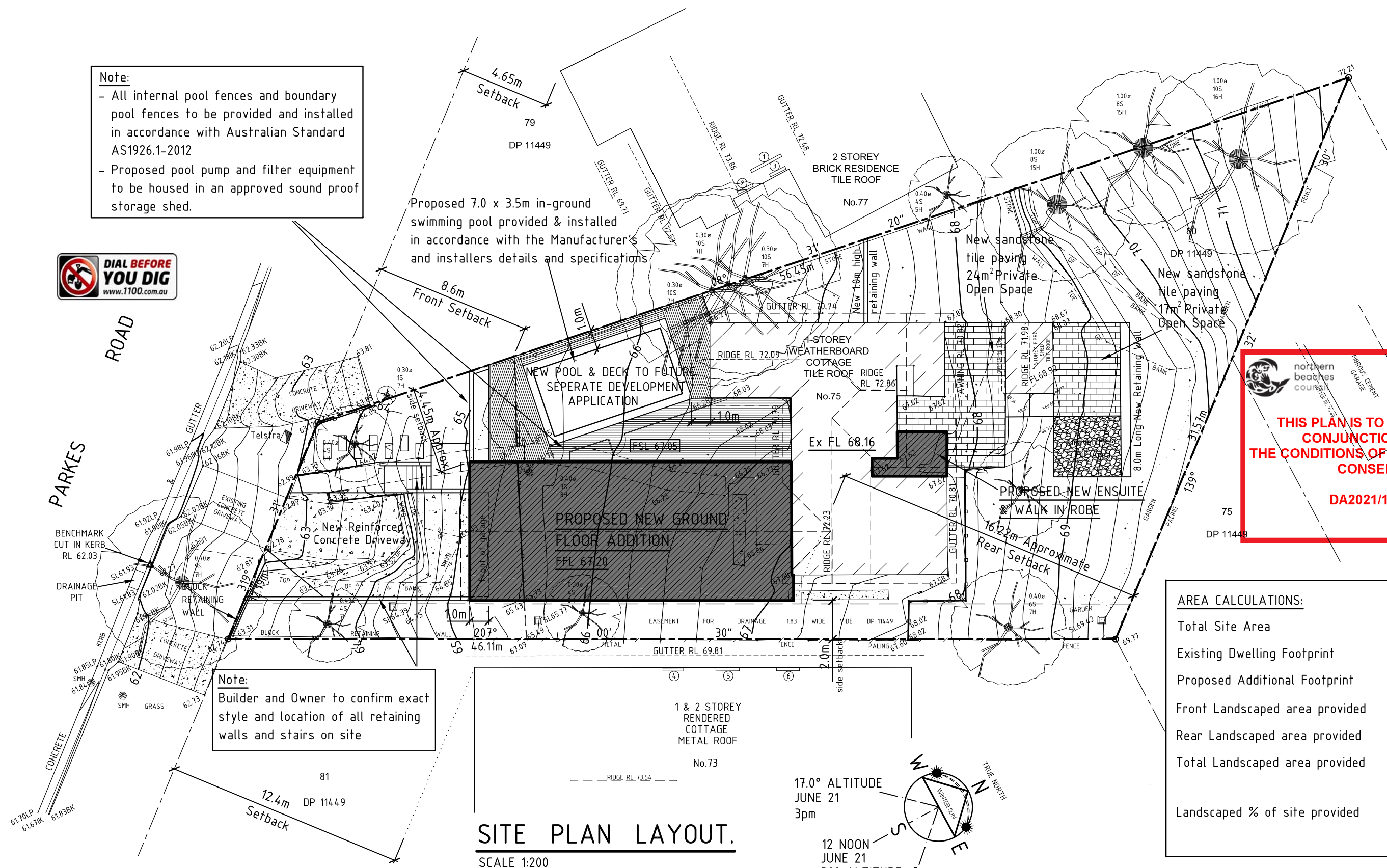


Note:

- All internal pool fences and boundary pool fences to be provided and installed in accordance with Australian Standard AS1926.1-2012
- Proposed pool pump and filter equipment to be housed in an approved sound proof storage shed.



