

STATEMENT OF ENVIRONMENTAL EFFECTS

**FOR THE PROPOSED CONSTRUCTION OF ALTERATIONS AND ADDITIONS
TO AN EXISTING DWELLING INCLUDING NEW CARPORT
AND SWIMMING POOL**

LOCATED AT

3 ARRABRI PLACE, WARRIEWOOD

FOR

ROBERT & BIANCA IPSCWITZ



**Prepared
November 2023**

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1.0 Introduction

This Statement of Environmental Effects accompanies plans prepared on behalf of Mr & Mrs Ipschwitz by Northern Beaches Designs, Project No 2398, Sheets DA1 – DA15, dated 6 November 2023, to detail the proposed construction of alterations and additions to an existing dwelling including new carport and swimming pool at **3 Arrabri Place, Warriewood**.

This Statement describes the subject site and the surrounding area, together with the relevant planning controls and policies relating to the site and the type of development proposed. As a result of this assessment it is concluded that the development of the site in the manner proposed is considered to be acceptable and is worthy of the support of the Council.

In preparation of this document, consideration has been given to the following:

- *The Environmental Planning and Assessment Act, 1979 as amended*
- *The Environmental Planning and Assessment Regulation 2000*
- *State Environmental Planning Policy (Biodiversity and Conservation) 2021*
- *State Environmental Planning Policy (Resilience and Hazards) 2021*
- *State Environmental Planning Policy (Sustainable Buildings) 2022*
- *Pittwater Local Environmental Plan 2014*
- *Pittwater 21 Development Control Plan 2014*

2.0 Property Description

The subject allotment is described as 3 Arrabri Place, Warriewood, being Lot 42 within Deposited Plan 228171. The property is zoned C4 Environmental Living under the Pittwater Local Environmental Plan 2014.

The site does not contain any heritage items; nor is it located within a conservation area. However, the site is within the vicinity of a heritage listed dwelling at No. 66 Elimatta Road (Item No. 2270501) This will be addressed in further detail within this report.

The site is noted as being within Class 5 Acid Sulfate Soils, and this matter will be discussed in further detail within this report.

No further hazards have been identified.

3.0 Site Description

The property is located at the northern end of the Arrabri Place cul-de-sac.

The land is irregular in shape with an arc-shaped front boundary of 9.37m to Arrabri Place. The north-eastern and south-western side boundaries measure 31.09m and 32.81m respectively. The rear, northern boundary measures 11.08m, and the eastern side boundary measures 44.595m. The site has a total area of 985m².

The site falls towards the front boundary to Arrabri Place, with all collected stormwater currently directed to the street gutter.

The site is currently developed with a single storey brick dwelling with a tile roof. A single storey clad granny flat with metal roof is located forward of the dwelling. The site is accessed via a concrete driveway from Arrabri Place to an existing attached garage.

The details of the site are included on the survey plan prepared by Waterview Surveying Services, Drawing No. 1775, Sheet 1 of 1, Revision A, dated 13 September 2023, which accompanies the DA submission.

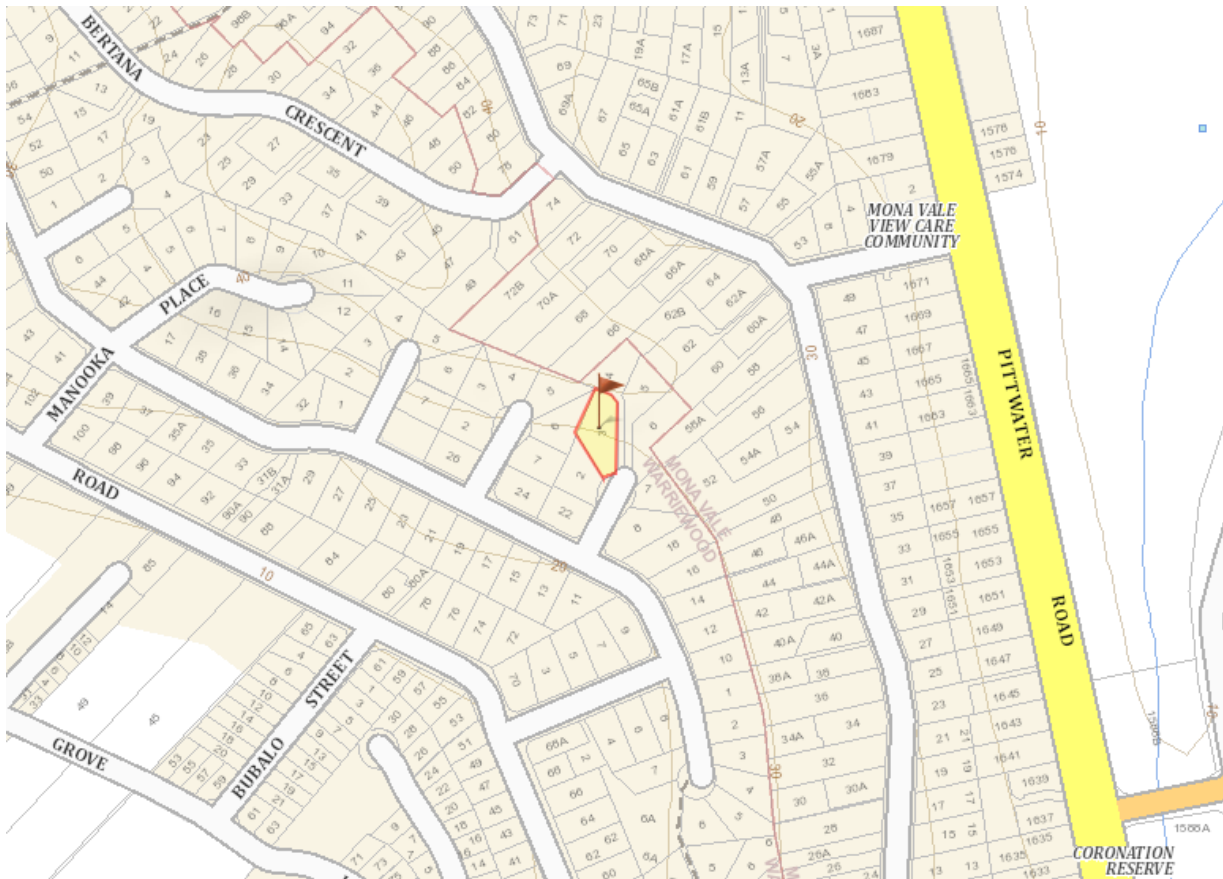


Fig 1: Location of subject site
(Source: Six Maps)



