

LOFT FLOOR PLAN

SCALE 1:100

NOTE
ALL EXISTING & OVERALL DIMENSIONS ARE NOMINAL & SUBJECT TO VERIFICATION ON SITE. WHERE ANY DISCREPANCY OCCURS BETWEEN NEW WORK & EXISTING BETWEEN NEW WORK & EXISTING DIMENSIONS - EXISTING DIMENSIONS/WORK SHOULD TAKE PRECEDENCE WHERE NECESSARY - OTHERWISE NOTIFY INNOVATIVE ARCHITECTS

NOTE
SELECTED TERMITE PROTECTION TO BE USED ON SITE IN ACCORDANCE WITH LOCAL ACCORDANCE WITH LOCAL COUNCIL'S REQUIREMENTS, B.C.A. AND ALL RELEVANT AUSTRALIAN STANDARDS

NOTE
SMOKE DETECTORS TO COMPLY WITH REQUIREMENTS OF SPECIFICATION E1.7 (NSW) FIRE AND SMOKE ALARMS SHALL COMPLY WITH AS 3786 AND BE CONNECTED TO THE MAIN POWER SUPPLY. ⑤

GENERAL NOTES
All work to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Local Electricity & Water Authorities Regulations and all other relevant Authorities concerned.

All structural work and site drainage to be subject to Engineer's details or certification where required by Council. This shall include r.c. slabs and footings r.c. and steel beams & columns, wind bracing to AS 1770 and AS 4055, anchor rods or bolts, tie downs, fixings etc., driveway slabs and drainage to Council's satisfaction.

All timbers to be in accordance with SAA Timber Structure Code AS1720 and SAA Timber Framing Code AS 1684.

All work to be carried out in a professional and workman-like manner according to the plans and specification.

NOTE
Do not scale off the drawings unless otherwise stated and use figured dimensions in preference.

All dimensions are to be checked and verified on site before the commencement of any work, all dimensions and levels are subject to final survey and set-out.

No responsibility will be accepted by this firm for any variations in design, builder's method of construction or materials used, deviation from specification without permission or accepted work practices resulting in inferior construction. Locate and protect all services prior to construction.

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E	TENDER ISSUE	APR 10	C.J.
D	CONSTRUCTION CERTIFICATE	JULY 09	C.J.
C	AMENDED DEVELOPMENT APPLICATION	APR 09	C.J.
B	DEVELOPMENT APPLICATION	NOV 06	C.J.
A	PRELIMINARY DEVELOPMENT APPLICATION	MAY 06	C.J.
ISSUE	AMENDMENT	DATE	INT.

Project
PROPOSED COMMERCIAL REFURBISHMENT WITH RESIDENTIAL APARTMENTS

Client
MIHES NOMINIES PTY LTD

Address
210 - 212 PITTWATER ROAD, MANLY

Drawing Title
LOFT FLOOR PLAN

PLANS TO BE READ IN ACCORDANCE WITH 'CLIVE LUCAS, STAPLETON & PARTNERS PTY LTD' HERITAGE DETAILS & SPECIFICATIONS

PLANS TO BE READ IN ACCORDANCE WITH 'RG FIRE' FIRE HYDRANT & HOSE REEL REVIEW

PLANS TO BE READ IN ACCORDANCE WITH 'DEFIRE' FIRE COMPLIANCE REPORT

PLANS TO BE READ IN ACCORDANCE WITH 'LOCAL' BCA COMPLIANCE REPORT

PLANS TO BE READ IN ACCORDANCE WITH 'CPM' STORMWATER DRAINAGE DETAILS

PLANS TO BE READ IN ACCORDANCE WITH 'CPM' ENGINEERING STRUCTURAL DETAILS

NOTE:
PLANS TO BE READ IN ACCORDANCE WITH MANLY COUNCIL'S DEVELOPMENT CONSENT: DA/563/06 DATED 27th NOVEMBER 2008

Suite 9b/32 Frederick Street
Oatley NSW 2223
PO Box 214 Oatley NSW 2223

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02 9585 1844
mail@innovate.com.au
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REGISTERED ARCHITECTS
Nominated Architect Cameron Jones 7143

Scale 1:100	Drawn JWS	Checked CRJ	Issue E
Date MAY 06	Job Number 1056/ 05	Sheet 04	

CLEAN, REPAIR &
RETAIN EXISTING FACE
BRICKWORK

REPLACE FASCIA IN
ACCORDANCE WITH
HERITAGE ARCHITECTS
DETAILS (214 ONLY)

MAKE GOOD EXISTING
FRENCH DOORS TO
210, 212 & 214

NEW BALCONY TO STREET
FASCIA TO HERITAGE
CONSULTANTS DETAILS &
SPECIFICATIONS

NEW SELECTED 'VELUX' OR
SIMILAR ROOF WINDOWS TO
ROOFLIGHTS

NEW GALVANISED STEEL STYLE
ROOF SHEETING TO MATCH
EXISTING & TO HERITAGE
CONSULTANTS DETAILS &
SPECIFICATIONS

NEW BALCONY TO STREET
FASCIA TO HERITAGE
CONSULTANTS DETAILS &
SPECIFICATIONS

LINE OF LOFT WALLS
BEYOND
EXISTING TO BE RETAINED &
RESTORED TO ORIGINAL
CHARACTER

NEW POSTS TO HERITAGE
CONSULTANTS DETAILS &
SPECIFICATIONS

RESTORE EXISTING SHOPFRONT
TO HERITAGE CONSULTANTS
DETAILS & SPECIFICATIONS
(210 & 212 ONLY)

SOLAR TUBE TO ENSUITE

NEW GALVANISED STEEL STYLE
ROOF SHEETING TO MATCH
EXISTING & TO HERITAGE
CONSULTANTS DETAILS &
SPECIFICATIONS

NEW TIMBER FRAMED ROOF
IN ACCORDANCE WITH A.S. 1684
PITCH APPROX 33°, TO MATCH
EXISTING

NEW SELECTED 'VELUX' OR
SIMILAR ROOF WINDOWS TO
LOFTS - OPENABLE

LINE OF LOFT WALLS
BEYOND

PITCHING LEVEL

LOFT FLOOR LEVEL

CEILING LEVEL

NEW SELECTED TIMBER
FRAMED WINDOWS &
DOORS

FIRST FLOOR LEVEL

CEILING LEVEL

LINE OF EXISTING WALL TO BE
REMOVED, MAKE GOOD EXIST.

GROUND FLOOR LEVEL

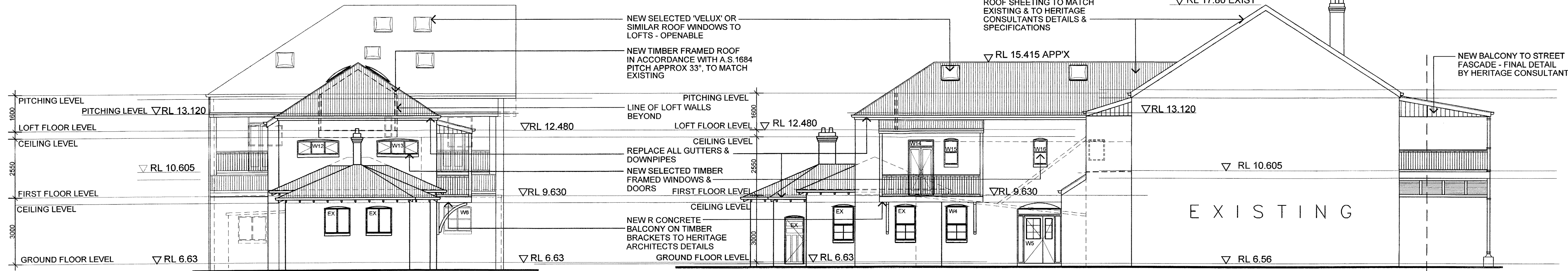
FILL IN DOOR WITH
RECESSED PANEL
AND NEW WINDOW

FRONT ELEVATION (pittwater road)

SCALE 1:100

SIDE ELEVATION (south)

