

Refer to Drawings A2 "Upper Floor Plan" for details on roof below.

Line of building beneath shown dashed.

ROOF
Continue Line of existing roof to form new.
All new and existing roofs to be Lysaght colorbond metal 'custom orb' roof sheeting.
Refer to Drawing A12 for further details.

CHIMNEY
Extend existing chimney in accordance with Part 3.7.3 Heating Appliance in the Building Codes of Australia.

SKYLIGHT S1
Skylight S1 to be installed in accordance with B.A.S.I.X. requirements.

o dp
Downpipe's indicative only.
Hydraulic engineer to confirm exact location.
Ensure location is well clear of new windows.

METAL FASCIA BOARDS
Metal fascia boards to be installed.
These are to be fully non-combustible.

DOWN PIPES
Provide colorbond down pipes to hydraulic engineers details. Location shown on drawings as indicative only.
Connect head to gutter and foot to drainage system with brackets at 2700mm max. spacing with a minimum of 2 brackets.
All new down pipes are to be connected to the existing storm water system that discharges to an existing council water collection system.
Downpipe's to be compliant with the requirements of N.C.C. 2019 Volume 2 Part 3.5.3

GUTTERS
Provide colorbond gutters to all new eaves as nominated by hydraulic engineer
Set with sufficient fall to all down pipes and secure with brackets max 1200mm apart.
Gutters to be compliant with the requirements of N.C.C. 2019 Volume 2 Part 3.5.3.

NEW + EXISTING ROOF
All new and existing roofs to be Lysaght colorbond 'custom orb' roof sheeting.
Fix to structure in accordance with manufacturers specifications.
Reflective sarking to be installed under roof sheeting.
Provide all ridges barges and other fittings required to complete the roof and leave fully cleaned.
Refer to BASIX commitments for Colour and sections for Pitch.

Roof sheeting to be compliant with the requirements of N.C.C. 2019 Volume 2 Part 3.5.1.

IMPORTANT NOTE: Any proposed product changes after approval of the C.C. to be immediately notified to the Private Certifying Authority for concurrence.

 **northern beaches council**

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

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BALUSTRADE
Balustrade to be built as plasterboard wall with dressed timber railing to top of wall or similar (see pic adjacent) - 1m high minimum.
To be installed in accordance with N.C.C. + Australian Standards.

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INTERNAL STAIRS
Timber stairs with closed risers to be constructed to N.C.C. requirements. Provide a continuous handrail to each flight and a slip resistant finish in accordance with 3.9.1. and 3.9.2. in the N.C.C, 2019 Volume 2 and AS4586.

SMOKE + FIRE DETECTION
Provide mains powered smoke and fire detection devices.
Smoke alarms to be installed to AS3786 and to Part 3.7.5 of the N.C.C. 2019, volume 2. Confirm location on site.

WINDOWS + DOORS
Provide and install new improved aluminium doors and windows where tagged in correspondence with BASIX report.
Provide timber trims to all new windows. Doors, windows and trims to clients selection.
Install in accordance with manufacturers instructions.

BEDROOM WINDOWS
In accordance with Part 3.9.2.6 of the N.C.C. 2019, volume 2 for child safety, all bedroom windows where the floor level of the room is 2 metres or more above the outside finished ground level, windows must be supplied with:
Permanently fixed robust mesh screens. or permanent window locks which prevent the window opening more than 125mm.

BUILDING UNDER
Line of building shown dashed under.

ROOF STORAGE
Allow for door to access roof storage

EXISTING CHIMNEY
Existing chimney to be modified to suit new second story addition.
To be modified in accordance with N.C.C. requirements.

CLADDING TO EXTERNAL TIMBER FRAMED WALLS
Fibre cement weatherboards cladding to all new walls to match existing weatherboards.

Fibre Cement boards to be complaint with the requirements of N.C.C. 2019 Volume 2 Part 3.5.4.3 as well as AS/NZS 2908.2 or ISO 8336 if 7.5mm thick and AS/NZS 1859.4 if 9.5mm thick boards.

All external timber framed walls to be wrapped in a breathable membrane. Fix cladding to 35mm battens to provide 'air void' to prevent condensation in accordance with manufacturers recommendations. Paint out all cladding to clients selection.

IMPORTANT NOTE: Any proposed product changes after approval of the CC to be immediately notified to the Private Certifying Authority for concurrence.

o **ex**
Approximate location of existing Downpipe's.

o **dp**
Downpipe's indicative only. Hydraulic engineer to confirm exact location. Ensure location is well clear of new windows.

METAL FASCIA BOARDS
Metal fascia boards to be installed. These are to be fully non-combustible.

DOWN PIPES
Provide colorbond down pipes to hydraulic engineers details. Location shown on drawings as indicative only. Connect head to gutter and foot to drainage system with brackets at 2700mm max. spacing with a minimum of 2 brackets. All new down pipes are to be connected to the existing storm water system that discharges to an existing council water collection system. Downpipe's to be compliant with the requirements of N.C.C. 2019 Volume 2 Part 3.5.3

GUTTERS
Provide colorbond gutters to all new eaves as nominated by hydraulic engineer Set with sufficient fall to all down pipes and secure with brackets max 1200mm apart. Gutters to be compliant with the requirements of N.C.C. 2019 Volume 2 Part 3.5.3.

NEW + EXISTING ROOF
All new and existing roofs to be Lysaght colorbond 'custom orb' roof sheeting. Fix to structure in accordance with manufacturers specifications. Reflective sarking to be installed under roof sheeting. Provide all ridges barges and other fittings required to complete the roof and leave fully cleaned. Refer to BASIX commitments for Colour and sections for Pitch.

Roof sheeting to be compliant with the requirements of N.C.C. 2019 Volume 2 Part 3.5.1.

IMPORTANT NOTE: Any proposed product changes after approval of the C.C. to be immediately notified to the Private Certifying Authority for concurrence.

Refer to drawing A5 for all dimensions.

SKYLIGHTS S2 + S3
S2 + S3 - 600mm x 1800mm skylights can be exempt from B.A.S.I.X. requirements as on exterior

NEW ROOF
New roof to be Lysaght colorbond 'custom orb' roof sheeting.

WARDROBES
All wardrobes allow for 1x 18mm thick x 450mm deep edged stripped particle board shelf. Shelf to be supported on 50mm x 25mm battens to sides and back. Similar size batten under front. Provide 20mm dia, hanging rail with fittings and supports to underside of shelf (unless directed by owners otherwise.)

BATHROOM DOOR
Provide lift "off hinges" where pan is within 1.2 metres of hinged side of door.

LINEN CUPBOARD
provide 5x 18mm thick x 450mm deep edged stripped particle board shelves. Shelves to be supported on 50 x 25 battens to both sides and back edge along with a similar batten under front edge (unless owners direct otherwise.)

EXISTING ROOF
Existing roof structure to be retained to this section. Carefully remove existing roof tiles and re-clad in Lysaght colorbond 'custom orb' roof sheeting.

GROSS FLOOR AREA

Existing Ground Floor - 165.57m²

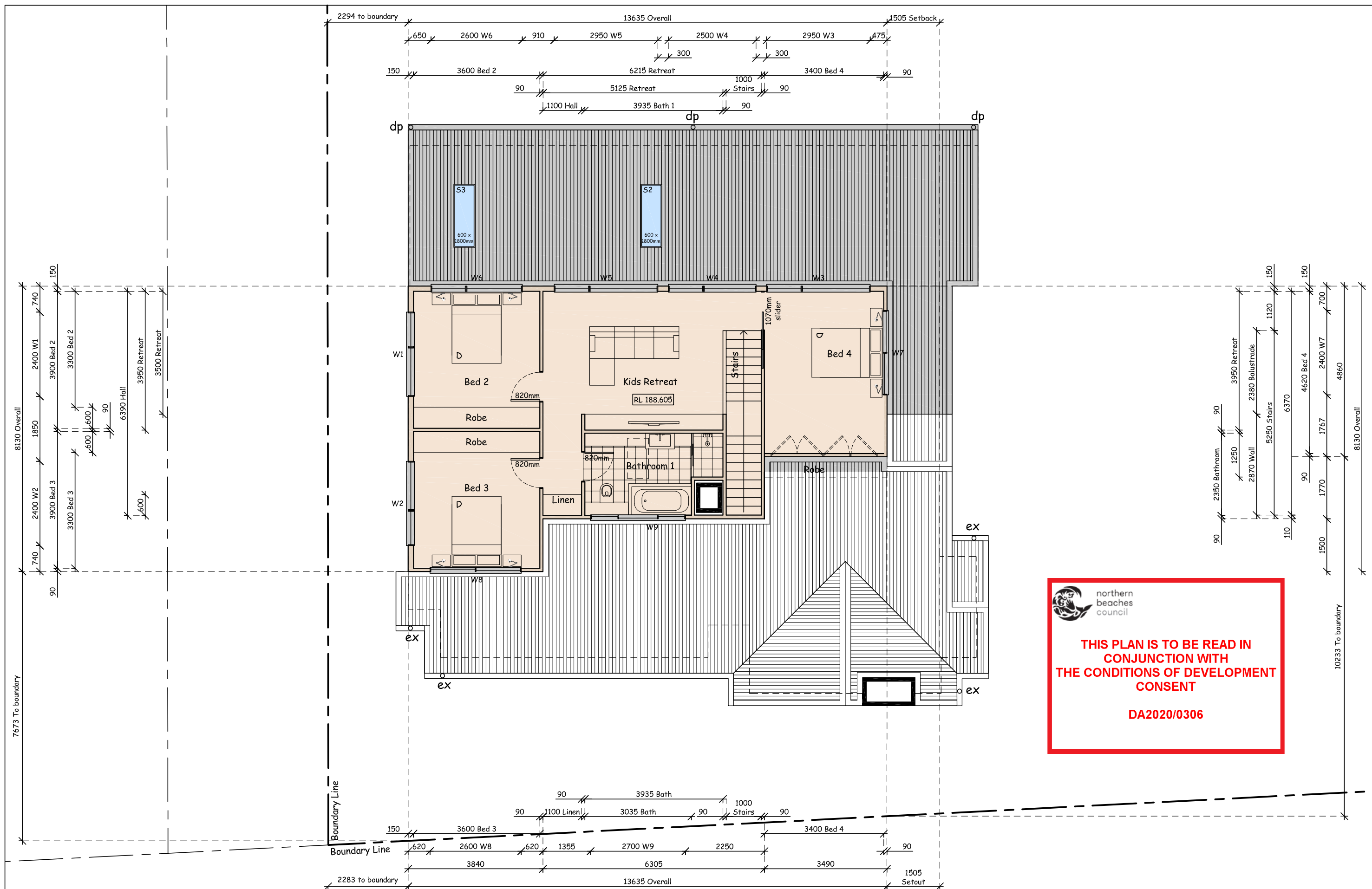
Gross Floor Area
Gross Ground Floor Area - 166.80m² (1.23m² Extra)
Gross Upper Floor - 89.99m²
Total Floor Area - 256.79m²

