

MOD4.55

for New Senior's Living at:
701-703/LOT 1 & 2 Barrenjoey Road, Avalon
Beach, NSW, 2107

Client: B.ALAMEIN
Address: 701-703/LOT 1 & 2 Barrenjoey Road, Avalon Beach, NSW, 2107

DP No. LOT 1/-/DP1252335
SITE AREA: 1069m²

PROJECT DESCRIPTION:

New Senior's Living located at **701-703 Barenjoey Road, Avalon Beach, NSW 2107**. The subject site is identified as being located within the Northern Beaches Council Area.

The extent of the proposed modifications include:

- Remove previously approved 'popped roof' and align with lower roof.
- Install two new skylights.
- Install external cowl for basement exhaust on main roof (eastern)
- Replace the previously approved central concrete roof to a Trimdek Colorbond roof with eaves gutters and downpipes on the northern & southern sides.
- Extend metal roof over lift shaft.
- Replace Sliding doors (W20 & W41) to windows with concrete upturn and sill to match with sill W40b & W19b (Apartment 02 & 04)
- Replace Window (W05) with a sliding door (Apartment 01)
- Remove retaining wall and lower the associated garden bed to Apartment 01 courtyard.
- Material changes including: Replace external weatherboard cladding to a rendered and painted finish (north wall); replace entry stone cladding with Aluminium 'Timber grain' cladding

The extent of the proposed works are illustrated on the Architectural Plans prepared by **Hot House Architects**



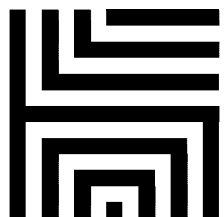
location plan
701-703/LOT 1 & 2 Barrenjoey Road, Avalon Beach, NSW, 2107

Source: Google Maps

00. SHEET LIST

COVER SHEET	MOD 000
SITE PLAN	MOD 001
LEVEL 1 PLAN	MOD 100
LEVEL 2 PLAN	MOD 101
LEVEL 3 PLAN	MOD 102
ROOF PLAN	MOD 103
ELEVATIONS	MOD 200
ELEVATION	MOD 201
ELEVATION & EXTERNAL FINISHES	MOD 202
SECTIONS A - A	MOD 300
SECTION B - B	MOD 301
SECTION C - C	MOD 302
SECTION D - D	MOD 303

THERMAL COMFORT		
Pass – 6.0 Star Average		
GLAZING		
Units	All Windows, ex Louvres	Louvres
All	Max U-value 3.60 SHGC 0.54 (\pm 10%) Double Glazed, Clear Low-e or Thermally Broken Frames	Max U-value 5.40 SHGC 0.58 (\pm 10%) Single Glazed, Clear Low-e
WALLS		
External Walls	RITEK Concrete Wall – Additional R0.80 Insulation	
Inter-tenancy Walls	RITEK Concrete Wall – No insulation modelled	
Walls to Common Lobby and Lift	Additional R0.80 Insulation	
Walls to Roof Space	Steel Stud - Additional 75mm R2.00 Insulation	
Other Internal Walls	No Additional Insulation modelled	
FLOORS		
Suspended Floor to Carpark Below (Basement Soffit)	Concrete - Additional 40mm min R1.50 Rigid Board Insulation	
ROOF		
Units with Exposed Roof	Ceiling Level - Additional 165mm R3.00 Insulation Dark Metal – 55mm R1.30 reflective blanket	



HOT HOUSE
ARCHITECTS

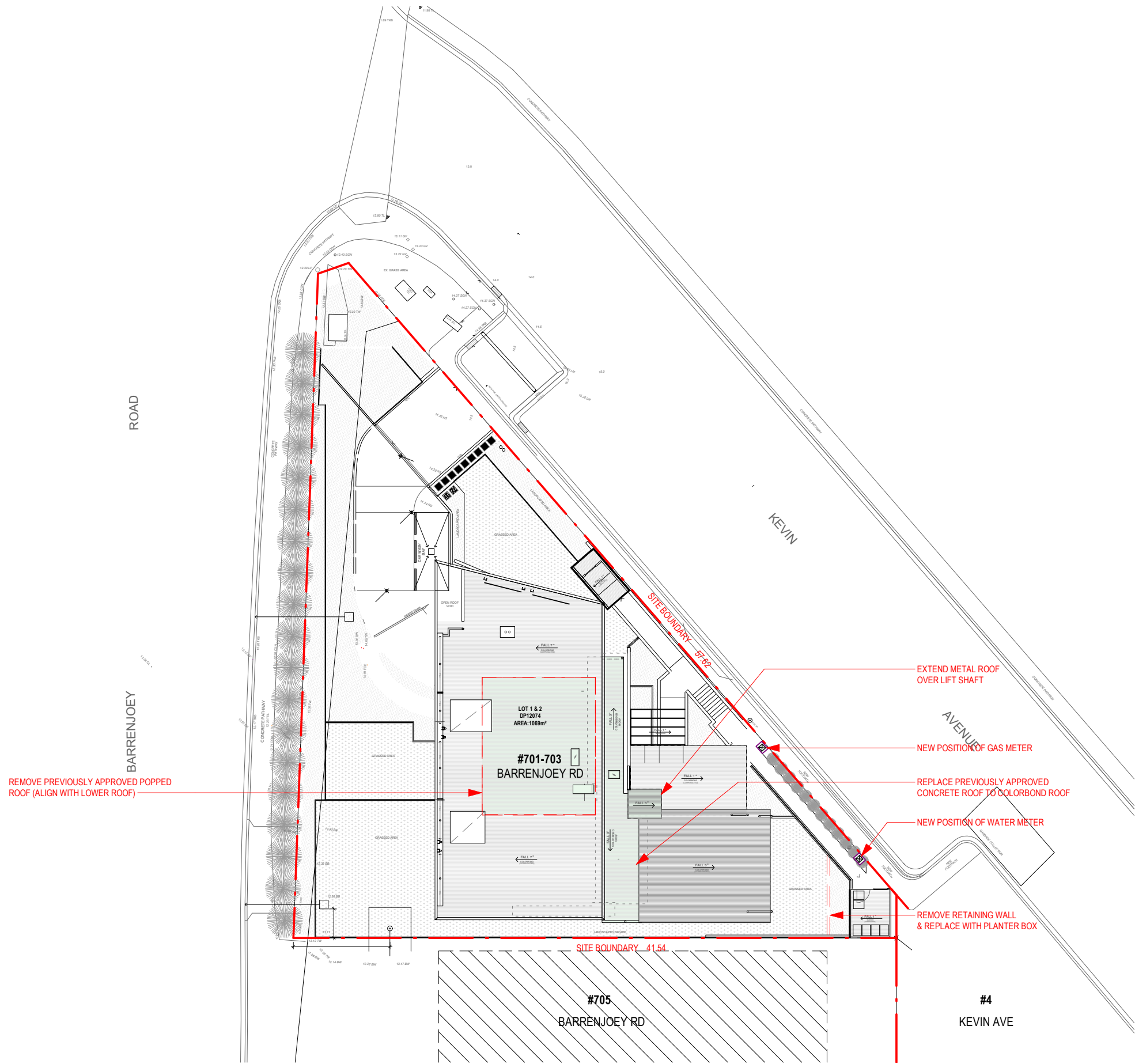
Nominated Architect: **Wade Stewart Cogle** m: **0433 775 490** p.o. box 26 newport nsw 2106
NSW ARB Registration #: **10971** **info@hothousestudio.com** abn: 355 0579 1074