Fig 2: View of the subject site looking north from Arrabri Place



Fig 3: View looking north-west towards adjoining neighbour at No 1 Arrabri Place



Fig 3: View looking north-east towards driveway access to rear properties



Fig 4: View looking north-west towards the location of the proposed double carport adjacent to south-western side boundary



Fig 5: View of side setback from location of proposed carport



Fig 6: View of existing single garage to be converted to a rumpus room



Fig 7: View looking south towards the proposed carport location forward of the dwelling



Fig 8: View of the existing secondary dwelling and pool location (within courtyard enclosed by timber screen), looking south-east



Fig 9: View of the location of the proposed pool, looking east



Fig 10: View looking north-east towards the location of the proposed roof cover the rear patio

4.0 The Surrounding Environment

The general vicinity of the site is characterised by low density residential development of typically one to two storey dwellings of a variety of styles and scales of development.

The surrounding properties comprise a variety of allotment sizes that majority of which are similar size to that of the subject site.

Development comprises a number of original residences with a more recent emergence of larger dwellings and additions.

The site and its neighbours enjoy a district outlook towards Warriewood.

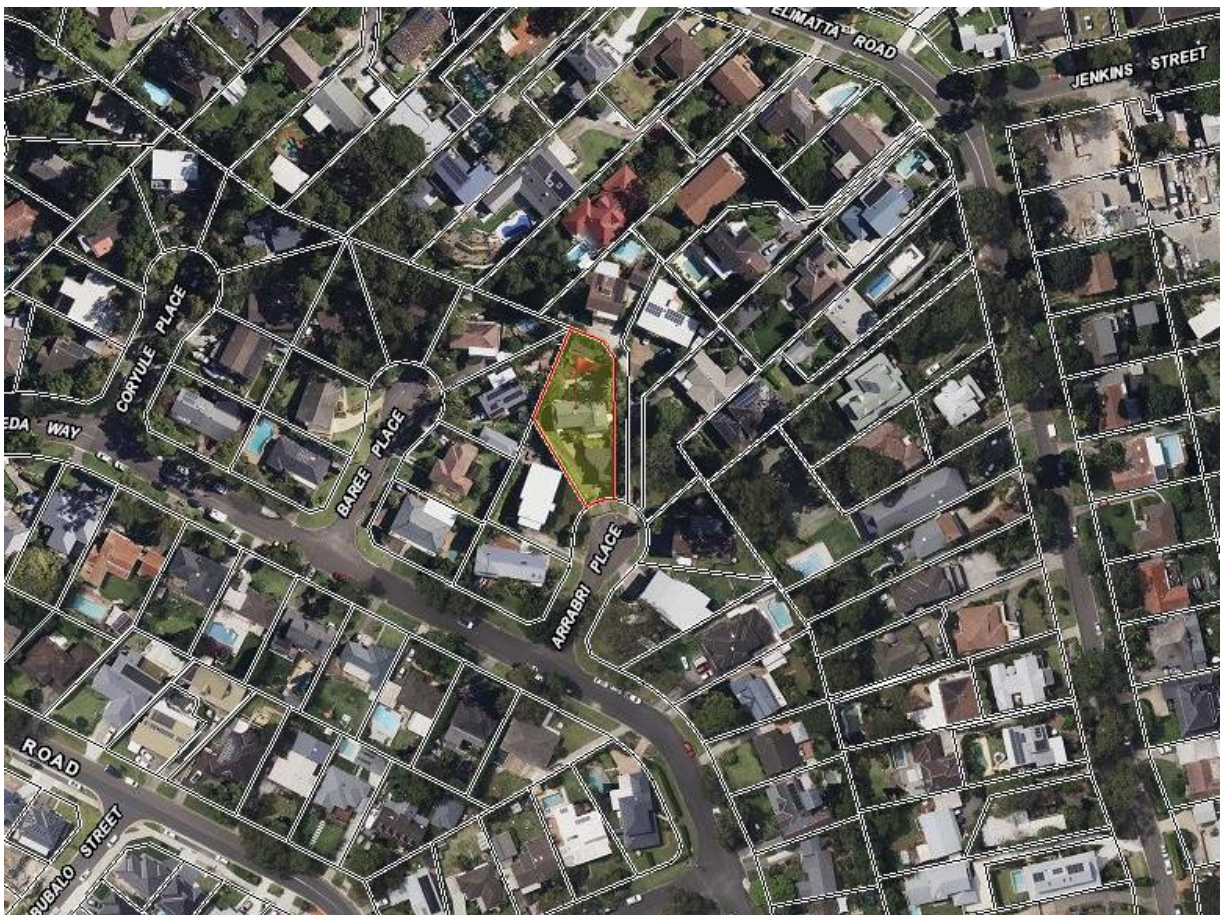


Fig 11: Aerial Photograph of site and locality
(Source: Six Maps)

5.0 Proposed Development

As detailed within the accompanying architectural plans prepared by Northern Beaches Designs, the proposal involves additions and alterations to the existing dwelling.

