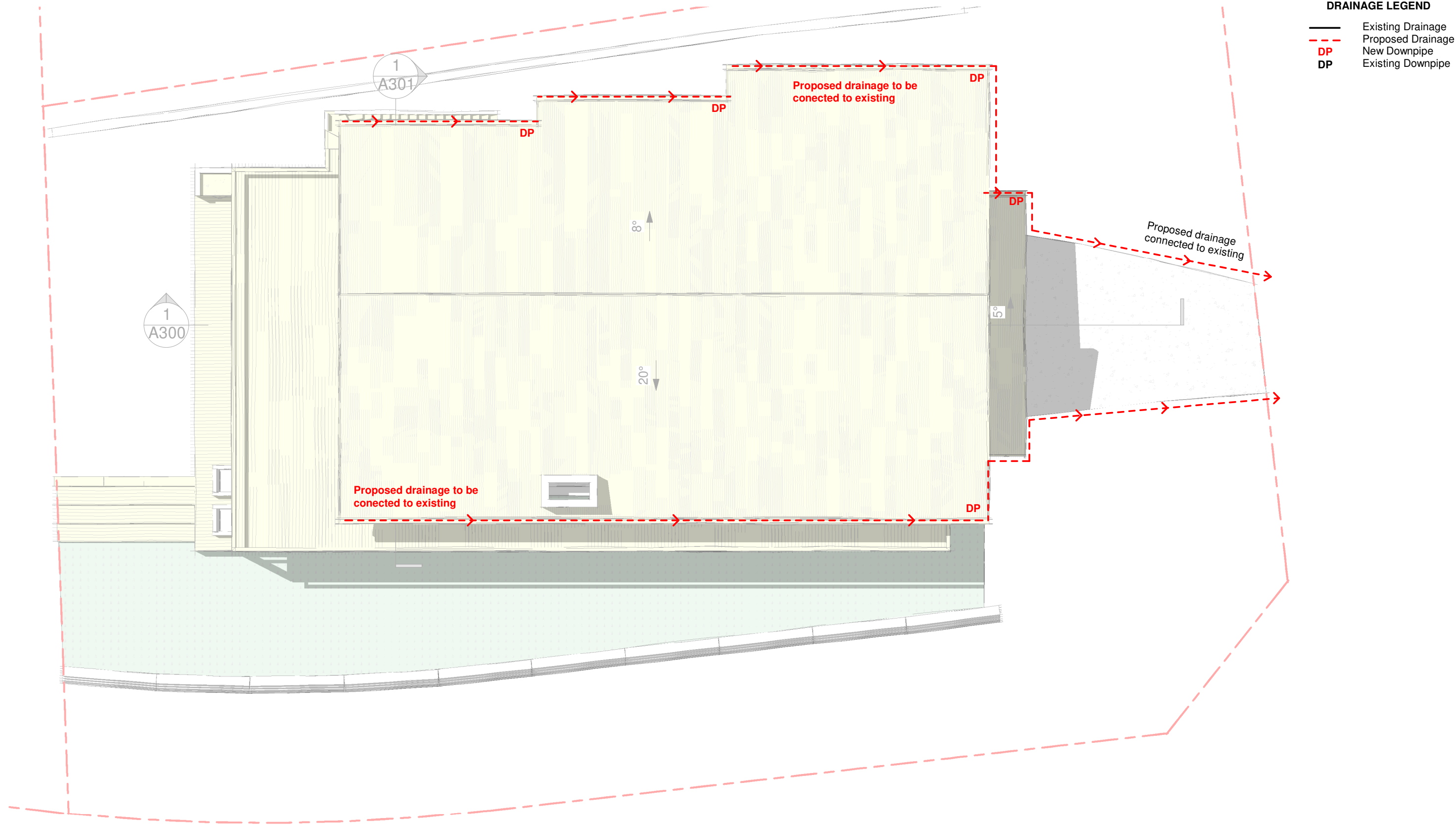
Scale 1 : 100 @A3 Date:13.03.20

1904
Project no.

DA
Drawing Phase.

A005
Drawing No.

D
Rev



1 Concept Drainage Plan
A006 SCALE 1 : 100

DEVELOPMENT APPLICATION

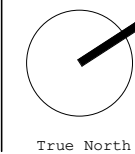
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Address
**17 Tamworth Place
Allambie Heights**

Drawing Title
Concept Drainage Plan

NOT FOR CONSTRUCTION

Scale 1 : 100 @A3 Date: 13.03.20

1904
Project no.

DA
Drawing Phase.

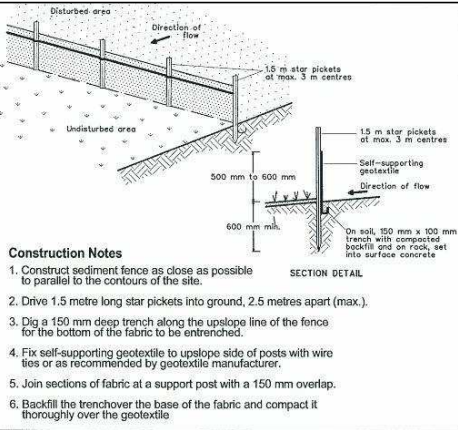
A006
Drawing No.

D
Rev

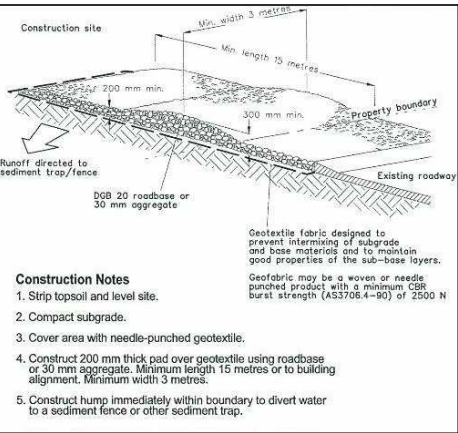
SITE & SEDIMENT CONTROL

1. The site manager shall ensure at all times that all soil and sediment control works and devices are implemented in accordance with the department of housing "managing urban Stormwater soils & construction 1998. The Blue Book"
2. Prior to commencement sediment control details are to be installed as detailed on this plan.
3. Stabilized construction access is to be installed as required
4. Area disturbed are to be minimized at all times. Sediment fence or other suitable devices are to be installed downstream of disturbed areas
5. During windy and prolonged dry periods, disturbed areas are to be kept moist by sprinkling with water for dust containment.
6. Diversion banks/channels etc. are to be installed where required to divert upstream overland flows from entering disturbed areas.
7. the site manager must inspect all sedimentation control devices at least weekly and also at end each storm event to ensure they are operational and perform their functions as intended.
8. Where a device is unsuitable a new device shall be installed to specification to ensure it will perform the necessary sediment & erosion control task
9. Clean and remove trapped sediments and dispose off site and/or spread and compact on site in a manner to prevent further erosion & pollution.
10. Assess the effectiveness of devices and install additional and or new devices in accordance with "The Blue Book" to ensure that downstream protection is achieved.
11. Where feasible all disturbed areas are to be rehabilitated as soon as possible with vegetative cover.
12. Waste bins are to be provided for contaminated wastes eg. paint, concrete, mortar slurries, light weight materials, litters etc. and bins are to be emitted at regular intervals at waste disposal sites.
13. All contaminated materials are to be stored in waste bins clear off poor drainage areas, eg. overland flow paths etc so that they will not be transported to downstream waterways & drainage systems.

SEDIMENT FENCE DETAILS



ALL WEATHER ACCESS DETAIL



DEVELOPMENT APPLICATION

1

A007

Soil and Water Management Plan

SCALE 1 : 200

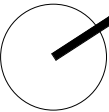
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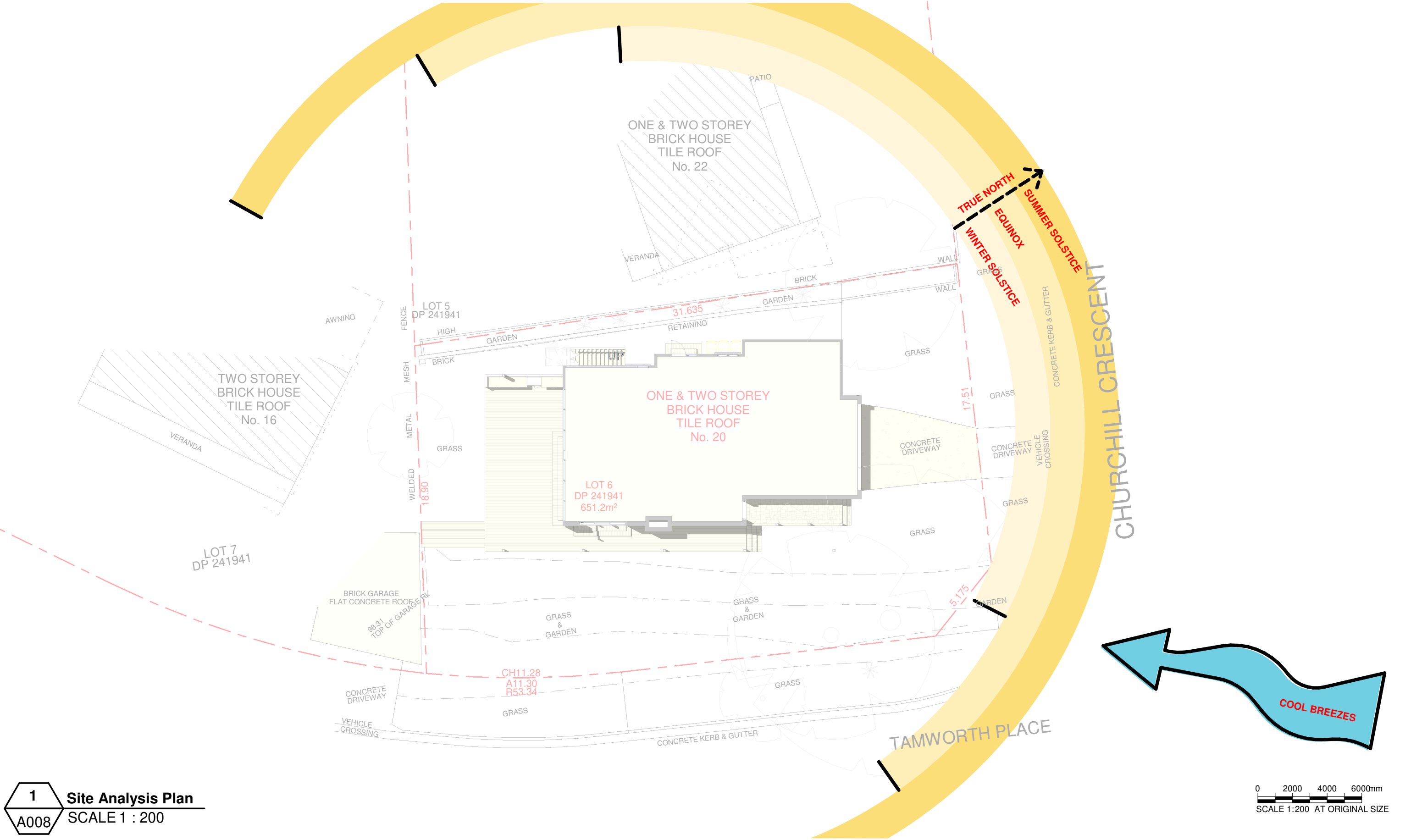
Drawing Title
Soil and Water Management Plan