Deck
Existing Deck - 32.23m²
New Deck - 64.91m² (32.68m² Extra)

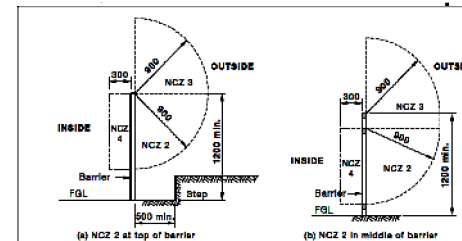
TILE FIXING
Floors
Provide floor tiles as selected by client to bathroom, with falls in accordance with B.C.A. standards.
Walls:
Provide wall tiles as selected by client to bathroom. Full height wall tiling to all bathroom and laundry unless specified by client otherwise. Ensure old and new floor finishes are flush. provide set down in bathroom if required.

WET AREAS
Provide set down to all wet areas so floor finishes are flush. Wet Areas shall be adequately flashed to ensure no water penetration to adjoining construction. Shower recess shall be water proofed with an appropriate flexible epoxy coating to the whole of the shower floor area. All wall junctions in the shower area shall be flashed to a height of at least 1800m. Install aerators to all bathroom basins.

BEAMS
Refer to structural engineering drawings for all beam sizes and locations.



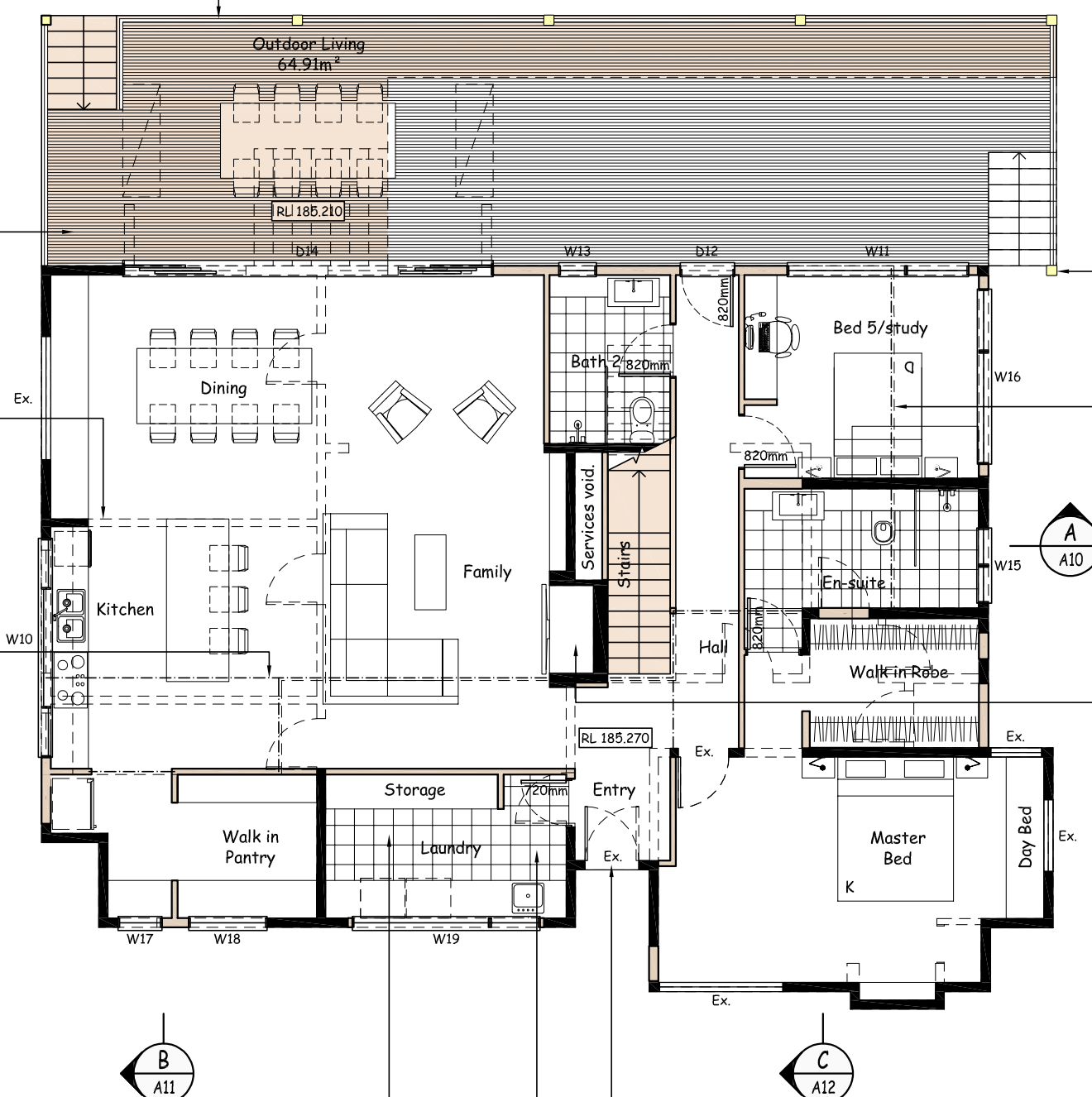
POOL FENCE - NON CLIMBABLE ZONE
Contractor to ensure the pool fence has a non Climbable Zone of 900mm on the outside of the pool fence all the way in accordance with Australian Standard AS 1926.1- 2012.
Balustrade to deck to be raised to comply with this standard if it does not meet the requirements.



DECK
Extend existing timber deck as indicated to match existing.
timber to be fixed to joists.
seal/stain/paint all exposed surfaces prior to construction.
Finish to owners selection and to N.C.C. requirements.

DEMOLITION
Demolish items as indicated (dashed) or as required to allow for new construction.
-Allow for rubbish removal if necessary
-Make good floors and walls to match existing.
-Protect any items for reuse from damage.
-Disconnect and terminate existing services, pipelines etc. as necessary to protect the existing property and persons within the work area.

BEAM
Indicates Beam over.
All beams, refer to engineers drawings.
Structural beams to be concealed in frames if possible



GROSS FLOOR AREA
Existing Ground Floor - 165.57m²
Gross Floor Area
Gross Ground Floor Area - 166.80m² (1.23m² Extra)
Gross Upper Floor - 89.99m²
Total Floor Area - 256.79m²
Deck
Existing Deck - 32.23m²
New Deck - 64.91m² (32.68m² Extra)

SMOKE + FIRE DETECTION
Provide mains powered smoke and fire detection devices.
Smoke alarms to be installed to AS3786 and to Part 3.7.5 of the N.C.C. 2019, volume 2. Confirm location on site.

WINDOWS + DOORS
Provide and install new improved aluminium doors and windows where tagged in correspondence with BASIX report.
Provide timber trims to all new windows.
Doors, windows and trims to clients selection.
Install in accordance with manufacturers instructions.

BEDROOM WINDOWS
In accordance with Part 3.9.2.6 of the N.C.C. 2019, volume 2 for child safety, all bedroom windows where the floor level of the room is 2 metres or more above the outside finished ground level, windows must be supplied with: Permanently fixed robust mesh screens, or permanent window locks which prevent the window opening more than 125mm.

CLADDING TO EXTERNAL TIMBER FRAMED WALLS
Fibre cement weatherboards cladding to all new walls to match existing weatherboards.

Fibre Cement boards to be complaint with the requirements of N.C.C. 2019 Volume 2 Part 3.5.4.3 as well as AS/NZS 2908.2 or ISO 8336 if 7.5mm thick and AS/NZS 1859.4 if 9.5mm thick boards.

All external timber framed walls to be wrapped in a breathable membrane.
Fix cladding to 35mm battens to provide 'air void' to prevent condensation in accordance with manufacturers recommendations.
Paint out all cladding to clients selection.

IMPORTANT NOTE: Any proposed product changes after approval of the CC to be immediately notified to the Private Certifying Authority for concurrence.