The proposed works comprise the following:

Ground Floor Level

- Proposed alterations and additions to the existing ground floor to provide for a rumpus room and rear patio
- A new window opening servicing the rumpus room on the northern elevation
- Two new window openings on the southern elevation.
- New glazed door servicing the rumpus room on the western elevation

External

- New roofing
- New roofing over rear patio
- New carport and associated extension of existing driveway
- New swimming pool, spa and decking

The existing development indices for the site are:

Site Area	985m ²
Required Landscaped Area	591m ² or 60%
Proposed Landscaped Area	526.08m ² or 53.41% (inclusive of 6% functional landscaped area – see DCP discussion)

6.0 Zoning and Development Controls

State Environmental Planning Policy (Biodiversity and Conservation) 2021

Chapter 2 – Vegetation in non-rural areas State Environmental Planning Policy (Biodiversity and Conservation) 2021 aims to protect biodiversity values and preserve the amenity of non-rural areas, through the preservation of trees and other vegetation. The development does not propose any tree removal, and therefore remains consistent with the provisions of the SEPP.

6.1 State Environmental Planning Policy (Resilience and Hazards) 2021

Chapter 4 – Site Contamination

SEPP (Resilience and Hazards) 2021 and in particular Clause 4.6(2) suggests that a consent authority must not grant consent to the carrying out of any development on land unless it has considered whether the land is contaminated.

Given the history of residential use of the land, the site is not considered to be subject to contamination and further investigation is not required at this stage.

6.2 State Environmental Planning Policy (Sustainable Buildings) 2022

This SEPP details the provisions pertaining to new housing developments, particularly the retention of existing affordable housing and low cost rental accommodation. The proposal does not involve new development, rather works are centred around the incorporation of alterations and additions along with a new ancillary structure, swimming pool and carport, at the property. In conjunction, the property is privately owned and is to remain an individual residence with the approved secondary dwelling to remain onsite. As such the provisions of BASIX apply to the project.

BASIX

Schedule 2 (for alteration of buildings or development for swimming pools or spas) of the Sustainable Buildings SEPP 2023 requires a BASIX certificate for the alteration and additions to the primary dwelling house. BASIX Certificate (No. A1373970_02) has been submitted with the development application to ensure the proposal meets water, thermal and energy standards required by BASIX. The swimming pool volume less than 40kL (14kL) and therefore a BASIX certificate is not required to be submitted for the swimming pool.

6.3 Pittwater Local Environmental Plan 2014

The site is zoned C4 Environmental Living under the provisions of the PLEP 2014.



Fig 12: Extract from Pittwater LEP 2014 Zoning Map

The development of and use of the land for residential purposes within the C4 Environmental Living Zone is consistent with the zone objectives, which are noted as:

- *To provide for low-impact residential development in areas with special ecological, scientific or aesthetic values.*
- *To ensure that residential development does not have an adverse effect on those values.*
- *To provide for residential development of a low density and scale integrated with the landform and landscape.*
- *To encourage development that retains and enhances riparian and foreshore vegetation and wildlife corridors.*

It is considered that the proposed new works will be consistent with the desired future character of the surrounding locality for the following reasons:

- The proposal will be consistent with and complement the existing detached style housing within the locality.
- The proposed development respects the scale and form of other new development in the vicinity and therefore complements the locality.
- The setbacks maintain compatibility with the existing surrounding development.
- The site is utilised as housing and will continue to maintain the residential use.
- The development will maintain an appropriate level of amenity to the adjoining properties.

- The proposal does not have any significant impact on long distance views for the neighbouring properties and does not unreasonably obstruct any significant views from the public domain.
- As detailed in this report, the proposal maintains appropriate solar access to the surrounding properties.

Clause 4.3 – Height of buildings

The maximum building height in this portion of Warriewood is 8.5m. The dwelling house maintains the existing height of RL38.19. The proposed new works will result in a maximum building height of approximately 3.0m for the carport and 3.87m for the rear roofing over the patio which complies with the control.

Clause 5.10 – Heritage Conservation

The site is within the vicinity of a heritage listed dwelling at No. 66 Elimatta Road (Item No. 2270501). The proposed alterations and additions are modest in bulk and scale and being sited largely within the front portion of the site, will not be prominently visible from the heritage item.

Accordingly, the proposed development is not considered to have any impact on the significance of the heritage item and therefore satisfies the provisions of this clause.

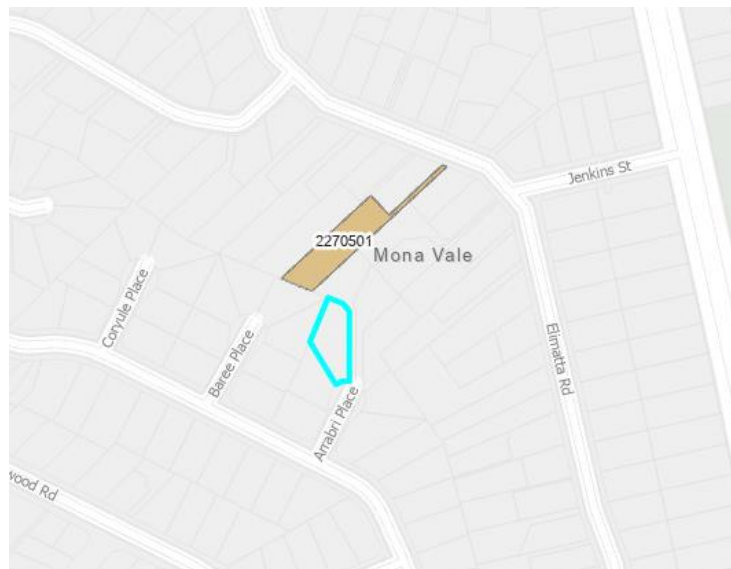


Fig 13: Extract from Pittwater LEP 2014 Heritage Map

Clause 7.1 – Acid sulfate soils

The site is identified within the Class 5 Acid Sulfate Soils area. The proposal will see minor excavation of the site to allow for the construction of the swimming pool and it is not anticipated that acid sulphate soils will be encountered.