NOT FOR CONSTRUCTION

Scale As indicated @A3 Date:13.03.20

Project no. **1904** Drawing Phase. **DA** Drawing No. **A007**

D
Rev



1 Site Analysis Plan
A008 SCALE 1 : 200

0 2000 4000 6000mm
SCALE 1:200 AT ORIGINAL SIZE

DEVELOPMENT APPLICATION

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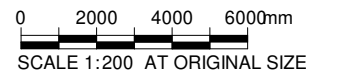
Drawing Title
Site Analysis Plan

NOT FOR CONSTRUCTION		
Scale 1 : 200 @A3	Date: 13.03.20	
1904 Project no.	DA Drawing Phase.	A008 Drawing No.
D Rev		

NORTHERN BEACHES COUNCIL		
SITE AREA		651.2m ² PER SURVEY
GROSS FLOOR AREA		X% / Xm ²
	EXISTING	PROPOSED
GROUND FLOOR	51.51m ²	111.07m ²
FIRST FLOOR	88.90m ²	145.90m ²
GARAGE	35.52m ²	35.52m ²
TOTAL	175.93m ²	292.49m ²
FLOOR SPACE RATIO CONTROL		NO CONTROL
EXISTING FSR		0.27:1
PROPOSED FSR		0.44:1
SITE COVERAGE CONTROL		NO CONTROL
EXISTING		109.90m ²
PROPOSED		159.18m ²
SOFT LANDSCAPING CONTROL		40% / 260.48m ²
EXISTING		455.27m ²
PROPOSED		359.94m ²

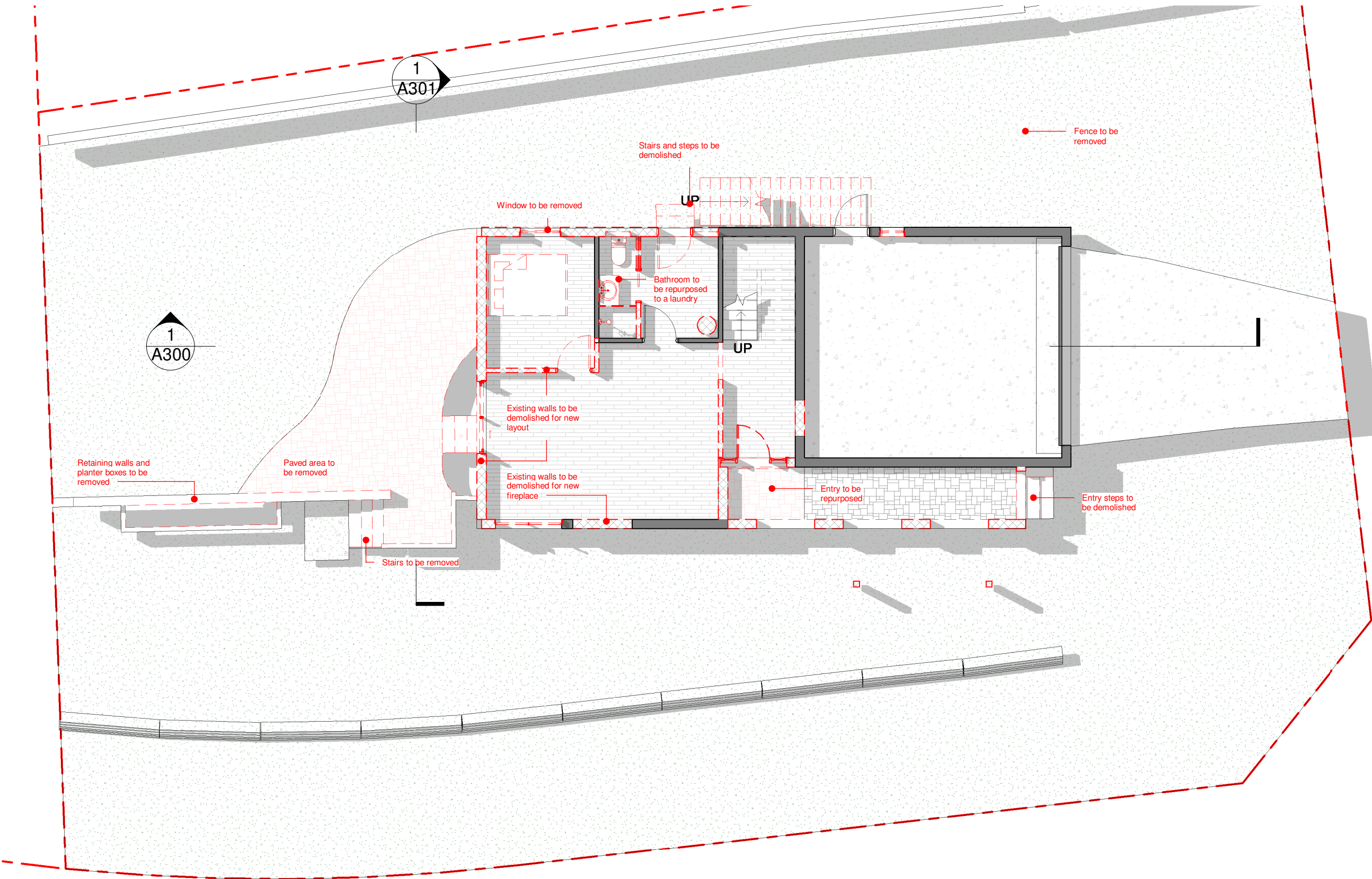
The diagram illustrates the installation of a geotextile filter fabric on a slope. The top layer is labeled "DISTURBED GROUND" and the bottom layer is "UNDISTURBED GROUND". A "WIRE OR STEEL MESH" is placed over the disturbed ground. A "GEOTEXTILE FILTER FABRIC" is laid over the mesh. The "DIRECTION OF FLOW" is indicated by an arrow pointing down the slope. The distance between the mesh and the fabric is labeled "3.00m MAX". "PP" (polypropylene) is indicated near the mesh. "POSTS DRIVEN 0.5m INTO GROUND" are shown securing the fabric. Vertical dimensions of 500 and 200 are marked on the left side of the slope.

1. NO STOCKPILING OF MATERIALS IS PERMITTED ON THE VERGE BETWEEN KERB & PROPERTY BOUNDARY.
2. NO VEHICLE CROSSING OR STOCKPILING OF MATERIAL ON VEGETATION BUFFER.
3. ALL SEDIMENT RETAINING STRUCTURES TO BE CLEANED ON REACHING 50% STORAGE CAPACITY.
4. ALL EXISTING VEGETATION WILL BE RETAINED OUTSIDE THE CONSTRUCTION SITE.
5. ROOF DRAINAGE IS TO BE CONNECTED TO THE STORMWATER SYSTEM AS SOON AS PRACTICABLE.
6. DEPRESSIONS LEFT IN THE FOOTPATH BY HEAVY TRUCKS ARE TO BE FILLED AS SOON AS POSSIBLE.
7. ONLY ONE EXIT POINT SHOULD BE USED & SHOULD BE CONSTRUCTED SO AS TO PREVENT SOIL REACHING THE ROAD & TO STOP BOGGING.
8. DRAINAGE DITCHES ABOVE & BELOW CUT & FILLED AREAS ARE TO REDUCE EROSION FROM DISTURBED GROUND.



- 1) Do not scale from drawing, use marked dimensions and levels. To be read in conjunction with all consultants' documentation.
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- 4) Copyright on this drawing and design retained by JO Arch.

D



LEGEND

Existing walls removed

Existing walls to remain

EXISTING DAMAGE REPORT

Prior to commencement of any works on site, the applicant shall notify Council in writing with digital photographs of any existing damages to Council's assets fronting the property and the immediate adjoining properties. Failure to do so will result in the applicant being liable for any construction related damages to these assets. In this respect, the damage deposit lodged by the applicant may be used by Council to repair such damages.

DEMOLITION

Carry out demolition and/or removal in accordance with AS 2601 & Conditions set out in councils notice of determination.

TREE PROTECTION

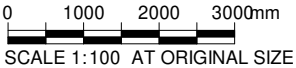
Protect all tree's to remain in accordance with councils notice of determination

HAZARDOUS MATERIALS

Remove hazardous materials in accordance with Australian Standards and councils requirements. Refer to councils notice of determination

BUILDING PROTECTION

Provide adequate and proper protection to weatherproof the adjoining and remaining existing buildings and to protect persons and existing private and public property from injury and/or damage.
Reduce dust to a minimum. Any dust created is to be properly controlled and prevented from being a nuisance to the public and/or occupiers of adjoining and remaining existing buildings. Take all practicable steps to minimize noise resulting from the works.



