



Sydney Fire Safety Consultancy & Building Inspections

BUILDING CODE OF AUSTRALIA REPORT (NCC 2022 Edition)

UNIT 1, LEVEL 2, 1 SKYLINE PLACE, FRENCHS FOREST NSW 2086



BCA Report for DA	-	BCA Report to be submitted with DA - GYM	Manuyel Gregory & 12 th November, 2024.
DOC. NAME	REV.	DESCRIPTION	PREPARED/DATE

INTRODUCTION

EXECUTIVE SUMMARY

The following BCA Report has been prepared on behalf of the applicant/lessee of unit 1, located on level 2, 1 Skyline Place, Frenchs Forest NSW 2086 to be submitted with the Development Application at the request of the local Council.

The lessee is proposing to use level 2 of the building as a training gym (known as F45 Training).

In our opinion, the recommendations in this report takes into consideration all of the abovementioned facts and considers practical and balanced solutions. These solutions whilst may not satisfy all the DTS provisions (in some instances), are intended to satisfy the performance requirements and general intent of the BCA as applied to an existing building.

It should be recognised by all parties that there will be inherent deficiencies in existing buildings when comparing them against current Building Codes.

PURPOSE OF THE REPORT

The purpose of the report is to review the fire safety measures currently installed within the tenancy being the Class 9b F45 Training Gym and prepare a Building Code of Australia Report to be lodged with the Development Application. The proposal is to use the 2nd level of the building as a training gym.

The report will detail the works required in our opinion to bring the subject premises to a standard that will improve the safety of persons accommodated in the tenancy in the event of a fire, particularly in relation to egress, the prevention of spread of fire and the suppression of fire, appropriate to the use and classification of the building.

LIMITATION AND EXCLUSIONS

The information contained in this report was obtained from visual inspection of the building. The inspection was limited to visible structures, fixtures and fittings in the building without the removal of linings or coverings except, where noted and without testing of equipment or systems. Access to all parts of the building were not provided at the time of the inspection. Fill access along the rear external part of the building was not provide at the time of the inspection.

Furthermore, this report should not be construed to infer that an assessment for compliance with the following has been undertaken:

- (i) structural adequacy of the building and related matters;
- (ii) inaccessible spaces such as ceiling voids, riser shafts, service penetrations (where applicable) etc;

- (iii) the Fire Resistance Level (FRL) or Fire Hazard Indices of existing building elements;
- (iv) the individual requirements of other service providers i.e., Sydney Water, Energy Australia, etc;
- (v) operating capability of services including electrical, mechanical and hydraulic;
- (vi) health and amenity and energy efficiency issues covered in Sections F & J of the BCA including Basix requirements;
- (vii) access and egress for persons with a disability, including the Disability Discrimination Act (DDA) requirements, BCA & AS1428.1;
- (viii) asbestos related matters (i.e., vermiculite sprayed ceilings within units and common areas);
- (ix) glazing assemblies within the building;
- (x) Aluminium Composite Panelling;
- (xi) Assessment of plumbing & drainage installations including stormwater;
- (xii) Heritage significance;
- (xiii) Council Fire Safety Order;
- (xiv) Environmental, planning issues & consideration of Council's planning policies;
- (xv) Requirements for statutory authorities including any unauthorised works;
- (xvi) Assessment of mechanical plant operations, electrical systems or security systems;
- (xvii) Consideration of any fire services operations (including hydraulic, electrical or other systems);
- (xviii) Slip-resistance of floor materials (i.e., tiles);
- (xix) Plant rooms, electrical cupboards, mechanical ventilation/exhaust systems, any lift rooms, roof areas, sprinkler valve/booster rooms; and
- (xx) Acoustic, thermal requirements.

REPORT BASIS

The content of this report reflects:

- (i) The base building Annual Fire Safety Statement & Fire Safety Schedule dated 05/06/2024.
- (ii) The Deemed to Satisfy (DTS) provisions of the Building Code of Australia 2022 and including the NSW Appendix.
- (iii) Architectural Plans Prepared by PA Studio, Drawing Number DA00, DA01 and Dated 18/07/2024.
- (iv) An inspection of the building carried out by Mr Manuyel Gregory on Saturday 2nd November, 2024.

STANDARDS ADOPTED BY REFERENCE

Reference to standards of construction will be to the Building Code of Australia (BCA) 2022 Volume 1 and the relevant Australian Standards.

Fire Resistance Level (FRL) relates to Structural Adequacy/Integrity/Insulation to building elements in minutes e.g. -/60/30 FRL.

SITE DESCRIPTION

The subject building has an internal rise of 3 storeys. The external walls are constructed from masonry and the floors from concrete. The subject property is surrounded by commercial and industrial buildings. The subject tenancy is known as SP 72120, unit 1, located on level 2, 1 Skyline Place, Frenchs Forest NSW 2086.

BCA Clause Title	Deemed to Satisfy Provisions (Clauses)	Description of Compliance Requirement	"Deemed to Satisfy" OR "Performance Solution" to Satisfy BCA Performance Requirements	Comments
BCA PART A1 - INTERPRETING THE NCC				
Interpreting the NCC	A1G1 - A1G4	Noted.	DTS	Noted. No recommendations.
BCA PART A2 - COMPLIANCE WITH THE NCC				
Compliance with the NCC	A2G1 - A2G4	Noted.	DTS	Noted. No recommendations.
BCA PART A3 - APPLICATION OF THE NCC IN STATES AND TERRITORIES				
State and Territory Compliance	A3G1	Noted.	DTS	Noted. No recommendations.
BCA PART A4 - NCC REFERENCED DOCUMENTS				
NCC Referenced Documents	A4G1 - A4G3	Noted.	DTS	Noted. No recommendations.
BCA PART A5 - DOCUMENTATION OF DESIGN AND CONSTRUCTION				
Documentation of Design and Construction	A5G1 - A5G9	Noted.	DTS	Noted.
BCA PART A6 - BUILDING CLASSIFICATION				
Determining a Building Classification	A6G1 - A6G12	BCA Building Classifications.	DTS	Unit 1, Level 2 Building Proposed Classification - Class 9B – Gym. Base Building Classification – Class 5 Office - (ground & level 1) & Class 9B Gym (Level 2).
BCA PART A7 - UNITED BUILDINGS				
When Buildings are United	A7G1	BCA provisions applicable to buildings connected through openings in the external walls dividing them.	---	Not applicable.
Alterations in a United Building	A7G2	BCA requirements where buildings cease to be united buildings.	---	Not applicable.

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SPECIFICATION 1 – (FIRE RESISTANCE OF BUILDING ELEMENTS)				
Fire Resistance of Building Elements	S1C1 - S1C6	This Specification sets out the procedures for determining the FRL of building elements.	DTS	Noted.
SPECIFICATION 2 – (DESCRIPTION OF ELEMENTS REFERRED TO IN SPECIFICATION 1)				
Description of Elements Referred to in Specification 1	S2C1 - S2C27	This Specification sets out the descriptions of elements referred to in Specification 1.	DTS	Noted.
SPECIFICATION 3 – (FIRE HAZARD PROPERTIES)				
Fire Hazard Properties	S3C1 - S3C6	This Specification sets out the procedures for determining the fire hazard properties of assemblies tested to AS/NZS 1530.3-1999.	DTS	Noted.
BCA PART B1 - STRUCTURAL PROVISIONS				
Deemed to Satisfy Provisions	B1D1	Specifies DTS means to satisfy Performance Requirements B1P1 - B1P4.	DTS	Noted. STRUCTURAL PROVISIONS – STRUCTURAL ADEQUACY OF THE BUILDING HAS NOT BEEN ASSESSED FOR BCA COMPLIANCE.
Resistance to Actions	B1D2	Resistance to actions.	DTS	Noted. STRUCTURAL PROVISIONS – STRUCTURAL ADEQUACY OF THE BUILDING HAS NOT BEEN ASSESSED FOR BCA COMPLIANCE.
Determination of Individual Actions	B1D3	Determination of individual actions.	DTS	Noted. STRUCTURAL PROVISIONS – STRUCTURAL ADEQUACY OF THE BUILDING HAS NOT BEEN ASSESSED FOR BCA COMPLIANCE.
Determination of Structural Resistance of Materials and Forms of Construction	B1D4	Determination of structural resistance of materials and forms of construction.	DTS	Noted. STRUCTURAL PROVISIONS – STRUCTURAL ADEQUACY OF THE BUILDING HAS NOT BEEN ASSESSED FOR BCA COMPLIANCE.
Structural Software	B1D5	Structural software limitations.	DTS	Noted. STRUCTURAL PROVISIONS – STRUCTURAL

