

**14 South Steyne
Manly
NSW 2095**

DA – S4.55

HERITAGE IMPACT STATEMENT

CONTENTS

1. Introduction
2. Heritage Listings and Significance
3. Proposed Changes
4. Heritage Impact of Proposed changes
5. Conclusion

1.0 INTRODUCTION

This Heritage Assessment has been prepared to accompany a S4.55 to a Development Application for the adaptation of 14 South Steyne Manly. The property is owned by Stephen Hayes of 2135b Pittwater Rd Church Point NSW 2105. The Design Architects for the project are U+I Building Studio, PO box 28, Fairlight NSW 2094.

This report has been commissioned by the owner of the property and prepared during March 2022 by:

Dr Anne Warr, Heritage Consultant,
42 Kent Street
Millers Point 2000
mb 0418 619 639
www.annewarr.com.au

2.0 HERITAGE LISTINGS AND SIGNIFICANCE

2.1 Heritage Listings

14 South Steyne is

- Listed as a heritage item under the Manly Local Environment Plan 2013, local heritage item no. 1225.
- Located nearby to a number of heritage-listed items, see figure 41.0 below.
- *Not located* within the Corso Heritage Conservation Area, but is nearby.
- *Not listed* as an item of state heritage significance.

2.2 Statement of Significance updated

The two-storey Federation bungalow shop facing across South Steyne to Manly beach lined with Norfolk Island Pines and one of the heritage-listed Federation public shelters, evokes the era of grand beachside holidays following the turmoil of WW1. The corner shop at 14 South Steyne retains the main elements of its 1920s origins; - complex hipped roof (possibly clad in slates originally with terra cotta ridge tiles), prominent chimney with terra cotta chimney pots intact, timber windows of vertical proportions, cantilevered bay window at first floor sited to catch the sea views and breezes. These are all the elements of Manly's famous casual dining beside the beach, with footpath seating available under a cantilevered awning.

The two-storey scale of the building balances the two-storey scale of the late Victorian house on the opposite corner. Together that provide a transition between the business area of the Corso and the more residential / community facilities of the streets heading east.

3.0 PROPOSED CHANGES

The proposed changes to the approved DA include:

Internally

- Internal changes to the kitchen
- Small office inserted on ground floor

Externally

- Existing window WD06 is retained in the new office
- Doors WD01-05 – the existing highlight windows are retained, and doors replaced like for like.
- New fresh air intake louvre grille to mechanical engineering details in south-west facade
- Roof-top mechanical ventilation equipment revised to suit kitchen exhausts

As shown on plans 1.0 to 13.0 below, as prepared by U+I Building Studio, 14/2/22.

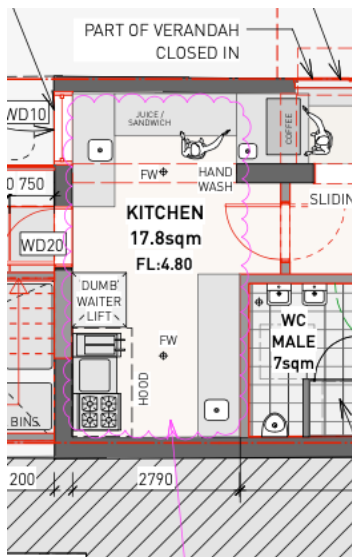


Figure 1.0, Ground Floor Kitchen: Dumb waiter relocated, kitchen equipment layout changed