1

A100

Existing / Demolition Ground Floor

SCALE 1 : 100

Notes

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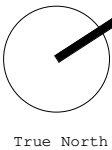
Rev	Comments	Date
A	ISSUED TO CLIENT FOR REVIEW	07.10.19
B	ISSUED TO CLIENT FOR REVIEW	27.10.19
C	ISSUED TO COUNCIL FOR DA	30.01.20
D	ISSUED TO COUNCIL FOR RF1	13.03.20

JO Architecture

17a Campbell Avenue, Dee Why NSW 2099
p. +61 450 446 299
e. jonormaza.bd@gmail.com

Drawn: JO

Checked:



Project
17 Tamworth Place

Client
Yanni Fotiadis
Address
17 Tamworth Place
Allambie Heights

Drawing Title
Existing / Demolition Ground Floor Plan

NOT FOR CONSTRUCTION

Scale 1 : 100 @A3

Date:13.03.20

1904

DA

A100

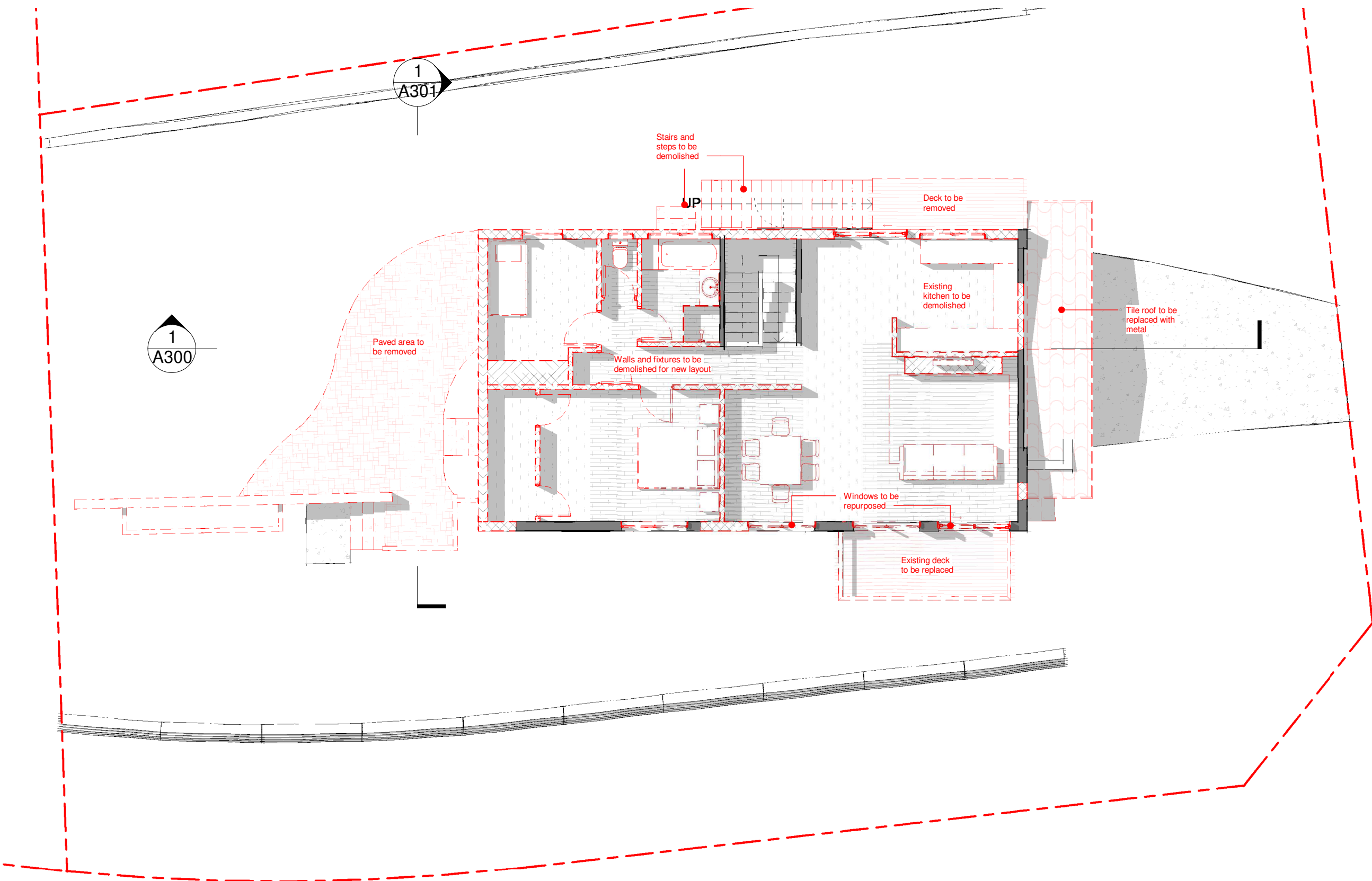
Project no.

Drawing Phase.

Drawing No.

D

Rev



LEGEND

Existing walls removed
Existing walls to remain

EXISTING DAMAGE REPORT

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1 Existing / Demolition First Floor
A100b SCALE 1 : 100

0 1000 2000 3000mm
SCALE 1:100 AT ORIGINAL SIZE

DEVELOPMENT APPLICATION

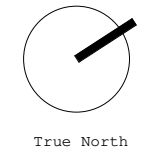
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JO Architecture

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True North

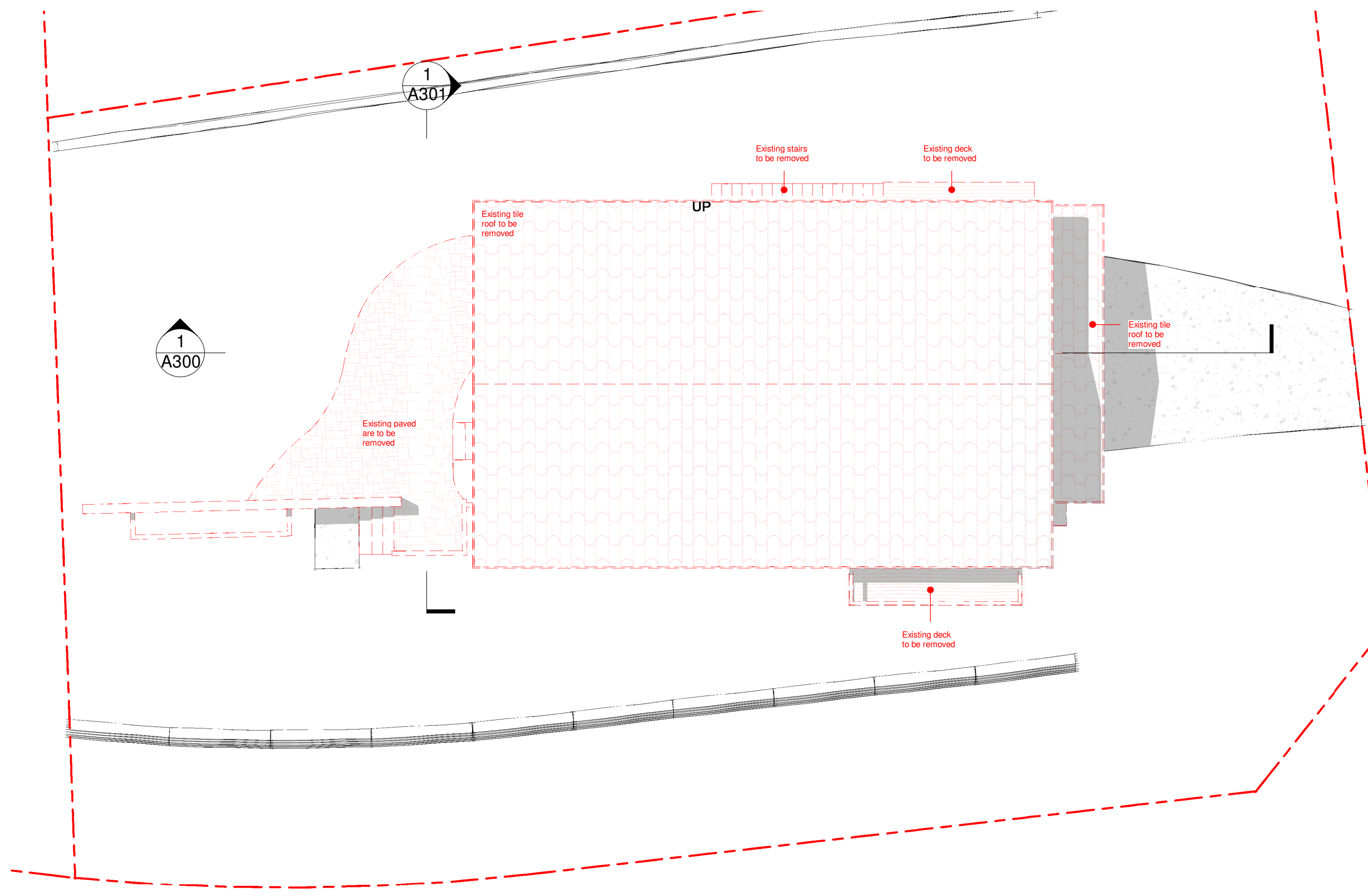
Drawn: JO Checked:

Project
17 Tamworth Place

Client
Yanni Fotiadis

Address
**17 Tamworth Place
Allambie Heights**

Drawing Title Existing / Demolition First Floor Plan			
NOT FOR CONSTRUCTION			
Scale 1 : 100 @A3	Date: 13.03.20		
1904 Project no.	DA Drawing Phase.	A100b Drawing No.	D Rev



LEGEND

Existing walls removed

Existing walls to remain

EXISTING DAMAGE REPORT

Prior to commencement of any works on site, the applicant shall notify Council in writing with digital photographs of any existing damages to Council's assets fronting the property and the immediate adjoining properties. Failure to do so will result in the applicant being liable for any construction related damages to these assets. In this respect, the damage deposit lodged by the applicant may be used by Council to repair such damages.