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				ADEQUACY OF THE BUILDING HAS NOT BEEN ASSESSED FOR BCA COMPLIANCE.
Construction of Buildings in Flood Hazard Areas	B1D6	Construction of Buildings in Flood Hazard Areas (Class 2, 3, 4, 9a, 9c buildings)	----	Not applicable. Council Requirements (if any) We recommend the applicant enquire with the local council whether the subject property is in a flood affected area.
SPECIFICATION 4 – (DESIGN OF BUILDINGS IN CYCLONIC AREAS)				
Design of Buildings in Cyclonic Areas	S4C1- S4C2	This specification contains requirements for the design of buildings in cyclonic areas in addition to the requirements of AS/NZS 1170.2.	---	Not applicable.
BCA PART C1 - FIRE RESISTANCE				
Objectives, Functional Statements, Performance Requirements & Verification Methods	C101, C1F1-C1F2 C1P1-C1P9 C1V1-C1V4	Specifies Objectives, Functional Statements, Performance Requirements & Verification Methods.	---	Noted. No recommendations.
BCA PART C2 - FIRE RESISTANCE & STABILITY				
Type of Construction Required	C2D2	This Clause stipulates the "Type of Construction" required based on a buildings "Rise in Storeys". See also Clause C3D3 regarding maximum floor area limitation requirements.	DTS or Performance Solution.	Noted. Type A Construction. The principal implication of Type A Construction is that all building elements consisting of external walls, beams, columns and floors must be suitably fire rated to resist fire spreading. Type A Construction is the most fire-resistant type of construction under the BCA. <u>Note: The determination of the buildings required & existing fire resistance levels and structural integrity is beyond the scope of</u>

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				<u>this Fire Safety & BCA assessment report.</u>
Calculation of Rise in Storeys	C2D3	This Clause stipulates how you calculate a building's "rise in storeys".	DTS	The building has a <i>rise in storeys</i> of (3) three with an <i>effective height</i> of less than 12 metres.
Buildings of Multiple Classification	C2D4	In a building of multiple classifications, the Type of Construction required for the building is the most fire resisting type resulting from the application of Table C2D2 on the basis that the classification applying to the top storey applies to all storeys.	DTS	Noted. Type A Construction.
Mixed Types of Construction	C2D5	Allows mixed types of construction if parts are fire separated.	DTS	Noted.
Two Storey Class 2, 3 or 9c Buildings	C2D6	Gives concession for construction of certain residential buildings.	---	Not applicable.
Class 4 Parts of Building	C2D7	Specified FRLs and separation for Class 4 parts.	---	Not applicable.
Open Spectator Stands and Indoor Sports Stadiums	C2D8	Requirement for construction of spectator stands and stadiums.	---	Not applicable.
Lightweight Construction	C2D9	This Clause stipulates that "lightweight" construction must comply with Specification 6 if used.	---	Not applicable.
Non-combustible Building Elements	C2D10	The Clause outlines where non-combustible materials are to be used in buildings.	DTS	"Considered a Base Building Issue"
Fire Hazard Properties	C2D11	Clause C2D11 requires materials and assemblies to comply with Fire Hazard Properties as outlined in Specification 7.	DTS	"Building to Comply" The fire hazard properties of all <u>new</u> materials, assemblies, fixtures and linings are to comply with Specification 7 of the BCA. All <u>new</u> floor, wall and ceiling linings/coverings are to be documented to comply with Specification 7 of the BCA.

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				<p><u>Specification S7C3 - The Floor Linings and Floor Coverings shall achieve the following Fire Hazard Properties</u> – 1.2kW/m2 critical radiant flux Table S7C3 of the BCA.</p> <p><u>Specification S7C4 - Wall Linings and Ceiling Linings shall achieve the following Fire Hazard Properties</u></p> <p>A wall or ceiling lining system must comply with the group number specified in Table S7C4 and for buildings not fitted with a sprinkler system (other than a DPAA101D or FPAA101H system) complying with Specification 17 have –</p> <ul style="list-style-type: none"> (a) A smoke growth rate index not more than 100; or (b) An average specific extinction area less than 250 m2/kg. <p>– A group number of a wall or ceiling lining and the smoke growth rate index or average specific extinction area must be determined in accordance with Australian Standard AS5637.1-2015.</p> <p><u>Class 9b Building Sprinkled - Walls and Ceilings in Public Corridors</u> - must have a group number of 1, 2 for Walls and Ceilings.</p> <p><u>Class 9b Building Sprinkled - Specific Areas</u> - must have a group number 1, 2, 3 for Walls and 1, 2, 3 for Ceilings.</p> <p><u>Class 9b Building Sprinkled Other areas</u> - must have a group number 1, 2, 3 for Walls and 1, 2, 3 for Ceilings</p> <p><u>Specification S7C5 - Air-Handling Ductwork</u> – Rigid and flexible ductwork in a Class 5 building must comply with the fire hazard properties set out in AS4254.1-2012 and AS4254.2-2012.</p> <p><u>Specification S7C6 – Lift Cars if applicable</u> –</p>

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				<p>Materials used as floor coverings must have a critical radiant flux not less than 2.2; and wall and ceiling linings must be a Group 1 material or a Group 2 material in accordance with AS5637.1.</p> <p><u>Specification C7C7, Table C7C7, Other Materials including Insulation Indices- Materials and assemblies in the Class 9B Building must not exceed the following indices –</u></p> <p><u>Non-Fire Isolated Stairs & Ramps -Spread-of-Flammability Index – N/A, Spread-of-Flame Index – 0 & Smoke-Developed Index – 5.</u></p> <p><u>Sarking Type Material in other Locations – Flammability Index – 5, Spread-of-Flame Index – N/A & Smoke-Developed Index – N/A.</u></p> <p><u>Other Materials or Locations and Insulation Materials other than Sarking type Material – Flammability Index – N/A, Spread-of-Flame Index – 9 & Smoke-Developed Index – 8 if the Spread-of-Flame Index is more than 5.</u></p> <p><u>Note i: Typical new items to be assessed for compliance with this clause of the BCA are carpets, timber flooring, vinyl, linoleum, parquetry and wall & ceiling cladding materials...etc...).</u></p> <p><u>Note ii: No assessment has been made of the buildings existing fire hazard properties under this Fire Safety & BCA Assessment Report.</u></p> <p>Detail of compliance shall be provided on the architectural plans.</p> <p>It is recommended that certificates for the fire hazard properties in the tenancy are to be submitted.</p>


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Performance of External Walls in Fire	C2D12	Requirements for tilt up walls and fixings.	---	Not applicable.
Fire-protected timber: Concession	C2D13	The clause outlines concessions for fire - protected timber in Class 2, 3 and 5 buildings.	---	Not applicable.
Ancillary Elements	C2D14	The Clause outlines permitted ancillary elements that may be fixed, installed or attached to the internal parts or external face of an external wall that is required to be non-combustible.	DTS	<p>"See Comments Below"</p> <p>An ancillary element must not be fixed, installed, attached to or supported by the concealed internal parts or external face of an external wall that is required to be non-combustible unless it is one of elements listed in Clause C2D14(a) - C2D14(p) of the BCA.</p> <p><u>General Notes:</u></p> <p><u>Note i: C2D14 does not apply to ancillary elements fixed, installed or attached to the internal face or lining of an external wall.</u></p> <p><u>Note ii: C2D14 does not prevent the mounting of domestic air-conditioning condenser units on external walls.</u></p>
Fixing of Bonded Laminated Cladding Panels	C2D15	<p>The clause outlines the requirements for mechanical fixing of externally located bonded laminated cladding panels in buildings of Type A & B construction.</p> <p>(1) In a building of Type, A Construction, externally located bonded laminated cladding panels must have all layers of cladding mechanically supported or restrained to the supporting frame</p> <p>(2) An externally located bonded laminated cladding panel need not comply with (1) above if it is one of the following:</p> <p>(a) A laminated glass system.</p> <p>(b) Layered plasterboard product.</p> <p>(c) Perforated gypsum lath with a</p>	---	Not applicable.

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		normal paper finish. (d) Fibrous-plaster sheet. (e) Fibre -reinforced cement sheeting. A component of a garage door.		
BCA PART C3 - COMPARTMENTATION & SEPARATION				
Deemed to Satisfy Provisions	C3D1	This Clause stipulates that the proposed development complies with BCA Section C Performance Requirements if the deemed to satisfy provisions are met.	---	Noted. No recommendations.
Application of Part	C3D2	Fire compartment sizes and volumes do not apply to either a carpark provided with a sprinkler system, an open deck carpark or a spectator stand, or residential occupancies. All other classes of building to comply as required.	---	Noted. No recommendations.
General Floor Area & Volume Limitations	C3D3	This Clause stipulates the maximum floor areas and volumes for all classes of buildings and for each type of construction.	DTS	"Complies" The floor area and volume limitations applicable to the Class 9b building part comply.
Large Isolated Buildings	C3D4	Fire compartments can exceed specified areas and volumes under certain open space, fire protection and vehicular access conditions.	---	Not applicable.
Requirements for Open Spaces & Vehicular Access	C3D5	Conditions applying to vehicular access are required by Clause C3D5.	---	Not applicable.
Class 9 Buildings	C3D6	Additional fire and smoke compartmentation that is required for Class 9a Healthcare, 9b Early Childhood Centre and 9c Aged Care buildings.	---	Not applicable.
Vertical Separation of Openings in External Walls	C3D7	This Clause stipulates how vertical separation can be achieved for buildings of Type A Construction.	DTS	"Considered a Base Building Issue" <u>Unit 1, Level 2 Gym</u> - During our inspection we noted that a fire drencher/wall wetting