SCALE 1:100

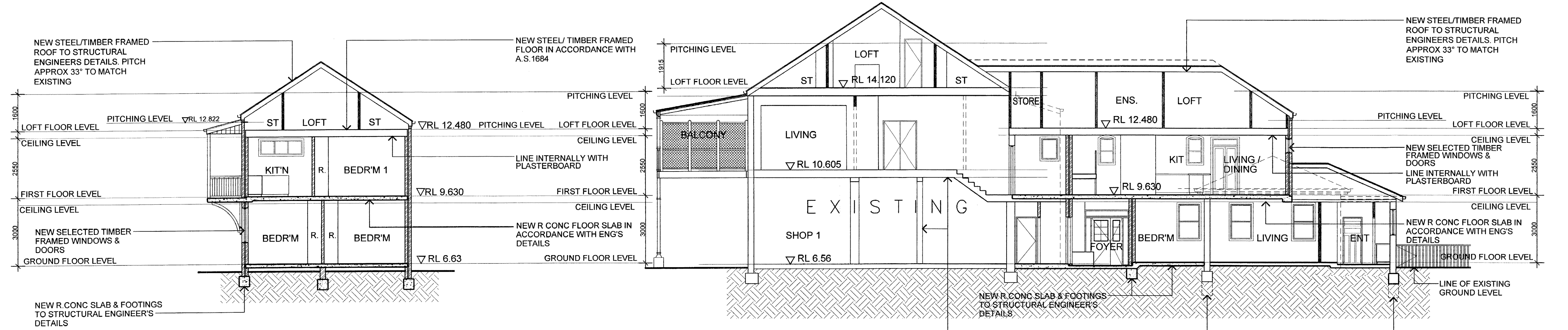


REAR ELEVATION (ruby lane)

SCALE 1:100

SIDE ELEVATION (north)

SCALE 1:100



SECTION A-A

SCALE 1:100

SECTION B-B

SCALE 1:100

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SUBJECT TO VERIFICATION ON SITE. WHERE ANY DISCREPANCY
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WORK & EXISTING DIMENSIONS - EXISTING DIMENSIONS/WORK
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NOTIFY INNOVATIVE ARCHITECTS

NOTE
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ACCORDANCE WITH LOCAL ACCORDANCE WITH LOCAL
COUNCIL'S REQUIREMENTS, B.C.A. AND ALL RELEVANT
AUSTRALIAN STANDARDS

NOTE
SMOKE DETECTORS TO COMPLY WITH REQUIREMENTS OF
SPECIFICATION E17 (NSW) FIRE AND SMOKE ALARMS SHALL
COMPLY WITH AS 3786 AND BE CONNECTED TO THE MAIN
POWER SUPPLY. ⑤

GENERAL NOTES
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bolts, tie downs, fixings etc., driveway slabs and drainage to
Council's satisfaction.

All timbers to be in accordance with SAA Timber Structure
Code AS 1720 and SAA Timber Framing Code AS 1684.

All work to be carried out in a professional and workman-
shiplike manner according to the plans and specification.

NOTE
Do not scale off the drawings unless otherwise stated and
use figured dimensions in preference.

All dimensions are to be checked and verified on site before
the commencement of any work, all dimensions and levels are
subject to final survey and set-out.

No responsibility will be accepted by this firm for any
variations in design, builder's method of construction or
materials used, deviation from specification without permission
or accepted work practices resulting in inferior construction.
Locate and protect all services prior to construction.

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PLANS TO BE READ IN ACCORDANCE WITH
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PLANS TO BE READ IN ACCORDANCE WITH
'CPM' ENGINEERING STRUCTURAL DETAILS

NOTE:
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MANLY COUNCIL'S DEVELOPMENT
CONSENT: DA/563/06 DATED 27th
NOVEMBER 2008

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ISSUE	AMENDMENT	DATE	INT

PROPOSED COMMERCIAL REFURBISHMENT WITH RESIDENTIAL APARTMENTS

Client
MIEHS NOMINIES PTY LTD

Address
**210 - 212 PITTWATER ROAD,
MANLY**

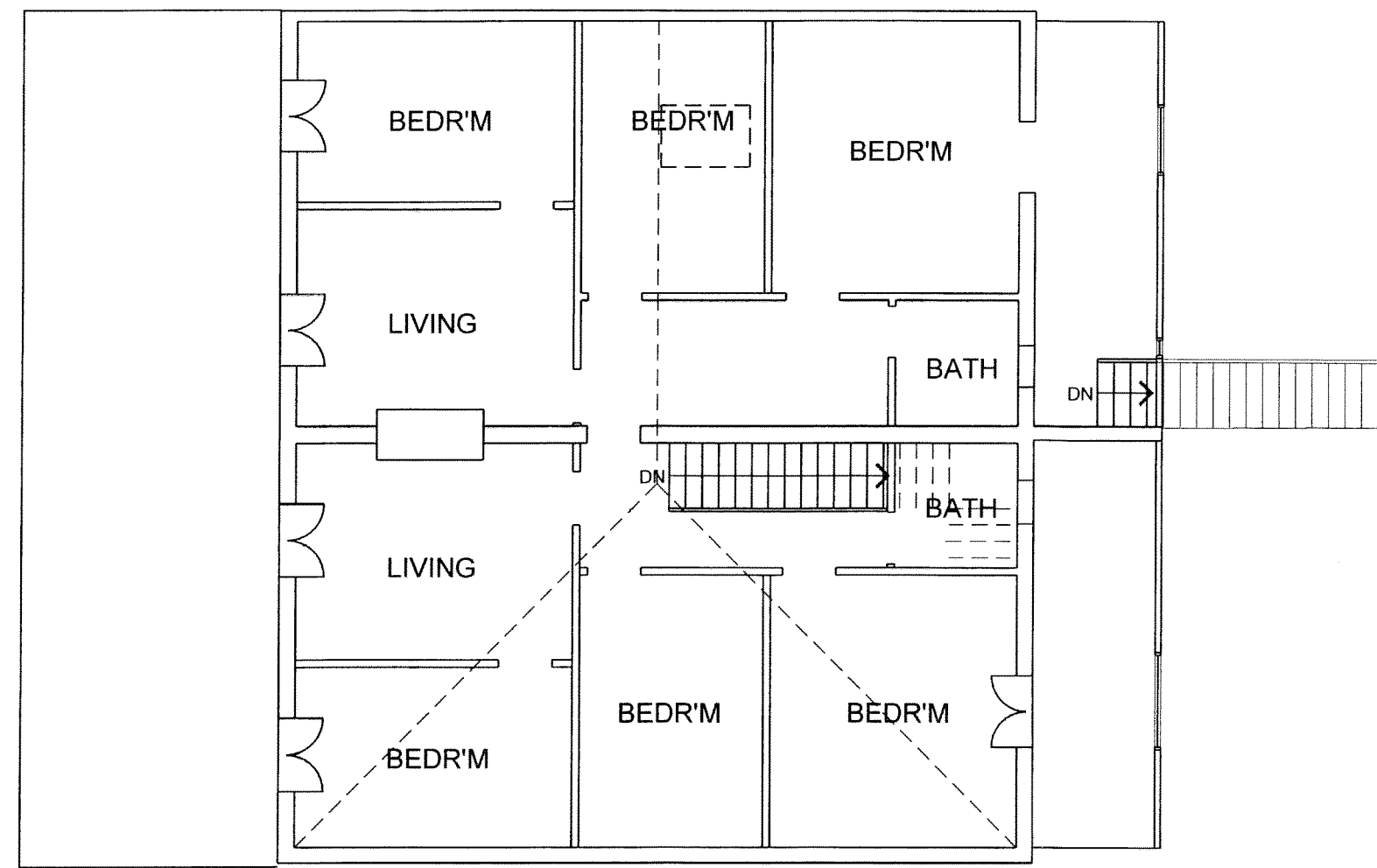
Drawing Title
ELEVATIONS & SECTIONS

innovative
ARCHITECTS

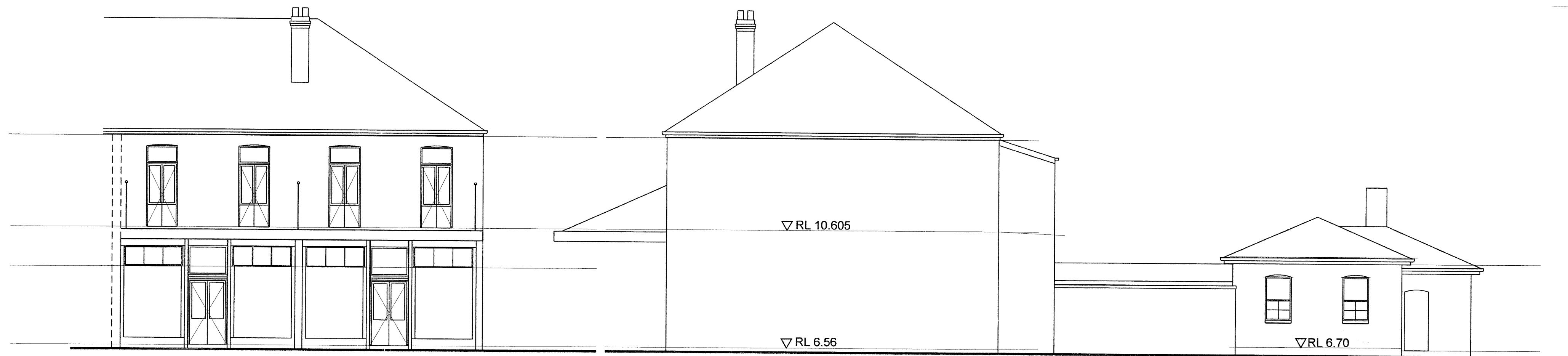
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e mail@innovate.com.au
PO Box 214 Oatley NSW 2223 w www.innovate.com.au