EXISTING BRICKWORK
All existing brickwork to be cleaned and painted to clients selection.

EXISTING SANDSTONE
All existing sandstone to be retained.
All sandstone to be cleaned down on completion.

Refer to drawing A5 for all dimensions.

TIMBER POST
Post to support roof over.
Refer to engineer.

Line of building over shown dashed

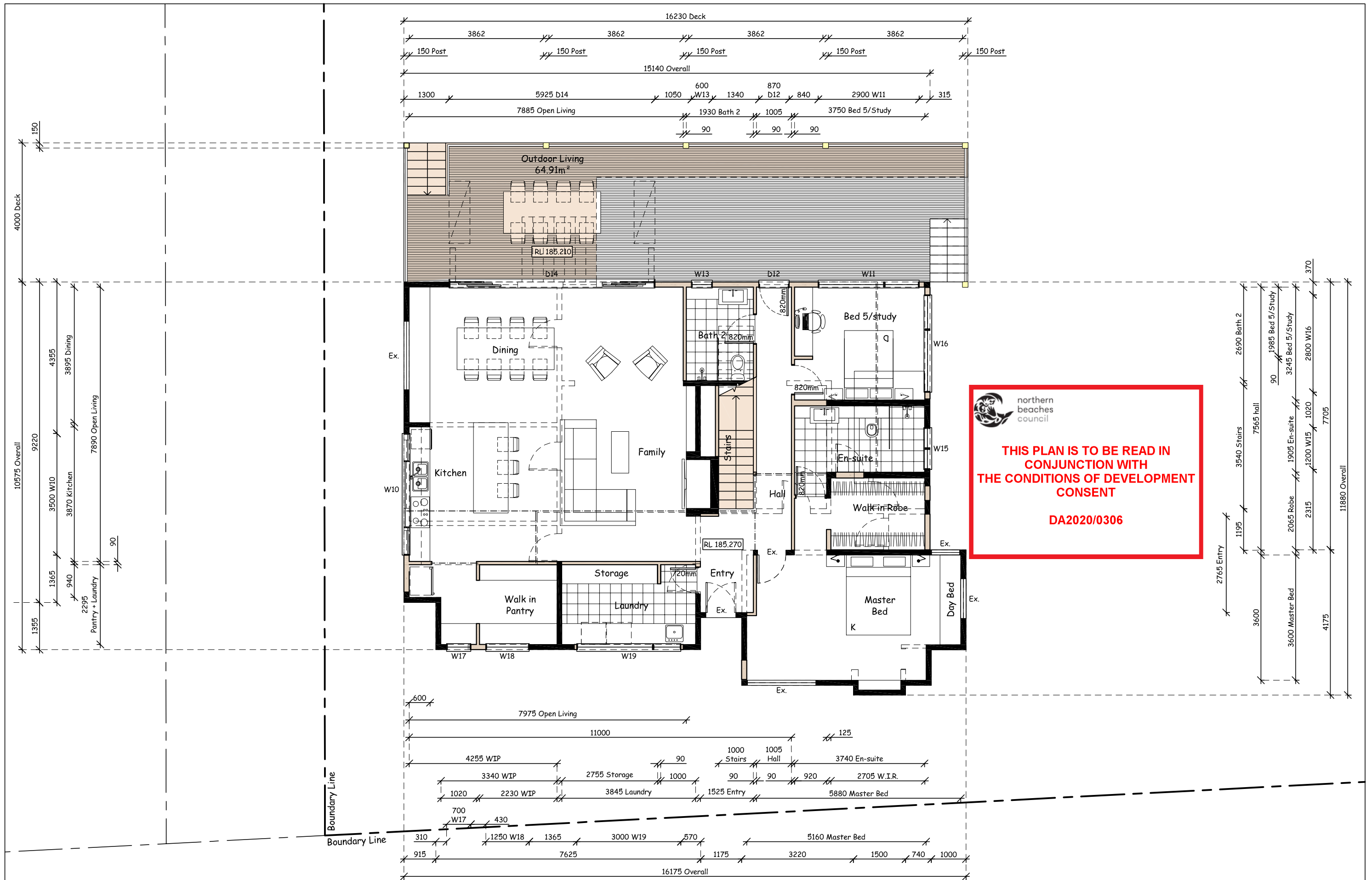
FIREPLACE
Existing fireplace to be retained.
Modify chimney to suit new second story addition over in accordance with N.C.C. requirements..

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FRONT DOOR
Allow to re-hinge existing front door to swing in opposite direction.

LAUNDRY FLOOR
Laundries shall be provided with water resistant floors, graded and drained to a floor waste and waterproof wall/floor junctions in accordance with Part 3.8.1. in the N.C.C.
NOTE: Timber flooring is not deemed "water resistant"

LAUNDRY
Allow for separate taps for the washing machine and keep separate for those of the laundry tub.
A dedicated laundry space comprising of at least on washtub and space for washing machine must be provided in accordance with part 3.8.3 in the N.C.C.





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BALUSTRADE
Timber Balustrade to owners
selection.
Install to N.C.C. requirements.
Minimum 1m high from finished floor
level.

EXISTING BUILDING
Line of existing building to be
demolished shown dashed.

WINDOW W10
Window W10 to have 900mm
adjustable external awning in
accordance with BASIX
requirements.

**CLADDING TO EXTERNAL TIMBER
FRAMED WALLS**
Fibre cement weatherboards cladding to
all new walls to match existing
weatherboards.

Fibre Cement boards to be complaint
with the requirements of N.C.C. 2019
Volume 2 Part 3.5.4.3 as well as AS/NZS
2908.2 or ISO 8336 if 7.5mm thick and
AS/NZS 1859.4 if 9.5mm thick boards.

All external timber framed walls to be
wrapped in a breathable membrane.
Fix cladding to 35mm battens to provide
'air void' to prevent condensation in
accordance with manufacturers
recommendations.
Paint out all cladding to clients selection.

IMPORTANT NOTE: Any proposed
product changes after approval of the CC
to be immediately notified to the Private
Certifying Authority for concurrence.

NEW + EXISTING ROOF
All new and existing roofs to be Lysaght
colorbond 'custom orb' roof sheeting.
Fix to structure in accordance with
manufacturers specifications.
Reflective sarking to be installed under
roof sheeting.
Provide all ridges barges and other
fittings required to complete the roof
and leave fully cleaned.
Refer to BASIX commitments for Colour
and sections for Pitch.

Roof sheeting to be compliant with the
requirements of N.C.C. 2019 Volume 2
Part 3.5.1.

IMPORTANT NOTE: Any proposed
product changes after approval of the
C.C. to be immediately notified to the
Private Certifying Authority for
concurrence.

SMOKE + FIRE DETECTION
Provide mains powered smoke and fire
detection devices.
Smoke alarms to be installed to AS3786
and to Part 3.7.5 of the N.C.C. 2019,
volume 2. Confirm location on site.

WINDOWS + DOORS
Provide and install new improved
aluminium doors and windows where
tagged in correspondence with BASIX
report.
Provide timber trims to all new windows.
Doors, windows and trims to clients
selection.
Install in accordance with manufacturers
instructions.

BEDROOM WINDOWS
In accordance with Part 3.9.2.6 of the
N.C.C. 2019, volume 2 for child safety, all
bedroom windows where the floor level
of the room is 2 metres or more above
the outside finished ground level,
windows must be supplied with:
Permanently fixed robust mesh screens.
or permanent window locks which prevent
the window opening more than 125mm.

EXISTING BRICKWORK
All existing brickwork to be cleaned and
painted to clients selection.

EXISTING SANDSTONE
All existing sandstone to be retained.
All sandstone to be cleaned down on
completion.