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BUILDING PROTECTION

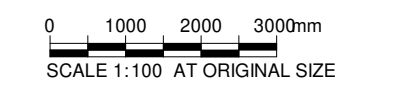
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1

Existing / Demolition Roof

A100c

SCALE 1 : 100



DEVELOPMENT APPLICATION

Notes

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JO Architecture

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True North

Project

17 Tamworth Place

Client

Yanni Fotiadis

Address

17 Tamworth Place

Allambie Heights

Drawing Title

Existing / Demolition Roof Plan

NOT FOR CONSTRUCTION

Scale 1 : 100 @A3

Date:13.03.20

1904

DA

A100c

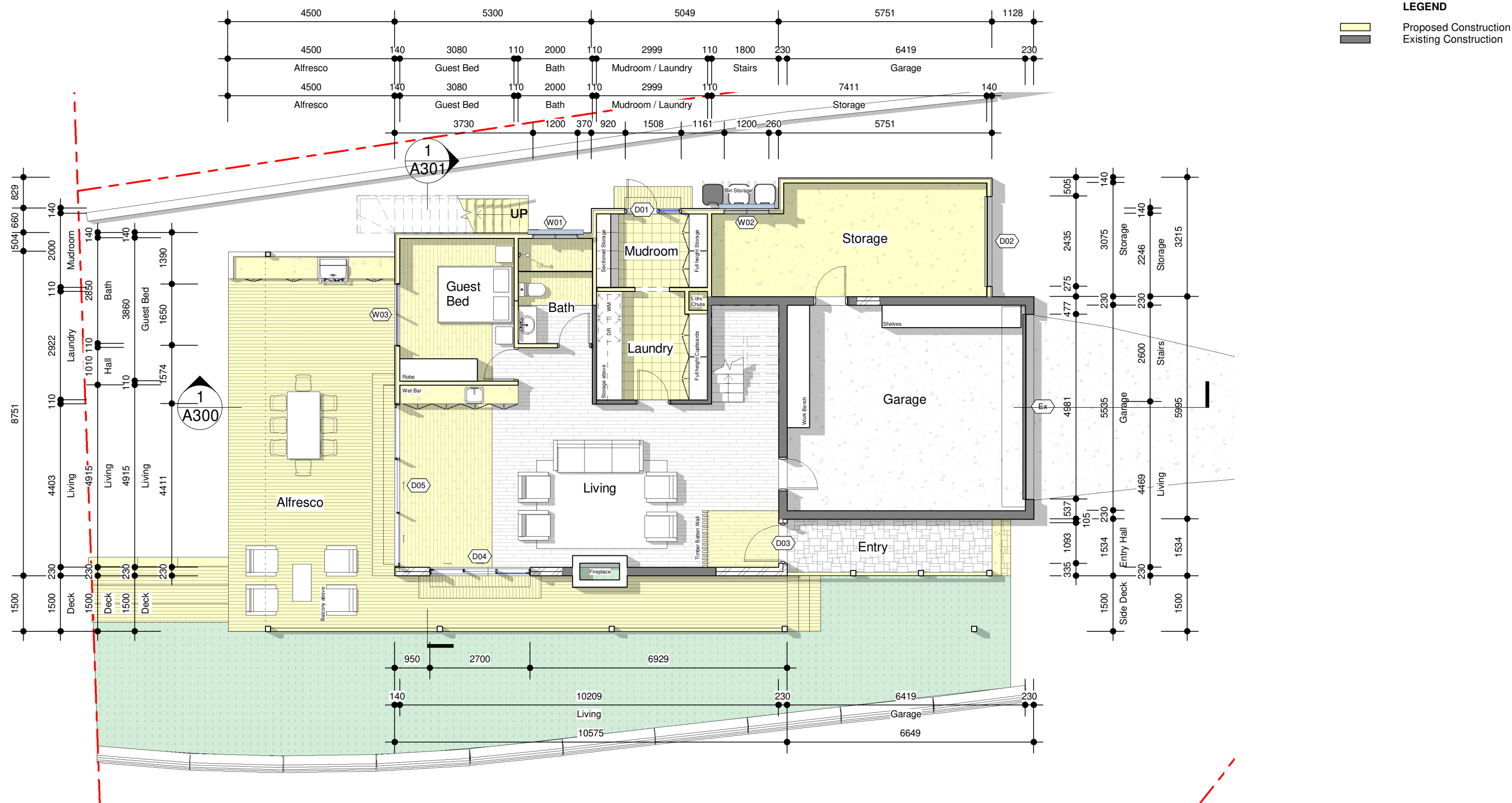
D

Project no.

Drawing Phase.

Drawing No.

Rev



1
A101
Ground Floor Plan
SCALE 1 : 100

0 1000 2000 3000mm
SCALE 1:100 AT ORIGINAL SIZE

DEVELOPMENT APPLICATION

Notes

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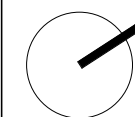
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D	ISSUED TO COUNCIL FOR RF1	13.03.20

JO Architecture

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p. +61 450 446 299
e. jonormaza.bd@gmail.com

Drawn: JO

Checked:



True North

Project
17 Tamworth Place

Client
Yanni Fotiadis
Address
17 Tamworth Place
Allambie Heights

Drawing Title
Proposed Ground Floor Plan

NOT FOR CONSTRUCTION

Scale 1 : 100 @A3 Date: 13.03.20

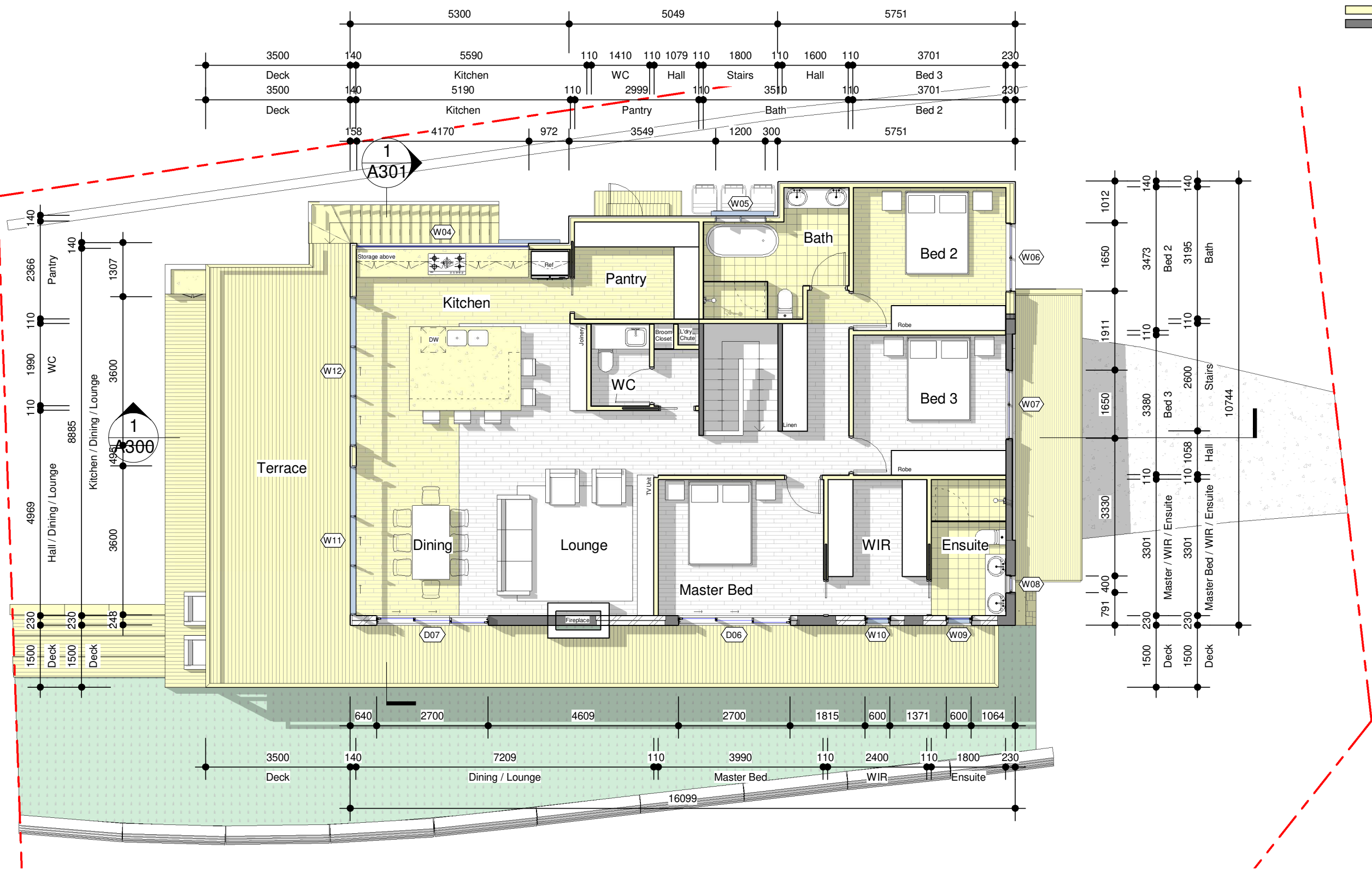
1904
Project no.

DA
Drawing Phase.

A101
Drawing No.