Clause 7.2 – Earthworks

The proposal will not require any substantial excavation of the site. The works will be overseen by a structural engineer as required.

Clause 7.10 – Essential services

Development consent must not be granted to development unless the consent authority is satisfied that any of the following services that are essential for the development are available or that adequate arrangements have been made to make them available when required:

- *the supply of water,*
- *the supply of electricity,*
- *the disposal and management of sewage,*
- *stormwater drainage or on-site conservation,*
- *suitable vehicular access.*

The site will retain the normal services which are available for the existing dwelling.

There are no other clauses of the PLEP 2014 that are considered to be relevant to the proposed development.

6.4 Pittwater 21 Development Control Plan

Council's Pittwater 21 DCP Section B (General Controls), Section C (Development Controls) and Section D14 Warriewood Locality Statement provides a range of outcomes and controls which form the primary criteria for the control for development within the subject locality.

D14 Warriewood Locality

Desired Character

The Warriewood locality will remain characterised by a mix of residential, retail, commercial, industrial, recreational, and educational land uses.

Existing residential areas will remain primarily low-density with dwelling houses a maximum of two storeys in any one place in a landscaped setting, integrated with the landform and landscape. Secondary dwellings can be established in conjunction with another dwelling to encourage additional opportunities for more compact and affordable housing with minimal environmental impact in appropriate locations. Any dual occupancies (detached) will be located on the valley floor and lower slopes that have less tree canopy coverage, species and habitat diversity and fewer other constraints to development. Any medium density housing will be located within and around commercial centres, public transport and community facilities.

Warriewood Square will meet the retail needs of the local and regional community as well as some smaller neighbourhood centres.

Future development will maintain a building height limit below the tree canopy and minimise bulk and scale. Existing and new native vegetation, including canopy trees, will be integrated with the development. Contemporary buildings will utilise facade modulation and/or incorporate shade elements, such as pergolas, verandahs and the like. Building colours and materials will harmonise with the natural environment. Development on slopes will be stepped down or along the slope to integrate with the landform and landscape, and minimise site disturbance. Development will be designed to be safe from hazards.

It is considered that the proposal is consistent with the desired character of the locality by providing for alterations and additions which are consistent with the scale and style of the newer development in the vicinity.

The proposed development will continue to display the appearance of a detached-style dwelling house in a natural landscaped setting, integrated with the landform and landscape. The proposal has been designed to reflect the existing setbacks provided to all boundaries existing in the immediate area.

The proposal will not see the removal of any significant protected vegetation and will maintain a generous area of soft landscaping over the steeply sloping site.

The works will be finished in a range of textures and high end finishes which will complement the existing surrounding development and harmonise with the landscape setting of the locality.

Therefore, it can be said that the proposed development has been designed to minimise bulk and scale, and lessen the visual impact of the proposed development as viewed from Arrabri streetscape, or adjoining properties with the proposal reflecting the predominant character of residential development in the area.

6.4.1 Section B General Controls

The General Controls applicable to the proposed alterations and additions are summarised as:

B1.2 Heritage Conservation - Development in the vicinity of heritage items, heritage conservation areas, archaeological sites or potential archaeological sites

The controls seek to achieve the outcomes:

Conservation of the environmental heritage of Pittwater LGA in accordance with the principles contained in the Burra Charter.

Enhancement of the identified heritage values and significant character of the heritage conservation areas and encourage contemporary design that responds appropriately to their character.

Development respectful of environmental heritage, undertaken in a manner that is sympathetic to, and does not detract from, any heritage significance.

The site is within the vicinity of a heritage listed dwelling at No. 66 Elimatta Road (Item No. 2270501). The proposed new carport and swimming pool are modest in bulk and scale, and being largely sited within the front portion of the site, and low to the ground will not be prominently visible from the heritage item. Accordingly, the proposed development is not considered to have any impact on the significance of the heritage item and therefore satisfies the provisions of this clause.

B4.5 Landscape and Flora and Fauna Enhancement Category 3 Land

The controls seek to achieve the outcomes:

The long-term viability and enhancement of locally native flora and fauna and their habitats. (En)

The proposal will not see the removal of any significant vegetation and will maintain reasonable areas of soft landscaping on the site.

B5.7 On-Site Stormwater Detention

The controls seek to achieve the outcomes:

Rates of stormwater discharged into receiving environment maintained or reduced. (Ec, S)

There is no change to the existing stormwater management system.

B5.8 Stormwater Management – Water Quality – Low Density Residential

The controls seek to achieve the outcomes:

No increase in pollutants discharged with stormwater into the environment. (En)
Development is compatible with Water Sensitive Urban Design principles. (En)

Roofwater from the roof areas will be connected to the existing stormwater system which directs stormwater to the street gutter.

B5.10 Stormwater Discharge into Public Drainage System

The controls seek to achieve the outcomes:

All new development is to have no adverse environmental impact at the discharge location. (En, S)

The existing and proposed roofed and paved areas of the site will continue to be directed to the existing street gutter.

B6.2 Internal Driveways

The controls seek to achieve the outcomes:

Safe and convenient access.
Reduce visual impact of driveways.
Pedestrian safety.
An effective road drainage system.
Maximise the retention of trees and native vegetation.
Reduce contaminate run-off from driveways.

The proposal will retain the existing driveway crossing and layback. The internal driveway is to be widened to allow sufficient and safe access to the new double carport.