RL192.565 Roof Ridge

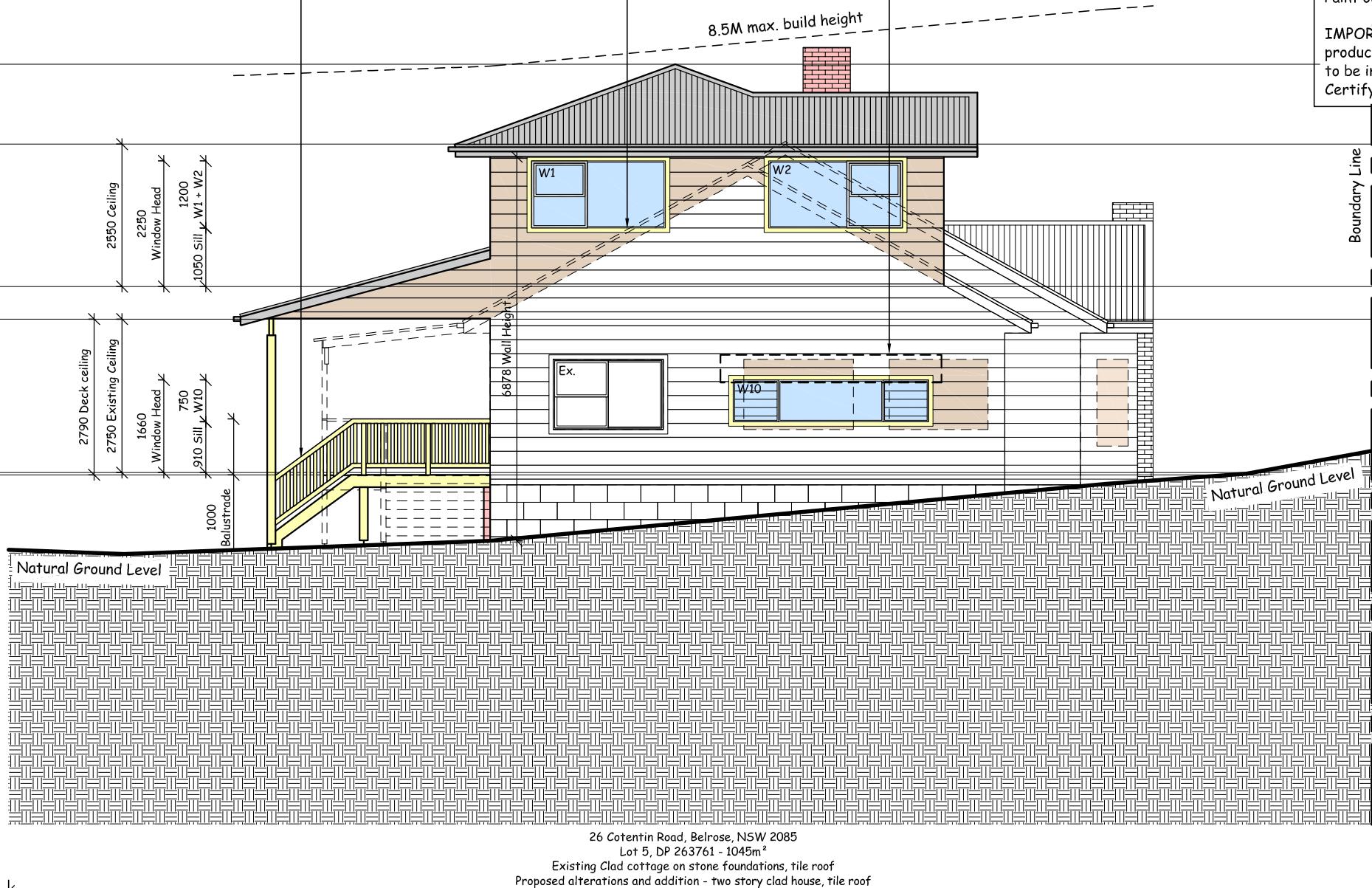
Upper Ceiling

RL188.585 Upper Floor

Existing Ground Ceiling

RL185.250 Ground Floor

RL185.210 Ex. Deck



Elevation - North



WINDOW TRIMS
Provide timber trims to all new windows. Trims to clients selection

WINDOW W12+W13
Window W12+W13 to have white frosted glass in accordance with BASIX requirements.

ROOF
All new and existing roofs to be Lysaght colorbond metal 'custom orb' roof sheeting.

BUILDING ENVELOPE
Line of building envelope show dashed.

CLADDING TO EXTERNAL TIMBER FRAMED WALLS
Fibre cement weatherboards cladding to all new walls to match existing weatherboards.

Fibre Cement boards to be complaint with the requirements of N.C.C. 2019 Volume 2 Part 3.5.4.3 as well as AS/NZS 2908.2 or ISO 8336 if 7.5mm thick and AS/NZS 1859.4 if 9.5mm thick boards.

All external timber framed walls to be wrapped in a breathable membrane. Fix cladding to 35mm battens to provide 'air void' to prevent condensation in accordance with manufacturers recommendations. Paint out all cladding to clients selection.

IMPORTANT NOTE: Any proposed product changes after approval of the CC to be immediately notified to the Private Certifying Authority for concurrence.

NEW + EXISTING ROOF
All new and existing roofs to be Lysaght colorbond 'custom orb' roof sheeting. Fix to structure in accordance with manufacturers specifications. Reflective sarking to be installed under roof sheeting. Provide all ridges barges and other fittings required to complete the roof and leave fully cleaned. Refer to BASIX commitments for Colour and sections for Pitch.

Roof sheeting to be compliant with the requirements of N.C.C. 2019 Volume 2 Part 3.5.1.

IMPORTANT NOTE: Any proposed product changes after approval of the C.C. to be immediately notified to the Private Certifying Authority for concurrence.

SMOKE + FIRE DETECTION
Provide mains powered smoke and fire detection devices. Smoke alarms to be installed to AS3786 and to Part 3.7.5 of the N.C.C. 2019, volume 2. Confirm location on site.

WINDOWS + DOORS
Provide and install new improved aluminium doors and windows where tagged in correspondence with BASIX report. Provide timber trims to all new windows. Doors, windows and trims to clients selection. Install in accordance with manufacturers instructions.

BEDROOM WINDOWS
In accordance with Part 3.9.2.6 of the N.C.C. 2019, volume 2 for child safety, all bedroom windows where the floor level of the room is 2 metres or more above the outside finished ground level, windows must be supplied with: Permanently fixed robust mesh screens. or permanent window locks which prevent the window opening more than 125mm.

EXISTING BRICKWORK
All existing brickwork to be cleaned and painted to clients selection.

EXISTING SANDSTONE
All existing sandstone to be retained. All sandstone to be cleaned down on completion.