PRINT DATE: 9/03/2022 11:12:33 AM		PRINT SIZE: A3									
NOTES: Builder is to examine the site and verify conditions and dimensions. Any discrepancies must be brought to the architect's attention. Use figured dimensions only. Do not scale drawings. All work shall comply with the Building Code of Australia and relevant Australian Standards.	ISSUE A	DESCRIPTION ISSUE FOR MOD4.55 Rev.1	DATE 04/03/22	CLIENT: B.ALAMIEN				COVER SHEET			
				PROJECT: ALTERATIONS & ADDITIONS TO RESIDENTIAL BUILDING ADDRESS: 701-703/LOT 1 & 2 Barrenjoey Road, Avalon Beach, NSW. 2107		PROJECT NO.		21161		MOD 000	
						DATE		04/03/22			
						LOT: 3		DRAWN BY: JN			
						DP: 28164		CHECKED BY: WC			
This drawing is copyright and remains the property of Hot House Architects HOT HOUSE PROJECTS PTY LTD T/A HOT HOUSE ARCHITECTS		SCALE: 1 : 1									

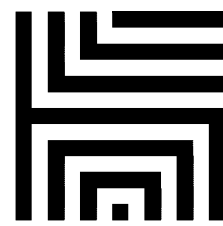
LEGEND:
DEMOLISH
NEW WORK
BOUNDARY
OVERHEAD
HIDDEN

BASIX COMMITMENTS:
1. ALL NEW OR ALTERED CONSTRUCTION (FLOOR, WALLS, CEILING AND ROOF) TO BE IN ACCORDANCE WITH BASIX CERTIFICATE
2. ALL WINDOWS, SKYLIGHTS AND DOORS TO BE INSTALLED AS PER BASIX GLAZING REQUIREMENTS

NOTES:
ALL DESIGN AND CONSTRUCTION WORKS TO BE IN ACCORDANCE WITH APPLICABLE AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA DRAWINGS TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE AND THE SURVEY



1 SITE PLAN
1 : 300



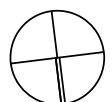
HOT HOUSE ARCHITECTS

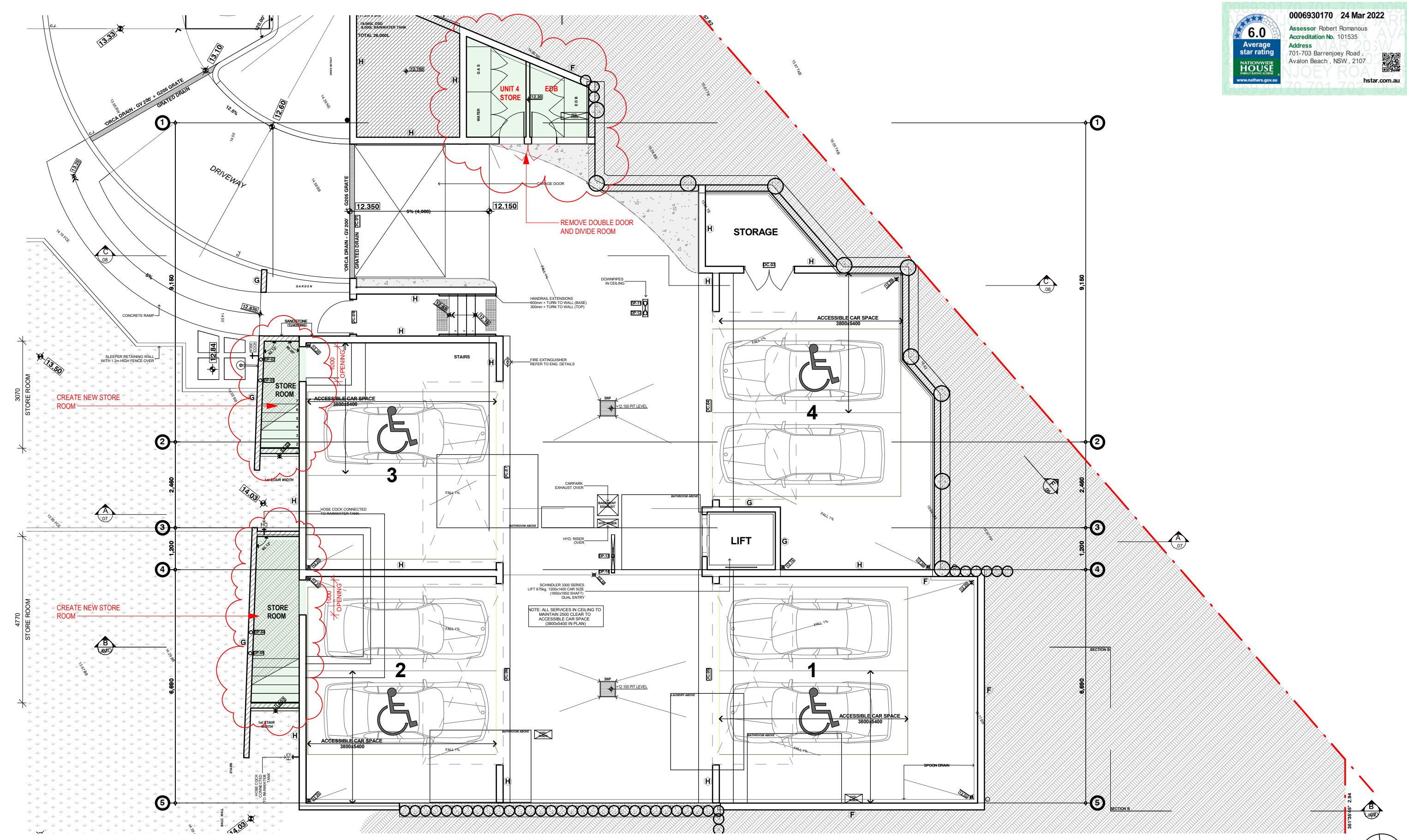
Nominated Architect: **Wade Stewart Cogle** m: 0433 775 490 p.o. box 26 newport nsw 2106
NSW ARB Registration #: 10971 info@hthousestudio.com abn: 355 0579 1074