B6.5 Off-Street Vehicle Parking Requirements – Low Density Residential

This control seeks to achieve the outcome:

Safe and convenient parking. (S)

Large dwellings require the provision of 2 spaces on site. For a secondary dwelling a minimum of 1 space is required in addition to the existing requirement for the principal dwelling.

There is no change to the previously approved car parking arrangement onsite.

Two car spaces for the principal dwelling are provided within the proposed carport, with no addition car parking space allocated for the secondary dwelling, consistent with the secondary

dwelling house approval.

Given Arrabri Place is a quiet cul-de-sac with street parking readily available, the existing provision of parking is considered acceptable.

B8.1 Construction & Demolition – Excavation and Landfill

The controls seek to achieve the outcomes:

Site disturbance is minimised. (En)

Excavation and construction not to have an adverse impact. (En)

Excavation operations not to cause damage on the development or adjoining property. (S)

The proposed construction of alterations and additions does not require any substantial cut or fill. The works will be overseen by a structural engineer as required.

B8.2 Construction & Demolition – Erosion and Sediment Management

The controls seek to achieve the outcomes:

Waterways, coastal areas, watercourses, drainage systems and the public domain are protected from the transportation of sedimentation from development sites. (En)

Reduction of waste throughout all phases of development. (En)

Public safety is ensured. (S)

Protection of the public domain. (S, En)

As required, appropriate sedimentation controls will be implemented throughout construction to prevent transportation of sediment to adjoining properties. The existing site landscaping will prevent ongoing erosion.

6.4.2 Section C Development Type Controls

The Development Controls applicable to the proposed development and are summarised over as:

C1.1 Landscaping

The controls seek to achieve the outcome:

A built form softened and complemented by landscaping. (En)

Landscaping reflects the scale and form of development. (En)

Retention of canopy trees by encouraging the use of pier and beam footings. (En)

Development results in retention of existing native vegetation. (En)

Landscaping results in the long-term retention of Pittwater's locally native tree canopy. (En)

Landscaping retains and enhances Pittwater's biodiversity by using locally native plant species (En)

Landscaping enhances habitat and amenity value. (En, S)

Landscaping results in reduced risk of landslip. (En, Ec)

Landscaping results in low watering requirement. (En)

The site will continue to provide for a significant area of soft landscaping within the front, side and rear yards. The existing landscaping has been retained and will soften and filter the built form. The proposal will be sufficiently softened by the existing landscaped setting and retain the natural vegetated context in which the site is located.

The site's boundaries are capable of accommodating further supplementary planting as required.

C1.2 Safety and Security

The controls seek to achieve the outcomes:

On-going safety and security of the Pittwater community. (S)

Opportunities for vandalism are minimised. (S, Ec)

Inform applicants of Council's requirements for crime and safety management for new development. (S)

Improve community awareness in relation to Crime Prevention through Environmental Design (CPTED), its principle strategies and legislative requirements (S)

Identify crime and safety priority areas in Pittwater LGA (S, Ec)

Improve community safety and reduce the fear of crime in the Pittwater LGA (S)

Develop and sustain partnerships with key stakeholders in the local area who are involved in community safety. (S)

The proposed alterations and additions will retain the opportunity for casual surveillance to the street area and the entry. It is considered that the proposal complies with this clause.

C1.3 View Sharing

The controls seek to achieve the outcomes:

A reasonable sharing of views amongst dwellings. (S)

Views and vistas from roads and public places to water, headland, beach and/or bush

Views are to be protected, maintained and where possible, enhanced. (S)

Canopy trees take priority over views. (En, S)

The subject and adjoining properties currently enjoy district views to the Warriwood locality.

As the works are sited adjoining the existing dwelling house, while displaying a minimal building height of up to 3.0m for the carport and 3.87m for the rear roofing over the existing patio within the rear yard, meaning no neighbours views are affected.

C1.4 Solar Access

The controls seek to achieve the outcomes:

Residential development is sited and designed to maximise solar access during mid-winter. (En)

A reasonable level of solar access is maintained to existing residential properties, unhindered by adjoining development. (En)

Reduce usage and/dependence for artificial lighting. (En)

The required controls to achieve the outcomes are to ensure that private open spaces of the subject and adjoining dwellings maintain a minimum of 3 hours of solar access in mid-winter.

The proposed works to the dwelling house and addition of new carport will not impact solar access to the primary living spaces or private open space areas of any neighbouring properties.

The location of the new elevated swimming pool and the minor height of the works above ground level (i.e., up to 1.04m) do not unreasonably impact solar access and equitable solar access is maintained, and in accordance with Council's minimum standards.

It is considered that the development will achieve the outcomes of the clause.

C1.5 Visual Privacy

The controls seek to achieve the outcomes:

Habitable rooms and outdoor living areas of dwellings optimise visual privacy through good design. (S)

A sense of territory and safety is provided for residents. (S)

The required controls to achieve the outcomes are to ensure that the private open space, recreation areas and living rooms within 9m of a development are suitably protected to limit the effects of direct overlooking.

The new window and door openings on the northern, eastern and southern elevation of the dwelling house are not orientated towards neighbouring windows, and sufficient setbacks, boundary fencing and landscaping mean there is no ability for potential unreasonable overlooking to the neighbouring sites.

The proposed swimming pool and spa are well set back from side boundaries with privacy screening ensuring there is no adverse privacy impacts for neighbouring properties.

The existing levels of amenity enjoyed by the neighbours will be largely maintained.

The proposal is not considered to compromise the privacy of occupants of the subject site or neighbouring dwellings, and therefore is worthy of Council's support.