REGISTERED ARCHITECTS
Nominated Architect Cameron Jones 7143

Scale 1:100	Drawn JWS	Check CRJ	Issue E
Date MAY 06	Job Number 1056/ 05	Sheet 05	

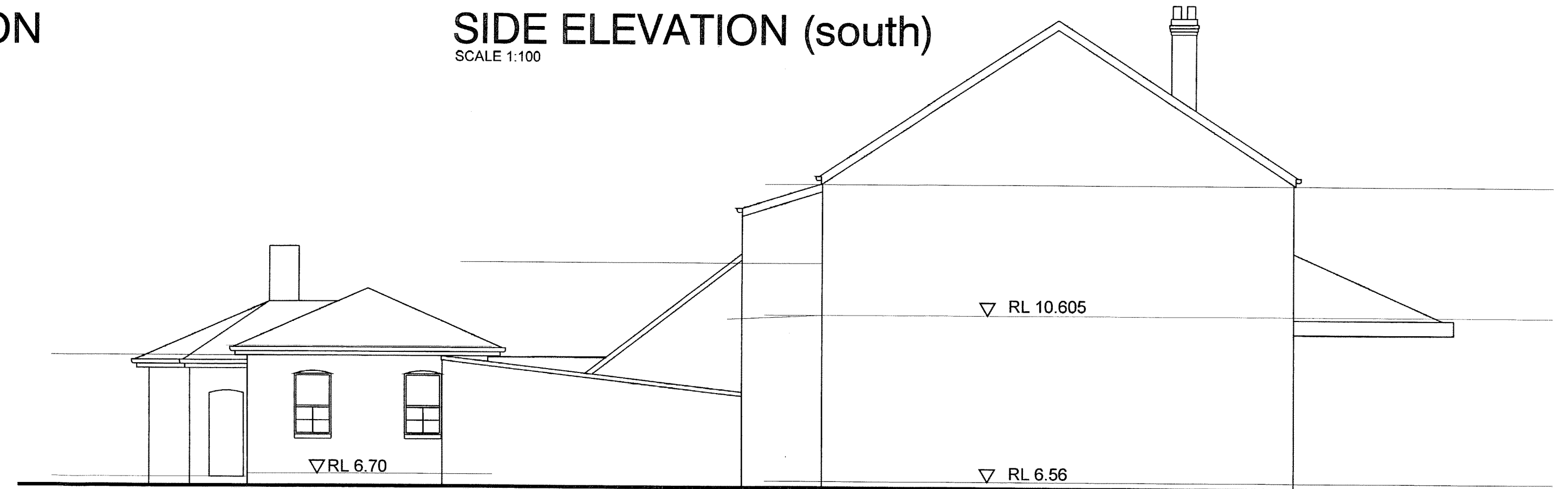


FIRST FLOOR PLAN
SCALE 1:100

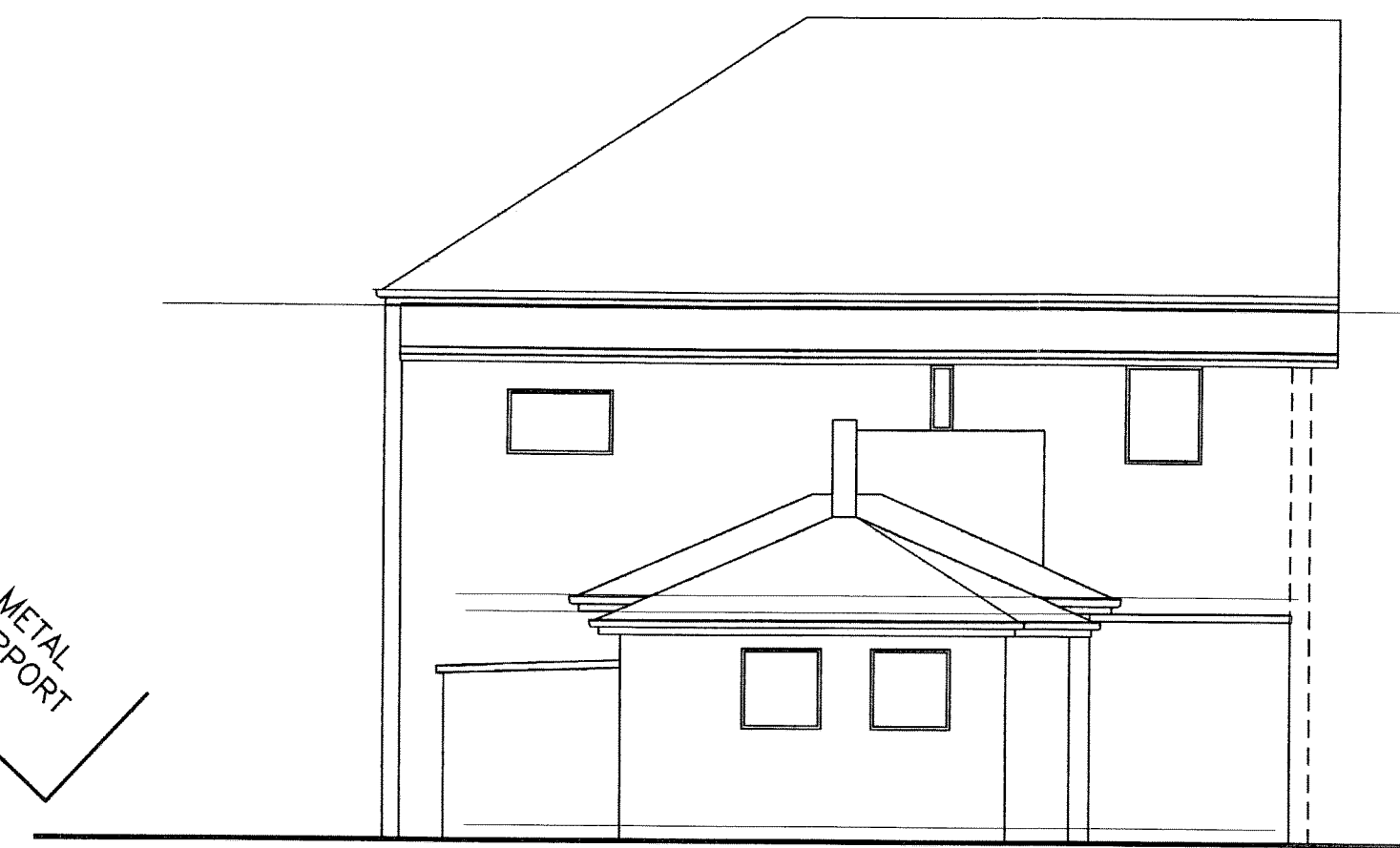


FRONT ELEVATION
SCALE 1:100

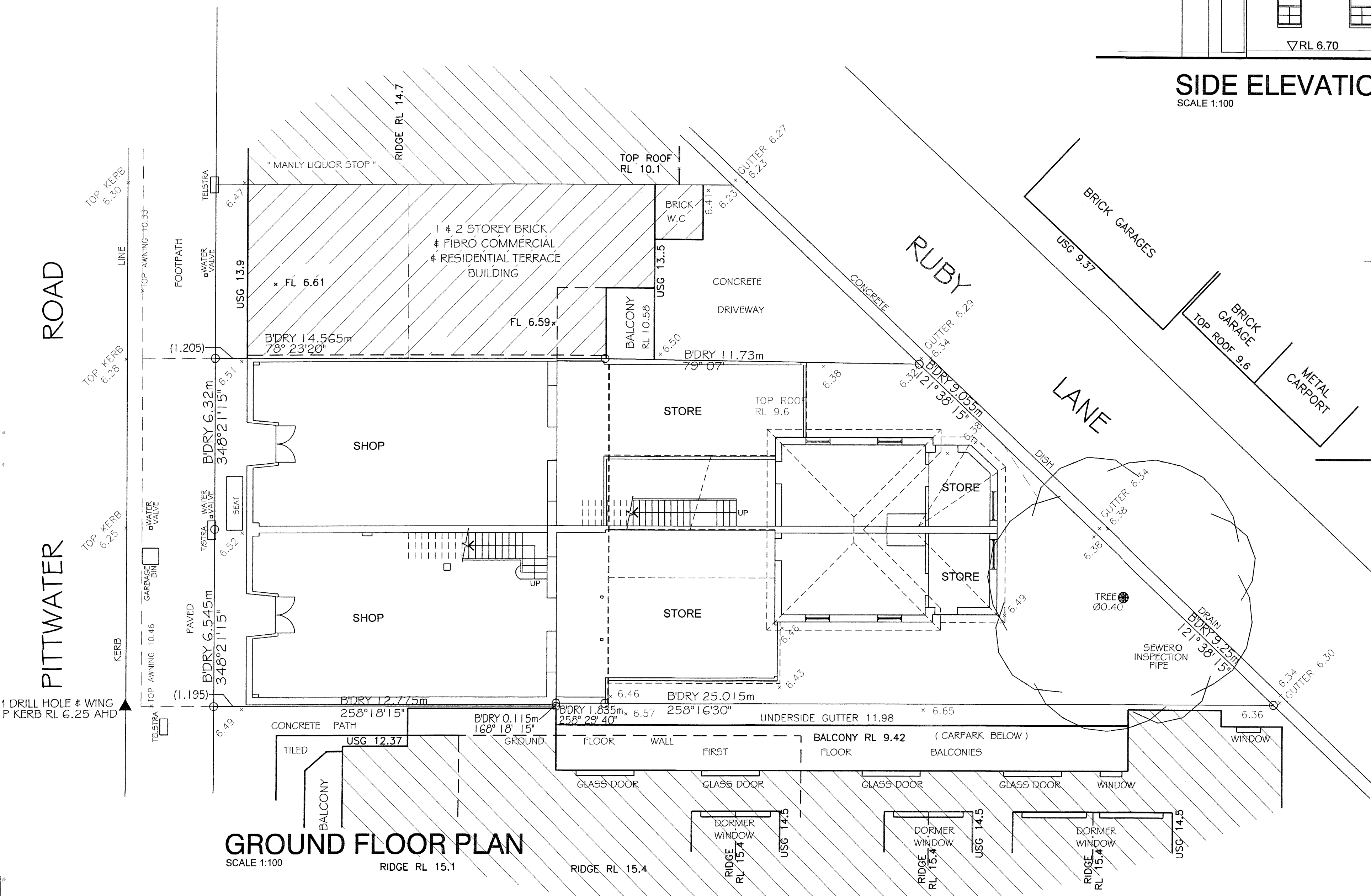
SIDE ELEVATION (south)
SCALE 1:100



SIDE ELEVATION (north)
SCALE 1:100



REAR ELEVATION
SCALE 1:100



GROUND FLOOR PLAN
SCALE 1:100

E	TENDER ISSUE	APR 10	CJ
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A	PRELIMINARY DEVELOPMENT APPLICATION	MAY 06	CJ
ISSUE	AMENDMENT	DATE	INT

**PROPOSED COMMERCIAL
REFURBISHMENT WITH
RESIDENTIAL APARTMENTS**

Client
MIHES NOMINIES PTY LTD

Address
**210 - 212 PITTSWATER ROAD,
MANLY**

Drawing Title
EXISTING PLANS & ELEVATIONS

innovative
ARCHITECTS

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Oatley NSW 2223 | 02 9585 1844
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Nominated Architect Cameron Jones 7143

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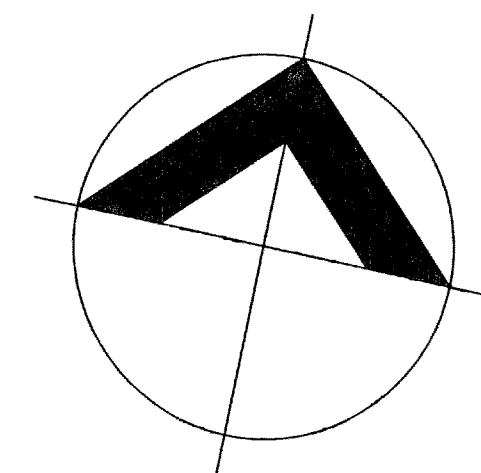