D
Rev

LEGEND
Proposed Construction
Existing Construction



1 First Floor Plan
A102 SCALE 1 : 100

0 1000 2000 3000mm
SCALE 1:100 AT ORIGINAL SIZE

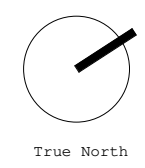
DEVELOPMENT APPLICATION

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JO Architecture

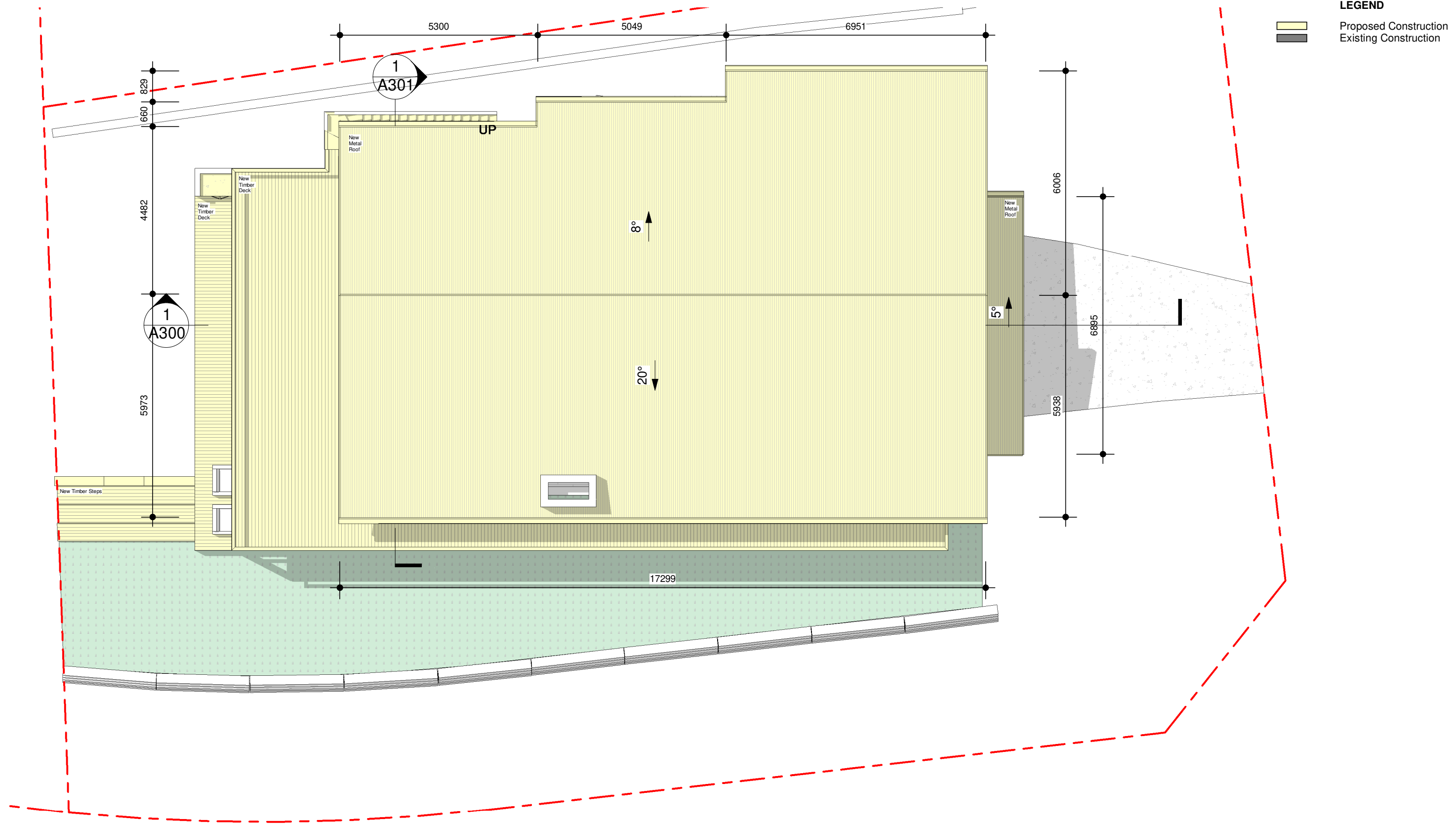
17a Campbell Avenue, Dee Why NSW 2099
p. +61 450 446 299
e. jonormaza.bd@gmail.com



Drawn: JO Checked:

Project
17 Tamworth Place
Client
Yanni Fotiadis
Address
17 Tamworth Place
Allambie Heights

Drawing Title Proposed First Floor Plan			
NOT FOR CONSTRUCTION			
Scale 1 : 100 @A3		Date: 13.03.20	
1904	DA	A102	D
Project no.	Drawing Phase.	Drawing No.	Rev



1 Roof Plan
A103 SCALE 1 : 100

0 1000 2000 3000mm
SCALE 1:100 AT ORIGINAL SIZE

DEVELOPMENT APPLICATION

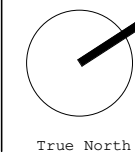
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D	ISSUED TO COUNCIL FOR RF1	13.03.20

JO Architecture

17a Campbell Avenue, Dee Why NSW 2099
p. +61 450 446 299
e. jonormaza.bd@gmail.com



Drawn: JO

Checked:

Project
17 Tamworth Place

Client
Yanni Fotiadis
Address
**17 Tamworth Place
Allambie Heights**

Drawing Title

Roof Plan

NOT FOR CONSTRUCTION

Scale 1 : 100 @A3

Date: 13.03.20

1904
Project no.

DA
Drawing Phase.

A103
Drawing No.

D
Rev

LEGEND

Proposed Construction

Existing Construction

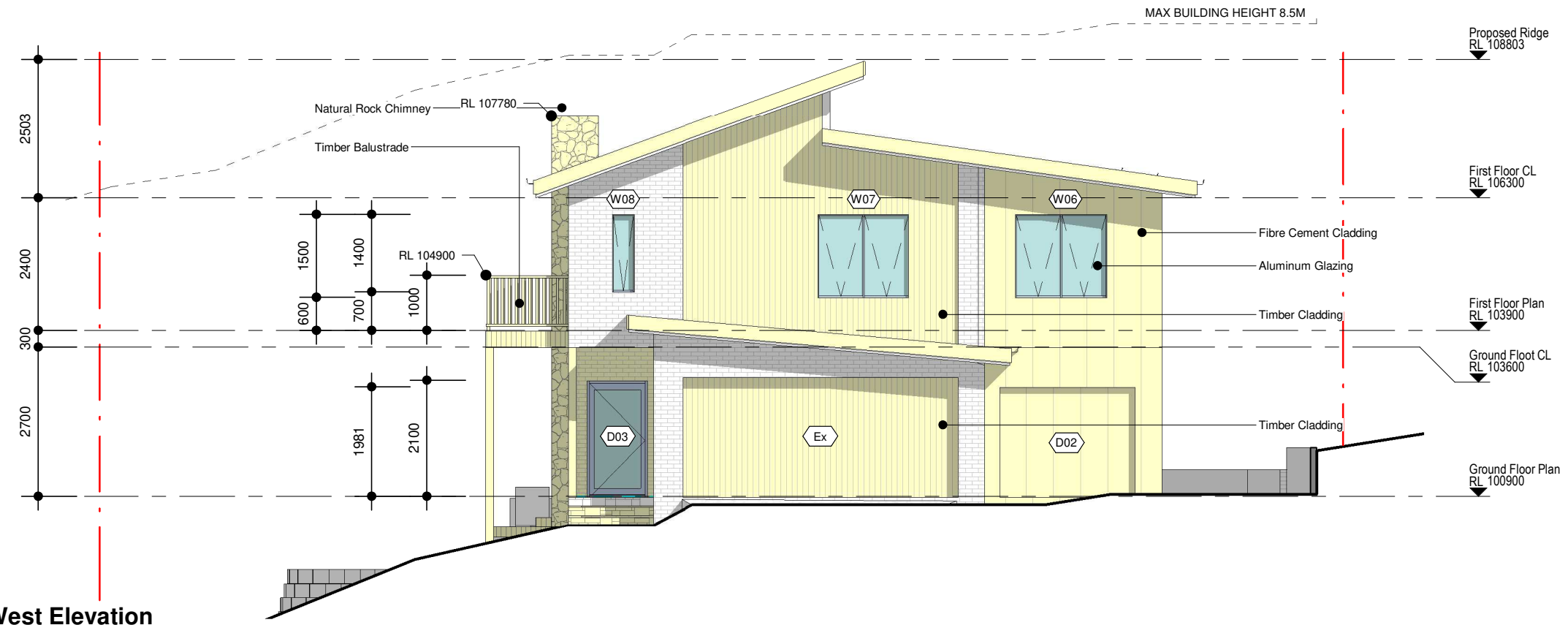


1

North East Elevation

A200

SCALE 1 : 100

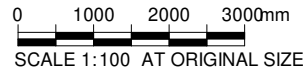


2

South West Elevation

A200

SCALE 1 : 100



Notes

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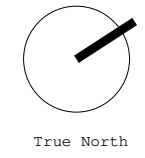
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D	ISSUED TO COUNCIL FOR RF1	13.03.20

JO Architecture

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p. +61 450 446 299
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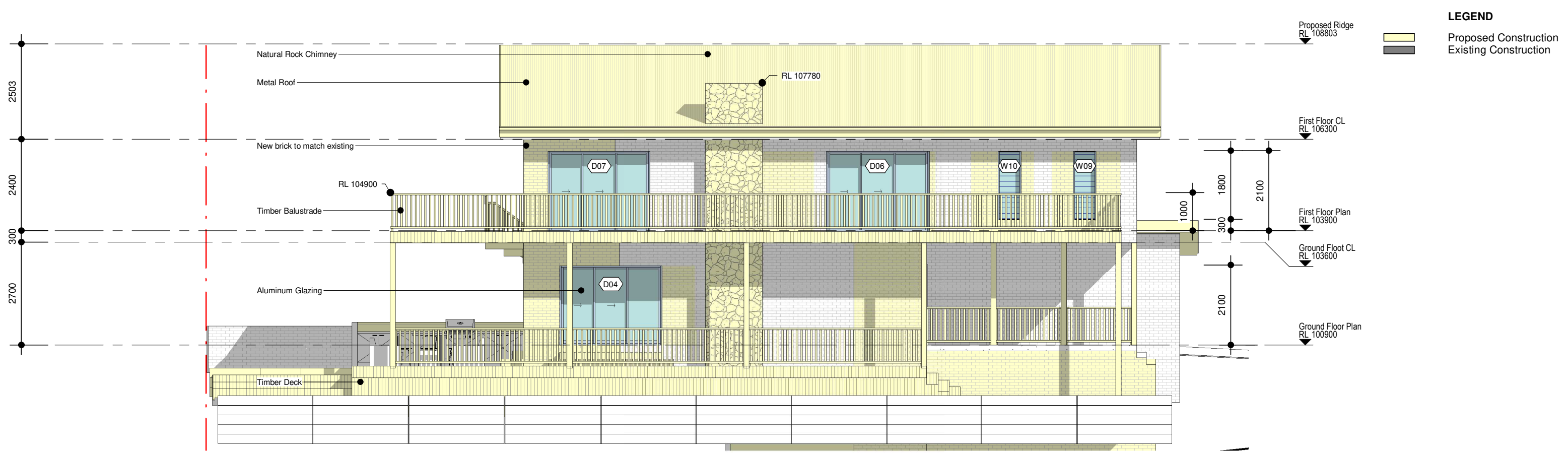
Drawn: JO Checked:

Project
17 Tamworth Place

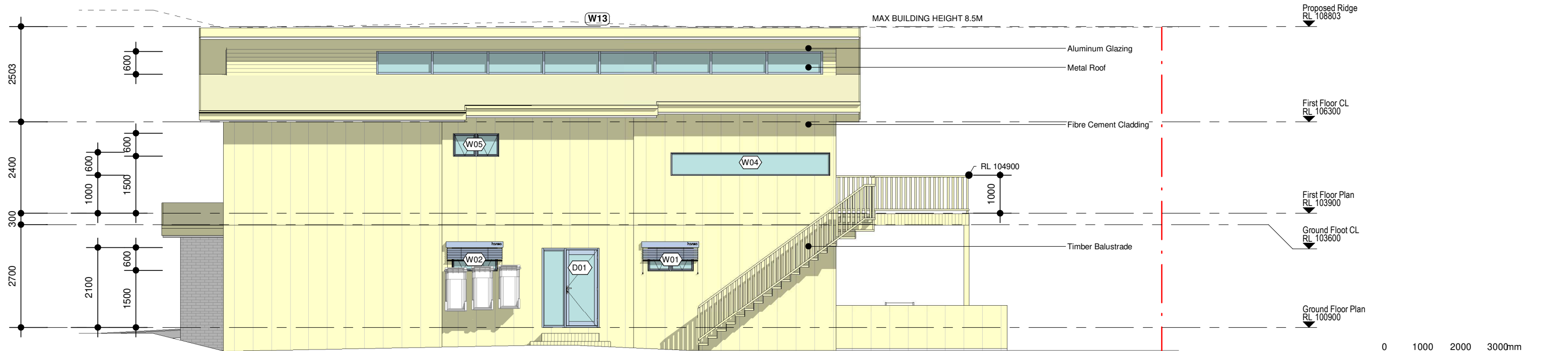
Client
Yanni Fotiadis

Address
**17 Tamworth Place
Allambie Heights**

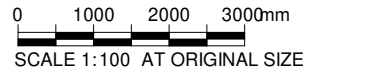
Drawing Title North East & South West Elevations			
NOT FOR CONSTRUCTION			
Scale 1 : 100 @A3	Date: 13.03.20		
1904 Project no.	DA Drawing Phase.	A200 Drawing No.	D Rev



1 North West Elevation
A201 SCALE 1 : 100



2 South East Elevation
A201 SCALE 1 : 100



LEGEND
Proposed Construction
Existing Construction

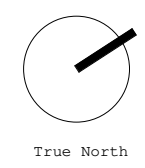
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JO Architecture

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p. +61 450 446 299
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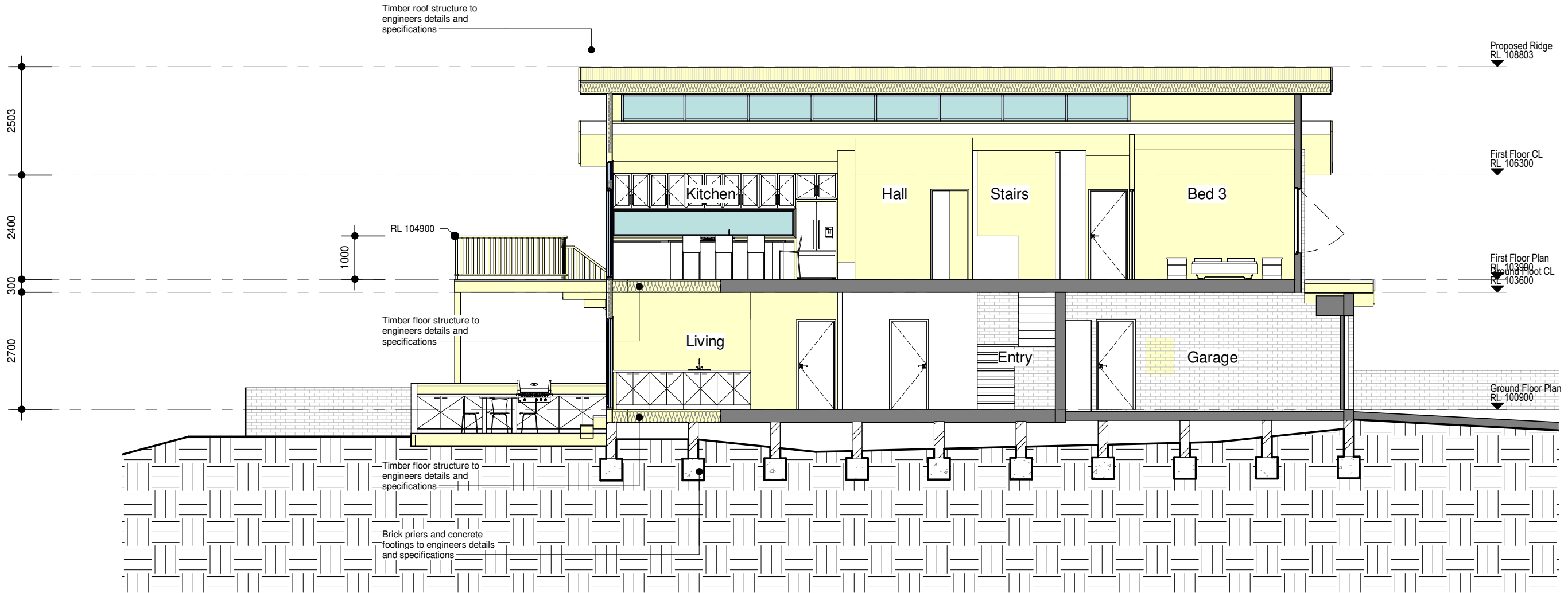
Project
17 Tamworth Place

Client
Yanni Fotiadis
Address
17 Tamworth Place
Allambie Heights

Drawing Title North West & South East Elevations			
NOT FOR CONSTRUCTION			
Scale 1 : 100 @A3		Date: 13.03.20	
1904 Project no.	DA Drawing Phase.	A201 Drawing No.	D Rev

Proposed Construction

Existing Construction

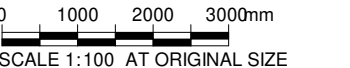


1

A300

Section AA

SCALE 1 : 100



DEVELOPMENT APPLICATION

Notes

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D	ISSUED TO COUNCIL FOR RF1	13.03.20

JO Architecture

17a Campbell Avenue, Dee Why NSW 2099
p. +61 450 446 299
e. jonormaza.bd@gmail.com

True North

Project

17 Tamworth Place

Client

Yanni Fotiadis

Address

17 Tamworth Place
Allambie Heights

Drawing Title

Section AA

NOT FOR CONSTRUCTION

Scale 1 : 100 @A3

Date:13.03.20

1904

DA

A300

D

Project no.

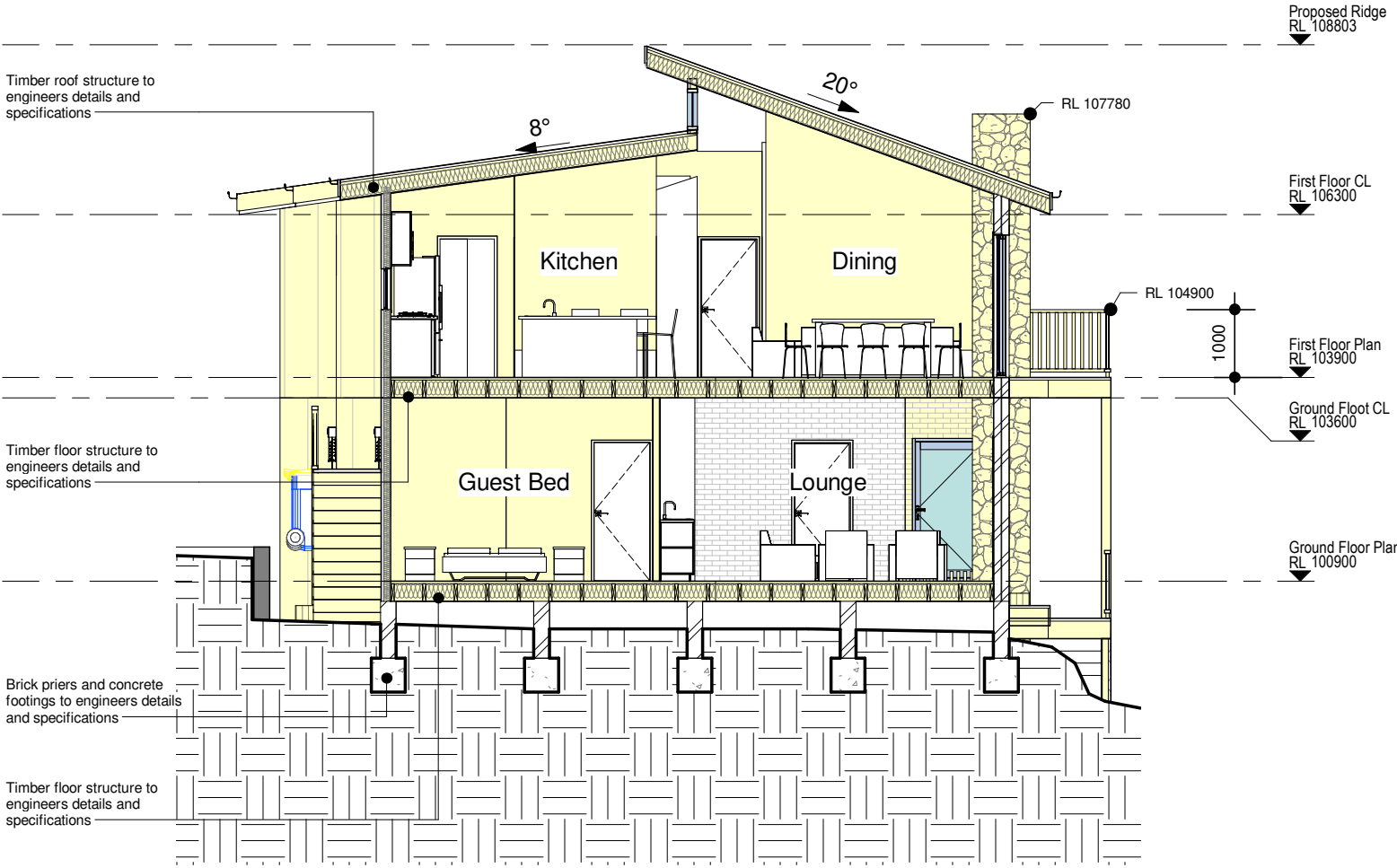
Drawing Phase.

Drawing No.