RL192.565 Roof Ridge

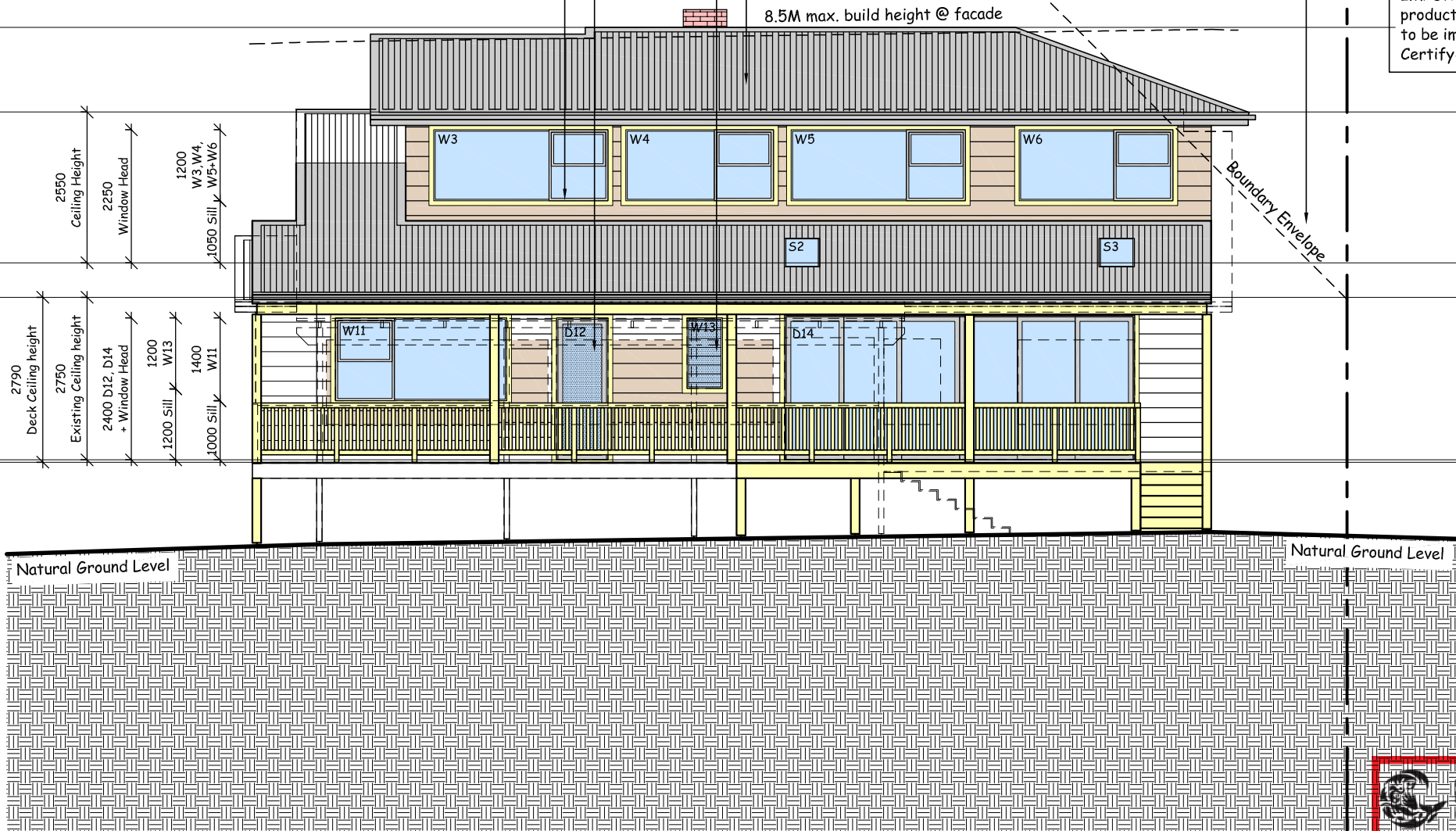
Upper Ceiling

RL188.585 Upper Floor

Existing Ground Ceiling

RL185.250 Ground Floor

RL185.210 Ex. Deck



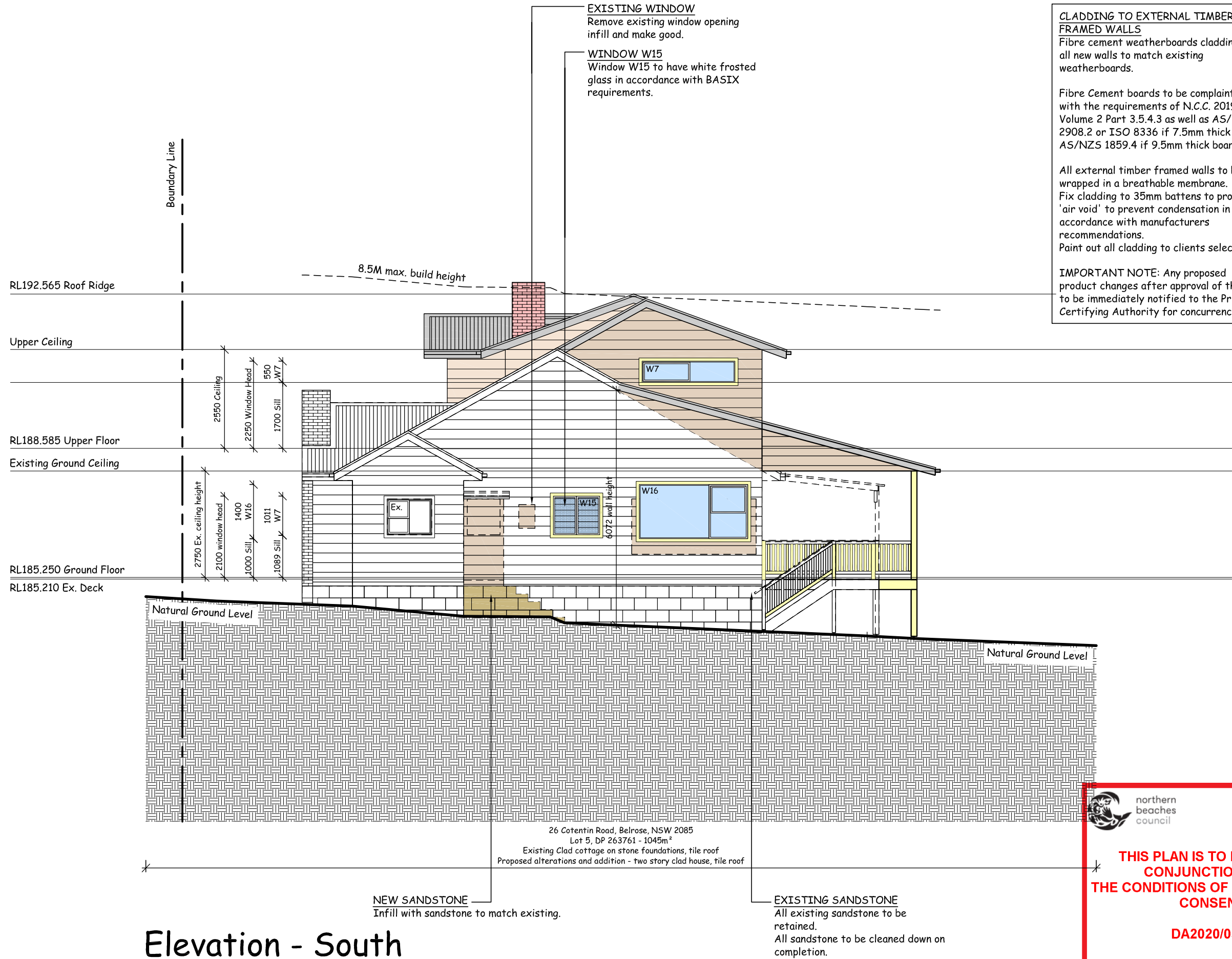
26 Cotentin Road, Belrose, NSW 2085
Lot 5, DP 263761 - 1045m²
Existing Clad cottage on stone foundations, tile roof
Proposed alterations and addition - two story clad house, tile roof



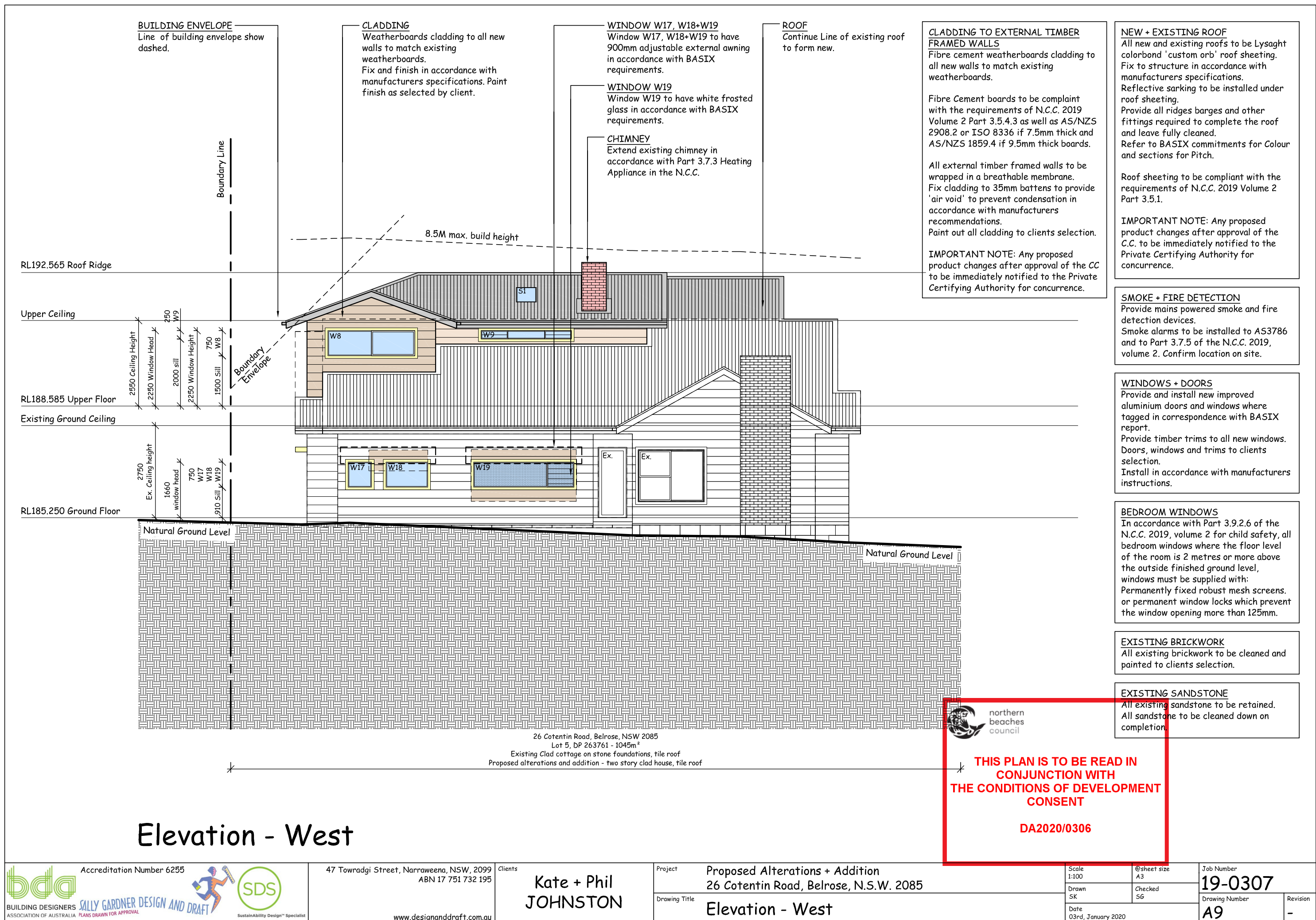
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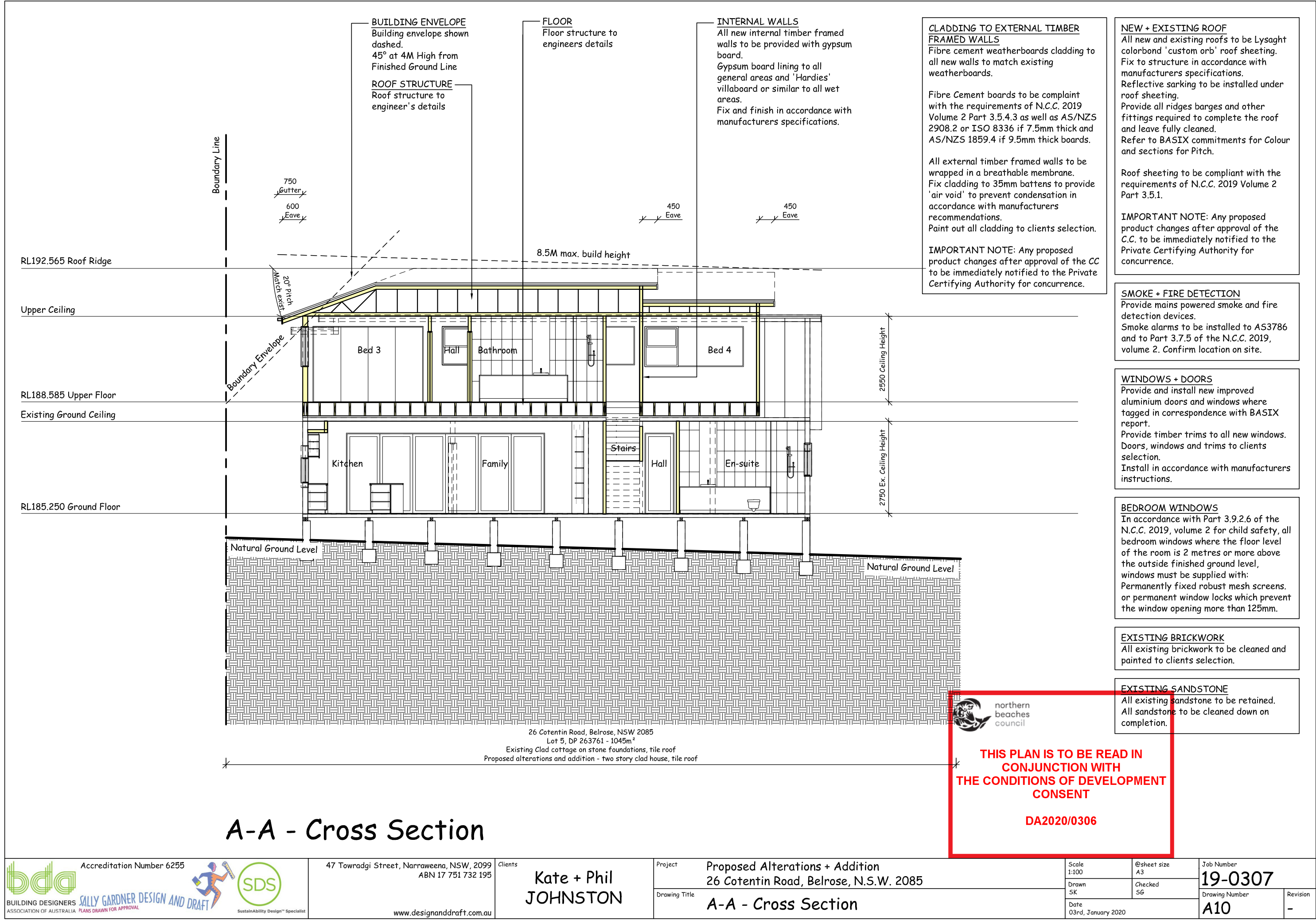
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Elevation - East