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'LOCAL' BCA COMPLIANCE REPORT

PLANS TO BE READ IN ACCORDANCE WITH
'CPM' STORMWATER DRAINAGE DETAILS

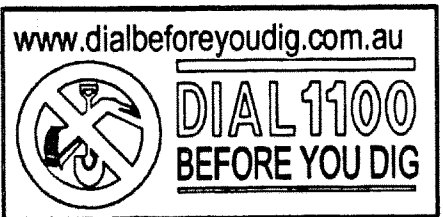
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NOTE:
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MANLY COUNCIL'S DEVELOPMENT
CONSENT: DA/563/06 DATED 27TH
NOVEMBER 2008

Scale 1:100	1	2	3	Issue E
Date MAY 06	Drawn JWS	Check CRJ	Job Number 1056/05	Sheet 06

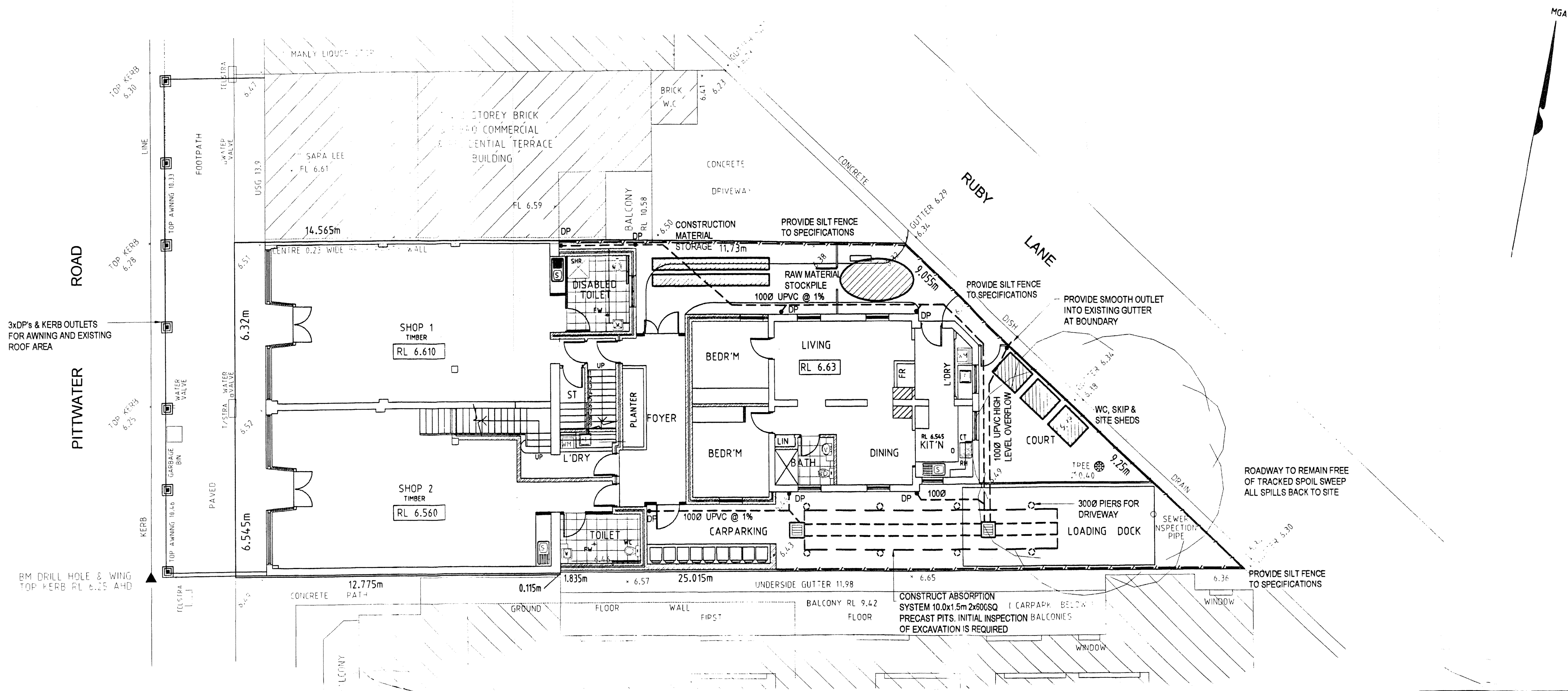


UNDERGROUND SERVICES SEARCH SHOULD BE
UNDERTAKEN PRIOR TO ANY EXCAVATION
TAKING PLACE UPON THE SITE.



LEGEND

- STORMWATER PIT
- DOWN PIPE
- EXISTING LEVEL
- PROPOSED LEVEL
- PROPOSED STORMWATER LINE
- SURFACE FLOW DIRECTION



SEDIMENT & EROSION CONTROL GENERAL NOTES

THE CONTRACTOR SHALL IMPLEMENT ALL SOIL EROSION AND SEDIMENT
CONTROL MEASURES PRIOR TO DISTURBANCE OF THE RELATED CATCHMENT
AREA AND TO THE STANDARDS OF THE N.S.W. DEPARTMENT OF HOUSING
"SOIL AND WATER MANAGEMENT FOR URBAN DEVELOPMENT", JANUARY '93
& COUNCIL'S ENGINEER.