Note:

Builder and Owner to confirm exact style and location of all retaining walls and stairs on site

STORMWATER DRAINAGE PROVISIONS.

ALL NEW RAINWATER GENERATED FROM NEW PROPOSAL IS TO BE COLLECTED BY COLORBOND GUTTERING AND DOWNPIPES WHICH ARE TO BE CONNECTED INTO 100mm DIAMETER PVC DRAINAGE PIPES. DRAINAGE PIPES TO BE CONNECTED AND DISCHARGED INTO EXISTING PIT LOACTED IN SOUTH CORNER OF EXISTING DRAINAGE EASMENT. BUILDER & RELEVANT COUNCIL ENGINEER TO CONFIRM.

SITE PLAN LAYOUT.

SCALE 1:200

17.0° ALTITUDE
JUNE 21
3pm

12 NOON
JUNE 21
32° ALTITUDE
9am
JUNE 21
17.0° ALTITUDE



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

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DP 11449

AREA CALCULATIONS:

Total Site Area	=	929.5m ²
Existing Dwelling Footprint	=	108.8m ²
Proposed Additional Footprint	=	103.1m ²
Front Landscaped area provided	=	65.8m ²
Rear Landscaped area provided	=	421.2m ²
Total Landscaped area provided	=	487.0m ²
Landscaped % of site provided	=	$\frac{487.0m^2}{929.5m^2} \times 100$
	=	52.4%

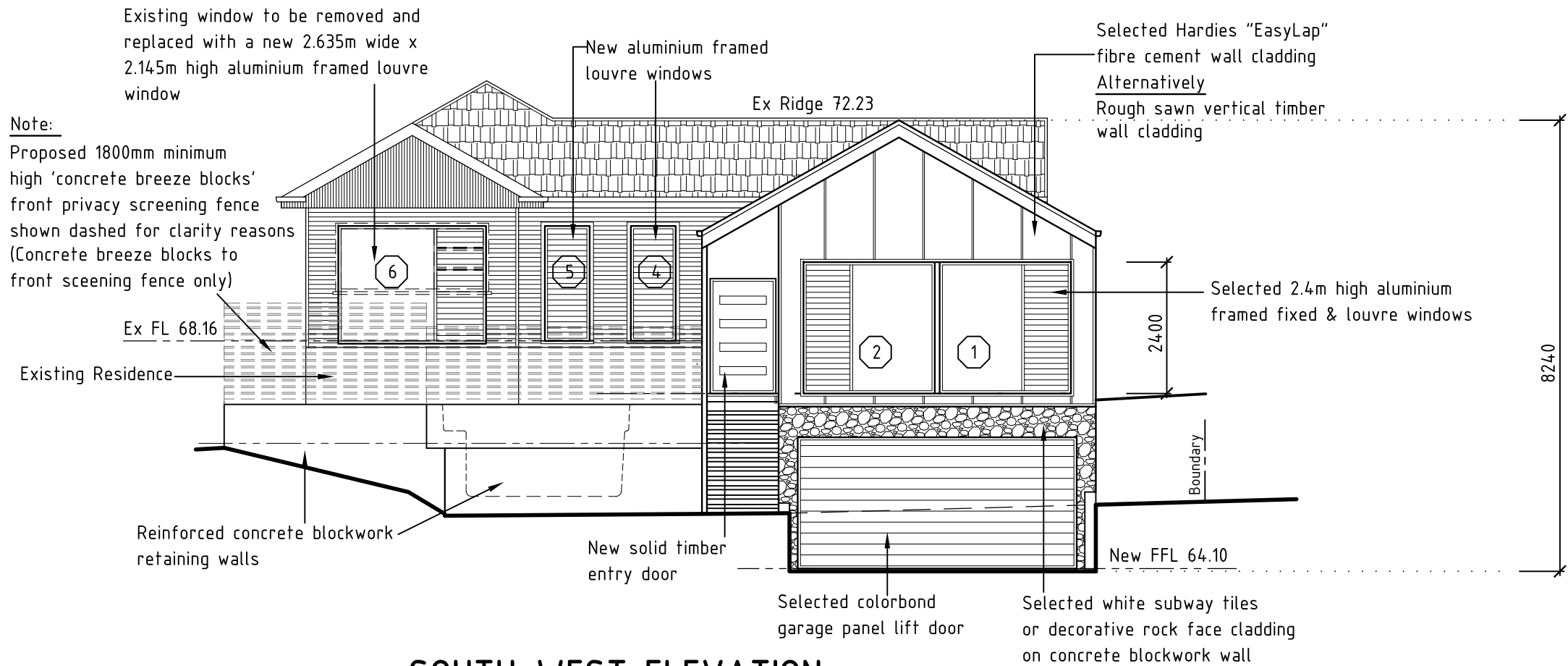
B	19.08.21	Amended as per Owners requests
A	07.04.21	Amended as per Certifiers requests
ISSUE	DATE	REVISION
IT IS THE RESPONSIBILITY OF THE BUILDER TO CONFIRM ALL NEW DIMENSIONS BEFORE THE COMMENCEMENT OF ANY BUILDING WORK AND THE ORDERING OF MATERIALS.		
DO NOT SCALE OFF DRAWING use all specified dimensions.		