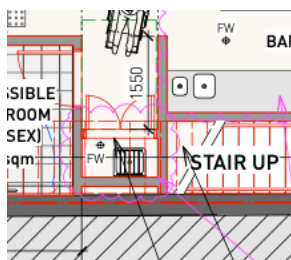


Figure 2.0, Ground Floor: Cleaner's cabinet added below stairs

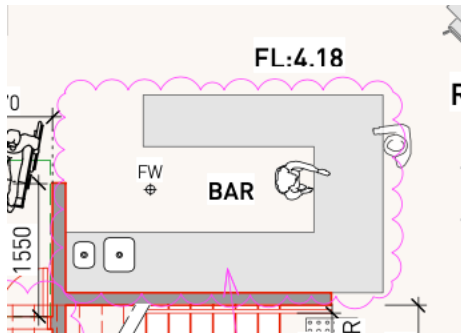


Figure 3.0, Ground Floor: Bar counter size increased

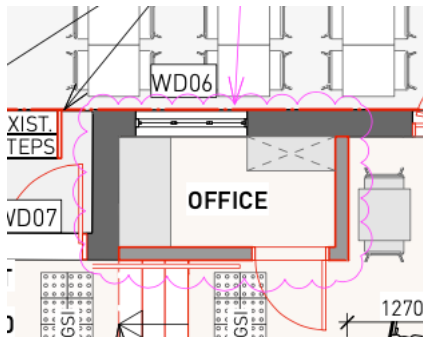


Figure 4.0, Ground Floor: Proposed office with staff lockers. External window W006 to remain

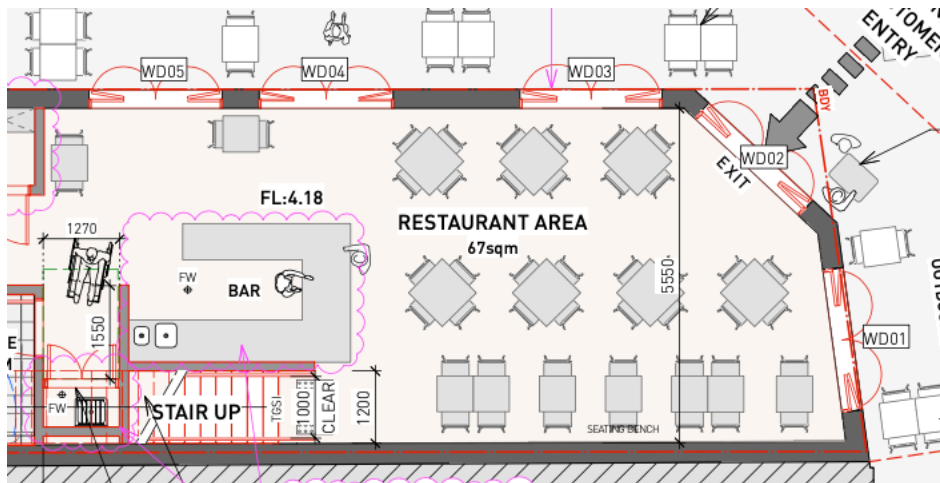


Figure 5.0, Ground Floor: Existing double folding doors WD01-05 to be replaced, like for like, with new timber framed doors. Existing highlight windows above doors to remain, repair as required and paint.

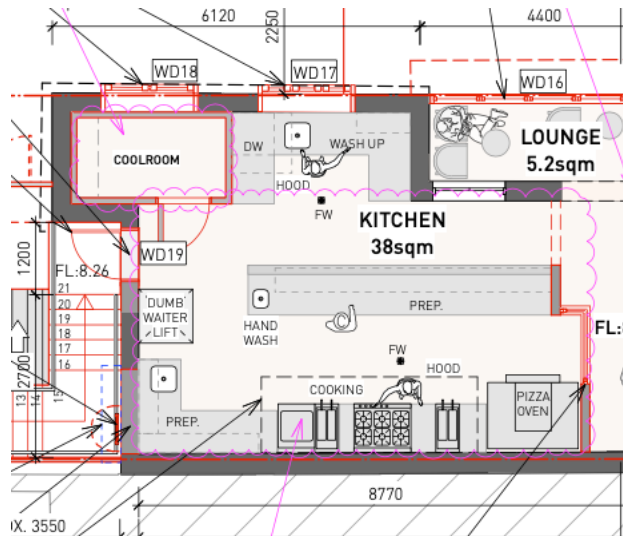


Figure 6.0, First Floor: Existing cool room to be replaced with new cool room. Dumb waiter relocated, kitchen equipment layout changed.

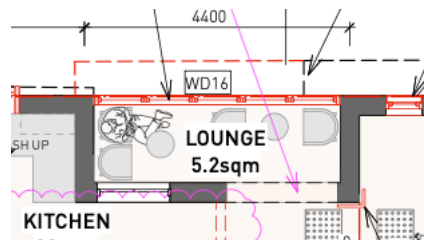


Figure 7.0, First Floor: Existing internal double doors to be removed to lounge area.