TOPSOIL SHALL BE STRIPPED AND STOCKPILED OUTSIDE HAZARD AREAS
SUCH AS DRAINAGE LINES. THIS TOPSOIL IS TO BE RESPREAD LATER ON
AREAS TO BE REVEGETATED AND STABILISED.

THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL SEDIMENT AND EROSION
CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES
BEFORE NO MORE THAN 60% OF THEIR CAPACITY IS LOST AND AS
DIRECTED BY THE SUPERINTENDENT AND COUNCIL'S ENGINEER. ALL THE SILT
REMOVED SHALL BE DISPOSED OF AS DIRECTED BY THE SUPERINTENDENT
AND COUNCIL'S ENGINEER.

NO SILT IS TO BE PLACED OUTSIDE THE LIMIT OF WORKS. THE PERIOD
FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST UNTIL ALL
DISTURBED AREAS ARE REVEGETATED AND FURTHER AS MAY BE DIRECTED
BY THE SUPERINTENDENT AND COUNCIL.

THE CONTRACTOR SHALL PROVIDE A TURF STRIP BEHIND ALL KERB AND
GUTTER AT COMPLETION OF FOOTPATH FORMATION.

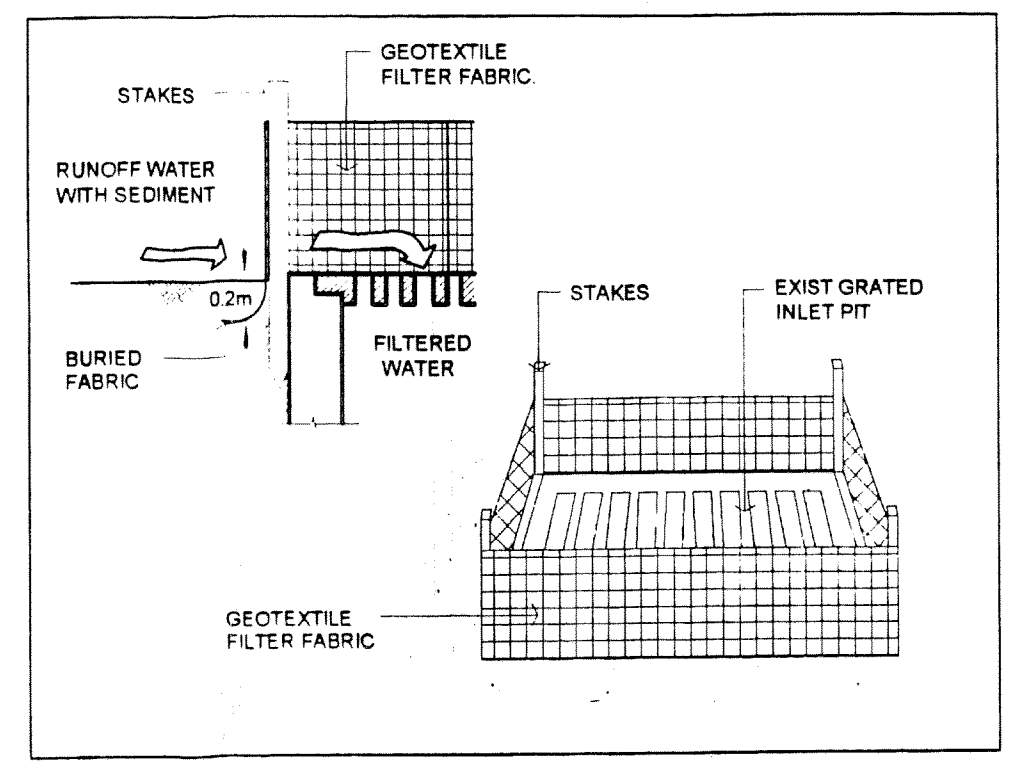
VEHICULAR TRAFFIC SHALL BE CONTROLLED DURING CONSTRUCTION
CONFINING ACCESS WHERE POSSIBLE TO PROPOSED OR EXISTING
ROAD ALIGNMENT.

WHEN ANY DEVICES ARE TO BE HANDED OVER TO COUNCIL THEY SHALL BE
IN A CLEAN AND STABLE CONDITION AS DIRECTED BY COUNCIL'S INSPECTOR.

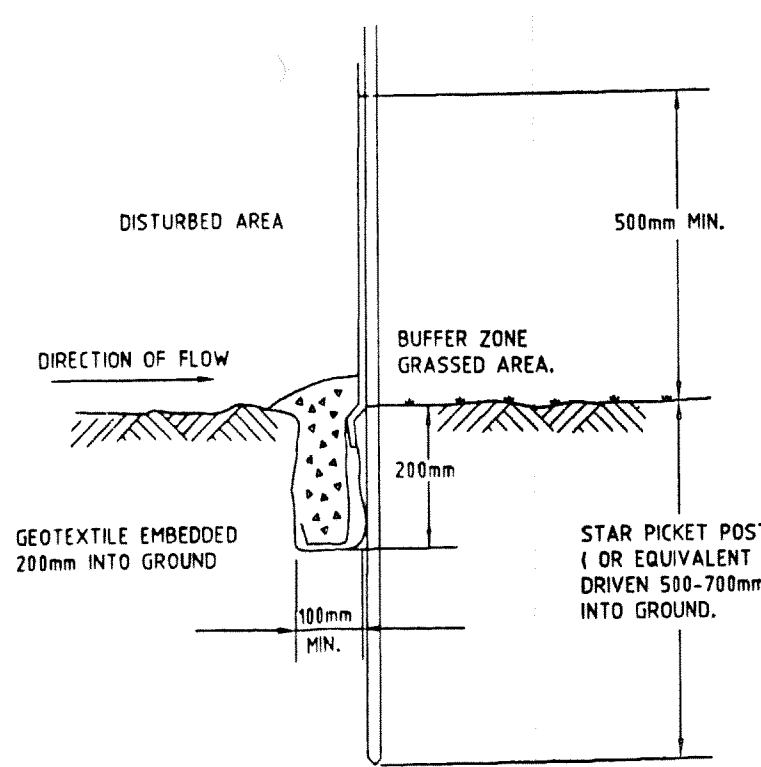
ALL PITS TO BE PROTECTED FROM ENTRY OF SILT AT ALL TIMES.

ORDER OF CONSTRUCTION

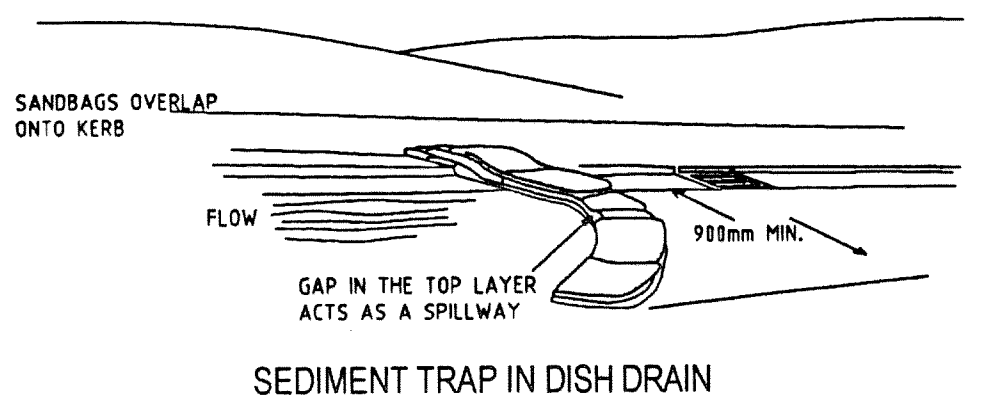
- PROVIDE SILT FENCE AROUND BOUNDARIES, TREE PROTECTION & SITE FACILITIES.
- ESTABLISH SITE ENTRY
- DEMOLISH & REMOVE EXISTING STRUCTURES
- SITE EXCAVATION
- DELIVERY OF CONSTRUCTION MATERIALS
- CONSTRUCTION OF ALTERATIONS & ADDITIONS
- CONSTRUCTION OF DRAINAGE SYSTEM
- REMOVAL OF CONSTRUCTION SITE ACCESS
- SITE ROAD CLEANUP & REMOVAL OF SILTATION MEASURES



INLET PIT SEDIMENT TRAP



GEOFABRIC "SILT" FENCE



SEDIMENT TRAP IN DISH DRAIN

PLAN OF SITE DRAINAGE WORKS EROSION & SEDIMENT CONTROL PLAN

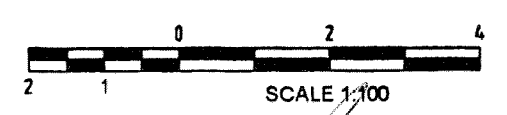
1:100

GENERAL NOTES:

THIS DRAWING TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL
DRAWING AND SPECIFICATION.
WORKMANSHIP AND MATERIALS TO COMPLY WITH A.S.3600 AND ASSOCIATED
AUSTRALIAN STANDARDS.
CHARACTERISTIC CONCRETE COMPRESSIVE STRENGTH IN ACCORDANCE WITH
A.S.3600 TO BE 20MPa.
CONCRETE SLUMP TO BE 80mm.
REINFORCEMENT SYMBOLS:
S - DENOTES GRADE 230 S HOT ROLLED DEFORMED BARS TO AS 1302
Y - DENOTES GRADE 410 Y BARS TO AS 1302
R - DENOTES GRADE 230 R HOT ROLLED PLAIN BARS TO AS 1302
RF - DENOTES RIBBED HARD DRAWN WIRE REINFORCING FABRIC TO AS 1304
CONCRETE IN SLAB TO BE MECHANICALLY VIBRATED DURING PLACING.
CURE CONCRETE BY KEEPING CONSTANTLY DAMP FOR AT LEAST 5 DAYS AFTER
PLACING.
REINFORCEMENT TO BE SUPPORTED ON BAR CHAIRS SPACED AT EVERY 5TH
WIRE IN BOTH DIRECTIONS.
STRUCTURAL STEELWORK TO BE THOROUGHLY CLEANED OF DIRT, GREASE AND
RUST AND PROTECTED AGAINST CORROSION.
GRADE FINISHED GROUND SURFACE TO DIVERT WATER AWAY FROM SLAB ON
ALL SIDES AND TO PREVENT PONDING.
TERMITE PROTECTION TO BE IN ACCORDANCE WITH A.S.3660.1-1995 AND
COUNCIL'S REQUIREMENTS

STORMWATER DRAINAGE

- THIS DRAWING TO BE READ IN CONJUNCTION WITH ARCHITECTURAL,
STRUCTURAL AND LANDSCAPE DRAWINGS.
- PIPELINES TO BE PVC 'STORMWATER' UNDER TURF AND PVC 'SEWER'
UNDER DRIVEWAY AND PARKING AREAS.
- PIPELINES NOT INDICATED SHALL BE 100 DIA. AT A MINIMUM GRADE OF
1.0%.
- ALL PITS, EXCEPT YARD SUMPS TO BE 600 SQ. INTERNALLY EXCEPT
WHERE OTHERWISE NOTED ON THE DRAWING.
- WALLS AND FLOORS OF BLOCK AND INITU CONCRETE PITS TO BE A
MINIMUM OF 150 THICK.
- UPVC AND CONCRETE PITS ARE TO COMPLY WITH THE RELEVANT
AUSTRALIAN STANDARD AND SHALL BE IN ACCORDANCE WITH COUNCIL
REQUIREMENTS.
- UPVC PITS ARE NOT ALLOWED IN DRIVEWAY OR PARKING AREAS.
- PROVIDE CONCRETE BENCHING IN PITS TO A HEIGHT OF HALF PIPE
DIAMETER.
- GRADED DRAINS TO BE 300 WIDE WITH A GAL. STEEL FRAME CAST
INTO CONCRETE, U.N.O.
- THE FOLLOWING SEDIMENT CONTROL MEASURES SHALL BE ADOPTED
PRIOR AND DURING CONSTRUCTION:
a) A SILT FENCE SHALL BE CONSTRUCTED ALONG THE LOWER SITE
BOUNDARIES TO PREVENT THE PASSAGE OF SEDIMENT. PROVIDE
SEDIMENT CONTROL FENCING TO SPECIFICATION SHOWN.
b) ALL DISTURBED AREAS TO BE STABILISED BY TURFING OR BY OTHER
APPROVED MEANS.
c) SAND BAGS (OR EQUIVALENT) SHALL BE PLACED AROUND EXISTING
INLET PITS TO SERVE AS SEDIMENT TRAPS (SEE URBAN EROSION &
SEDIMENT CONTROL GUIDE - C.A.L.M.).
- AFTER TURFING HAS FINISHED, THE LEVELS ARE TO BE AS INDICATED.
- CONCRETE DRIVEWAYS TO BE 150 THICK WITH RF72 FABRIC (TOP) U.N.O.
SUBGRADE AND/OR FILL TO BE THOROUGHLY COMPACTED TO THE
ENGINEERS' SATISFACTION. ALL REDUNDANT VEHICLE CROSSINGS TO BE
DEMOLISHED AND THE KERB REINSTATED.
- ALL SERVICES TO BE LOCATED BY HAND DIGGING, BEFORE MECHANICAL
EXCAVATION FOR THE SITE OUTLET PIPE.
- THE SITE OUTLET PIPE SHALL BE LAID BEFORE ANY WORKS ARE
CARRIED OUT ON SITE.
- SUBSOIL DRAINS ARE TO BE PROVIDED AROUND ALL WALLS &
CONNECTED TO NEAREST PITS.



This is the plan/spec referred to in
Fitzgerald Certifiers Certificate
Certificate No: 2010-1253
23-7-10
Paul Fitzgerald Accreditation No BPB 0119

No.	DATE	REVISION DETAILS
-----	------	------------------

PREPARED BY:

CPM ENGINEERING
Civil & Structural Consulting Engineers

- STRUCTURAL DESIGN & INVESTIGATION
- URBAN DRAINAGE DESIGN
- ROAD & PAVEMENT DESIGN
- PROJECT MANAGEMENT
- ENVIRONMENTAL DESIGN

P.O. BOX 1590
SUTHERLAND NSW 1499

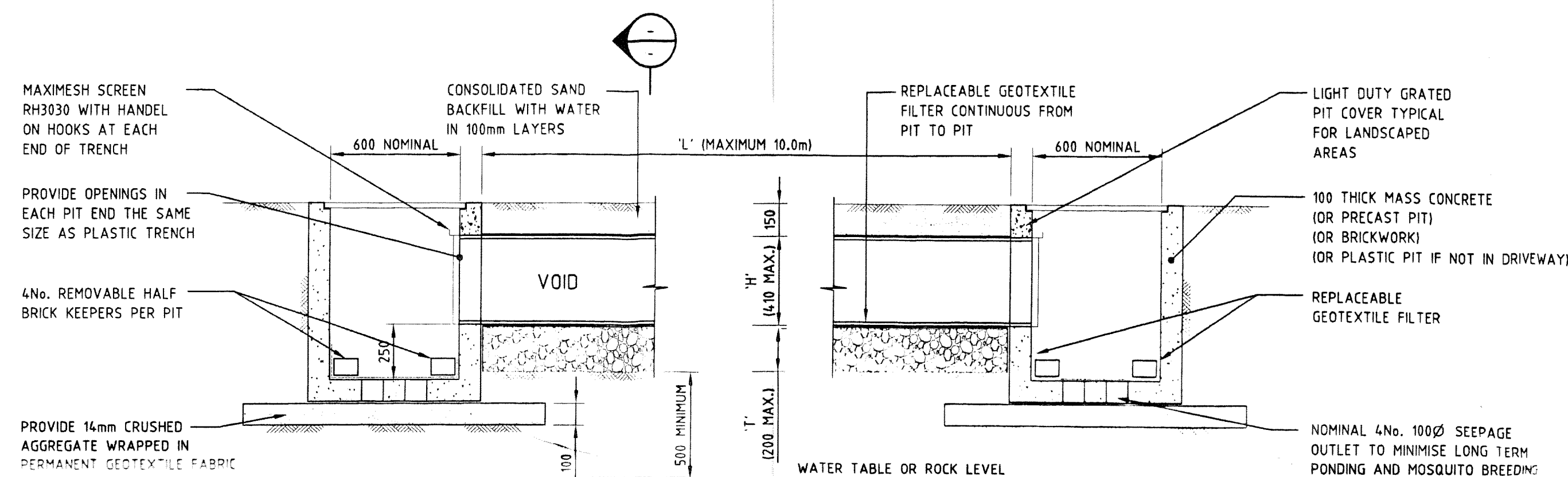
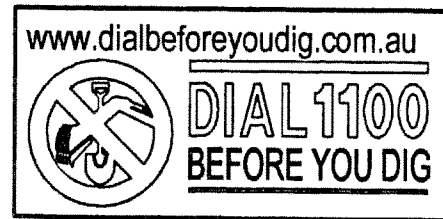
Fax 075 103 9542 2022
Mobile 0412 401 282
Email: cpmeng@optusnet.com.au

PREPARED FOR:
MIEHS NOMINIES PTY LTD

**PROPOSED ALTERATIONS & ADDITIONS
COMMERCIAL / RESIDENTIAL APARTMENTS
210-212 PITTWATER ROAD,
MANLY**

ORIGINAL SIZE:	A1
SCALE 1:100	DATUM AHD
LONG SECTION H: V:	CROSS SECTION H: V:
DATE OF PLAN: 27.8.09	APPROVED
CHECKED: C.P.M.	
DRAWN: P.S.	BE (P) ENG AUST CP ENG MPER RPED Accreditation No: 101800078
JOB REF: 09021-C01	SHEET 1 OF 2 SHEETS

UNDERGROUND SERVICES SEARCH SHOULD BE
UNDERTAKEN PRIOR TO ANY EXCAVATION
TAKING PLACE UPON THE SITE.