SCALES: 1:200	
DATE: 18th February 2021	
SHEET: 1 of 8	ISSUE: B

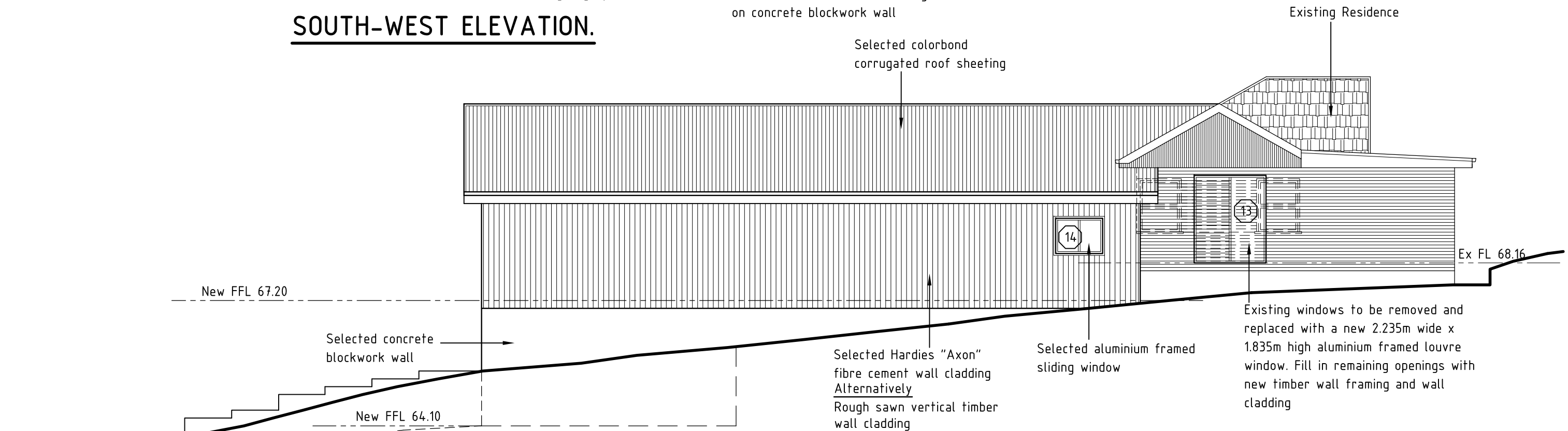
PROPOSED ALTERATIONS & ADDITIONS AT LOT 80, DP11449, No.75 PARKES ROAD, COLLAROY PLATEAU, NSW, 2097. FOR: MR M. BLAKE.