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		<p>If in a building of Type, A construction, any part of a window or other opening in an external wall is above another opening next below and its vertical projection falls no further than 450mm outside the lower opening (measured horizontally), the openings must be separated by –</p> <p>(a) A spandrel which –</p> <ul style="list-style-type: none"> - Is not less than 900mm in height; and - Extends not less than 600mm above the upper service of the intervening floor; and - Is of non-combustible material having an FRL of not less than 60/60/60. 		sprinkler system is installed over the external window panels.
Separation by Fire Walls	C3D8	This clause stipulates how you achieve fire separation.	DTS	Noted.
Separation of Classifications in the Same Storey	C3D9	This clause stipulates how you can treat different classifications in the same storey.	DTS	Noted
Separation of Classifications in Different Storeys	C3D10	This Clause stipulates how you fire separate classifications in different storeys.	DTS	<p>Noted.</p> <p>Our inspection revealed the floor between level 2 and the level below appears to have been constructed from concrete.</p> <p><u>Note: The determination of the buildings required & existing fire resistance levels and structural integrity is beyond the scope of this Fire Safety & BCA assessment report.</u></p>
Separation of Lift Shafts	C3D11	<p>Lift shafts are required in Specification 5 (Type A Construction) to achieve an FRL as stated where lifts are not wholly within an atrium.</p> <p>The existing lift connecting all storeys must</p>	---	<p>Not applicable.</p> <p>There are no lifts in the building.</p>

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		<p>be separated from the remainder of the building by an enclosure in a shaft to have a Fire Resistance Level (FRL) of not less than 120/120/120 for loadbearing walls in accordance with Table S5C11e or an FRL of -/120/120 for non-loadbearing walls in accordance with Table S5C11f under Specification 5 BCA Type A construction.</p> <p>BCA Clause C3D11(4) states openings for lift landing doors and services must be fire protected in accordance with the Deemed-to-Satisfy Provisions of Part C4. A certification from the lift company shall be submitted to the local Council confirming compliance with BCA Clause C3D11(4) and with the Deemed-to-Satisfy Provisions of Part C4 of the BCA.</p>		
Requires Stairways & Lifts in One Shaft	C3D12	A stairway and lift must not be in the same shaft if either the stairway or the lift is required to be in a fire-resisting shaft.	---	Not applicable.
Separation of Equipment	C3D13	<p>The following equipment is required to be fire separated from the remainder of the building:</p> <ul style="list-style-type: none"> • Lift motors or control panels • Emergency generators for emergency equipment • Central smoke control plan • Boilers • Batteries (>24V & exceeding 10 ampere hours) • Fire pumps <p>Certain equipment (lift motors, lift control panels, emergency generators or batteries) must be separated from the remainder of the building with construction achieving an FRL of not less than 120/120/120.</p>	DTS	"Considered a Base Building Issue"

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		<p>The following is recommended –</p> <ul style="list-style-type: none"> - an FRL of 120/120/120 between the lift room and any other part of the building. - The doorway to the lift room shall have a self-closing door with an FRL of not less than -/120/30. 		
Electricity Supply System	C3D14	<p>Certain electricity supply equipment must be protected with construction of not less than 120/120/120 FRL. Equipment includes:</p> <ul style="list-style-type: none"> ▪ Electricity substations. ▪ Main switchboards "which sustain emergency equipment operating in emergency mode". ▪ Electricity conductors that supply main switchboard. ▪ Switchboards must also be segregated (where applicable). <p>Main switchboards (where sustaining emergency equipment) and certain electrical conductors must be fire separated from the remainder of the building by construction having an FRL of not less than 120/120/120 and have any doorway in that construction protected with a self-closing fire door having an FRL of not less than -/120/30.</p>	DTS	"Considered a Base Building Issue"
Public Corridors in Class 2 & 3 Buildings	C3D15	In a Class 2 or 3 building a public corridor, if more than 40 metres in length must be divided at intervals of not more than 40 metres with smoke proof walls complying with Clause 2 of S11C2.	---	Not applicable.
BCA PART C4 - PROTECTION OF OPENINGS				
Deemed to Satisfy	C4D1	This Clause stipulates that the proposed	---	Noted. No recommendations.

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Provisions		development complies with BCA Section C Performance Requirements if the DTS provisions are met.		
Application of Part	C4D2	Exempts openings such as control joints, weep holes, non-combustible ventilators for sub floor or cavity ventilation, etc, are exempted from protection requirements.	---	Noted. No recommendations.
Protection of Openings in External Walls	C4D3	This Clause stipulates that openings less than 3.0 m from a side or rear boundary or 6.0 m from the far boundary of a road must be protected.	DTS	<p>"See Comments Below"</p> <p><u>Unit 1, Level 2 Gym</u> - During our inspection we observed a wall wetting drencher system installed over the window panels located along the external walls of the building. It appears that windows located along the external walls have been sprinkler protected.</p>  <p>"No further action required."</p>
Separation of External Walls and Associated Openings in Different Fire Compartments	C4D4	Separation required between external openings in different fire compartments.	DTS	Noted.
Acceptable Methods	C4D5	Acceptable methods of protecting	DTS	"See Comments Below"

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of Protection		<p>openings in external walls.</p> <p>Where fire protection is required under Clause C4D3 above, doorways, windows and other openings must be protected as follows: -</p> <p>Doorways – internal or external wall-wetting sprinklers as appropriate used with doors that are self-closing or automatic closing; or -/60/30 fire rated doors/frames that are self-closing or automatic closing.</p> <p>Windows – internal or external wall-wetting sprinklers as appropriate used with windows that are automatic closing or permanently fixed in the closed position; or -/60/- fire windows that are automatic closing or permanently fixed in the closed position; or -/60/- automatic closing fire shutters.</p> <p>Other Openings – construction having an FRL not less than -/60/; or internal or external wall-wetting sprinklers as appropriate. Excludes the protection of voids.</p> <p>Fire doors, fire windows and fire shutters must comply with Specification 12 of the BCA.</p>		<p>(Refer to Notes in BCA Clause CDD3 above).</p> <p><u>Unit 1, Level 2 Gym</u> - During our inspection we observed a wall wetting drencher system installed over the external window panels. It appears that windows located along the external walls have been sprinkler protected.</p> <p>"No further action required."</p>
Doorways in Fire Walls	C4D6	This stipulates how doorways in fire walls are to be constructed.	DTS	Noted.
Sliding Fire Doors	C4D7	Installation requirements for sliding fire doors.	---	Not applicable.
Protection of Doorways in Horizontal Exits	C4D8	This stipulates how horizontal exits are to be protected.	DTS	<p>"See Comments Below"</p> <p>Our inspection revealed there are self-closing fire rated doors located to the front and rear stairs. It appears from the service tags the doors have an FRL of -/120/30.</p> <p>"No further action required."</p>

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Openings in Fire Isolated Exits	C4D9	Construction details of doorways leading into fire isolated exits.	DTS	<p>"See Comments Below"</p> <p>Our inspection revealed there are self-closing fire rated doors located to the front and rear stairs. It appears from the service tags the doors have an FRL of -/120/30.</p> <p>"No further action required."</p>
Service Penetrations in Fire Isolated Exits	C4D10	Services shall not be installed in fire isolated exits, except as permitted in this Clause.	DTS	"Considered a Base Building Issue"
Openings in Fire Isolated Lift Shafts	C4D11	<p>Construction details of doorways leading into fire isolated lift shafts and construction of lift indicator panels.</p> <p>The entrance doorway to lifts must be protected by -/60/- fire doors that comply with AS1735.11 and required to remain closed except when discharging or receiving passengers or goods.</p> <p><u>Lift indicator panels</u> – A lift call panel, indicator panel or other panel in the wall of a fire-isolated lift shaft must be backed by construction having an FRL of not less - /60/60 if it exceeds 35 000mm² in area.</p>	---	<p>Not applicable.</p> <p>There are no lift shafts in the building.</p>
Bounding Construction Class 2, 3, & 4 Buildings	C4D12	Stipulates how to protect openings in bounding construction (residential building /parts).	---	Not applicable.
Openings in Floors & Ceilings for Services	C4D13	<p>Services where, passing through fire rated floors and/or walls shall be suitably protected to maintain the FRL of the building element(s) either by the introduction of fire rated shafts and/ or fire stopping/sealing at the penetration.</p> <p>The objective of the BCA is to prevent fire spread between floors via plumbing penetrations.</p> <p>Cast iron and copper pipes are deemed to comply with the BCA if the pipes are</p>	DTS	<p>"Tenancy to Comply"</p> <p><u>Rear Electrical Switchboard</u> - It is recommended the services that penetrate the concrete floor located in the tenancy electrical switchboard near the amenity corridor must be suitably fire sealed in accordance with BCA Clause C4D15 below and Specification 5 for Type A construction.</p> <p>It is understood it is not proposed to install new services that likely to penetrate through fire rated building elements (floors, ceilings</p>