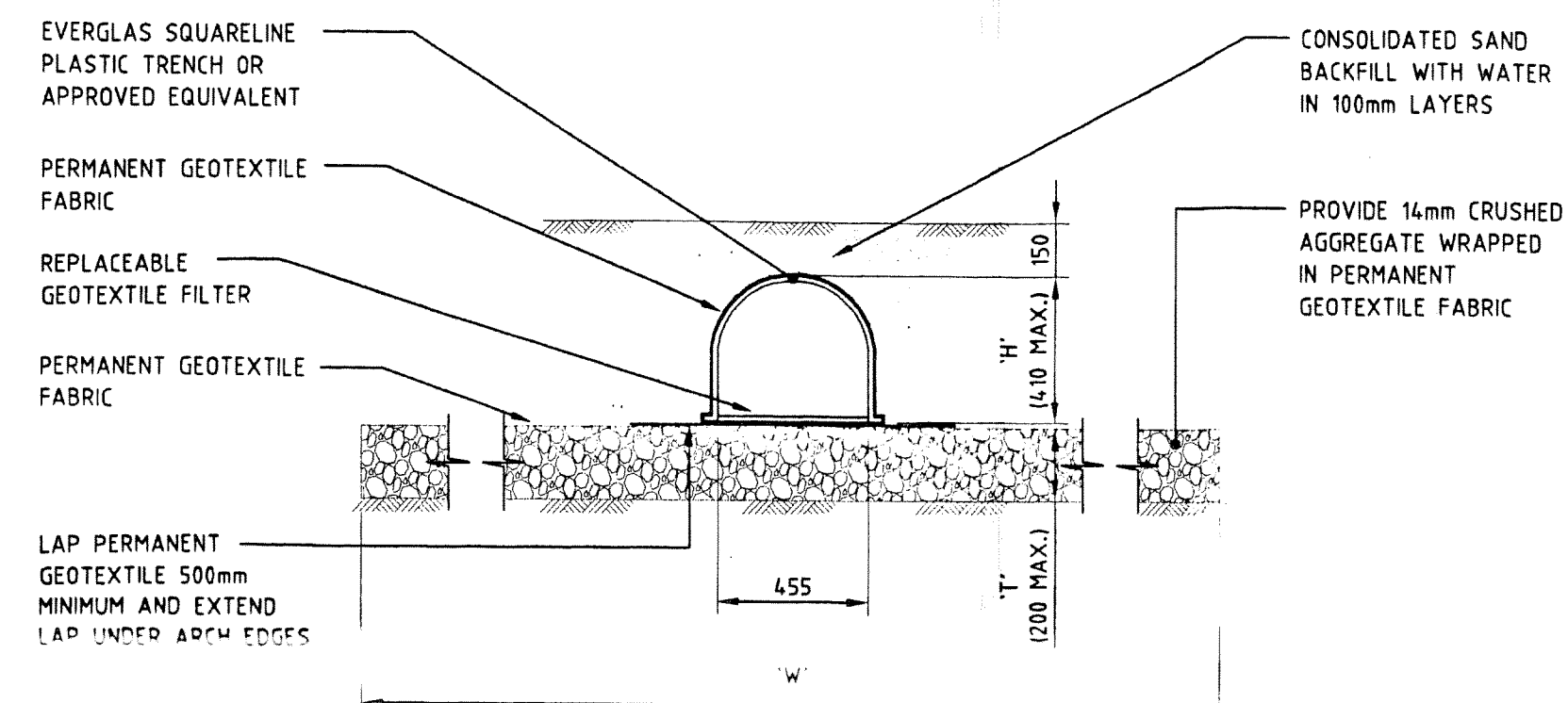


LONGITUDINAL SECTION
(DESIGN IS FOR LANDSCAPED AREA)

EVERGLAS SPEC.	
TYPE	CAPACITY
230 SMALL	70 LITRES/m
350 LARGE	140 LITRES/m
410 JUMBO	175 LITRES/m

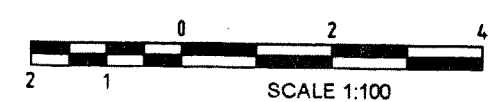
NOTES:

- WHERE PIT EXTENDS UNDER DRIVEWAYS, USE BOX CULVERTS INSTEAD OF PLASTIC TRENCH, OR INCREASE COVER TO STRUCTURAL ENGINEERS REQUIREMENTS. CHECK GRATE STRENGTH.
- FOR SANDY SOILS WITH AN ABSORPTION RATE OF 0.5 LITRES/m²/SEC USING 410 JUMBO THEN FOR EACH 10m² OF ROOF / PAVING W=2.0m T=0.15m AND L=0.45m
- FOR CLAY / ROCKY AREAS WHERE THE PROVISIONS OF THE STORMWATER DESIGN CODE DO NOT APPLY, THEN FOR EACH 10m² OF ROOF / PAVING W=3.4m, T=0.2m AND L=2.5m
- UNDER DRIVEWAYS USE CONCRETE CULVERTS INSTEAD OF EVERGLAS TRENCH TO STRUCTURAL ENGINEERS REQUIREMENTS.
- FOR TRENCH LENGTHS GREATER THAN 10m, INTERMEDIATE PITS MUST BE PROVIDED.
- FOR DEPTHS > 900mm USE LARGER PITS.
FOR DEPTHS < 600mm DEEP (EG. WITH 230 SMALL) MAY USE 450 x 450 PIT.



SECTION A

AGGREGATE BASE THICKNESS	
WIDTH 'W'mm	THICKNESS 'T'mm
<1700	100
<2550	150
<3400	200



No. DATE REVISION DETAILS

PREPARED BY:

CPM ENGINEERING

Civil & Structural Consulting Engineers

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- URBAN DRAINAGE DESIGN
- ROAD & PAVEMENT DESIGN
- PROJECT MANAGEMENT
- ENVIRONMENTAL DESIGN

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FaxPh: (02) 9642 2922
Mobile: 0412 401 282
Email: cpmeng@optusnet.com.au

PREPARED FOR:

MIEHS NOMINIES PTY LTD

PROPOSED ALTERATIONS & ADDITIONS
COMMERCIAL / RESIDENTIAL APARTMENTS
210-212 PITTWATER ROAD,
MANLY

ORIGINAL SIZE: A1	
SCALE	DATUM: AHD
LONG SECTION H: V:	CROSS SECTION H: V:
DATE OF PLAN: 27.8.09	APPROVED
CHECKED: C.P.M.	Christopher P. Marks BE (Professional) and CP (Engineer) RPES Accredited Certifier No.8790278
DRAWN: P.S.	
JOB REF: 09021-C02	SHEET 2 OF 2 SHEETS

SKYLIGHT SCHEDULE
FIXED VELUX (FV)
OPENABLE (REMOTE CONT.) VELUX (OV)
OPENABLE WITH BLIND (RC) VELUX (OBV)

NOTE
ALL EXISTING & OVERALL DIMENSIONS ARE NOMINAL & SUBJECT TO VERIFICATION ON SITE. WHERE ANY DISCREPANCY OCCURS BETWEEN NEW WORK & EXISTING BETWEEN NEW WORK & EXISTING DIMENSIONS - EXISTING DIMENSIONS/WORK SHOULD TAKE PREFERENCE WHERE NECESSARY - OTHERWISE NOTIFY INNOVATIVE ARCHITECTS

NOTE
SELECTED TERMITE PROTECTION TO BE USED ON SITE IN ACCORDANCE WITH LOCAL ACCORDANCE WITH LOCAL COUNCIL'S REQUIREMENTS, B.C.A. AND ALL RELEVANT AUSTRALIAN STANDARDS

NOTE
SMOKE DETECTORS TO COMPLY WITH REQUIREMENTS OF SPECIFICATION E17 (NSW) FIRE AND SMOKE ALARMS SHALL COMPLY WITH AS 3786 AND BE CONNECTED TO THE MAIN POWER SUPPLY ©

GENERAL NOTES
All work to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Local Electricity & Water Authorities Regulations and all other relevant Authorities concerned.

All structural work and site drainage to be subject to Engineer's details or certification where required by Council. This shall include r.c. slabs and footings, r.c. and steel beams & columns, wind bracing to AS 1170 and AS4055, anchor rods or bolts, tie downs, fixings etc., driveway slabs and drainage to Council's satisfaction.

All timbers to be in accordance with SAA Timber Structure Code AS1720 and SAA Timber Framing Code AS 1684.