SITE PLAN LAYOUT

A3 SHEET



SOUTH-WEST ELEVATION.



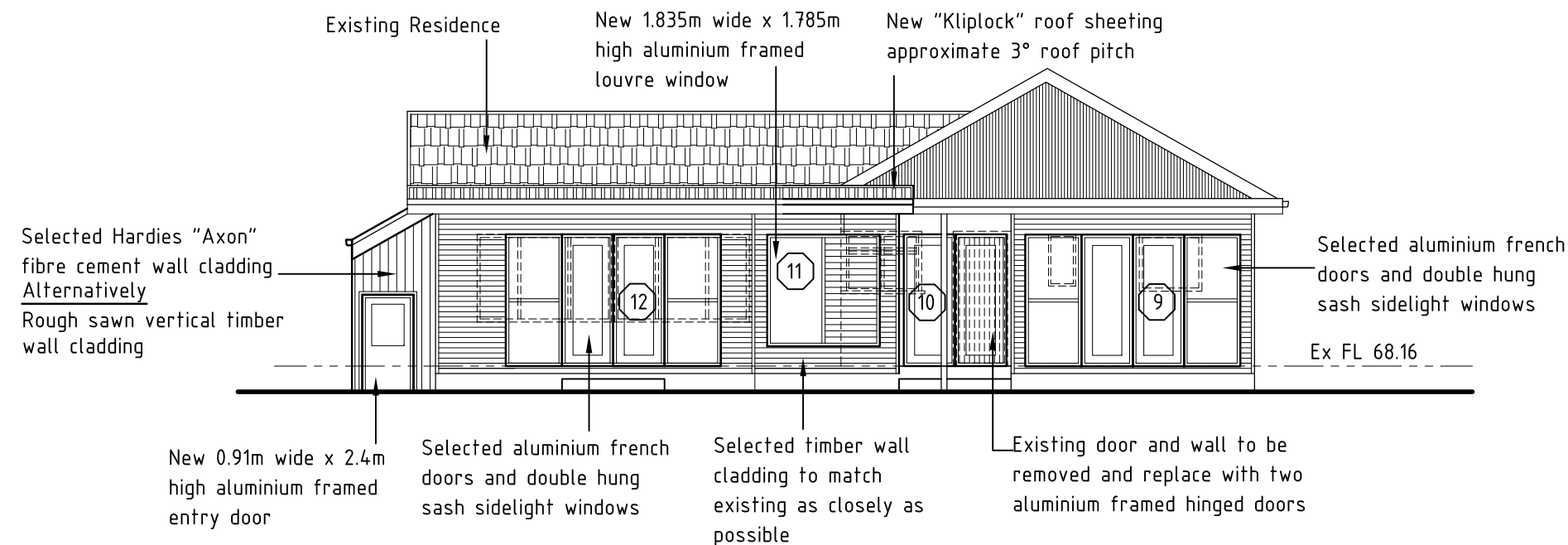