PRINT DATE: 9/03/2022 11:12:38 AM		PRINT SIZE: A3		ISSUE A	DESCRIPTION ISSUE FOR MOD4.55 Rev.1	DATE 04/03/22	CLIENT: B.ALAMIEN		SITE PLAN			
NOTES: Builder is to examine the site and verify conditions and dimensions. Any discrepancies must be brought to the architect's attention. Use figured dimensions only. Do not scale drawings. All work shall comply with the Building Code of Australia and relevant Australian Standards.	PROJECT: ALTERATIONS & ADDITIONS TO RESIDENTIAL BUILDING						PROJECT NO. 21161		MOD 001			
							DATE 04/03/22					
	This drawing is copyright and remains the property of Hot House Architects HOT HOUSE PROJECTS PTY LTD T/A HOT HOUSE ARCHITECTS		ADDRESS: 701-703/LOT 1 & 2 Barrenjoey Road, Avalon Beach, NSW, 2107							LOT: 3 DRAWN BY: JN		
DP: 28164 CHECKED BY: WC SCALE: As indicated												



0006930170 24 Mar 2022
Assessor: Robert Romanous
Accreditation No. 101535
Address
701-703 Barrenjoey Road,
Avalon Beach, NSW, 2107
www.nuthers.gov.au hstar.com.au





1 Level 1 plan
1 : 100

HOT HOUSE
ARCHITECTS

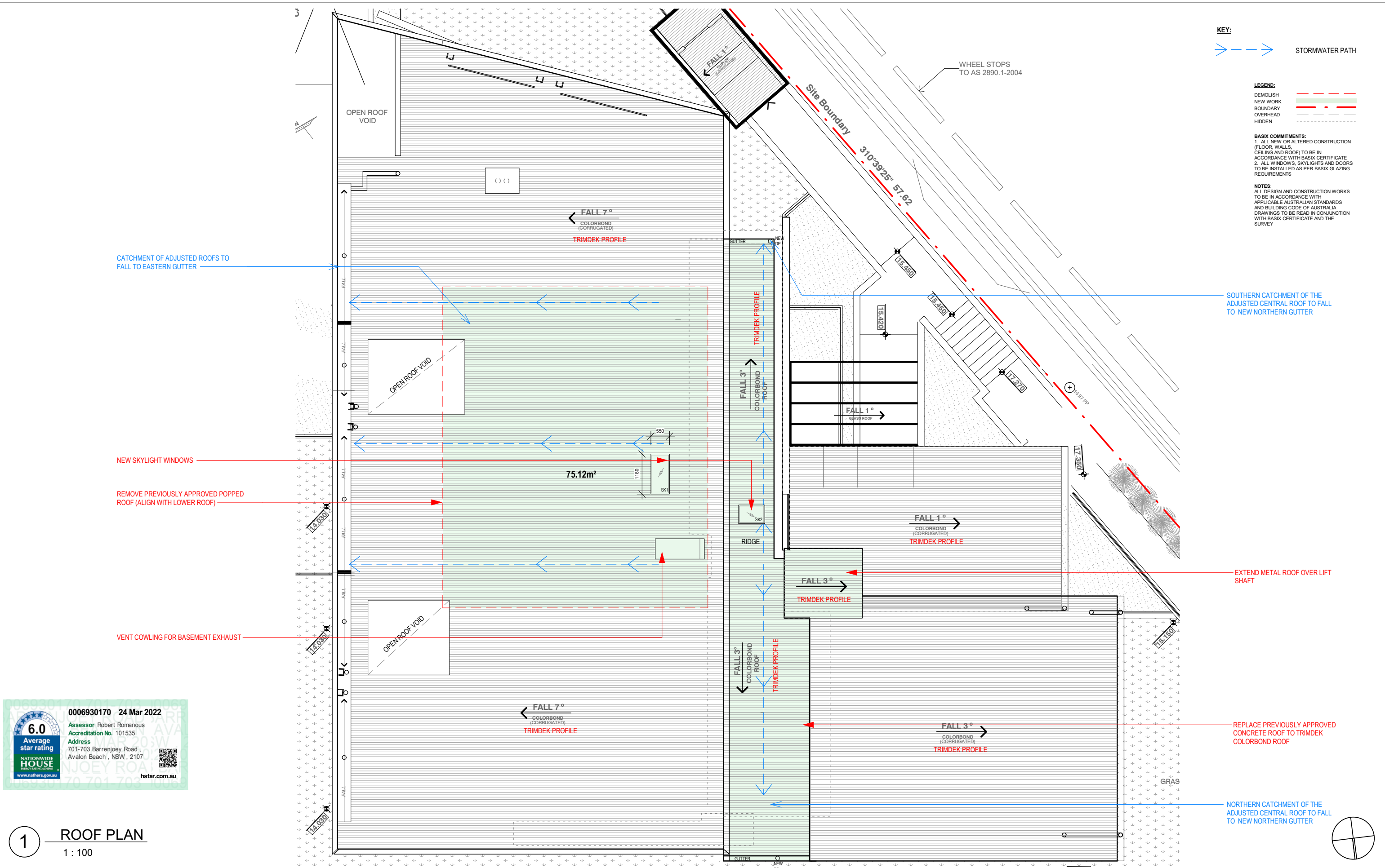
Nominated Architect: Wade Stewart Cogle
NSW ARB Registration #: 10971

m: 0433 775 490
info@hthousestudio.com

p.o. box 26 newport nsw 2106
abn: 355 0579 1074

PRINT DATE: 9/03/2022 11:12:40 AM		PRINT SIZE: A3		ISSUE A	DESCRIPTION ISSUE FOR MOD4.55 Rev.1	DATE 04/03/22	CLIENT: B.ALAMIEN		LEVEL 1 PLAN	
NOTES: Builder is to examine the site and verify conditions and dimensions. Any discrepancies must be brought to the architect's attention. Use figured dimensions only. Do not scale drawings. All work shall comply with the Building Code of Australia and relevant Australian Standards.	PROJECT: ALTERATIONS & ADDITIONS TO RESIDENTIAL BUILDING ADDRESS: 701-703/LOT 1 & 2 Barrenjoey Road, Avalon Beach, NSW, 2107		PROJECT NO. 21161				MOD 100			
			DATE 04/03/22							
			LOT: 3 DRAWN BY: Author							
This drawing is copyright and remains the property of Hot House Architects <small>HOT HOUSE PROJECTS PTY LTD T/A HOT HOUSE ARCHITECTS</small>				DP: 28164 CHECKED BY: Checker		SCALE: 1 : 100				