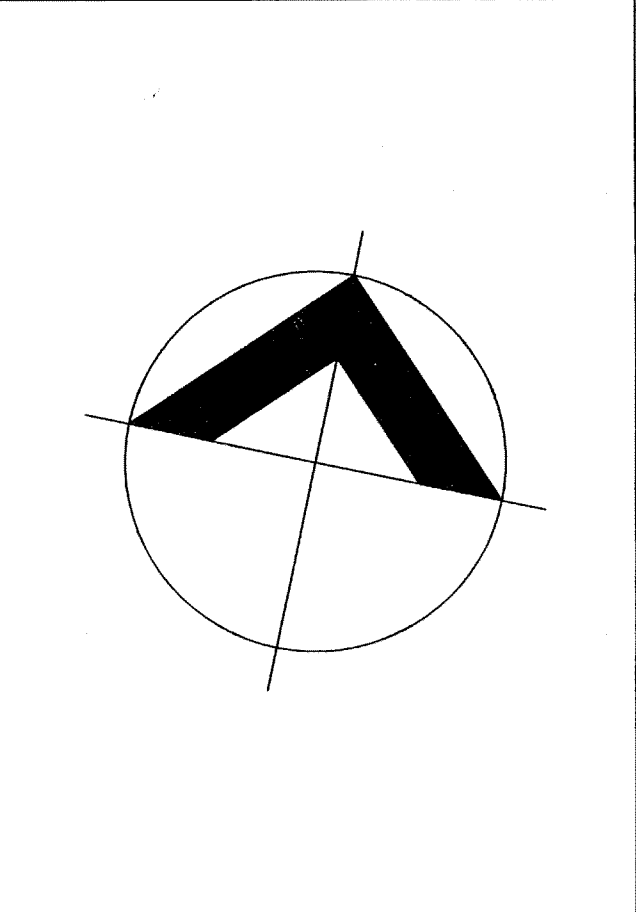
All work to be carried out in a professional and workman-like manner according to the plans and specification.

NOTE
Do not scale off the drawings unless otherwise stated and use figured dimensions in preference.

All dimensions are to be checked and verified on site before the commencement of any work, all dimensions and levels are subject to final survey and set-out.

No responsibility will be accepted by this firm for any variations in design, builder's method of construction or materials used, deviation from specification without permission or accepted work practices resulting in inferior construction. Locate and protect all services prior to construction.

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E	TENDER ISSUE	APR 10	C.J.
D	CONSTRUCTION CERTIFICATE	JULY 09	C.J.
C	AMENDED DEVELOPMENT APPLICATION	APR 09	C.J.
B	DEVELOPMENT APPLICATION	NOV 06	C.J.
A	PRELIMINARY DEVELOPMENT APPLICATION	MAY 06	C.J.
ISSUE	AMENDMENT	DATE	INT

Project
**PROPOSED COMMERCIAL
REFURBISHMENT WITH
RESIDENTIAL APARTMENTS**

Client
MIHES NOMINIES PTY LTD

Address
**210 - 212 PITTWATER ROAD,
MANLY**

Drawing title
SITE ROOF PLAN

innovative
ARCHITECTS

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w www.innovate.com.au

REGISTERED ARCHITECTS
Nominated Architect Cameron Jones 7143

Scale 1:100	0 1 2 3	Issue E
Date MAY 06	Drawn JWS	Check CRJ
Job Number 1056/ 05	Sheet 01	

PLANS TO BE READ IN ACCORDANCE WITH
'CLIVE LUCAS, STAPLETON & PARTNERS PTY LTD' HERITAGE DETAILS & SPECIFICATIONS

PLANS TO BE READ IN ACCORDANCE WITH
'RG FIRE' FIRE HYDRANT & HOSE REEL REVIEW

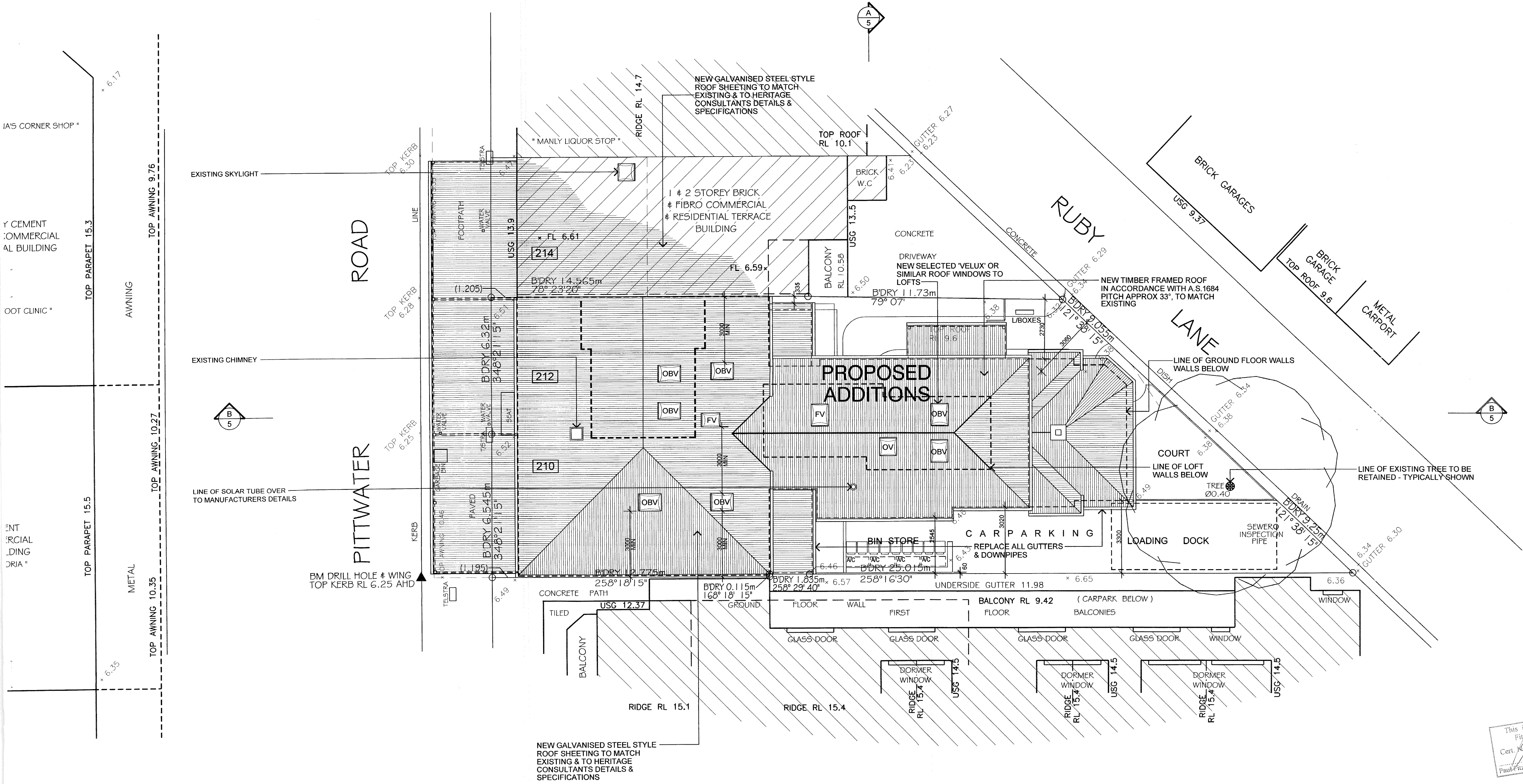
PLANS TO BE READ IN ACCORDANCE WITH
'DEFIRE' FIRE COMPLIANCE REPORT

PLANS TO BE READ IN ACCORDANCE WITH
'LOCAL' BCA COMPLIANCE REPORT

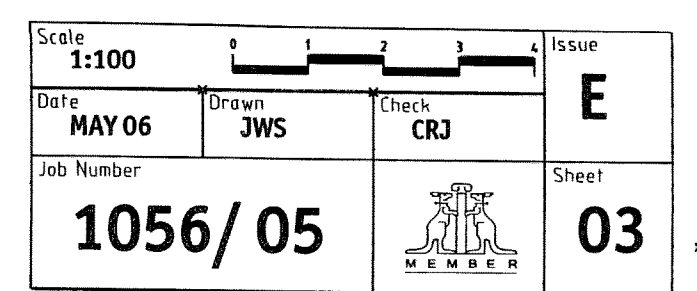
PLANS TO BE READ IN ACCORDANCE WITH
'CPM' STORMWATER DRAINAGE DETAILS

PLANS TO BE READ IN ACCORDANCE WITH
'CPM' ENGINEERING STRUCTURAL DETAILS

NOTE:
PLANS TO BE READ IN ACCORDANCE WITH
MANLY COUNCIL'S DEVELOPMENT
CONSENT: DA/563/06 DATED 27th
NOVEMBER 2008



SITE PLAN
SCALE 1:100



FIRST FLOOR PLAN