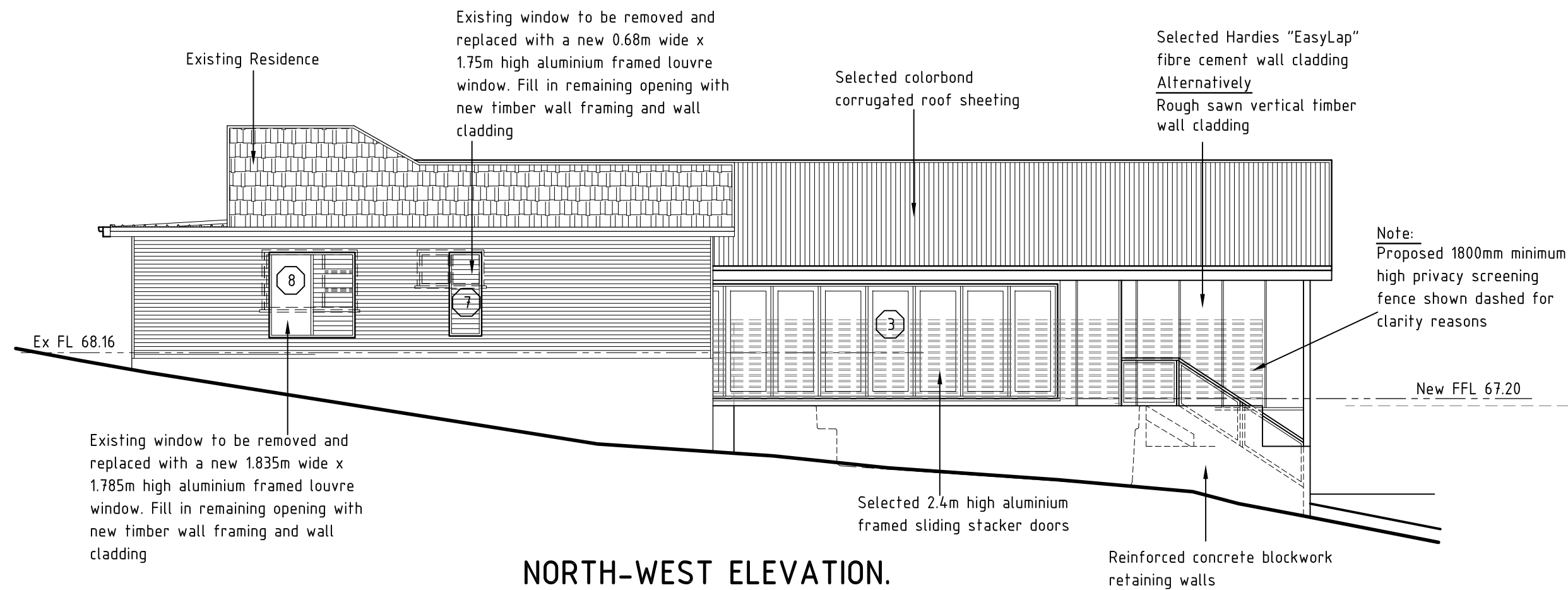
SOUTH-EAST ELEVATION.