Rev

Proposed Construction

Existing Construction

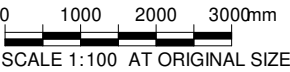


1

Section BB

A301

SCALE 1 : 100



DEVELOPMENT APPLICATION

Notes

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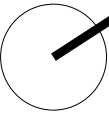
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D	ISSUED TO COUNCIL FOR RFI	13.03.20

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p. +61 450 446 299

e. jonormaza.bd@gmail.com



Project

17 Tamworth Place

Client

Yanni Fotiadis

Address

17 Tamworth Place

Allambie Heights

Drawing Title

Section BB

NOT FOR CONSTRUCTION

Scale 1 : 100 @A3	Date:13.03.20	
1904	DA	A301
Project no.	Drawing Phase.	Drawing No.

D

Rev



DEVELOPMENT APPLICATION

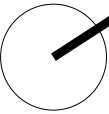
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JO Architecture

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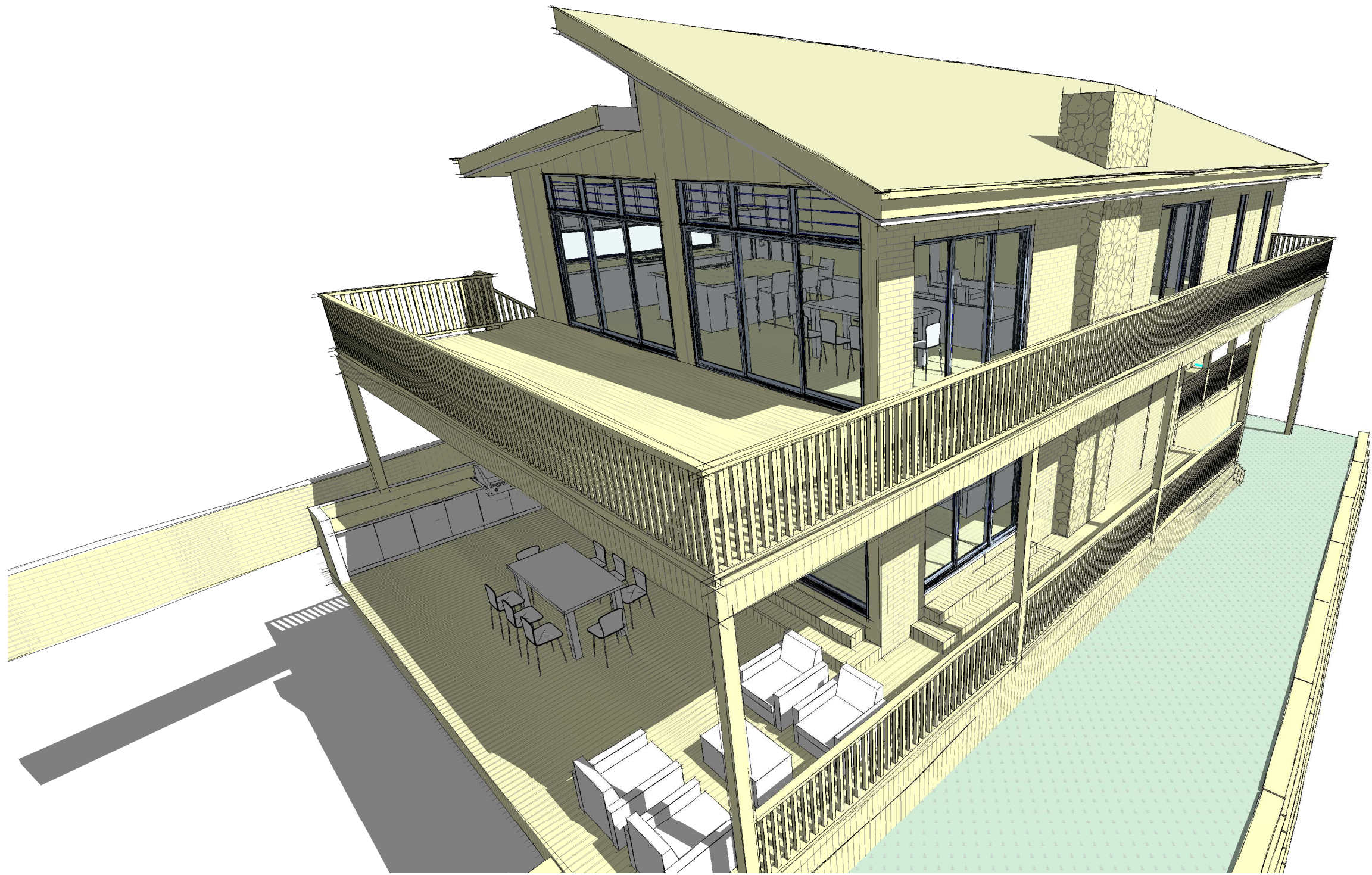
True North

Project
17 Tamworth Place

Client
Yanni Fotiadis
Address
17 Tamworth Place
Allambie Heights

Drawing Title
Perspectives

NOT FOR CONSTRUCTION			
Scale	@A3	Date:	13.03.20
1904	DA	A500	D
Project no.	Drawing Phase.	Drawing No.	Rev



DEVELOPMENT APPLICATION

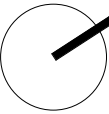
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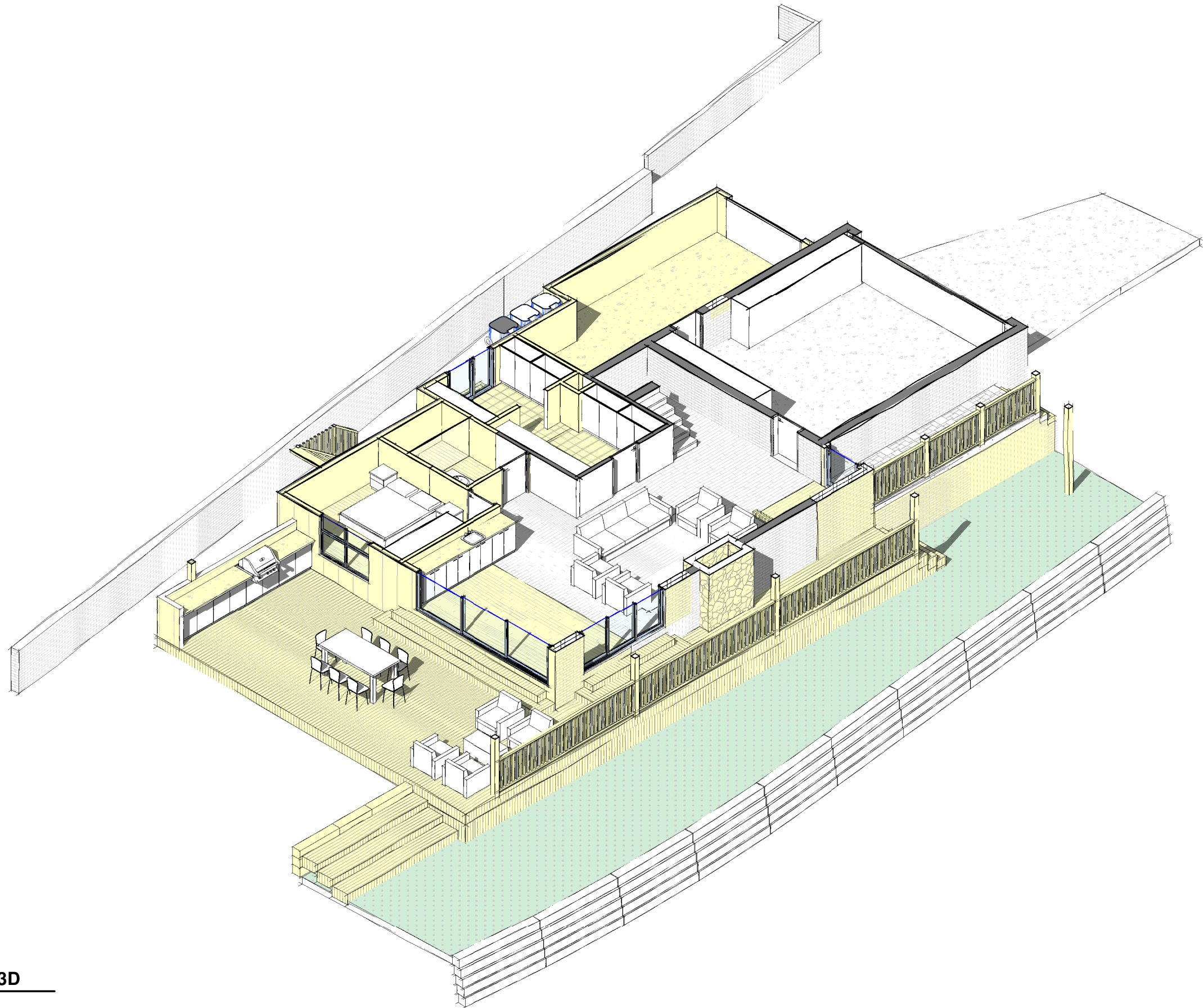


Project
17 Tamworth Place

Client
Yanni Fotiadis
Address
17 Tamworth Place
Allambie Heights

Drawing Title
Perspectives

NOT FOR CONSTRUCTION			
Scale	@A3	Date:	13.03.20
1904	DA	A501	D
Project no.	Drawing Phase.	Drawing No.	Rev



1 Ground Floor 3D
A502 SCALE

DEVELOPMENT APPLICATION

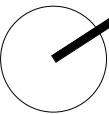
Notes

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- 2) Contractor to verify all dimensions, coordinate services and components prior to commencement of site work or off-site fabrication and installation.
- 3) All construction must be built to minimum requirement set outs by the Building Code of Australia and relevant Australian Standards. JO Arch is to be notified immediately of any discrepancies to the above, and confirmation sought.
- 4) Copyright on this drawing and design retained by JO Arch.