SCALE: As indicated





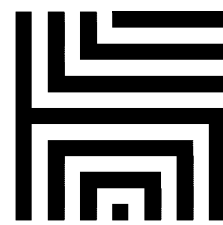
0006930170 24 Mar 2022

Assessor Robert Romanous
Accreditation No. 101535
Address
701-703 Barrenjoey Road,
Avalon Beach, NSW, 2107



hstar.com.au

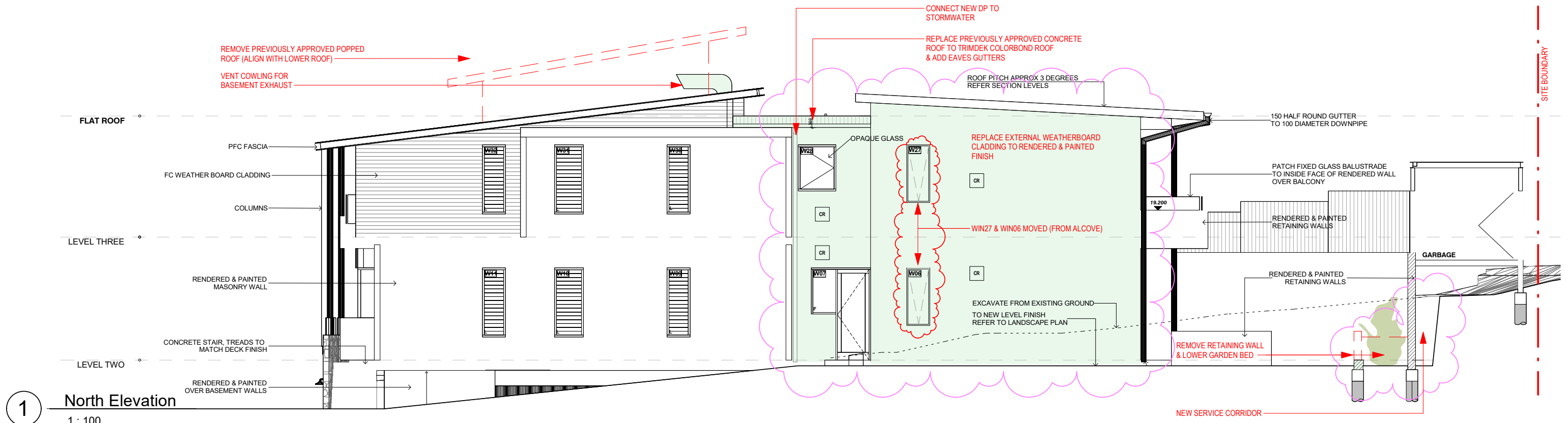
1 ROOF PLAN
1 : 100



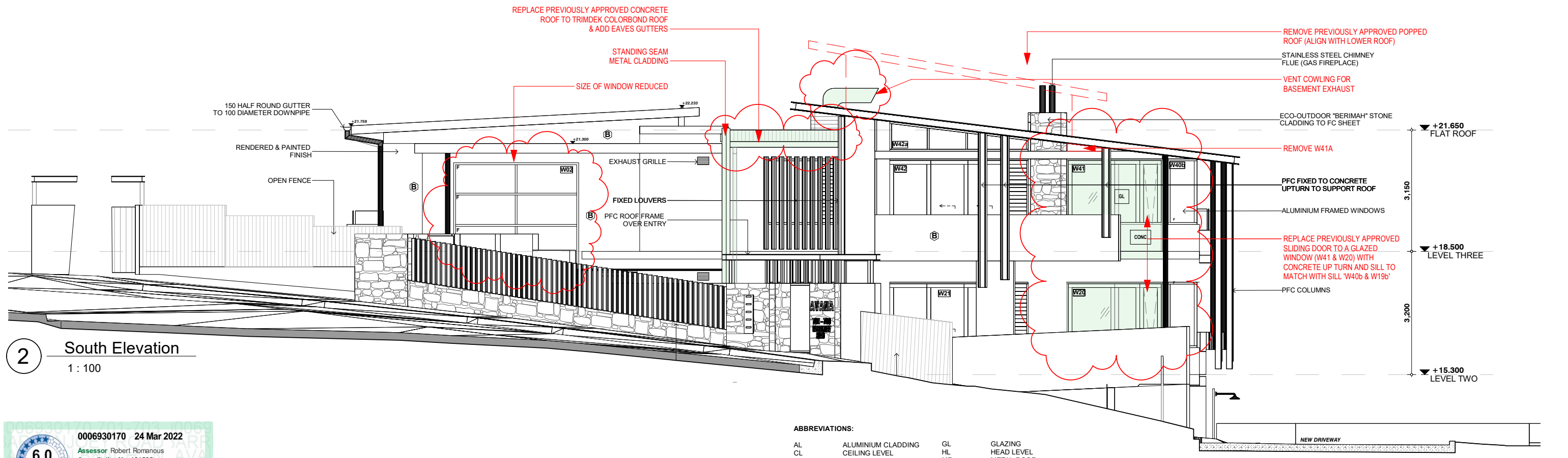
HOT HOUSE
ARCHITECTS

Nominated Architect: **Wade Stewart Cogle** m: 0433 775 490 p.o. box 26 newport nsw 2106
NSW ARB Registration #: 10971 info@hothousestudio.com abn: 355 0579 1074

PRINT DATE: 9/03/2022 11:12:56 AM PRINT SIZE: A3 ISSUE A DESCRIPTION ISSUE FOR MOD4.55 Rev.1 DATE 04/03/22	CLIENT: B.ALAMIEN PROJECT: ALTERATIONS & ADDITIONS TO RESIDENTIAL BUILDING ADDRESS: 701-703/LOT 1 & 2 Barrenjoey Road, Avalon Beach, NSW, 2107	ROOF PLAN PROJECT NO. 21161 DATE 04/03/22 LOT: 3 DRAWN BY: JN DP: 28164 CHECKED BY: WC	MOD 103 SCALE: As indicated
--	---	--	--------------------------------