C1.6 Acoustic Privacy

The controls seek to achieve the outcomes:

Noise is substantially contained within each dwelling and noise from any communal or recreation areas are limited. (S)

Noise is not to be offensive as defined by the Protection of the Environment Operations Act 1997, including noise from plant, equipment and communal or recreation areas (S)

The required controls to achieve the outcomes are to ensure that noise sensitive living areas and bedrooms are located away from major noise sources.

The required controls to achieve the outcomes are to ensure that noise sensitive living areas and bedrooms are located away from major noise sources.

The proposed pool filter equipment will be located along the eastern boundary adjoining the dwelling house and contained within a soundproof enclosure to reduce acoustic impact.

Given the residential nature of the works, there will not be any significant impact on the surrounding locality in terms of acoustic privacy.

C1.7 Private Open Space

The controls seek to achieve the outcomes:

Dwellings are provided with a private, usable and well-located area of private open space for the use and enjoyment of the occupants. (S)

Private open space is integrated with, and directly accessible from, the living areas of dwellings. (S)

Private open space receives sufficient solar access and privacy (En, S).

The required controls to achieve the outcomes are to ensure that dwelling is provided with suitable private open space, with an area and at a grade which will facilitate outdoor private recreation.

The proposal retains suitable areas of private open space, which are further supplemented by the proposed roofing over the existing patio from the lounge dining area. Sufficient private open space is maintained for both the occupants of the principal and secondary dwellings.

C1.12 Waste and Recycling Facilities

The controls seek to achieve the outcomes:

Waste facilities are accessible and convenient, and integrate with the development. (En)

Waste facilities are located such that they do not adversely impact upon amenity of the land adjoining development or natural environment. (En, S)

The required controls to achieve the outcomes are to ensure that adequate area remains for the storage of waste and recyclable materials. Adequate space is available for the on-site storage of waste and recyclables, with the waste removed by Council contractors via the household garbage service.

C1.17 Swimming Pool Safety

The control seek to achieve the outcomes:

The promotion of personal safety. (S)

Compliance with Swimming Pools Act 1992 and Regulations (En, S)

The pool will be separated from the dwelling by a 1.2m isolation fence. The fence and barriers to the pool will comply with the Swimming Pools Act 1992 & Regulations and are to be constructed in accordance with AS 1926.1-1993 "Fencing for Swimming Pools."

6.4.3 Section D Locality Specific Development Controls

The **D14 Warriewood Locality Statement** contains a number of outcomes for development. The proposal has been assessed in regard to the Locality Statement.

In support of the proposal, it is considered that this proposal is well designed, comprehensive and consistent with the community's vision for development in Pittwater in that it is:

- Proposing a form of development which is compatible with the existing residential character of the area by maintaining an appropriate development scale which is compatible with the vicinity.
- The proposal maintains existing views and amenity to adjoining properties.
- The proposal will not result in additional run-off to adjoining properties or public spaces.
- The development will not place additional demands on local infrastructure or on the sewage disposal system for the site.

A summary of the DCP controls for the **D14 Warriewood Locality** is provided below:

D14.1 Character as Viewed from a Public Place

The control seeks to achieve the outcomes:

To achieve the desired future character of the Locality.

To ensure new development responds to, reinforces and sensitively relates to the spatial characteristics of the existing built and natural environment. (En, S, Ec)

To enhance the existing streetscapes and promote a scale and density that is in scale with the height of the natural environment.

The visual impact of the built form is secondary to landscaping and vegetation, or in commercial areas and the like, is softened by landscaping and vegetation. (En, S, Ec)

High quality buildings designed and built for the natural context and any natural hazards. (En, S)

Buildings do not dominate the streetscape and are at 'human scale'. Within residential areas, buildings give the appearance of being two-storey maximum. (S)

To preserve and enhance district and local views which reinforce and protect the Pittwater's natural context.

To enhance the bushland vista of Pittwater as the predominant feature of the landscape with built form, including parking structures, being a secondary component.

To ensure that development adjacent to public domain elements such as waterways, streets, parks, bushland reserves and other public open spaces, compliments the landscape character, public use and enjoyment of that land. (En, S)

The required controls to achieve the outcomes are to ensure that the building maintains a compatibility with the locality through appropriate design relief including roof forms textures, materials, the arrangement of windows, modulation of wall and roof planes, spatial separation, landscaping etc.

The carport displays an appropriate setback to the street which is compatible with the existing surrounding development and also allows for the retention of generous areas of landscaping. The development is well articulated through the use of varied setbacks, open style design for the carport and glazing elements.

The proposal will not require the removal of any significant vegetation to accommodate the new works. The proposal will retain a generous area of soft landscaping.

It is therefore considered that the proposal will achieve the desired future character of the locality.

D14.2 Scenic Protection – General

The control seeks to achieve the outcomes:

Achieve the desired future character of the Locality.

Bushland landscape is the predominant feature of Pittwater with the built form being the secondary component of the visual catchment. (En, S)

Preservation of the visual significance of the Ingleside/Warriewood Escarpment. (En, S)

The modest bulk and scale of the proposed alterations and additions will ensure that it will not be prominently visible within the streetscape. The carport is setback well back into the site and is consistent with other open style carports within the locality. The new swimming pool is setback from the streetscape and shielded by the existing secondary dwelling, and established privacy screening.

When viewed from the public road, the proposal presents as a single dwelling which is compatible with development in the locality.

D14.3 Building Colours, Materials and Construction

The controls seek to achieve the outcomes:

Achieve the desired future character of the Locality.

The development enhances the visual quality and identity of the streetscape. (S)

To provide attractive building facades which establish identity and contribute to the streetscape.

To ensure building colours and materials compliments and enhances the visual character its location with the natural landscapes of Pittwater.