**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2021/1828

B	19.08.21	Amended as per Owners requests	SCALES: 1:100		PROPOSED ALTERATIONS & ADDITIONS AT LOT 80, DP11449, No.75 PARKES ROAD, COLLARROY PLATEAU, NSW, 2097. FOR: MR M. BLAKE.	
A	07.04.21	Amended as per Certifiers requests				
ISSUE	DATE	REVISION	DATE: 18th February 2021			
<div>■ IT IS THE RESPONSIBILITY OF THE BUILDER TO CONFIRM ALL NEW DIMENSIONS BEFORE THE COMMENCEMENT OF ANY BUILDING WORK AND THE ORDERING OF MATERIALS.</div> <div>■ DO NOT SCALE OFF DRAWING use all specified dimensions.</div>			SHEET: 6 of 8			
			ELEVATIONS.		A3 SHEET	



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DA2021/1828

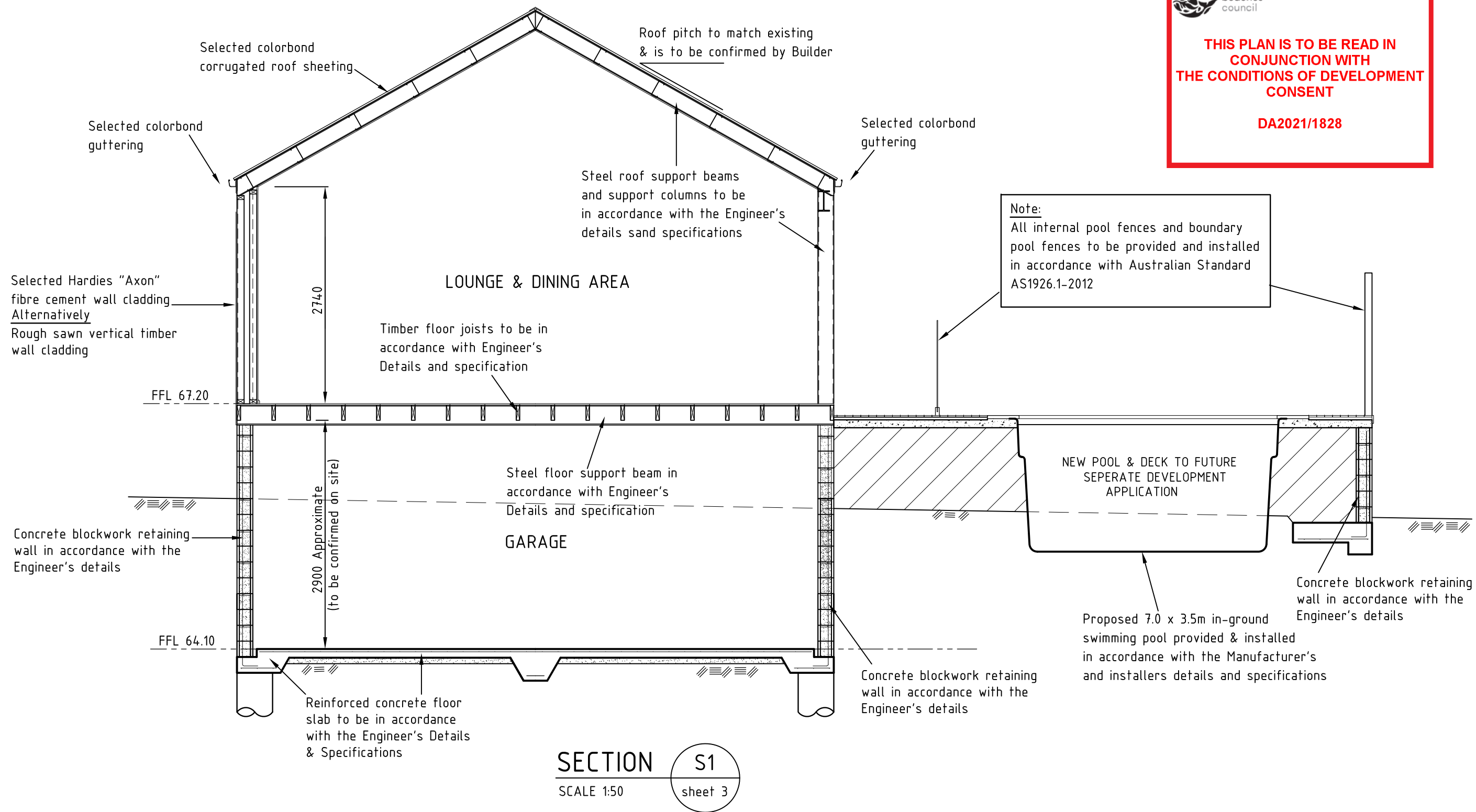
B	19.08.21	Amended as per Owners requests	SCALES: 1:100	PROPOSED ALTERATIONS & ADDITIONS AT LOT 80, DP11449, No.75 PARKES ROAD, COLLAROY PLATEAU, NSW, 2097. FOR: MR M. BLAKE.	
A	07.04.21	Amended as per Certifiers requests			
ISSUE	DATE	REVISION	DATE:	ELEVATIONS.	
<ul style="list-style-type: none"> IT IS THE RESPONSIBILITY OF THE BUILDER TO CONFIRM ALL NEW DIMENSIONS BEFORE THE COMMENCEMENT OF ANY BUILDING WORK AND THE ORDERING OF MATERIALS. DO NOT SCALE OFF DRAWING use all specified dimensions. 			18th February 2021		
			SHEET:	ISSUE:	A3 SHEET
			7 of 8	B	