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		sealed correctly at the slab soffit. PVC pipes if installed require fire collars to prevent the spread of fire to the floor above.		and walls). Any existing service openings in floors/ceilings in the building are considered a base building issue and are not part of this BCA assessment
Openings in Shafts	C4D14	Any openings into fire rated service shafts shall be protected in accordance with this Clause.	---	Not applicable.
Openings for Service Installations	C4D15	Services where, passing through fire rated floor or walls shall be suitably protected to maintain the FRL of the building element(s). The objective of the BCA is to prevent fire spread between floors/walls via plumbing and electrical penetrations. Cast iron and copper pipes are deemed to comply with the BCA if the pipes are sealed correctly at the slab soffit. PVC pipes if installed require fire collars to prevent the spread of fire to the floor above.	DTS	"Tenancy to Comply" (Refer to Notes in BCA Clause C4D13 above). <u>Rear Electrical Switchboard</u> - It is recommended the services that penetrate the concrete floor located in the tenancy electrical switchboard near the rear amenity corridor must be suitably fire sealed in accordance with BCA Clause C4D15, BCA Specification 13, AS4072.1 AND as1530.4.
Construction Joints	C4D16	Construction joints shall achieve the same FRL as the building component in which it is installed.	---	Not applicable.
Columns Protected with Lightweight Construction to achieve an FRL	C4D17	Any column protected with lightweight construction should maintain the fire integrity of a building element through which it passes. Columns protected in lightweight construction which penetrate a building element required to achieve a FRL must be installed using a method and materials identical with a prototype assembly of the construction which has achieved the required FRL.	DTS	"Considered a Base Building Issue"
SPECIFICATION 5 - (FIRE-RESISTING CONSTRUCTION)				

BCA Clause Title	Deemed to Satisfy Provisions (Clauses)	Description of Compliance Requirement	"Deemed to Satisfy" OR "Performance Solution" to Satisfy BCA Performance Requirements	Comments
Scope	S5C1	This Specification contains requirements for the fire-resisting construction of building elements.	DTS	Noted.
Exposure to Fire Source Features	S5C2	This Clause stipulates when a building element is exposed to a fire source feature.	DTS	(Refer to Notes in BCA Clauses C4D3 & C4D5).
Fire Protection for a Support of Another Part	S5C3	The structural integrity of any part of a building required to have a particular FRL shall not be reduced or undermined by reason of it being supported by a part of the building that does not have at least the same FRL as the part it supports.	DTS	Noted.
Lintels	S5C4	Details where lintels over doorways or openings require an FRL.	DTS	Noted. Structural adequacy of the building has not been assessed.
Method of Attachment not to Impair Fire Resistance	S5C5	This clause outlines how combustible elements can be attached to an element that is required to have an FRL.	DTS	Noted.
General Concessions	S5C6	Outlines general FRL concessions that can be applied for various building components.	---	Not applicable.
Mezzanine Floors Concession	S5C7	Stipulates that a mezzanine and its supports do not need to achieve a fire rating provided other measures are adopted.	---	Not applicable.
Enclosure of Shafts	S5C8	<p>This Clause stipulates how you enclose various shafts both at the top and the bottom.</p> <p>The lift shaft must be enclosed at the top and bottom by construction having an FRL not less than that required for the walls of a non-load bearing walls as required by BCA Specification 5 for Type A construction. An FRL of -/120/120 will be required for the top and bottom of the lift shaft.</p>	---	Not applicable.

BCA Clause Title	Deemed to Satisfy Provisions (Clauses)	Description of Compliance Requirement	"Deemed to Satisfy" OR "Performance Solution" to Satisfy BCA Performance Requirements	Comments
Carparks in Class 2 & 3 Buildings	S5C9	This Clause allows for a concession to fire rating to carparks in Class 2 and 3 buildings.	---	Not applicable.
Residential Aged Care Building: Concession	S5C10	Allows FRL concessions to sprinklered residential aged care buildings.	---	Not applicable.
Type A Fire Resisting Construction	S5C11 - S5C20	This Clause and Table outline the Fire Resistance Levels of various building elements for Type A Construction.	DTS	Noted. Type A Construction. The principal implication of Type A Construction is that all building elements consisting of external walls, beams, columns and floors must be suitably fire rated to resist fire spreading. Type A Construction is the most fire-resistant type of construction under the BCA. <u>Note: The determination of the buildings required & existing fire resistance levels and structural integrity is beyond the scope of this Fire Safety & BCA assessment report.</u>
Type B Fire Resisting Construction	S5C21 - S5C23	This Clause and Table outline the FRLs of various buildings elements for Type B construction.	---	Not applicable.
Type C Fire Resisting Construction	S5C24 - S5C25	This Clause and Table outlines the FRLs of various building elements for Type C construction.	---	Not applicable.
SPECIFICATION 6 – (STRUCTURAL TESTS FOR LIGHTWEIGHT CONSTRUCTION)				
Structural Tests for Lightweight Construction	S6C1 - S6C11	This Specification describes the tests to be applied to & criteria to be satisfied by a wall system of lightweight construction that has an FRL.	---	Not applicable.
SPECIFICATION 7 – (FIRE HAZARD PROPERTIES)				
Fire Hazard Properties	S7C1 - S7C7	This Specification sets out requirements in relation to the fire hazard properties of	DTS	(Refer to Notes BCA Clause C2D11 above).

BCA Clause Title	Deemed to Satisfy Provisions (Clauses)	Description of Compliance Requirement	"Deemed to Satisfy" OR "Performance Solution" to Satisfy BCA Performance Requirements	Comments
		materials, linings, & surface finishes in buildings.		
SPECIFICATION 8 – (PERFORMANCE OF EXTERNAL WALLS IN FIRE)				
Performance of External Walls in Fire	S8C1 - S8C4	Design considerations for tilt up construction.	---	Not applicable.
SPECIFICATION 9 – (CAVITY BARRIERS FOR FIRE PROTECTED TIMBER)				
Cavity Barriers for Fire-Protected Timber	S9C1 - S9C2	Requirements for cavity barriers in fire-protected timber construction.	---	Not applicable.
SPECIFICATION 10 – (FIRE PROTECTED TIMBER)				
Fire-protected Timber	S10C1 - S10C6	Requirements for fire-protected timber.	---	Not applicable.
SPECIFICATION 11 – (SMOKE PROOF WALLS IN HEALTH CARE & RESIDENTIAL CARE BUILDINGS)				
Smoke-Proof Walls in Health Care & Residential Care Buildings	S11C1 - S11C4	Requirements for smoke-proof walls in Clause 9a and 9c buildings.	---	Not applicable.
SPECIFICATION 12 – (FIRE DOORS, SMOKE DOORS, FIRE WINDOW & SHUTTERS)				
Fire Doors, Smoke Doors, Fire Windows & Shutters	S12C1 - S12C6	This Specification sets out the requirements for the construction of fire doors, smoke doors, fire windows, and fire shutters.	DTS	(Refer to Notes in BCA Clauses C4D3 & C4D5 above).
SPECIFICATION 13 – (PENETRATIONS OF WALLS, FLOORS & CEILINGS BY SERVICES)				
Penetration of Walls, Floors & Ceilings by Services	S13C1 - S13C7	This Specification sets out prescribed materials and methods of installation for services that penetrate walls, and floors that are required to have an FRL.	DTS	(Refer to Notes in BCA Clauses C4D13 & C4D15 above).
BCA PART D1 - ACCESS & EGRESS				
Objectives, Functional Statements,	D101, D1F1 - D1F2	Specifies Objectives, Functional Statements, Performance Requirements &	---	Noted. No recommendations.