Elevation - South







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EAVES LINING
4.5mm thick
"hardiflex" to eaves
lining or equivalent.
Fix to manufacturers
instructions.

TIMBER DECK
Extend existing timber deck.
Timber to be fixed to joists.
Seal/stain/paint all exposed surfaces
of timber prior to construction.
Finish to owners selection and to
N.C.C. requirements.

CLADDING TO EXTERNAL TIMBER
FRAMED WALLS
Fibre cement weatherboards cladding to
all new walls to match existing
weatherboards.

Fibre Cement boards to be complaint
with the requirements of N.C.C. 2019
Volume 2 Part 3.5.4.3 as well as AS/NZS
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Fix cladding to 35mm battens to provide
'air void' to prevent condensation in
accordance with manufacturers
recommendations.
Paint out all cladding to clients selection.

IMPORTANT NOTE: Any proposed
product changes after approval of the CC
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Certifying Authority for concurrence.

NEW + EXISTING ROOF
All new and existing roofs to be Lysaght
colorbond 'custom orb' roof sheeting.
Fix to structure in accordance with
manufacturers specifications.
Reflective sarking to be installed under
roof sheeting.
Provide all ridges barges and other
fittings required to complete the roof
and leave fully cleaned.
Refer to BASIX commitments for Colour
and sections for Pitch.

Roof sheeting to be compliant with the
requirements of N.C.C. 2019 Volume 2
Part 3.5.1.

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product changes after approval of the
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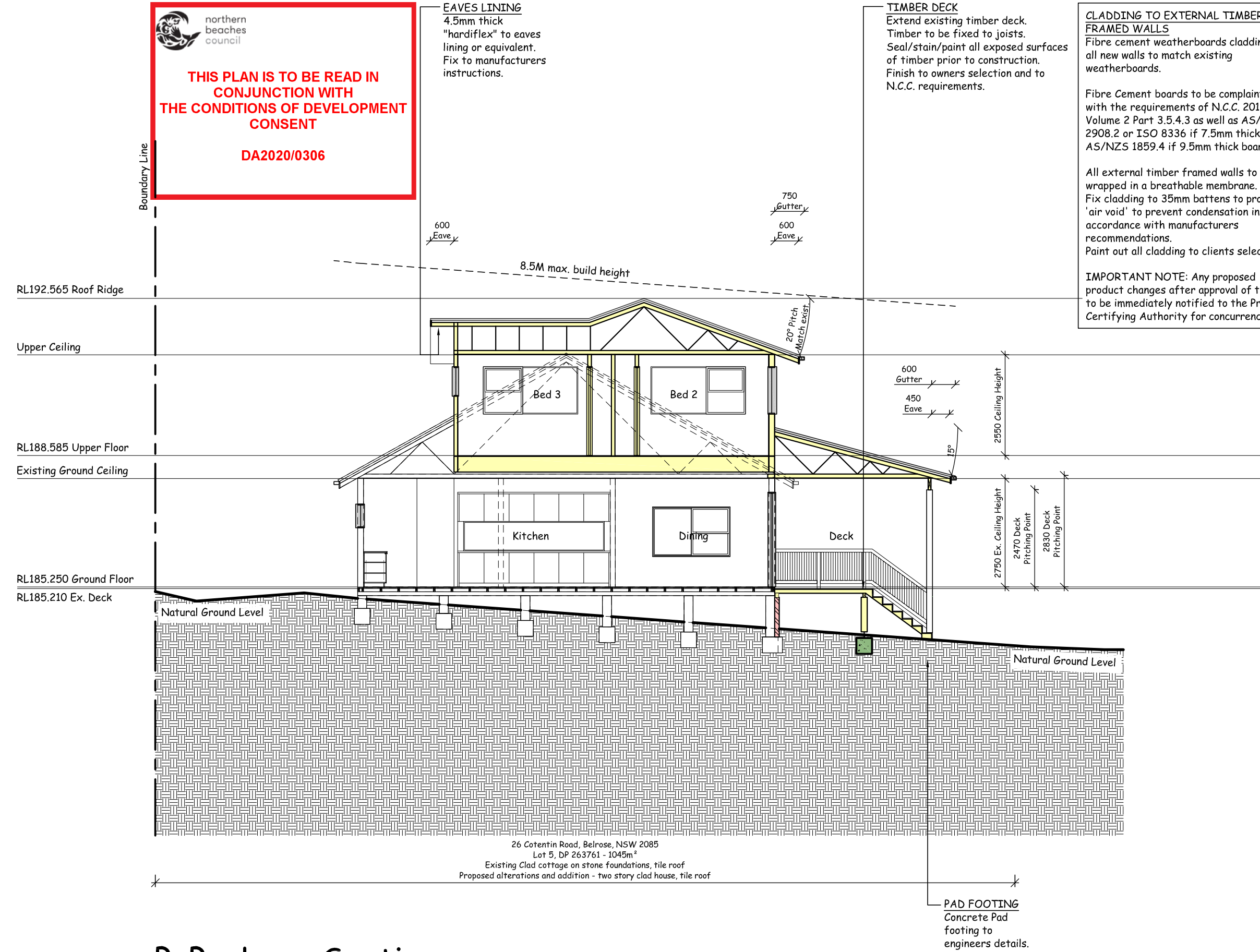
SMOKE + FIRE DETECTION
Provide mains powered smoke and fire
detection devices.
Smoke alarms to be installed to AS3786
and to Part 3.7.5 of the N.C.C. 2019,
volume 2. Confirm location on site.

WINDOWS + DOORS
Provide and install new improved
aluminium doors and windows where
tagged in correspondence with BASIX
report.
Provide timber trims to all new windows.
Doors, windows and trims to clients
selection.
Install in accordance with manufacturers
instructions.

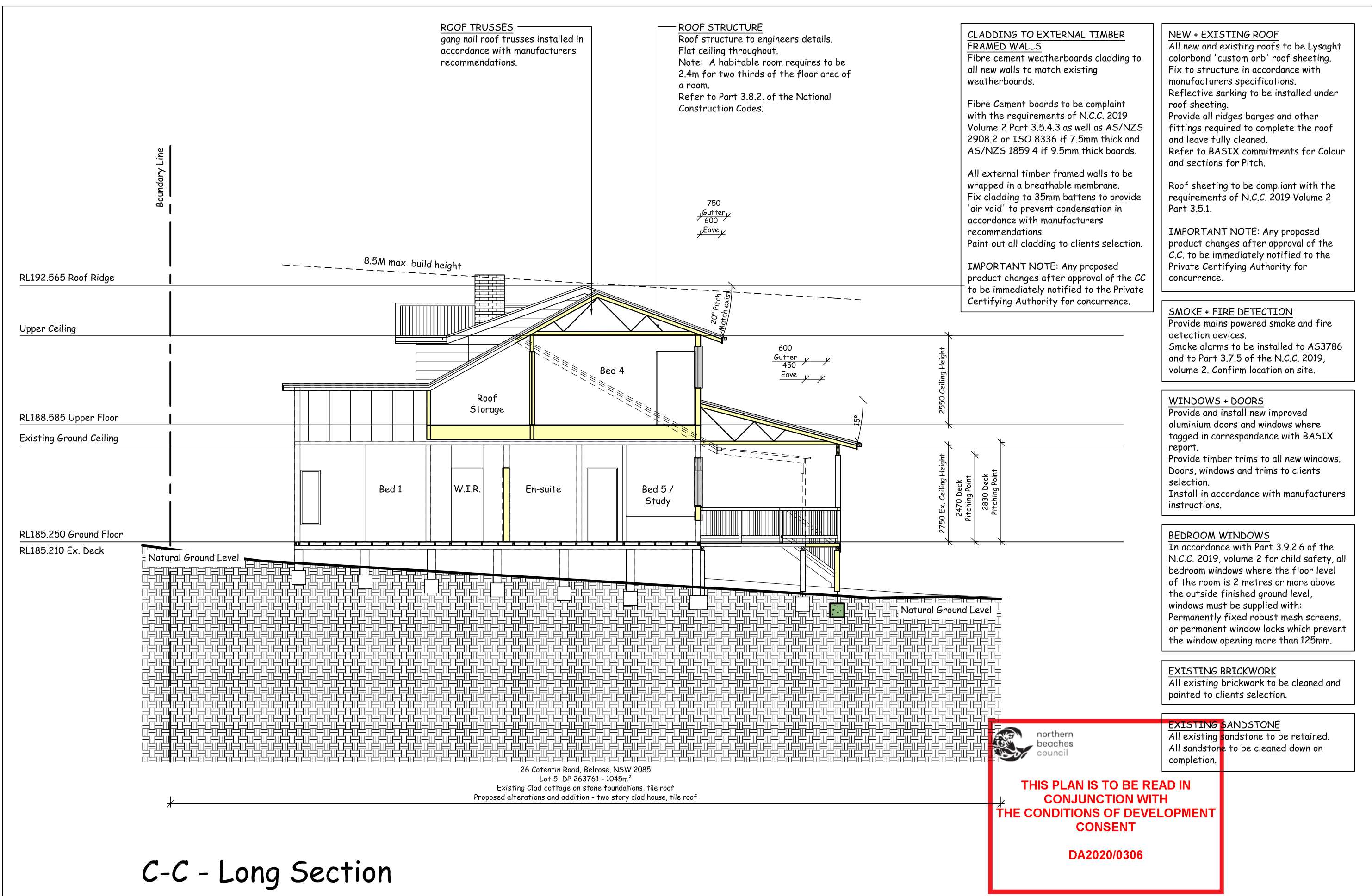
BEDROOM WINDOWS
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N.C.C. 2019, volume 2 for child safety, all
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the outside finished ground level,
windows must be supplied with:
Permanently fixed robust mesh screens.
or permanent window locks which prevent
the window opening more than 125mm.