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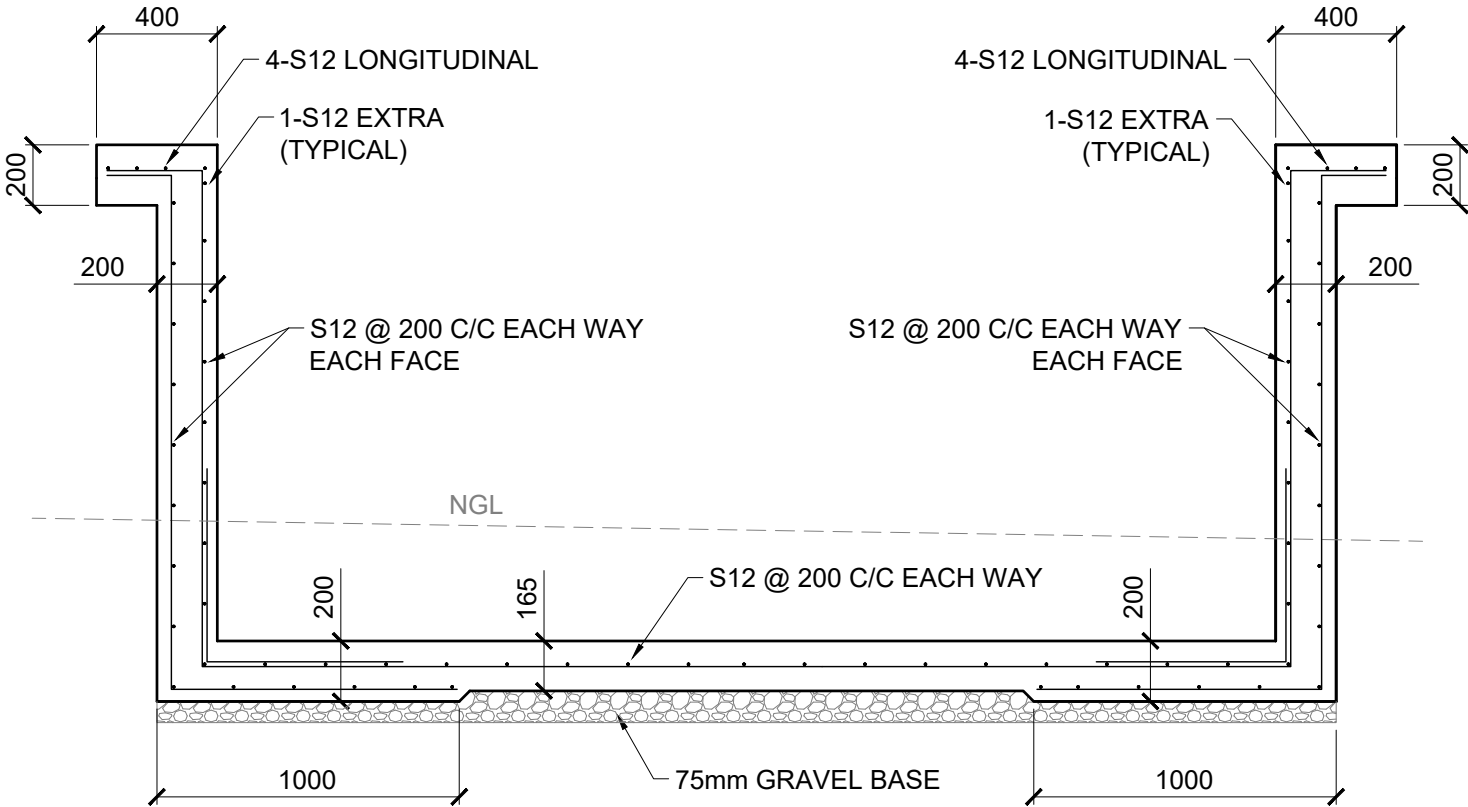
B	19.08.21	Amended as per Owners requests	SCALES: 1:50		PROPOSED ALTERATIONS & ADDITIONS AT LOT 80, DP11449, No.75 PARKES ROAD, COLLARROY PLATEAU, NSW, 2097. FOR: MR M. BLAKE.	
A	07.04.21	Amended as per Certifiers requests				
ISSUE	DATE	REVISION	DATE: 18th February 2021			
<div>▪ IT IS THE RESPONSIBILITY OF THE BUILDER TO CONFIRM ALL NEW DIMENSIONS BEFORE THE COMMENCEMENT OF ANY BUILDING WORK AND THE ORDERING OF MATERIALS.</div> <div>▪ DO NOT SCALE OFF DRAWING use all specified dimensions.</div>			SHEET: 8 of 8	ISSUE: B	TYPICAL SECTION	A3 SHEET