1 North Elevation
1 : 100

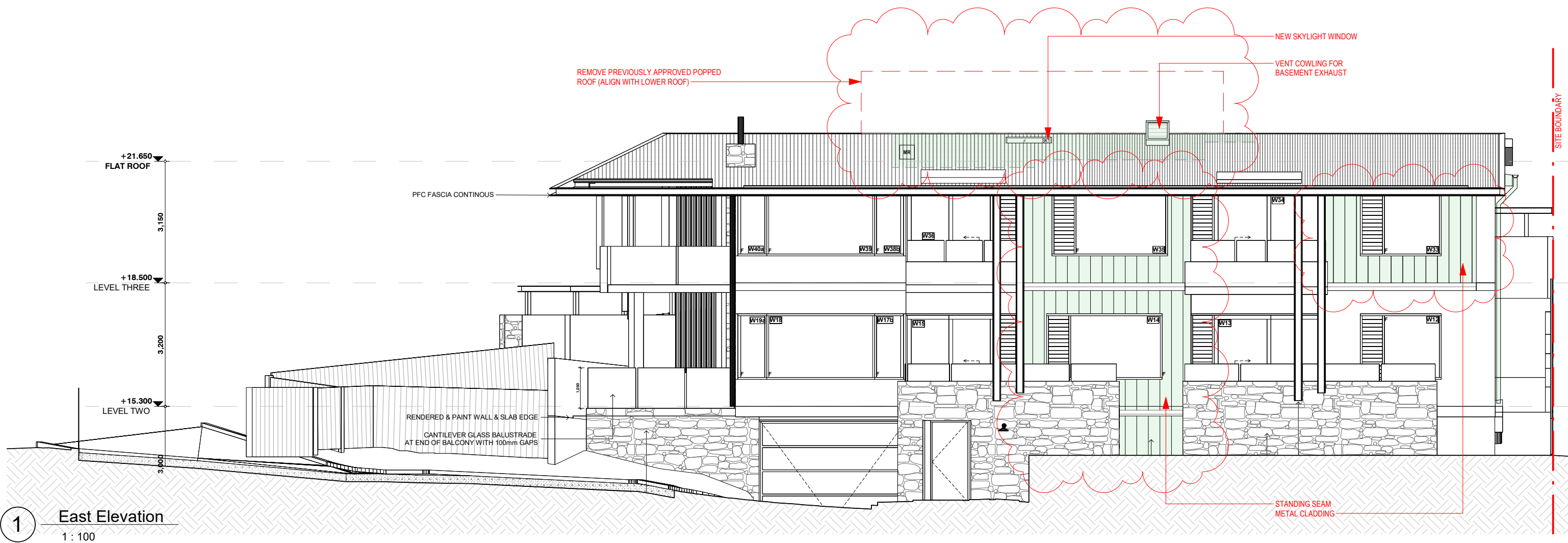


2 South Elevation
1 : 100

0006930170 24 Mar 2022
Assessor Robert Romanous
Accreditation No. 101535
Address
701-703 Barrenjoey Road,
Avalon Beach, NSW, 2107
www.nuthers.gov.au
hstar.com.au

HOT HOUSE ARCHITECTS
Nominated Architect: Wade Stewart Cogle
NSW ARB Registration #: 10971
m: 0433 775 490
info@hthousestudio.com
p.o. box 26 newport nsw 2106
abn: 355 0579 1074

		<div>ABBREVIATIONS:</div> <div><div>AL</div><div>CL</div><div>CONC</div><div>COS</div><div>CR</div><div>CTS</div><div>DM</div><div>FFL</div><div>FG</div><div>G</div></div> <div><div>ALUMINIUM CLADDING</div><div>CEILING LEVEL</div><div>CONCRETE</div><div>CHECK ON SITE</div><div>CEMENT RENDER</div><div>CENTRES</div><div>DEMOLISH</div><div>FINISHED FLOOR LEVEL</div><div>FIXED GLAZING</div><div>GUTTER</div></div> <div><div>GL</div><div>HL</div><div>MR</div><div>MC</div><div>PB</div><div>RL</div><div>SC</div><div>SSC</div><div>SL</div><div>TBA</div></div> <div><div>GLAZING</div><div>HEAD LEVEL</div><div>METAL ROOF</div><div>METAL SEAM CLADDING</div><div>PLASTERBOARD</div><div>REDUCED LEVE</div><div>STEEL COLUMN</div><div>SANDSTONE CLADDING</div><div>SILL LEVEL</div><div>TO BE ADVISED</div></div>		<div><div><div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></</div></div></div></div>	
--	--	---	--	--	--



ABBREVIATIONS:

AL	ALUMINIUM CLADDING	GL	GLAZING
CL	CEILING LEVEL	HL	HEAD LEVEL
CONC	CONCRETE	MR	METAL ROOF
COS	CHECK ON SITE	MC	METAL SEAM CLADDING
CR	CEMENT RENDER	PB	PLASTERBOARD
CTS	CENTRES	RL	REDUCED LEVE
DM	DEMOLISH	SC	STEEL COLUMN
FFL	FINISHED FLOOR LEVEL	SSC	SANDSTONE CLADDING
FG	FIXED GLAZING	SL	SILL LEVEL
G	GUTTER	TBA	TO BE ADVISED

LEGEND:

DEMOLISH	---
NEW WORK	---
BOUNDARY	---
OVERHEAD	---
HIDDEN	---

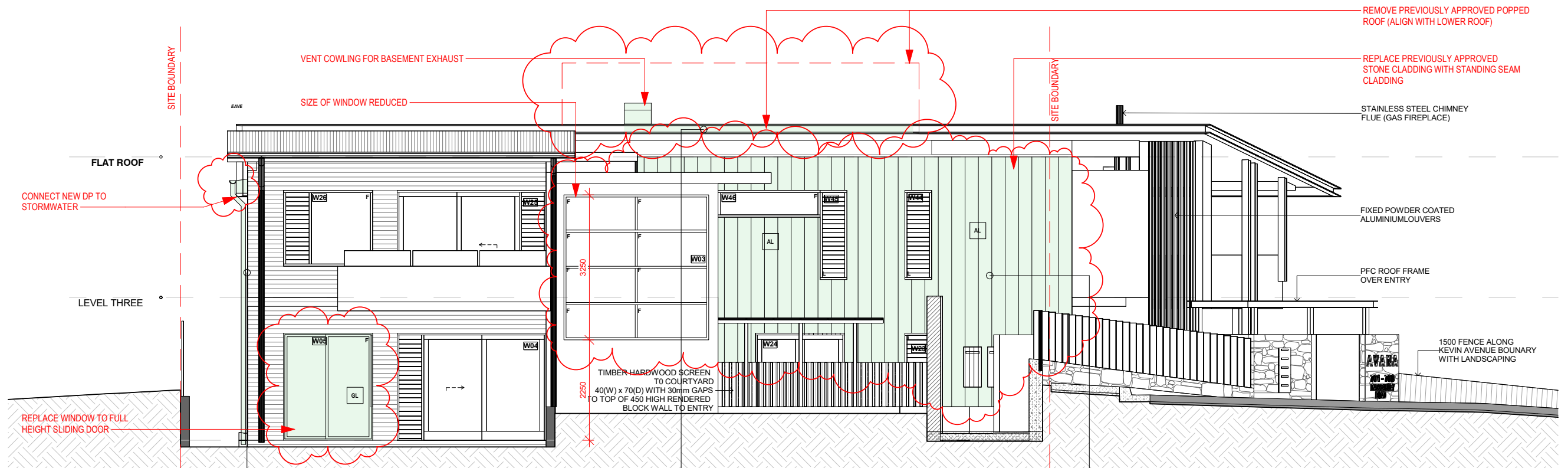
BASIX COMMITMENTS:

1. ALL NEW OR ALTERED CONSTRUCTION (FLOOR, WALLS, CEILING AND ROOF) TO BE IN ACCORDANCE WITH BASIX CERTIFICATE
2. ALL WINDOWS, SKYLIGHTS AND DOORS TO BE INSTALLED AS PER BASIX GLAZING REQUIREMENTS

NOTES:

- ALL DESIGN AND CONSTRUCTION WORKS TO BE IN ACCORDANCE WITH APPLICABLE AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA. DRAWINGS TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE AND THE SURVEY.

PRINT DATE: 9/03/2022 11:12:59 AM		PRINT SIZE: A3		ISSUE A		DESCRIPTION ISSUE FOR MOD4.55 Rev.1		DATE 04/03/22		CLIENT: B.ALAMIEN		ELEVATION								
NOTES: Builder is to examine the site and verify conditions and dimensions. Any discrepancies must be brought to the architect's attention. Use figured dimensions only. Do not scale drawings. All work shall comply with the Building Code of Australia and relevant Australian Standards.	PROJECT: ALTERATIONS & ADDITIONS TO RESIDENTIAL BUILDING ADDRESS: 701-703/LOT 1 & 2 Barrenjoey Road, Avalon Beach, NSW, 2107										PROJECT NO.		21161		MOD 201					
											DATE		04/03/22							
											LOT:		3				DRAWN BY:		JN	
											DP:		28164				CHECKED BY:		WC	
This drawing is copyright and remains the property of Hot House Architects HOT HOUSE PROJECTS PTY LTD T/A HOT HOUSE ARCHITECTS										SCALE:		As indicated								



1 West Elevation
1 : 100

STANDING SEAM METAL CLADDING -
'MONUMENT' (EAST ELEVATION)

EXTERNAL RENDER - RESENE
DOUBLE GRAVEL

METAL ROOF - TRIMDEK -
'MONUMENT' MATTE

STANDING SEAM METAL CLADDING -
'MONUMENT' MATTE



ABBREVIATIONS:

AL	ALUMINIUM CLADDING	GL	GLAZING
CL	CEILING LEVEL	HL	HEAD LEVEL
CONC	CONCRETE	MR	METAL ROOF
COS	CHECK ON SITE	MC	METAL SEAM CLADDING
CR	CEMENT RENDER	PB	PLASTERBOARD
CTS	CENTRES	RL	REDUCED LEVE
DM	DEMOLISH	SC	STEEL COLUMN
FFL	FINISHED FLOOR LEVEL	SSC	SANDSTONE CLADDING
FG	FIXED GLAZING	SL	SILL LEVEL
G	GUTTER	TBA	TO BE ADVISED

LEGEND:

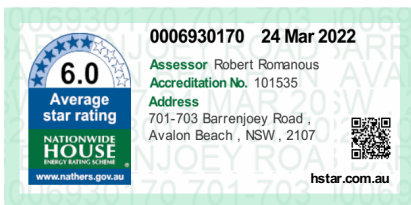
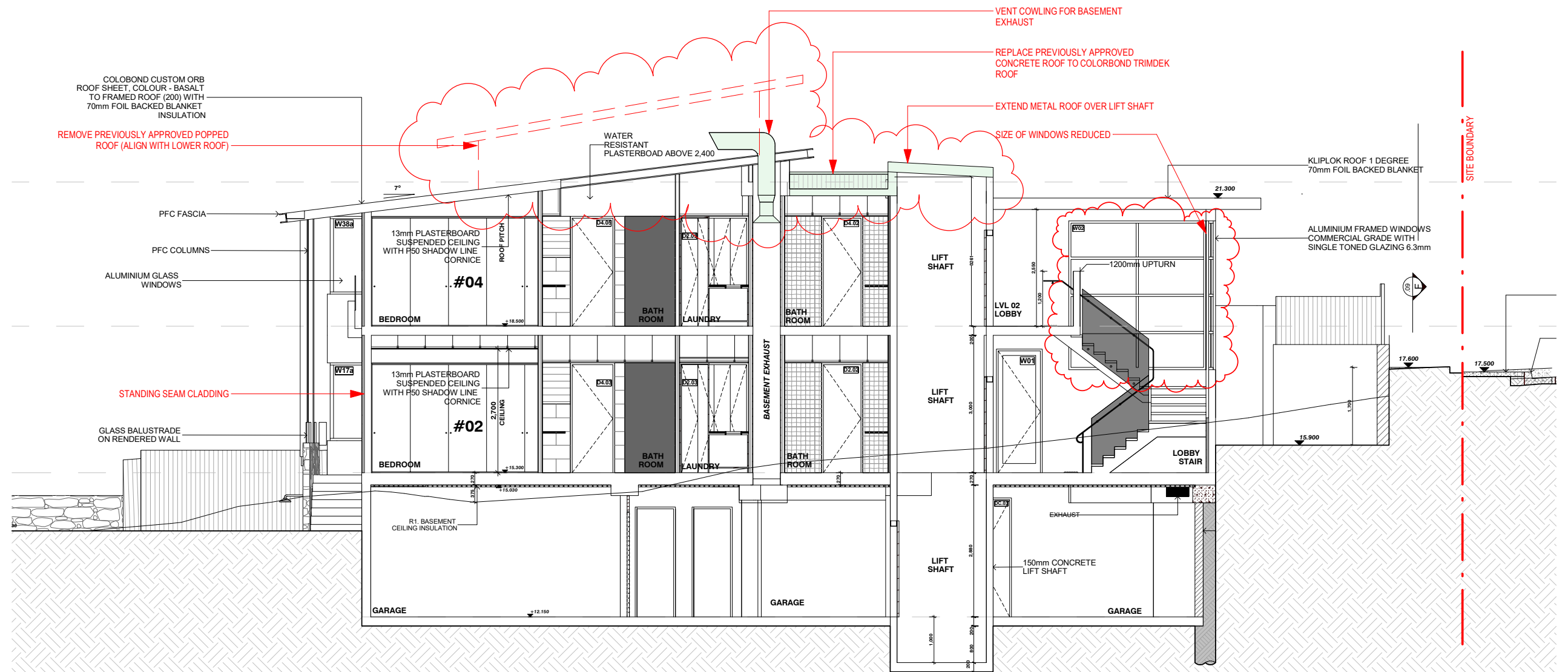
DEMOLISH	---
NEW WORK	---
BOUNDARY	---
OVERHEAD	---
HIDDEN	---