EXISTING BRICKWORK
All existing brickwork to be cleaned and
painted to clients selection.

EXISTING SANDSTONE
All existing sandstone to be retained.
All sandstone to be cleaned down on
completion.



B-B - Long Section



C-C - Long Section

WINDOW SCHEDULE

WINDOWS	HEIGHT	WIDTH	EAVE	ORIENTATION	LOCATION	COMMENTS
UPPER						
NORTH						
W1	1.200 m	2.400 m	750mm	North	Bed 2	Improved aluminium frame single clear glass (U-value:6.44, SHGC:0.75) or better Projection/height above sill ratio >=0.43 Eave to be used as projection
W2	1.200 m	2.400 m	750mm	North	Bed 3	Improved aluminium frame single clear glass (U-value:6.44, SHGC:0.75) or better Projection/height above sill ratio >=0.43 Eave to be used as projection
EAST						
W3	1.200 m	2.950 m	750mm	East	Bed 4	Improved aluminium frame single clear glass (U-value:6.44, SHGC:0.75) or better Projection/height above sill ratio >=0.43 Eave to be used as projection
W4	1.200 m	2.500 m	750mm	East	Retreat	Improved aluminium frame single clear glass (U-value:6.44, SHGC:0.75) or better Projection/height above sill ratio >=0.43 Eave to be used as projection
W5	1.200 m	2.950 m	750mm	East	Retreat	Improved aluminium frame single clear glass (U-value:6.44, SHGC:0.75) or better Projection/height above sill ratio >=0.43 Eave to be used as projection
W6	1.200 m	2.600 m	750mm	East	Bed 2	Improved aluminium frame single clear glass (U-value:6.44, SHGC:0.75) or better Projection/height above sill ratio >=0.43 Eave to be used as projection
SOUTH						
W7	0.550 m	2.400 m	none	South	Bed 4	Improved aluminium frame single clear glass (U-value:6.44, SHGC:0.75) or better
WEST						
W8	0.750 m	2.600 m	none	West	Bed 3	Improved aluminium frame single clear glass (U-value:6.44, SHGC:0.75) or better
W9	0.250 m	2.700 m	750mm	West	Bath	Improved aluminium frame single clear glass (U-value:6.44, SHGC:0.75) or better
LOWER						
NORTH						
#	W10	0.750 m	3.500 m	none	North	Kitchen Improved aluminium frame single clear glass (U-value:6.44, SHGC:0.75) or better adjustable awning >=900mm required
EAST						
W11	1.400 m	2.900 m	4580mm	East	Bed 5/Study	Improved aluminium frame single clear glass (U-value:6.44, SHGC:0.75) or better
D12	2.400 m	0.870 m	4580mm	East	Hall	Improved aluminium frame single toned glass (U-value:6.39, SHGC:0.56) or better
W13	1.200 m	0.600 m	4580mm	East	Bath 2	Improved aluminium frame single toned glass (U-value:6.39, SHGC:0.56) or better
W14	2.400 m	5.925 m	4580mm	East	Dining	Improved aluminium frame single clear glass (U-value:6.44, SHGC:0.75) or better
SOUTH						
W15	1.000 m	1.200 m	none	South	En-suite	Improved aluminium frame single toned glass (U-value:6.39, SHGC:0.56) or better
W16	1.400 m	2.800 m	none	South	Bed 5/Study	Improved aluminium frame single clear glass (U-value:6.44, SHGC:0.75) or better
WEST						
#	W17	0.750 m	0.700 m	600mm	West	Pantry Improved aluminium frame single clear glass (U-value:6.44, SHGC:0.75) or better adjustable awning >=900mm required
#	W18	0.750 m	1.250 m	600mm	West	Pantry Improved aluminium frame single clear glass (U-value:6.44, SHGC:0.75) or better adjustable awning >=900mm required
#	W19	0.750 m	3.000 m	600mm	West	Laundry Improved aluminium frame single toned glass (U-value:6.39, SHGC:0.56) or better adjustable awning >=900mm required
ROOF						
	S1	1.15 m	0.60 m	none	Roof	Bath 1 Aluminium moulded plastic Single Clear Glass (U-value:6.21, SHGC: 0.808) or better 1x 0.7m2 max. skylight can be exempt from B.A.S.I.X. requirements.
	S2	0.60 m	1.80 m	none	Roof	Deck skylight not included in BASIX
	S3	0.60 m	1.80 m	none	Roof	Deck skylight not included in BASIX

COLOUR SCHEDULE

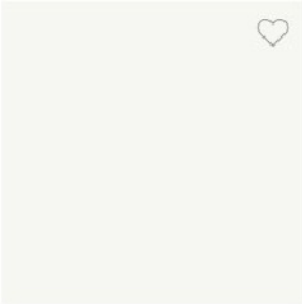
Colour classification in accordance with NSW Basix:
Dark solar absorptance > 0.70
Colour - Monument or similar
Finish: Lysaght custom orb roof sheeting



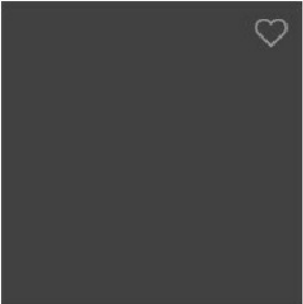
Exterior Wall Material - James Hardie Scyon Linea Weatherboards or similar to match existing.



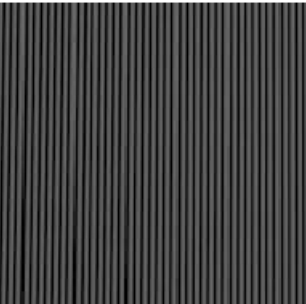
Exterior Wall Colour - Dulux Tranquil Retreat or Similar. Code: SN4G1



Window Trim Colour - Dulux Vivid White or Similar. Code: SW1G1



Roof and Gutter Colour - Colorbond Monument or similar



Roof Material - Lysaght custom orb roof sheeting

WINDOW + DOOR NOTES

All window + door sizes listed include the frame and are nominal sizes for BASIX Certification.

All glazing assemblies are to comply with AS2047 and AS1288

Window load classification to all new windows and glazed doors to be confirmed by the engineer prior to ordering and installation. To be installed in accordance with AS4055-2012.

All external glazing is to have a maximum reflectivity index of 25%.

All Doors and Windows to be keyed alike with deadlocks to all sashes & doors.

Provide weather strips and door seals around openings to prevent drafts.

All new bedroom windows, where the floor level of the room is 2.0m or more above outside finished ground level, must be supplied with either permanently fixed robust mesh screens or permanent window locks which prevent the window from opening more than 125mm, if the lowest openable portion of the window is within 1.7m of the floor, in accordance with BCA requirements, for child safety.

All Bedroom windows facing side boundaries are to be <2m²

Denotes window requiring additional shading device to BASIX certification requirements. Refer to BASIX certificate for details.

BASIX COMMITMENTS

LIGHTING

A minimum of 40% of new or altered light fixtures must be fitted with fluorescent, compact fluorescent or light-emitting diode (LED) lamps.

FIXTURES

Taps: Must have a flow rate no greater than 9 litres per minute or a minimum 3 star water rating.
Toilets: Must have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
Shower heads: Must have a flow rate no greater than 9 litres per minute or a 3 star water rating.
Install aerators on bathroom hand basins & kitchen sinks.