BCA Clause Title	Deemed to Satisfy Provisions (Clauses)	Description of Compliance Requirement	"Deemed to Satisfy" OR "Performance Solution" to Satisfy BCA Performance Requirements	Comments
Performance Requirements & Verification Methods	D1P1 - D1P9 D1V1- C1V4	Verification Methods.		
BCA PART D2 - PROVISION FOR ESCAPE				
Deem to Satisfy Provisions	D2D1	The Clause stipulates that the proposed development complies with Section D Performance Requirements of the BCA if the deemed to satisfy provisions are met.	---	Noted. No recommendations.
Application of Part	D2D2	This Clause stipulates that Part D of the BCA does not apply to the internal parts of a sole occupancy unit in a Class 2, 3, or 4 building (or part).	DTS	Noted.
Number of Exits Required	D2D3	<p>This Clause outlines the number of exits required from each part of the building.</p> <p>At least one exit must be provided from each storey of every building.</p> <p>At least 2 alternative exits must be provided from:</p> <ul style="list-style-type: none"> • Every storey of a building which has an effective height of more than 25m • Any storey in a Class 9 building which accommodates more than 50. 	DTS	<p>"Complies"</p> <p>Two (2) exits are provided.</p> <p>"No further action required."</p>
When Fire Isolated Exits are Required	D2D4	<p>This Clause outlines when fire isolated exits are required in buildings.</p> <p>The existing stairs must be fire isolated and have the required FRL in accordance with Specification 5 Type A Construction and Clause D2D4 of the BCA.</p> <p>All openings to the fire stair shall be fitted with self-closing fire rated doors with fire</p>	DTS	<p>"See Comments Below"</p> <p>A fire isolated exit and stairway is located at the rear of the tenancy.</p> <p>"No further action required."</p>

BCA Clause Title	Deemed to Satisfy Provisions (Clauses)	Description of Compliance Requirement	"Deemed to Satisfy" OR "Performance Solution" to Satisfy BCA Performance Requirements	Comments
		rated frames.		
Exit Travel Distances	D2D5	Travel distances to exits in various building types.	DTS	<p>"Complies"</p> <p>The BCA/NCC requires a maximum travel distance of 20m to a single exit or a point of choice if two or more exits are provided. In addition, the BCA/NCC allows travel distance of 40m to one of the exits.</p> <p>Our inspection of the tenancy revealed a choice of 2 exits. An exit is located at the rear of the tenancy via a fire isolated stairway and another exit is located at the front of the tenancy also through an internal stairway which discharges on the ground level.</p> <p>"No further action required."</p>
Distances between Alternative Exits	D2D6	Distance between alternative exits to be a maximum of 45 m (Class 2, 3 buildings and Class 9a patient care areas) and 60 m (in all other cases).	DTS	<p>"Complies"</p> <p>"No further action required."</p>
Heights of Exits, Paths of Travel to Exits & Doorways	D2D7	This Clause sets out the minimum height requirements for exits, paths of travel and doorways.	DTS	<p>"Complies"</p> <p>In a required exit or path of travel to an exit the unobstructed height throughout must be not less than 2.0 metres, except the unobstructed height of any doorway may be reduced to not less than 1980 mm.</p> <p>"No further action required."</p>
Width of Exits & Paths of Travel to Exits	D2D8	This Clause sets out the minimum width of exits and paths of travel to exits.	DTS	<p>"Complies"</p> <p>The unobstructed width of each required exit or path of travel to an exit except doorways must not be less than 1 metre. The lessee of the service station and mechanic workshop must ensure all materials, goods and shelving does not encroach and obstruct the required 1 metre exit paths. Our inspection revealed that exit paths are less than 1 metre.</p> <p>"No further action required."</p>

BCA Clause Title	Deemed to Satisfy Provisions (Clauses)	Description of Compliance Requirement	"Deemed to Satisfy" OR "Performance Solution" to Satisfy BCA Performance Requirements	Comments
Width of Doorways in Exits or Paths of Travel to Exits	D2D9	This Clause sets out the minimum width of doorways and paths of travel to exits.	DTS	<p>"Complies"</p> <p>In a required exit or path of travel to an exit the minimum width of a doorway (except where it opens to a sanitary compartment or bathroom) is to be no less than 750 mm.</p> <p>Our inspection of the exit doors within the tenancy revealed a minimum width of 750 mm.</p> <p><u>Note</u> – The width of the exit doors at the front and rear stairs on level 2 are considered to be a base building issue and have not been assessed.</p> <p>"No further action required."</p>
Exit Width not to Diminish in Direction of Travel	D2D10	This Clause sets out that the widths of exits must not reduce in the direction of travel to a road or open space.	DTS	<p>"Complies"</p> <p>The unobstructed width of a required exit must not diminish in the direction of travel to a road or open space.</p> <p>"No further action required."</p>
Determination & Measurement of Exits & Paths of Travel to Exits	D2D11	This Clause sets out the method of measurement of exits and paths of travel to exits.	DTS	<p>"Complies"</p> <p>The required width along the path of travel to an exit must be measured clear of obstructions and extend without interruption, except for ceiling cornices, to a height not less than 2 metres vertically.</p> <p>Our inspection of the tenancy parts revealed that exits and paths of travel to along exits comply.</p> <p>"No further action required."</p>
Travel via Fire Isolated Exits	D2D12	This Clause details connection into and discharge from fire isolated stairs/passageways.	DTS	"Considered a Base Building Issue"
External Stairways or Ramps in Lieu of Fire Isolated Exits	D2D13	Use of an external stair or ramp instead of a fire isolated stair.	---	Not applicable.

BCA Clause Title	Deemed to Satisfy Provisions (Clauses)	Description of Compliance Requirement	"Deemed to Satisfy" OR "Performance Solution" to Satisfy BCA Performance Requirements	Comments
Travel by Non-Fire Isolated Stairways or Ramps	D2D14	This Clause outlines how you can utilise an open stair for egress.	DTS	Noted.
Discharge from Exits	D2D15	Clear width and disposition of exit discharges.	DTS	<p>"See Comments Below"</p> <p><u>Ground Level Final Exit Door to Rear Stair -</u> Our inspection of the rear fire stairs (common area stairs) at the point of discharge located on the ground level revealed there is no hardstand area or a clear unobstructed exit path. The external ground level located near the final exit door has been landscaped and vegetation is preventing/obstructing persons from discharging from the rear stairway.</p> <p>The rear stair is also considered a common exit for the tenancies located on the ground and first levels of the building.</p> <p>BCA Clause D2D15 states an exit must not be blocked at the point of discharge, the path to the road must have an unobstructed width throughout of not less than 1 metre.</p> <p>The non-compliance discussed in the notes above is considered a base building issue and it is recommended the strata or building owner clear all vegetation and provide a hardstand path with a minimum width of not less than 1 metre.</p> <p>"Considered a Base Building Issue."</p> <p>The strata and building owner to rectify the non-compliance as discussed above.</p>
Horizontal Exits	D2D16	Use and construction of horizontal exits.	DTS	Noted.
Non-Required Stairways, Ramps or Escalators	D2D17	Non required stairways, ramps and escalators use and permissible storeys connected.	DTS	Noted.
Number of Persons	D2D18	Calculation of the number of occupants in	DTS	"Complies"

BCA Clause Title	Deemed to Satisfy Provisions (Clauses)	Description of Compliance Requirement	"Deemed to Satisfy" OR "Performance Solution" to Satisfy BCA Performance Requirements	Comments
Accommodated		each part of a building based on floor area.		Area per person for Class 9b gym use is 3m ² . It is understood that compliance can be achieved based on the number of patrons. "No further action required."
Measurement of Distances	D2D19	Details how distances are measured in relation to egress design.	DTS	Noted. Information Clause only.
Method of Measurement	D2D20	Details how distances are measured in relation to egress design.	DTS	Noted. Information Clause only.
Plant Rooms and Lift Motor Rooms and Electricity Network Substations: Concession	D2D21	Egress dispensations in relation to Plant Rooms, Lift Motor Rooms & Electricity Network Substations.	DTS	Noted. Information Clause only.
Access to Lift Pits	D2D22	<p>Access requirements to lift pits. Information Clause if applicable. Access to lift pits must –</p> <ul style="list-style-type: none"> - Where the pit depth is not more than 3 metres, be through the lowest landing doors; or - Where the pit depth is more than 3 metres, be provided through an access doorway complying with the following: In lieu of D2D7 to D2D11, the doorway must be level with the pit floor and not be less than 600mm wide by 1980mm high clear opening, which may be reduced to 1500mm. - No part of the lift car or platform must encroach on the pit doorway entrance when the car is on fully compressed buffer. - Access to the doorway must be by 	---	<p>Not applicable.</p> <p>It is understood there are no lifts installed in the subject building.</p>

BCA Clause Title	Deemed to Satisfy Provisions (Clauses)	Description of Compliance Requirement	"Deemed to Satisfy" OR "Performance Solution" to Satisfy BCA Performance Requirements	Comments
		<p>a stairway complying with AS1657.</p> <p>In lieu of D3D26, doors fitted to the doorway must be – of the horizontal</p> <ul style="list-style-type: none"> - sliding type, self-closing/self-locking from the outside and marked on the landing side with the letters not less than 35 mm high: <p>DANGER LIFTWELL – ENTRY OF UNAUTHORISED PERSONS PROHIBITED – KEEP CLEAR AT ALL TIMES</p>		
Egress from Primary Schools	D2D23	Egress requirements for primary schools.	---	Not applicable.
BCA PART D3 - CONSTRUCTION OF EXITS				
Deem to Satisfy	D3D1	This Clause stipulates that the proposed development complies with Section D Performance Requirements of the BCA if the deem to satisfy provisions are met.	---	Noted. No recommendations.
Application of Part	D3D2	Except for D3D14, D3D15(a), D3D17, D3D18, D3D19, D3D20, D3D21, D3D22(5), D3D22(6), D3D23 and D3D29 the Deemed-to-Satisfy Provisions of this Part do not apply to the internal parts of a sole-occupancy unit in a Class 2 building or Class 4 part of a building.	---	Noted.
Fire Isolated Stairways & Ramps	D3D3	Structural design of fire isolated stair shafts.	DTS	Noted.
Non-Fire Isolated Stairways & Ramps	D3D4	This Clause stipulates how you must construct required open stairs where the rise in storeys of the building exceeds 2.	DTS	Noted.
Separation of Rising & Descending Stair Flights	D3D5	Fire isolated stairways must not connect storeys both above and below street level.	---	Not applicable.