Rev	Comments	Date
A	ISSUED TO CLIENT FOR REVIEW	07.10.19
B	ISSUED TO CLIENT FOR REVIEW	27.10.19
C	ISSUED TO COUNCIL FOR DA	30.01.20
D	ISSUED TO COUNCIL FOR RF1	13.03.20

JO Architecture

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True North

Project
17 Tamworth Place

Client
Yanni Fotiadis
Address
17 Tamworth Place
Allambie Heights

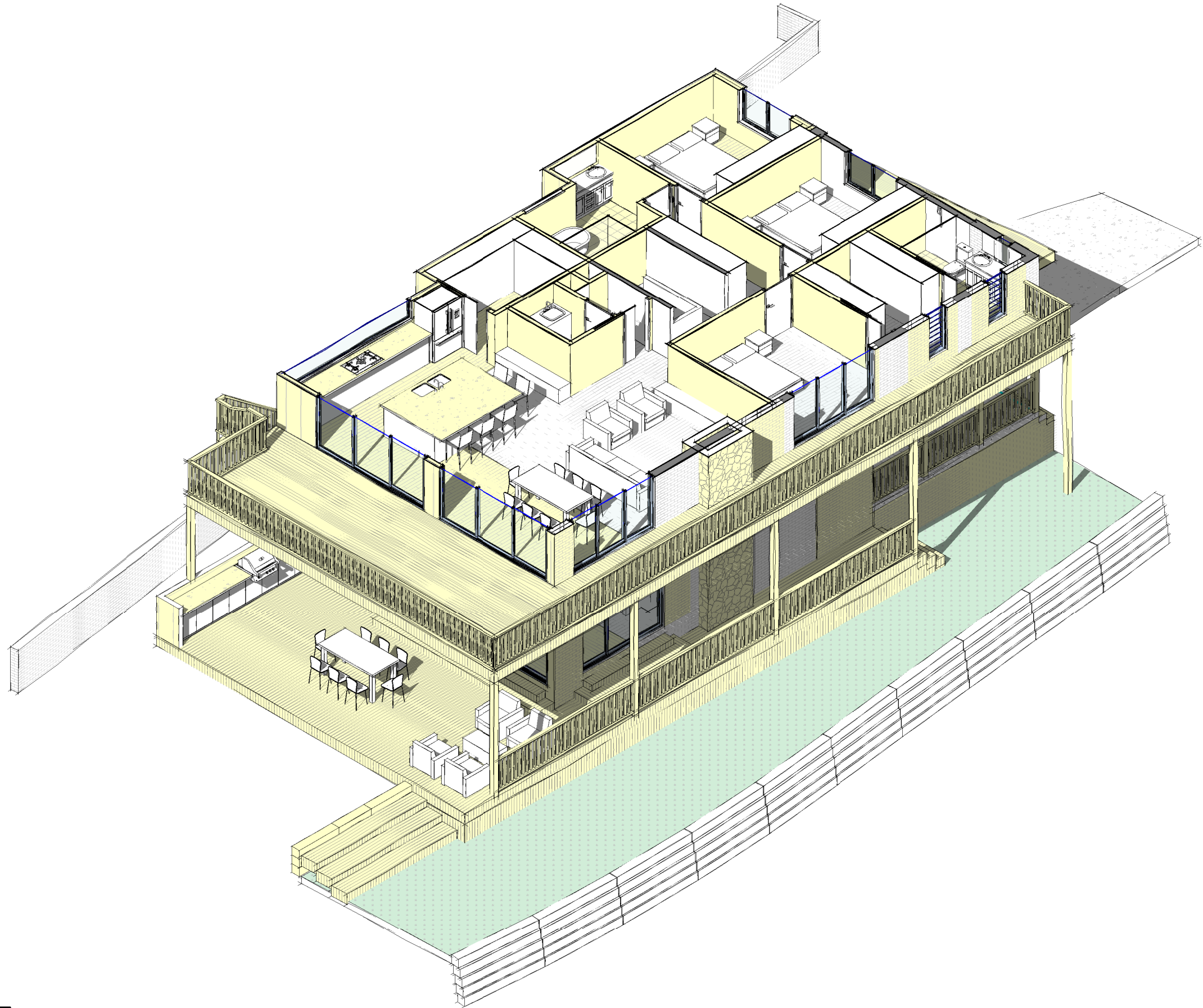
Drawing Title

Ground Floor 3D

NOT FOR CONSTRUCTION

Scale	@A3	Date: 13.03.20
1904	DA	A502
Project no.	Drawing Phase.	Drawing No.
		Rev

D



1

First Floor 3D

A503

SCALE

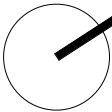
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True North

Drawn: JO

Checked:

Project
17 Tamworth Place

Client
Yanni Fotiadis
Address
17 Tamworth Place
Allambie Heights

Drawing Title
First Floor 3D

NOT FOR CONSTRUCTION

Scale @A3 Date:13.03.20

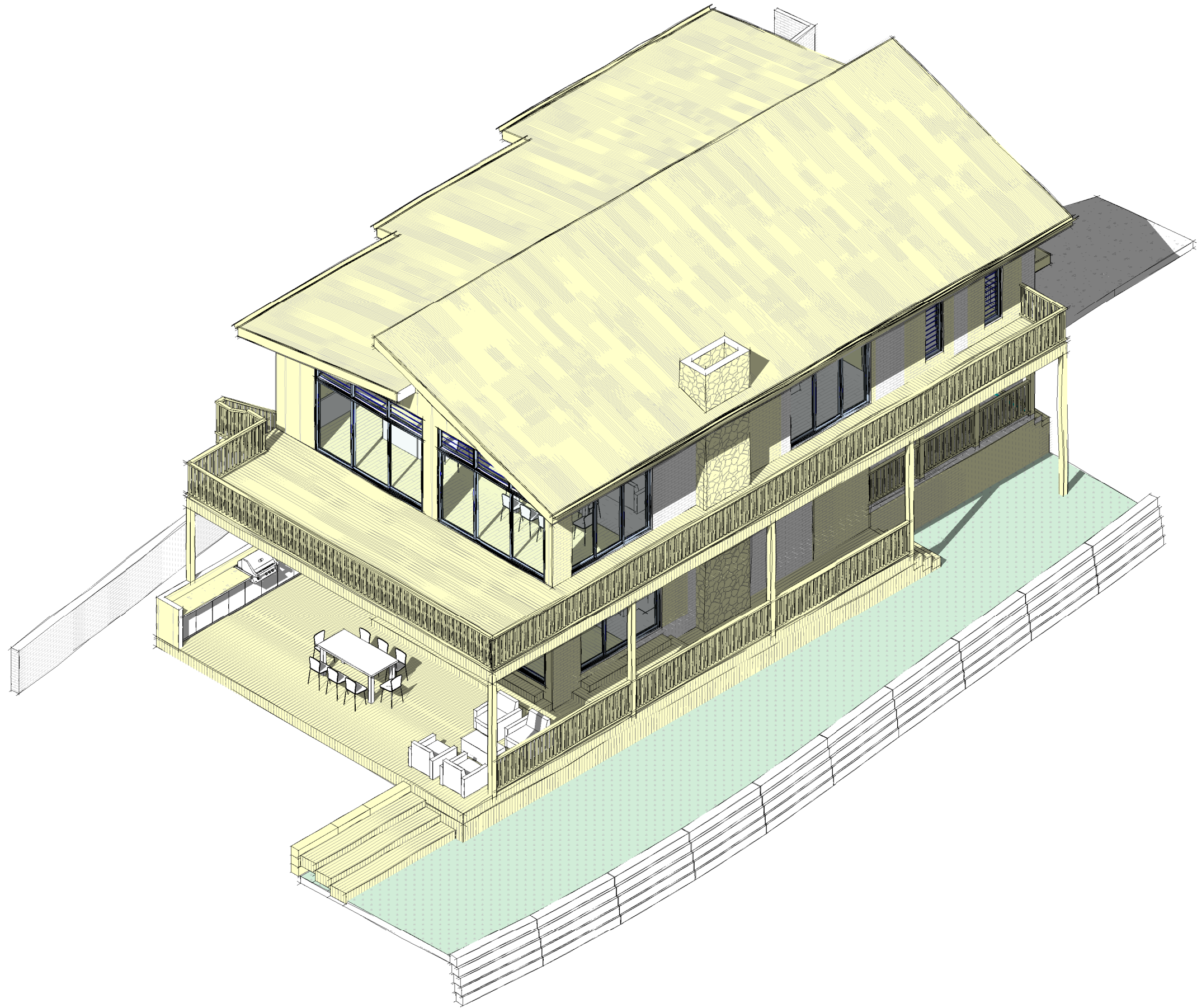
1904
Project no.

DA
Drawing Phase.

A503
Drawing No.

D
Rev

DEVELOPMENT APPLICATION



1 Roof 3D
A504 SCALE

DEVELOPMENT APPLICATION

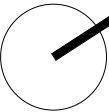
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True North

Project
17 Tamworth Place

Client
Yanni Fotiadis
Address
17 Tamworth Place
Allambie Heights

Drawing Title			
Roof 3D			
NOT FOR CONSTRUCTION			
Scale	@A3	Date:	13.03.20
1904	DA	A504	D
Project no.	Drawing Phase.	Drawing No.	Rev



Material: Brickwork

Location: External walls

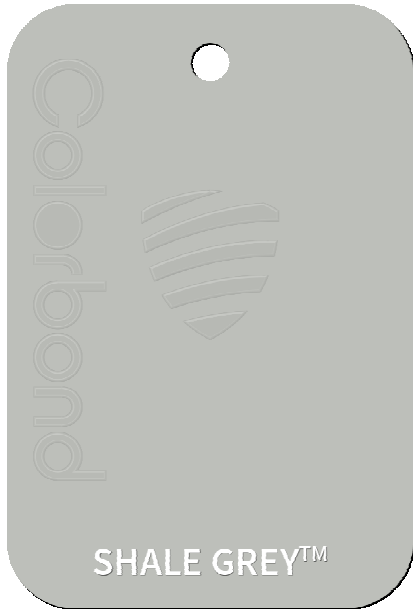
Finish: Matching existing



Material: Sandstone

Location: Chimney

Finish: Natural



Material: Metal Roofing

Location: Throughout

Finish: Shale Grey or simil;ar



Material: Perma Wood

Location: External walls

Finish: Zebrano/Hickory or similar



Material: Metal Cladding

Location: External walls

Finish: Ironstone or similar



Material: Aluminum glazing

Location: Throughout

Finish: Black anodized

DEVELOPMENT APPLICATION

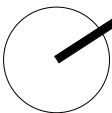
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True North

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17 Tamworth Place

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Allambie Heights

Drawing Title
Finishes Schedule

NOT FOR CONSTRUCTION

Scale	@A3	Date:13.03.20	D
1904	DA	A600	
Project no.	Drawing Phase.	Drawing No.	Rev