BASIX INSULATION SCHEDULE

CONSTRUCTION	ADDITIONAL INSULATION REQUIRED (R-VALUE)	OTHER SPECIFICATIONS
Suspended floor with enclosed subfloor: framed (R0.7)	R0.60 (down) (or R1.30 including construction)	
Floor above existing dwelling or building.	Nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R3.00 (up), roof: foil/sarking	Dark (solar absorptance > 0.70)



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All Erosion and Sediment Control measures to be inspected and maintained daily by the site manager.

Minimise disturbed areas, remove excess soil from excavated area as soon as possible.

All material stockpile to be clear from drains, gutters and footpaths, or within sediment fence area.

Drainage to be connected to storm water as soon as possible. If stored on site, it must be filtered before releasing into storm water system or waterways.

Roads and footpaths to be swept daily.

All trenches must be filled immediately after services are laid. Excess materials such as cement, water from tool cleaning, paintbrushes and brick and concrete slurry, must not be washed into storm water system. It's against the law to pollute waters with any solid, liquid or gas. Where possible, construct a depression or earth dam below brick, concrete or tile cutting. If this is not possible, pass waste water through a filtration system prior to release.

Vehicular access to the site must be via a single entry point that is stabilised to prevent the tracking of sediment onto the roads and footpath. Soil, earth, mud, clay, concrete washing, paint or similar materials must be removed from the roadway, by means other than washing, on a daily basis.

All stockpiles are to be kept on-site where possible. Any materials placed on the footpaths or nature strips require council's permission.

All stockpiles are to be placed away from the drainage lines and street gutters. It is best to locate these on the highest part of the site if possible. Place waterproof covering over stockpiles.

If required provide diversion drain & bank around stockpiles.

This should be achieved by:

- restrict machinery and vehicle movement to the building footprint and access corridor.
- locating drainage lines close to the building within previously excavated areas
- confine storage areas to previously disturbed parts of the site, away from the drip-line of trees to be retained

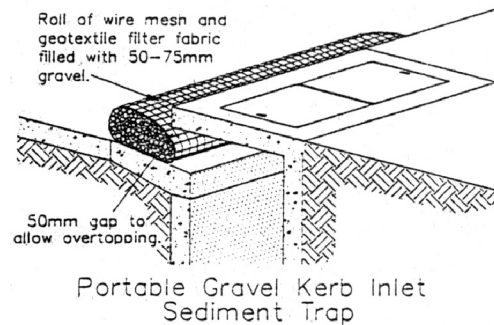
This should be achieved by:

- ordering the right quantities of materials
- prefabrication of materials
- careful consideration of design to reduce the need for off-cuts
- co-ordination and sequencing of various trades

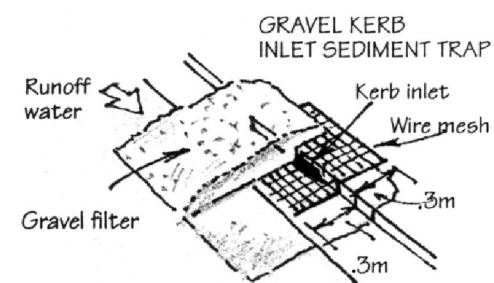
To reduce dust generated by wind action, the removal of the top soil is to be minimised. To prevent dust generation, watering down of the site, especially during the movement of machinery is required.

Where excavating into rock, keep the surface moist to minimise dust. Construct a gravel entry/exit point using blue metal and restrict all vehicle movements within the site to a minimum. Ensure wind breaks, such as existing fences are maintained during the construction phase until new landscaping is provided or reinstated.

Prevent dust by covering stockpiles.

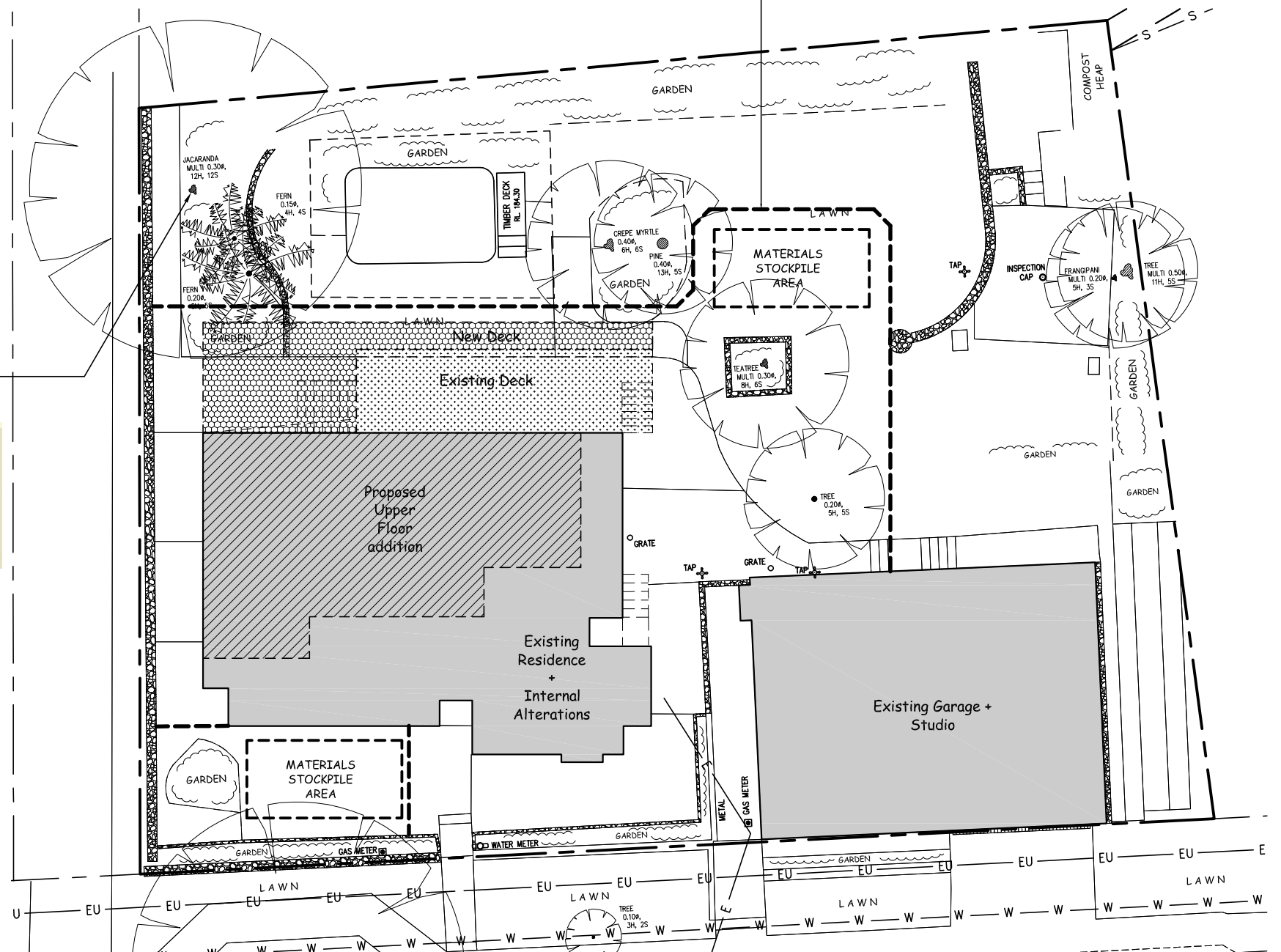
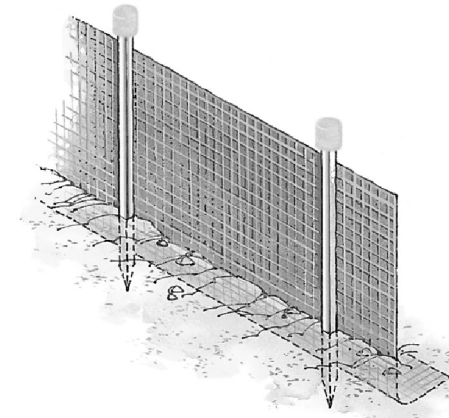
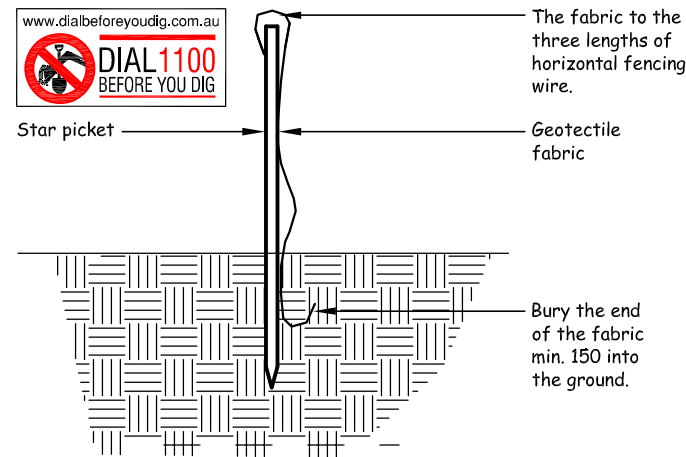


The trap involves a roll of wire mesh and geotextile filter fabric filled with gravel in front of the kerb inlet. It has the benefit of being portable and easily removed for cleaning. Ensure that there is a gap at the top to allow overtopping and prevent flooding.



Provide protection to downhill grate in gutter by means of sand bags or blue metal wrapped in geotextile fabric. When soil or sand builds up around this sediment barrier, the material should be relocated back to the site for disposal.

Border around existing trees as required to ensure no damage.



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