The colours and materials of the development harmonise with the natural environment. (En, S)

The visual prominence of the development is minimised. (S)

Damage to existing native vegetation and habitat is minimised. (En)

The required controls to achieve the outcomes are to ensure that the external colours and materials shall be dark and earthy tones as indicated within the DCP.

It is considered that the development is appropriate as the proposal will utilise the finishes and colours which are mid-tone and natural colours which will complement the existing development on site and the wider locality.

D14.7 Front Building Line

The controls seek to achieve the outcomes:

Achieve the desired future character of the Locality. (S)

Equitable preservation of views and vistas to and/or from public/private places. (S)

The amenity of residential development adjoining a main road is maintained. (S)

Vegetation is retained and enhanced to visually reduce the built form. (En)

Vehicle manoeuvring in a forward direction is facilitated. (S)

To preserve and enhance the rural and bushland character of the escarpment and locality. (En, S)

To enhance the existing streetscapes and promote and scale and density that is in keeping with the height of the natural environment.

To encourage attractive street frontages and improve pedestrian amenity.

To ensure new development responds to, reinforces and sensitively relates to the spatial characteristics of the existing urban environment

The site is subject to a minimum front setback of 6.5m.

The minimum proposed setback of the alterations and additions is 16.150m, which complies with this control. A suitable area for soft landscaping and further screen planting if required, will be retained within the front setback and surrounding the proposed swimming pool.

D14.8 Side and rear building line

The controls seek to achieve the outcomes:

To achieve the desired future character of the Locality. (S)

The bulk and scale of the built form is minimised. (En, S)

Equitable preservation of views and vistas to and/or from public/private places. (S)

To encourage view sharing through complimentary siting of buildings, responsive design and well-positioned landscaping.

To ensure a reasonable level of privacy, amenity and solar access is provided within the development site and maintained to residential properties. (En, S)

Substantial landscaping, a mature tree canopy and an attractive streetscape. (En, S)

Flexibility in the siting of buildings and access. (En, S)

Vegetation is retained and enhanced to visually reduce the built form. (En)

To preserve and enhance the rural and bushland character of the locality. (En, S)

To ensure a landscaped buffer between commercial and residential zones is established.

The relevant controls to achieve this outcome are to maintain a minimum side boundary setback of 2.5m for at least one side and a minimum 1.0m setback for the other side. A setback of 6.5m to the rear boundary is also required by this clause.

The double carport proposes a side setback of 0.920m on the western side (to the supporting posts of the carport) see **Figure 1**. The non-compliance with the required 1.0m setback is minor at 0.071m.



Figure 1 Side setback to the open style carport

The proposed development is considered to be an appropriate design solution having regard to the constraints of the site, including the irregular shape, location of existing structures, the slope of the site and the existing access arrangements.

As the carport is open on all sides it will not significantly add to visual bulk on the site. The roof pitch is consistent with the design of the existing dwelling and will provide a positive addition to the site.

Vegetation along the boundary is to be retained, and along with boundary fencing ensure the proposed new works to the eastern side setback do not result in any unreasonable adverse impacts for neighbouring properties in terms of solar access, views, privacy or general amenity.

Further, no significant vegetation removal is required to facilitate the works, therefore the development is considered to respond to, reinforce and sensitively relate to the spatial characteristics of the existing built and natural environment.

The rear roofing over the existing patio provides a non-compliant rear setback of 3.25m, see **Figure 2**.

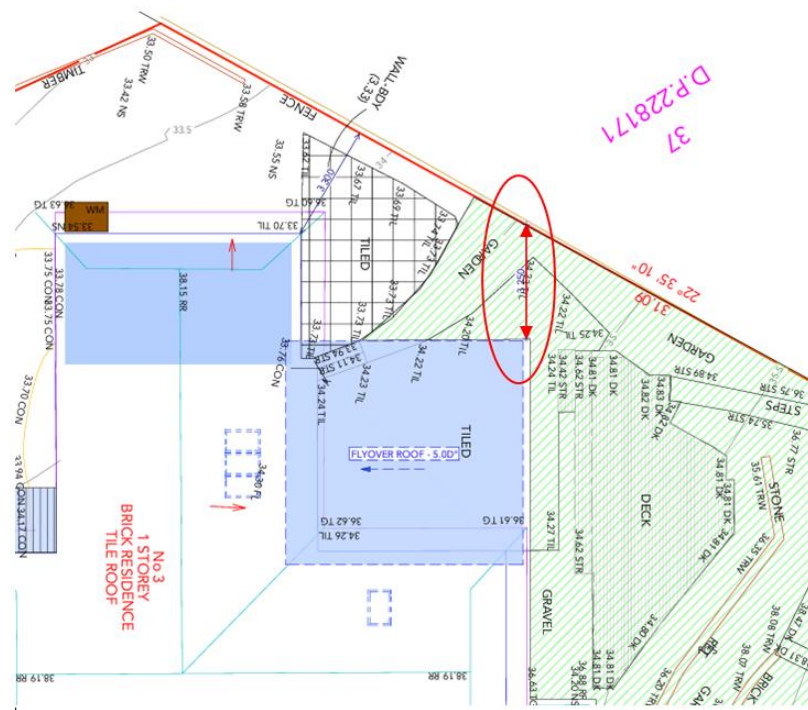


Figure 2 Rear setback to the patio roof

However, the rear setback mimics the existing setback to the rear patio area and is a direct result of the irregular shaped site. The proposed roof over the patio area is compatible with the appearance of the existing dwelling and presents visual continuity when viewed from neighbouring properties. Given that it is an open sided, the visual impact is considered to be minimal.

The design of the proposed patio roofing will provide an aesthetically pleasing addition to the site whilst providing increased amenity for the occupants and their guests.

The proposal is in keeping with the desired outcomes of this clause and is worthy of support on merit.