BASIX COMMITMENTS:
1. ALL NEW OR ALTERED CONSTRUCTION (FLOOR, WALLS, CEILING AND ROOF) TO BE IN ACCORDANCE WITH BASIX CERTIFICATE
2. ALL WINDOWS, SKYLIGHTS AND DOORS TO BE INSTALLED AS PER BASIX GLAZING REQUIREMENTS

NOTES:
ALL DESIGN AND CONSTRUCTION WORKS TO BE IN ACCORDANCE WITH APPLICABLE AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA
DRAWINGS TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE AND THE SURVEY

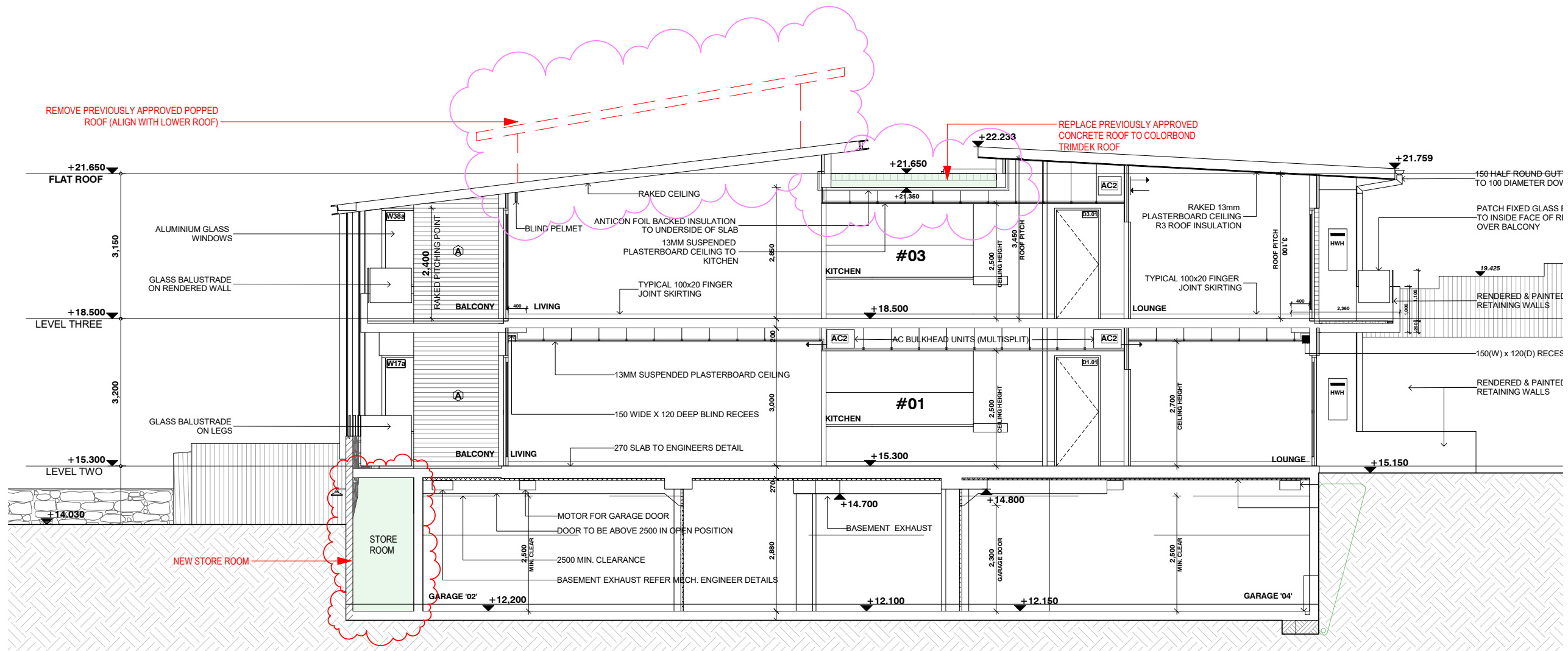


PRINT DATE: 9/03/2022 11:13:01 AM		PRINT SIZE: A3		ISSUE A		DESCRIPTION ISSUE FOR MOD4.55 Rev.1		DATE 04/03/22		CLIENT: B.ALAMIEN		ELEVATION & EXTERNAL FINISHES					
NOTES:	Builder is to examine the site and verify conditions and dimensions. Any discrepancies must be brought to the architect's attention. Use figured dimensions only. Do not scale drawings. All work shall comply with the Building Code of Australia and relevant Australian Standards.				PROJECT:		PROJECT NO.		21161		MOD 202						
					ALTERATIONS & ADDITIONS TO RESIDENTIAL BUILDING		DATE		04/03/22								
					ADDRESS: 701-703/LOT 1 & 2 Barrenjoey Road, Avalon Beach, NSW. 2107		LOT:		3						DRAWN BY:		JN
This drawing is copyright and remains the property of Hot House Architects HOT HOUSE PROJECTS PTY LTD T/A HOT HOUSE ARCHITECTS						DP:		28164		CHECKED BY:		WC		SCALE:		As indicated	