BCA Clause Title	Deemed to Satisfy Provisions (Clauses)	Description of Compliance Requirement	"Deemed to Satisfy" OR "Performance Solution" to Satisfy BCA Performance Requirements	Comments
Open Access Ramps & Balconies	D3D6	Construction of open access ramps and balconies in lieu of pressurised stairs.	---	Not applicable.
Smoke Lobbies	D3D7	Construction of smoke lobbies required by D3D7.	---	Not applicable.
Installations in Exits & Paths of Travel	D3D8	Outlines where service installations can be accessed and suitable separation to be incorporated.	DTS	<p>"Tenancy to Comply"</p> <p>Services or equipment (comprising of electricity meters, distribution boards or ducts, central telecommunication distribution boards/ equipment or electrical motors or other motors serving equipment) that are to be installed in a path of travel to an exit, the equipment is to be enclosed in non-combustible construction with any access panel/door suitably smoke sealed against smoke spreading from the enclosure.</p> <p>Our inspection revealed there is an existing electrical meter/switchboard located in the path of travel to an exit near the male toilets in the rear part of the tenancy. It is recommended that all electrical installations be upgraded to be enclosed in non-combustible construction with doors suitably sealed against smoke spreading from the enclosures in accordance with the requirements of Clause D3D8 of the BCA.</p> <p>Details of Compliance shall be indicated on the architectural plans.</p>
Enclosure of Space Under Stairs & Ramps	D3D9	<p>This Clause highlights how you can store under an open stair. Storage under fire isolated stairs is not permissible.</p> <p>The space below a <i>required</i> non-fire-isolated stairway (including an external stairway) or non-fire-isolated ramp must not be enclosed to form a cupboard or other enclosed space unless -</p>	DTS	<p>"Considered a Base Building Issue."</p> <p>Our inspection revealed there is no enclosure of space under stairs or ramps in the level 2 tenancy.</p> <p>"No further action required."</p>


BCA Clause Title	Deemed to Satisfy Provisions (Clauses)	Description of Compliance Requirement	"Deemed to Satisfy" OR "Performance Solution" to Satisfy BCA Performance Requirements	Comments
		<p>(i) the enclosing walls and ceilings have an FRL of not less than 60/60/60; and</p> <p>(ii) any access doorway to the enclosed space is fitted with a <i>self-closing</i> -/60/30 fire door.</p> <p>Our inspection has revealed that the stair serving the lower ground floor storey is enclosed and currently not fire rated.</p> <p>Options for compliance include the following:</p> <ol style="list-style-type: none"> 1) Compliance with the DTS provisions of the BCA/NCC listed above under (i) & (ii) the enclosing walls having an FRL of 60/60/60 and the access doorway to be fitted with a self-closing -/60/30 fire door; or 2) Permanently sealing the enclosure so no storage is provided. 		
Width of Required Stairways & Ramps	D3D10	This Clause stipulates how stair widths and heights are measured.	---	Not applicable.
Pedestrian Ramps	D3D11	Stipulates how a pedestrian ramp can serve as a required exit.	---	Not applicable.
Fire-Isolated Passageways	D3D12	Fire isolated passageways to have an FRL of 60/60/60 or that of the fire isolated stair from which it extends.	---	Not applicable.
Roof as Open Space	D3D13	If the roof is considered "open space" then the slab must have an FRL of 120/120/120, and roof lights and the like must be located not less than 3 m from path of travel.	---	Not applicable.
Goings & Risers	D3D14	<p>This Clause stipulates construction of stair treads and risers.</p> <p>All internal stairways shall have a non-slip surface or a non-slip nosing strip installed (P3-Non-Slip Rating) in accordance with</p>	DTS	<p>"Considered a Base Building Issue"</p> <p>Our inspection revealed there are two (2) stairways serving the level 2 tenancy. One stairway is located at the front and there is a fire stairway located at the rear of the tenancy.</p>

BCA Clause Title	Deemed to Satisfy Provisions (Clauses)	Description of Compliance Requirement	"Deemed to Satisfy" OR "Performance Solution" to Satisfy BCA Performance Requirements	Comments
		Table D3D14 of the BCA and AS 4586-2013.		
Landings	D3D15	<p>This Clause stipulates construction of landings.</p> <p>Consistent with the Prescriptive requirement of the BCA, all landings are to have a non-slip surface or a non-slip nosing strips (P3-Non-Slip Rating) installed in accordance with Table D3D14 of the BCA and AS 4586-2013.</p>	DTS	"Considered a Base Building Issue"
Thresholds	D3D16	This Clause stipulates construction of thresholds to doorways.	DTS	"Complies" The thresholds comply in the level 2 tenancy. "No further action required."
Barriers to Prevent Falls	D3D17	This Clause sets out the required location for balustrades and barriers.	DTS	"Considered a Base Building Issue"
Height of Barriers	D3D18	This Clause sets out the minimum heights of required balustrades and barriers.	DTS	"Considered a Base Building Issue"
Openings in Barriers	D3D19	This Clause sets out the maximum openings through required balustrades and barriers.	DTS	"Considered a Base Building Issue"
Barrier Climability	D3D20	This Clause sets out the requirements in relation to the climbability of balustrades and barriers.	DTS	"Considered a Base Building Issue"
Wire Barriers	D3D21	This Clause sets out the requirements for wire balustrades and wire barriers.	---	Not applicable.
Handrails	D3D22	Details where handrails need to be incorporated along stairways.	DTS	"Considered a Base Building Issue"
Fixed Platforms, Walkways, Stairways, & Ladders	D3D23	<p>Details compliance with AS 1657 in respect to walkways, stairways and ladders serving machinery rooms, boiler houses, lift motor rooms, plant rooms, and the like.</p> <p>Handrail heights shall be not less than 865mm when measured above the stair</p>	DTS	"Considered a Base Building Issue"

BCA Clause Title	Deemed to Satisfy Provisions (Clauses)	Description of Compliance Requirement	"Deemed to Satisfy" OR "Performance Solution" to Satisfy BCA Performance Requirements	Comments
		nosing's of the stair treads. Handrails must be continuous between stair flight landings and have no obstruction on or above them that will tend to break a hand-hold.		
Doorways & Doors	D3D24	Details how doors serving as required exits are to operate. Power-operated automatic sliding doors located at the front and rear entry points must be able to be opened manually under a force of not more than 110 N if there is a malfunction or failure of the power-source.	---	Not applicable.
Swinging Doors	D3D25	Swing doors serving as required exits must swing in the direction of travel, <u>unless</u> it serves a building or part is less than 200 m².	DTS	<p>"See Comments Below"</p> <p><u>Level 2 Tenancy</u> - The glass exit doors in the tenancy swing inwards. BCA states that swing doors serving as required exits must swing in the direction of travel (outwards) where the floor area of the building or part is greater than 200 m².</p> <p>Front Common Area Fire Door Top of Stairs - The exit door to the common stair located at the front of the tenancy swings in the direction of egress. The self-closing device to the fire rated door is missing and is required to be installed.</p> <p><u>Note</u> – The base building swing of doors was not assessed. We did observe that the final exit door in the rear fire stair located on the ground level swings inwards.</p>
Operation of Latch	D3D26	This Clause details hardware/operating requirements for doors in a required exit, forming part of a required exit or in the path of travel to a required exit.	DTS	<p>"Complies"</p> <p>The BCA requires that all exit doors and doors in the path of travel to an exit are to be fitted with single handed action (downward) door hardware positioned at a height of between 900 mm – 1100 mm above finished floor level.</p>


BCA Clause Title	Deemed to Satisfy Provisions (Clauses)	Description of Compliance Requirement	"Deemed to Satisfy" OR "Performance Solution" to Satisfy BCA Performance Requirements	Comments
				<p>In addition, door hardware levers are to:</p> <p>a) be such that the hand of a person who cannot grip will not slip from the handle during the operation of the latch; and</p> <p>b) have a clearance between the handle and the back of the plate or door face at the centre of the grip section of the handle of not less than 35 mm and not more than 45 mm.</p> <p>Our inspection revealed the 2 front glass final exit doors in the tenancy have lever action door hardware.</p> <p><u>Note</u> – The base building door hardware was not assessed and does not form a part of this BCA Report. The door hardware to the exit and fire rated doors in the common stairs are considered a base building issue.</p> <p>"No further action required."</p>
Re-entry from Fire Isolated Exits	D3D27	Stipulates whether you can lock a fire stair entry door from the inside.	---	Not applicable.
Signs on Doors	D3D28	<p>Appropriate signage is required to exit doors opening to fire isolated passageways, and stairways.</p> <p>warning & operational signs are to be mounted on the doors as follows: -</p> <p>"FIRE SAFETY DOOR-DO NOT OBSTRUCT-DO NOT KEEP OPEN" - 20 mm high capital letters.</p>	DTS	<p>"Considered a Base Building Issue"</p> <p>It is however recommended that the following signage be mounted on the front and rear exit fire rated doors located on level 2 –</p> <p>"FIRE SAFETY DOOR-DO NOT OBSTRUCT-DO NOT KEEP OPEN" – in 20 mm high capital letters.</p>
Protection of Openable Windows	D3D29	This Clause requires protection of window opening.	---	Not applicable.
Timber stairways: Concession	D3D30	This Clause provides concessions for fire-isolated stairways and passageways constructed from fire-protected timbers.	---	Not applicable.