D14.11 Building Envelope

The controls seek to achieve the outcomes:

To achieve the desired future character of the Locality. (S)

To enhance the existing streetscapes and promote a building scale and density that is below the height of the trees of the natural environment.

To ensure new development responds to, reinforces and sensitively relates to spatial characteristics of the existing natural environment.

The bulk and scale of the built form is minimised. (En, S)

Equitable preservation of views and vistas to and/or from public/private places. (S)

To ensure a reasonable level of privacy, amenity and solar access is provided within the development site and maintained to residential properties. (En, S)

Vegetation is retained and enhanced to visually reduce the built form. (En)

The required controls to achieve the outcomes are to maintain the development within a height envelope which provides for a height of 3.5m with an angle projected at 45°.

Given the modest height of the proposed alterations and additions, the proposal complies with the building envelope control.

D14.13 Landscaped Area – Environmentally Sensitive Land

The controls seek to achieve the outcomes:

Achieve the desired future character of the Locality. (S)

The bulk and scale of the built form is minimised. (En, S)

A reasonable level of amenity and solar access is provided and maintained. (En, S)

Vegetation is retained and enhanced to visually reduce the built form. (En)

Conservation of natural vegetation and biodiversity. (En)

Stormwater runoff is reduced, preventing soil erosion and siltation of natural drainage channels. (En)

To preserve and enhance the rural and bushland character of the area. (En, S)

Soft surface is maximised to provide for infiltration of water to the water table, minimise run-off and assist with stormwater management. (En, S)

The required controls require a minimum landscaped area of 60%. The proposal sees the retention of 526.08m² or 53.41% as soft landscaped area, including the permitted 6% concession for functional outdoor area.

While the landscape area displays a minor non-compliance with the control, the proposed works are minimal in nature and at ground level. The built form of the proposed development is well articulated, and with an open style carport, such that the bulk and scale of the development is appropriately minimised.

The existing established trees and landscaping are to be retained to preserve the bushland character of the area.

The landscaped area non-compliance does not attribute to any unreasonable impacts upon adjoining properties or impinge upon the amenity of the dwelling for the occupants. The proposed development is adequately designed in order to retain a reasonable level of privacy and solar access to the subject site and adjacent sites.

The proposed works are of reasonable dimensions, given the context of the site, and is supported by approved stormwater management arrangements. The proposal is not anticipated to unreasonably impact on runoff, erosion or siltation.

The proposed alterations and additions maintain a bulk and scale appropriate to the site, and in keeping with the desired future character of the Warriewood locality.

The proposed new works are in keeping with the objectives of this control, and the proposal is therefore worthy of support.

7.0 Matters for Consideration under Section 4.15 of The Environmental Planning and Assessment Act, 1979

7.1 The provisions of any environmental planning instrument

The proposal is subject to the provisions of the Pittwater Local Environmental Plan 2014 and the relevant supporting Council policies. It is considered that the provisions of this environmental planning instrument have been satisfactorily addressed within this report and that the proposal achieves compliance with its provisions.

There are no other environmental planning instruments applying to the site.

7.2 Any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and

There are no draft instruments applying to the land.

7.3 Any development control plan

The development has been designed to comply with the requirements of Council's Pittwater 21 Development Control Plan 2014.

The application has been prepared having regard to the requirements of Section B, Section C and Section D of the Pittwater 21 DCP.

It is considered that the proposed design respects the desired character objectives of the DCP in that it reinforces the existing rural and bushland character of the area and is compatible with the existing uses in the vicinity.

7.4 Any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4, and

No matters of relevance are raised in regard to the proposed development.

7.5 The regulations (to the extent that they prescribe matters for the purposes of this paragraph),

No matters of relevance are raised in regard to the proposed development.

7.6 The likely impacts of that development, including environmental impacts on both the natural and built environments, and the social and economic impacts in the locality.

It is considered that the proposal, which seeks consent for the construction of alterations and additions including a new carport and swimming pool, which will not unreasonably impact upon the

amenity of adjoining properties or upon the character of the surrounding area. It is considered that the resultant development is compatible with and will complement the character of the area.

The proposal is considered to be well designed having regard to the relevant provisions of the Council's PLEP 2014 and Council's Codes and Policies, in particular the Pittwater 21 DCP and the Warriewood Locality Statement.

7.7 The suitability of the site for the development

The subject land is currently zoned C4 Environmental Living under the Pittwater Local Environmental Plan 2014 and is considered suitable for the proposed development and is permissible under the provisions of the LEP.

7.8 Submissions made in accordance with this Act or the regulations

This is a matter for Council in the consideration of this proposal.

7.9 The public interest

The proposal will not impact upon the environment, the character of the locality or upon the amenity of adjoining properties and is therefore considered to be within the public interest.

8.0 Conclusion

The principal objective of this development is to provide for construction of a construction of alterations and additions including a new carport and swimming pool, to enhance the amenity of the property without impacting on the adjoining property.

The proposal is a site-specific design response which takes advantage of the properties superior locational attributes whilst respecting the environmental characteristics of the site and the amenity of adjoining development.

The location of the carport and swimming pool appropriately responds to the sites existing dwelling, geometry and the constraints imposed by the siting and design of adjoining development in relation to privacy, solar access and views.

The proposal is fully compliant with the building height standard and is appropriately distributed within the site. Appropriate areas of landscaping are retained to ensure the built form continues to be screened from neighbouring and public view areas.

The new swimming pool design and adjoining access arrangement to the existing dwelling house will afford exceptional amenity and functionality to the occupants without unreasonably compromising the amenity of surrounding residential properties or the scenic attributes of the locality.

As the proposed development will not have any significant impact on the environment, scenic quality of the area or the amenity of the adjoining allotments, the issue of Development Consent under the delegation of Council is requested.

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