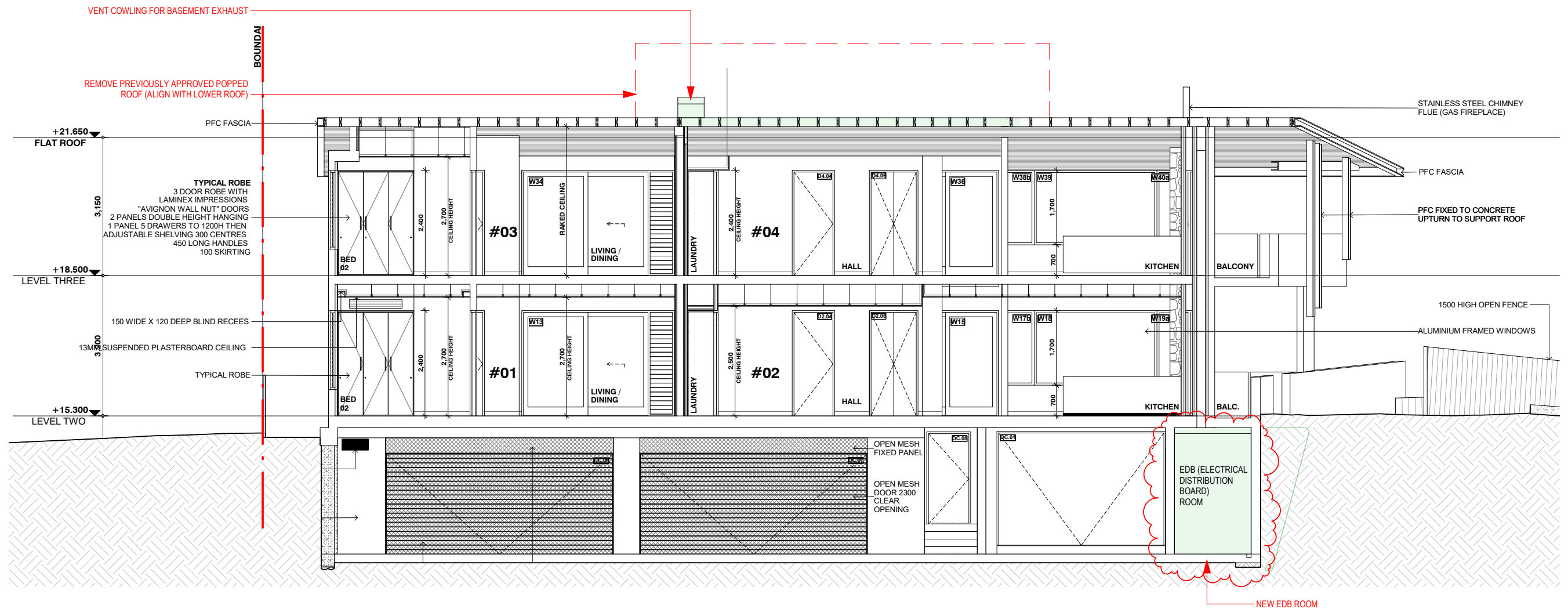
1 Section A - A
1 : 100

PRINT DATE: 9/03/2022 11:13:01 AM		PRINT SIZE: A3		ISSUE A		DESCRIPTION ISSUE FOR MOD4.55 Rev.1		DATE 04/03/22		CLIENT: B.ALAMIEN		SECTIONS A - A								
NOTES: Builder is to examine the site and verify conditions and dimensions. Any discrepancies must be brought to the architect's attention. Use figured dimensions only. Do not scale drawings. All work shall comply with the Building Code of Australia and relevant Australian Standards.	PROJECT: ALTERATIONS & ADDITIONS TO RESIDENTIAL BUILDING										PROJECT NO.		21161		MOD 300					
											DATE		04/03/22							
	ADDRESS: 701-703/LOT 1 & 2 Barrenjoey Road, Avalon Beach, NSW. 2107										LOT:		3				DRAWN BY:		JN	
											DP:		28164				CHECKED BY:		WC	
This drawing is copyright and remains the property of Hot House Architects HOT HOUSE PROJECTS PTY LTD T/A HOT HOUSE ARCHITECTS																				



1 Section B - B
1 : 100

PRINT DATE: 9/03/2022 11:13:02 AM PRINT SIZE: A3		ISSUE A	DESCRIPTION ISSUE FOR MOD4.55 Rev.1	DATE 04/03/22	CLIENT: B.ALAMIEN	SECTION B - B			
NOTES: <div>Builder is to examine the site and verify conditions and dimensions. Any discrepancies must be brought to the architect's attention. Use figured dimensions only. Do not scale drawings. All work shall comply with the Building Code of Australia and relevant Australian Standards.</div>	PROJECT: ALTERATIONS & ADDITIONS TO RESIDENTIAL BUILDING				PROJECT NO.	21161	MOD 301		
	ADDRESS: 701-703/LOT 1 & 2 Barrenjoey Road, Avalon Beach, NSW, 2107				DATE	04/03/22			
					LOT: 3	DRAWN BY:		JN	
This drawing is copyright and remains the property of Hot House Architects HOT HOUSE PROJECTS PTY LTD T/A HOT HOUSE ARCHITECTS					DP: 28164	CHECKED BY:		WC	SCALE:



1 Section D - D
1 : 100

PRINT DATE: 9/03/2022 11:13:04 AM		PRINT SIZE: A3		ISSUE A		DESCRIPTION ISSUE FOR MOD4.55 Rev.1		DATE 04/03/22		CLIENT: B.ALAMIEN		SECTION D - D											
NOTES: Builder is to examine the site and verify conditions and dimensions. Any discrepancies must be brought to the architect's attention. Use figured dimensions only. Do not scale drawings. All work shall comply with the Building Code of Australia and relevant Australian Standards.	PROJECT: ALTERATIONS & ADDITIONS TO RESIDENTIAL BUILDING ADDRESS: 701-703/LOT 1 & 2 Barrenjoey Road, Avalon Beach, NSW, 2107										PROJECT NO.		21161		MOD 303								
											DATE		04/03/22										
											LOT:		3				DRAWN BY:		JN				
This drawing is copyright and remains the property of Hot House Architects <small>HOT HOUSE PROJECTS PTY LTD T/A HOT HOUSE ARCHITECTS</small>												DP:		28164		CHECKED BY:		WC		SCALE:		As indicated	

LEGEND:

DEMOLISH	---
NEW WORK	---
BOUNDARY	---
OVERHEAD	---
HIDDEN	---

BASIX COMMITMENTS:

1. ALL NEW OR ALTERED CONSTRUCTION (FLOOR, WALLS, CEILING AND ROOF) TO BE IN ACCORDANCE WITH BASIX CERTIFICATE
2. ALL WINDOWS, SKYLIGHTS AND DOORS TO BE INSTALLED AS PER BASIX GLAZING REQUIREMENTS

NOTES:

- ALL DESIGN AND CONSTRUCTION WORKS TO BE IN ACCORDANCE WITH APPLICABLE AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA DRAWINGS TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE AND THE SURVEY