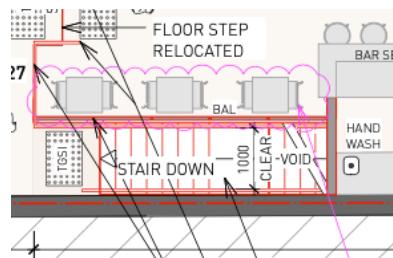


Figure 8.0, First Floor: Fixed bar seating replaced with tables and chairs

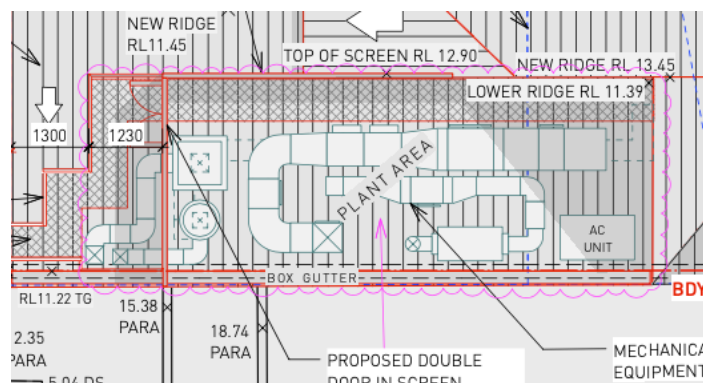


Figure 9.0, Roof Plan: Mechanical ventilation equipment revised to suit kitchen exhausts – to mechanical engineering specifications. All behind acoustic screening.

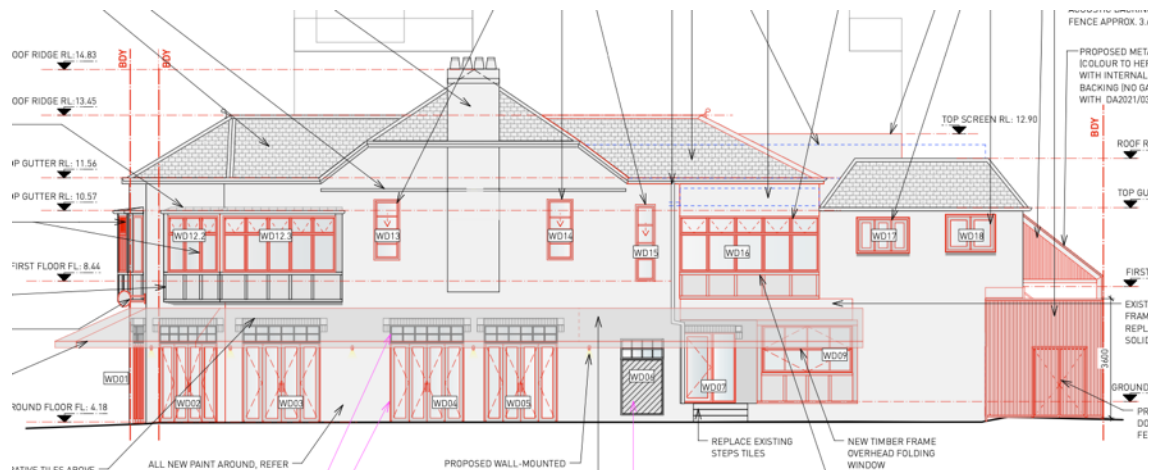


Figure 10.0, Victoria Parade Elevation:

Existing double folding doors WD01-05 to be replaced, like for like, with new timber framed doors. Existing highlight windows above doors to remain, repair as required and paint. Existing timber panel and fixed window to remain, paint finish.