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SECTION

B

SCALE 1:25

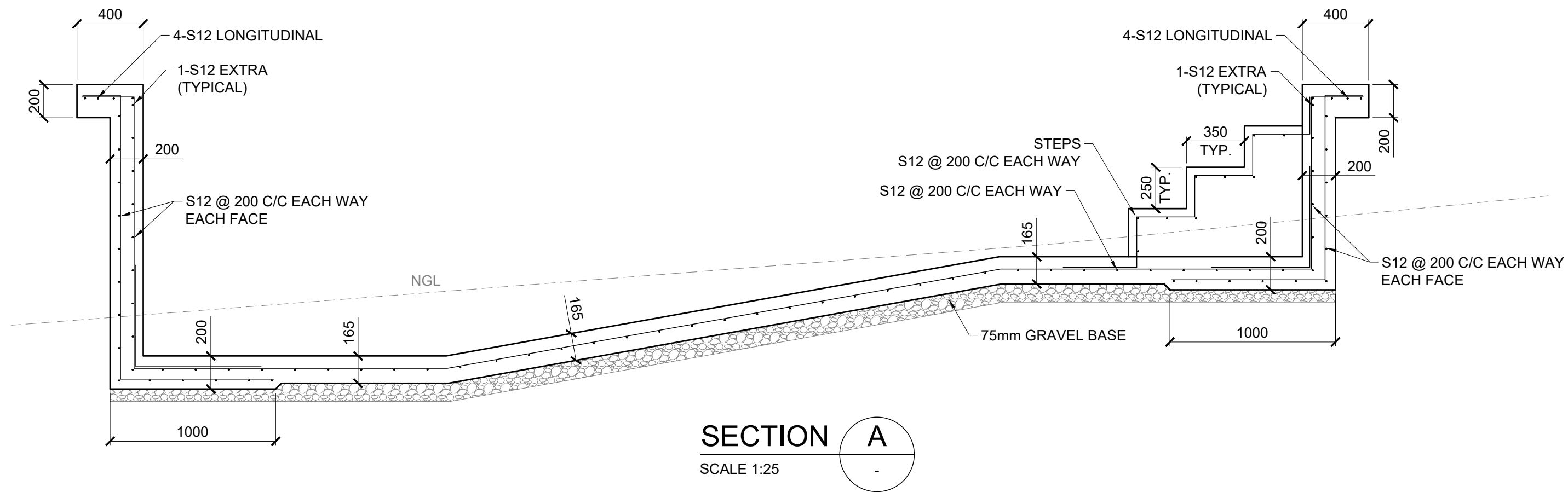
			Client	<div><div>GREENWOOD CONSULTING ENGINEERS</div><div>2/25 Seabeach Avenue, Mona Vale eliot@greenwoodengineers.com.au ABN - 90 625 916 341</div></div>	Project	Drawn	Designed	Date
			Architect		Checked	Approved	Scale	
					Title	Drawing number		Revision
REVISION	AMENDMENT	DATE						



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beaches
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			Client	<div><div>GREENWOOD CONSULTING ENGINEERS</div></div> <div>2/25 Seabeach Avenue, Mona Vale eliot@greenwoodengineers.com.au ABN - 90 625 916 341</div>	Project	Drawn	Designed	Date
			Architect		Checked	Approved	Scale	
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REVISION	AMENDMENT	DATE						