BCA Clause Title	Deemed to Satisfy Provisions (Clauses)	Description of Compliance Requirement	"Deemed to Satisfy" OR "Performance Solution" to Satisfy BCA Performance Requirements	Comments
BCA PART E1 - FIRE FIGHTING EQUIPMENT				
Objectives, Functional Statements, Performance Requirements & Verification Methods	E101, E1FI E1P1 - E1P6 E1V1	Specifies Objectives, Functional Statements, Performance Requirements & Verification Methods.	---	Noted. No Recommendations
Hydrants	E1D2	This Clause stipulates when fire hydrants are required.	DTS	<p>"See Comments Below"</p> <p>Buildings of this type are required to be served by a fire hydrant system in accordance with the BCA and AS 2419.1 where the total floor area of the building exceeds 500m².</p> <p>The floor area of the building is greater than 500m². Our inspection on the 2/11/2024 revealed that an existing fire hydrant is located in the cabinet on level 2 adjacent to the front entry door to the subject tenancy.</p> <p>Refer to the Annual Fire Safety Statement for the base building dated 6/6/2024. It appears the fire hydrant system was installed to AS2419.1-1994.</p>
Fire Hose Reels	E1D3	This Clause stipulates when fire hose reels are required.	DTS	<p>"See Comments Below"</p> <p>A fire hose reel system is required to be provided where the floor area of a compartment or building is greater than 500m².</p> <p>Our inspection on the 2/11/2024 revealed that an existing fire hose reel is located in the cabinet on level 2 adjacent to the front entry door to the subject tenancy.</p> <p>Refer to the Annual Fire Safety Statement for the base building dated 6/6/2024. It appears the fire hose reel system was</p>

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				<p>installed to AS2441-1988.</p> <p>All materials are to be removed from the hose reel and hydrant cabinet.</p> 
Sprinklers	E1D4	This Clause stipulates when sprinklers are required.	DTS	Noted.
Where Sprinklers are Required: All Classifications	E1D5	This Clause stipulates where sprinklers are required throughout the whole building if any part of the building has an effective height more than 25 m.	DTS	<p>"Tenancy to Comply"</p> <p>Although the building has an effective height of less than 25 metres, our inspection revealed that a sprinkler system has been installed throughout level 2 tenancy.</p> <p>The inspection revealed the following works are required in the tenancy to ensure full sprinkler coverage in accordance with AS2118.1 –</p> <p><u>Female Toilet</u> – Sprinklers are missing in the female toilet. Install one (1) sprinkler head in the female toilet.</p>

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				<p><u>Single Toilet near Female Toilet</u> – Sprinkler is missing in the single toilet. It is recommended that one (1) sprinkler head is installed in the toilet.</p> <p><u>Open Gym Area near the back Office on the Left-side of the Tenancy</u> – Our inspection of the left corner of the open gym area revealed the existing sprinklers are out of rule and full sprinkler coverage is not achieved. It is recommended that one (1) additional sprinkler head is installed to the left corner of the open gym area near the rear office.</p> <p>It is recommended that a fire contractor or licenced plumber be engaged to complete the above works.</p> <p><u>Installation Certificate</u> – An installation certificate shall be submitted upon completion of the sprinkler works.</p>
Where Sprinklers are Required: Class 2 & 3 Buildings other than Residential Care Buildings	E1D6	This Clause stipulates where sprinklers are required in Class 2 & 3 buildings (other than Residential Care buildings).	---	Not applicable.
Where Sprinklers are Required: Class 3 Buildings used as Residential Care Buildings	E1D7	This Clause stipulates where sprinklers are required in Class 3 Residential Care buildings.	---	Not applicable.
Where Sprinklers are Required: Class 6 Buildings	E1D8	This Clause stipulates where sprinklers are required in Class 6 buildings.	---	Not applicable.
Where Sprinklers are Required: Class 7a Building, other than an Open Deck	E1D9	This Clause stipulates where sprinklers are required in Class 7a building, other than an open deck carpark	---	Not applicable.

BCA Clause Title	Deemed to Satisfy Provisions (Clauses)	Description of Compliance Requirement	"Deemed to Satisfy" OR "Performance Solution" to Satisfy BCA Performance Requirements	Comments
Carpark				
Where Sprinklers are Required: Class 9a Health Care Building used as a Residential Care Building & Class 9c Buildings	E1D10	This Clause stipulates where sprinklers are required in a Class 9a health care building used as a residential care building & Class 9c buildings.	---	Not applicable.
Where Sprinklers are Required: Class 9b Buildings	E1D11	This Clause stipulates where sprinklers are required in Class 9b buildings.	DTS	(Refer to Notes in BCA Clause E1D5 above).
Where Sprinklers are Required: Additional Requirements	E1D12	This Clause stipulates where sprinklers are required in atriums & large isolated buildings.	---	Not applicable.
Where Sprinklers are Required: Occupancies of Excessive Hazard	E1D13	This Clause stipulates where sprinklers are required in buildings with occupancies of excessive hazard.	---	Not applicable.
Portable Fire Extinguishers	E1D14	<p>This Clause stipulates where extinguishers need to be installed.</p> <p>Portable fire extinguishers are required throughout the whole Class 9b building in accordance with E1D14 of the BCA and AS 2444-2001 with identification and location signage.</p> <p><u>Note:</u> The portable fire extinguishers must be positioned to ensure that they do not encroach on the minimum 1000 mm exit widths.</p> <p>Portable fire extinguishers must be mounted at a height not greater than 1.2 metres from the finished floor level.</p> <p>Location signs are to be mounted above or near the fire extinguishers at a minimum height of 2 metres from the finished floor level.</p>	DTS	<p>"Complies"</p> <p>Our inspection on 2/11/2024 revealed portable fire extinguishers have been installed on level 2.</p> <p>Refer to the Annual Fire Safety Statement for the base building dated 6/6/2024. It appears the portable fire extinguishers were installed to AS2444-1988-2001.</p> <p>"No further action required."</p>

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Fire Control Centres	E1D15	This Clause stipulates when a fire control centre is required.	---	Not applicable.
Fire Precautions during Construction	E1D16	Fire services must be provided and be operational during the construction phase in accordance with Clause E1D16.	---	Not applicable.
Provision for Special Hazards	E1D17	Outlines where special provisions are required certain hazards.	---	Not applicable.
BCA PART E2 - SMOKE HAZARD MANAGEMENT				
Deemed to Satisfy Provisions	E2D1	This Clause stipulates that the proposed development complies with Section E Performance Requirements of the BCA if the Deemed to Satisfy Provisions are met.	---	Noted. No recommendations.
Application of Part	E2D2	Stipulates where Smoke Hazard Management provisions do not apply.	DTS	"Tenancy to Comply" <i>(Refer to Notes in BCA Clauses E2D9 & E2D16 for Class 9b buildings that have ducted</i>

BCA Clause Title	Deemed to Satisfy Provisions (Clauses)	Description of Compliance Requirement	"Deemed to Satisfy" OR "Performance Solution" to Satisfy BCA Performance Requirements	Comments
				<i>mechanical systems which are required to be provided with a system of automatic shutdown).</i>
General Requirements	E2D3	Details how compliance is achieved with both Smoke Hazard Management Provisions including treatment of systems that may not be part of the overall Smoke Hazard Management System.	DTS	Noted.
Fire Isolated Exits	E2D4	This Clause stipulates when exits are required to be air pressurised or provided with open access ramps or balconies.	---	Not applicable.
Buildings more than 25 metres Effective Height: Class 2 & 3 Buildings & Class 4 part of Building	E2D5	This Clause stipulates smoke hazard management requirements for Class 2, 3 and 4 buildings greater than 25 m effective height.	---	Not applicable.
Buildings more than 25 metres Effective Height: Class 5, 6, 7b, 8 & 9b Buildings	E2D6	This Clause stipulates smoke hazard management requirements for Class 5, 6, 7b, 8 & 9b buildings greater than 25 m effective height.	---	Not applicable.
Buildings more than 25 metres Effective Height: Class 9c Buildings	E2D7	This Clause stipulates smoke hazard management requirements for Class 9c buildings greater than 25 m effective height.	---	Not applicable.
Buildings not more than 25 metres Effective Height: Class 2 & 3 Buildings & Class 4 part of Building	E2D8	This Clause stipulates smoke hazard management requirements for Class 2, 3 and 4 buildings less than 25 m effective height.	---	Not applicable.
Buildings not more than 25 metres Effective Height: Class 5, 6, 7b, 8 & 9b Buildings	E2D9	This Clause stipulates smoke hazard management requirements for Class 5, 6, 7b, 8 & 9b buildings less than 25 m effective height.	DTS	"See Comments Below" BCA Clause E2D9 states where a Class 9b building has a rise in storeys of more than 2 the building must have one of the following installed -