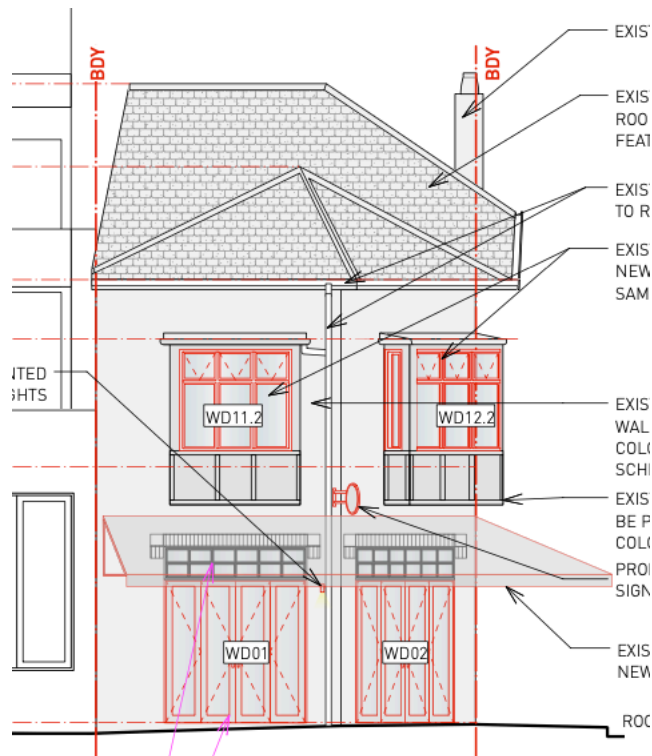


Figure 11.0, South Steyne Elevation

Existing double folding doors WD01-05 to be replaced, like for like, with new timber framed doors. Existing highlight windows above doors to remain, repair as required and paint.

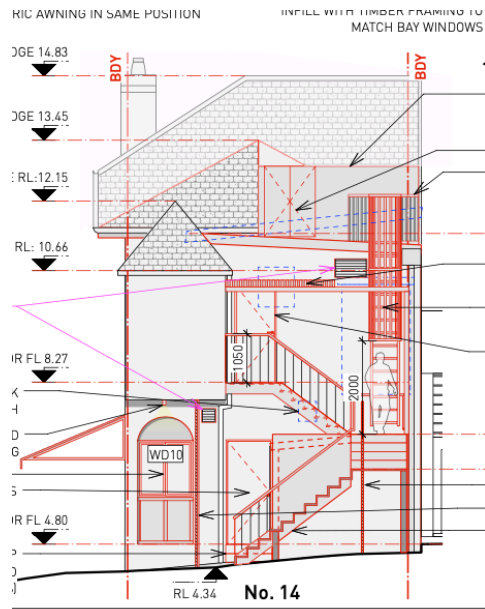


Figure 12.0, South-West Façade: New fresh air intake louvre grilles to mechanical engineering details.

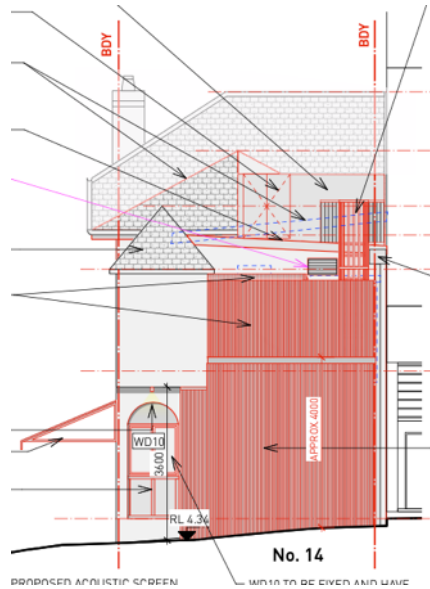
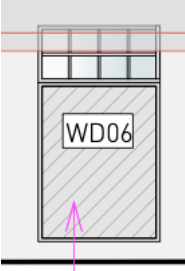



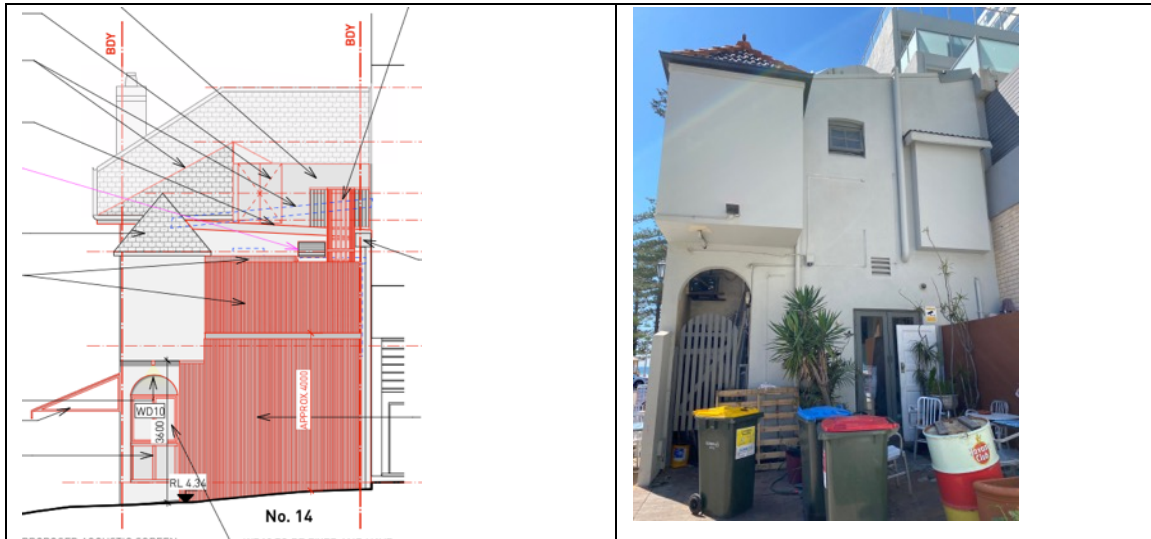


Figure 13.0, South-West Façade: New fresh air intake louvre grille to mechanical engineering details.

4.0 HERITAGE IMPACT OF PROPOSED CHANGES

| Proposed Change | Heritage Impact |
|--|--|
| GROUND FLOOR | |
| Kitchen: Dumb waiter relocated, kitchen equipment layout changed | Nil. This change is to facilitate a more efficient operation of the kitchen and has no effect on any heritage fabric. |
| Cleaner's cabinet added below stairs | Nil. This change has no effect on any heritage fabric. |
| Bar counter size increased | Nil. This change has no effect on any heritage fabric. |
| Proposed office with staff lockers. External window W006 to remain | Nil. This is a positive heritage outcome – preserving original window fenestration pattern, see images below. |

| | |
|---|--|
|  |  |
| <p>Ground Floor: Existing double folding doors WD01-05 to be replaced, like for like, with new timber framed doors. Existing highlight windows above doors to remain, repair as required and paint.</p> | <p>Nil. The double folding doors with fanlights above are integral to the character of the building. The current folding doors are not original, and replacing like for like has no effect on heritage significance. Preserving the fanlights is a positive heritage outcome, see images below.</p> |
|  |  |
| <p>FIRST FLOOR</p> | |
| <p>Existing cool room to be replaced with new cool room. Dumb waiter relocated, kitchen equipment layout changed.</p> | <p>Nil. This change is to facilitate a more efficient operation of the kitchen and has no effect on any heritage fabric.</p> |
| <p>Existing internal double doors to be removed to lounge area.</p> | <p>Nil. Minor change.</p> |
| <p>Fixed bar seating replaced with tables and chairs</p> | <p>Nil. Minor change.</p> |
| <p>ROOF</p> | |
| <p>Mechanical ventilation equipment revised to suit kitchen exhausts – to mechanical engineering specifications. All behind acoustic screening.</p> | <p>Nil. Minor change. Will not affect views to the building.</p> |
| <p>Elevations</p> | |
| <p>South-West Façade: New fresh air intake louvre grilles to mechanical engineering details.</p> | <p>Nil. Minor change, see images below.</p> |



7.0 CONCLUSION

The proposed 4.55 changes to the approved DA for 14 South Steyne are considered to be compatible with the heritage significance of the place for the following reasons:

- The internal changes are minor, are designed to improve efficient operations of the kitchen, and have no impact on any heritage fabric.
- The changes to the exterior are preserving the current form of the shop openings; - double folding timber doors with fanlights above – and one of the original windows.
- The addition of air intake louvres to the south-west façade are very minor and have no heritage impact, as does the revision of roof top mechanical equipment.

Anne Warr

Anne Warr FRAIA PhD MICOMOS
Heritage Architect
28 March 2022.