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				(a) an automatic smoke detection and alarm system complying with Specification 20; or (b) Sprinkler system (other than a FPAA 101D or FPAA 101H system) complying with Specification 20. Our inspection of the building revealed that a sprinkler system has been installed.
Buildings not more than 25 metres Effective Height: Large Isolated Buildings Subject to C3D4	NSW E2D10	This Clause stipulates smoke hazard management requirements for large isolated buildings.	---	Not applicable.
Buildings not more than 25 metres Effective Height: Class 9a & 9c Buildings	E2D11	This Clause stipulates smoke hazard management requirements for Class 9a & 9c buildings less than 25 m effective height.	---	Not applicable.
Class 7a Buildings	E2D12	This Clause stipulates smoke hazard management requirements for Class 7a buildings.	---	Not applicable.
Basements (other than Class 7a Buildings)	E2D13	This Clause stipulates smoke hazard management requirements for Basements (other than Class 7a buildings).	---	Not applicable.
Class 6 buildings – In Fire Compartments more than 2000 m2: Class 6 Building (not containing an enclosed common walkway or mall serving more than one Class 6 sole-occupancy unit)	E2D14	This Clause stipulates additional smoke hazard management requirements for Class 6 buildings (not containing an enclosed walkway or mall).	---	Not applicable.

BCA Clause Title	Deemed to Satisfy Provisions (Clauses)	Description of Compliance Requirement	"Deemed to Satisfy" OR "Performance Solution" to Satisfy BCA Performance Requirements	Comments
Class 6 buildings – In Fire Compartments more than 2000 m2: Class 6 Building (containing an enclosed common walkway or mall serving more than one Class 6 sole-occupancy unit)	E2D15	This Clause stipulates additional smoke hazard management requirements for Class 6 buildings (containing an enclosed walkway or mall).	---	Not applicable.
Class 9b - Assembly Buildings: Nightclubs, Discotheques (and the like)	NSW E2D16	This Clause stipulates additional smoke hazard management requirements for Class 9b buildings (Nightclubs, Discotheques and the like).	DTS	<p>"Tenancy to Comply"</p> <ul style="list-style-type: none"> (a) A class 9b building to be provided with automatic shutdown of any air-handling system (other than a miscellaneous exhaust air systems in accordance with Section 5 and 6 of AS1668.1) which does not form a part of the smoke hazard management system on the activation of – (b) Smoke detectors installed complying with Specification S20C6; and (c) Any other installed fire detection and alarm system, including a sprinkler system complying with Specification 17; and <p>(b) at least one of the following:</p> <ul style="list-style-type: none"> (i) An automatic smoke exhaust system complying with Specification 20. (ii) A sprinkler system (other than a FPAA 101D or FPAA 101H system) complying with Specification 17 with quick response sprinkler heads. <p>Details of compliance shall be indicated on the architectural plans.</p> <p>A/C shutdown is to be completed in accordance with AS1670.1-2018 including Section 7 to initiate mechanical system shutdown.</p> <p>It is recommended an FPAS Accredited Fire Safety Designer (mechanical) be engaged</p>

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				to prepare fire safety design plans and design certificate for A/C Shutdown if a ducted system is currently installed or proposed to be installed in the building.
Class 9b - Assembly Buildings: Exhibition Halls	NSW E2D17	This Clause stipulates additional smoke hazard management requirements for Class 9b buildings (Exhibition Halls).	---	Not applicable.
Class 9b - Assembly Buildings: Theatres & Public Halls	NSW E2D18	This Clause stipulates additional smoke hazard management requirements for Class 9b buildings (Theatres & Public Halls).	---	Not applicable.
Class 9b - Assembly Buildings: Theatres & Public Halls (not listed in E2D18) Lecture Theatres and Cinema/Auditorium Complexes	NSW E2D19	This Clause stipulates additional smoke hazard management requirements for Class 9b buildings (not listed in E2D18) including Lecture Theatres and Cinema / Auditorium Complexes.	---	Not applicable.
Class 9b - Assembly Buildings: Other Assembly Buildings (not listed in E2D16 to E2D19)	E2D20	This Clause stipulates additional smoke hazard management requirements for Class 6 buildings (containing an enclosed walkway or mall).	---	Not applicable.
Provision for Special Hazards	E2D21	Outlines where special provisions are required certain hazards.	---	Not applicable.
BCA PART E3 - LIFT INSTALLATIONS				
Lift Installations	E3D1 - E3D12	These Clauses detail construction and design of lift installations.	---	Not applicable.
BCA PART E4 - VISIBILITY IN AN EMERGENCY, EXIT SIGNS & WARNING SYSTEMS				
Deemed to Satisfy Provisions	E4D1	Specifies DTS means to satisfy performance requirements E4P1, E4P2 & E4P3.	---	Noted. No recommendations.
Emergency Lighting Requirements	E4D2	Design and installation requirements for emergency lighting. A manual testing facility be installed in the	DTS	"Tenancy to Comply" Emergency lighting is required in a building or tenancy where the gross floor area is

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		building to allow the 6-monthly discharge test to be conducted in accordance with AS/NZS2293.2-2019.		<p>greater than 300m2.</p> <p>Our inspection revealed the gross floor area of the class 9b tenancy is greater than 300m2 and therefore emergency lighting is required in the building.</p> <p>During our inspection we noted several emergency lights have been installed in the tenancy, however the existing emergency lighting system is not sufficient.</p> <p>It is recommended that the existing emergency lighting be reviewed and additional emergency lights be installed throughout the level 2 tenancy.</p> <p>It is recommended that the applicant or lessee engage a licenced electrician to install additional recessed spit-fire emergency lights within 2 metres of exits and along corridors and paths leading to exits.</p> <p>Spot checks throughout the building revealed that additional emergency lighting to be provided as follows: -</p> <ul style="list-style-type: none"> - <u>Rear Shared Amenities Corridor</u> – Install two (2) emergency lights along the rear corridor. One (1) spit-fire emergency light to be located in the corridor near the fire stairs at the rear of the tenancy and install an additional spit-fire emergency light in the rear corridor near the electrical switchboard & kitchenette. - <u>Men's & Female Toilets</u> – It is recommended that one (1) spit-fire emergency light be installed in each of the men's and female toilet. - <u>Open Gym Area</u> – Install additional emergency spit-fire lights near the front and rear exits and along paths

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				<p>leading to the exits. The licenced electrician to determine the location of the additional spit-fire emergency lights.</p> <ul style="list-style-type: none"> - <u>Front of Tenancy - Front Corridor near Side Exit</u> – Install one (1) additional spit-fire emergency light in the corridor. - <u>Front Corridor near Fire Hose Reel/Hydrant Cupboard</u> – Our inspection revealed no emergency light has been installed within the front common corridor. <p>Refer to the Annual Fire Safety Statement for the base building dated 6/6/2024. It appears the emergency lighting system was installed to AS/NZS2293.1-1998.</p> <p><u>Installation Certificate</u> – An installation certificate is to be provided by the electrician upon completion of works.</p> <p>Details of compliance shall be indicated on the architectural plans.</p>
Measurement of Distance	E4D3	Method of measurement.	DTS	<p>Noted. Information Clause Only.</p> <p>Distances, other than vertical rise, must be measured along the shortest path of travel whether by straight lines, curves or a combination of both.</p>
Design & Operation of Emergency Lighting	E4D4	Standard applicable to emergency lighting and exit signs.	DTS	<p>"Tenancy to Comply" (Refer to Notes in BCA Clause E4D2 above).</p>
Exit & Direction Signs	E4D5 & E4D6	Design and installation requirements for exit signs & direction signs.	DTS	<p>"Tenancy to Comply"</p> <p>Our inspection of the building revealed there are existing illuminated exit and directional signs installed in the tenancy, however the existing signage system is not sufficient and does not comply with</p>

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				<p>AS/NZS2293.1 and BCA. The inspection revealed missing exit and direction signs along paths of travel to exits, rear fire exit above fire rated door and above or near exit doors. Some exit signs are also missing pictorials.</p> <p>An exit sign must be clearly visible to persons approaching the exit, and must be installed on, above or adjacent to final exit doors and along paths of travel in the Class 9b building.</p> <p>It is recommended that the existing exit and directional signs be reviewed and additional signage be installed throughout the level 2 tenancy.</p> <p>It is recommended that the applicant engage a licenced electrician to conduct an audit of the exit signage system for compliance.</p> <p>Refer to the Annual Fire Safety Statement for the base building dated 6/6/2024. It appears the exit signage system was installed to AS/NZS2293.1-1998.</p> <p><u>Installation Certificate</u> – An installation certificate is to be provided by the electrician upon completion of works.</p> <p>Details of compliance shall be indicated on the architectural plans.</p>
Class 2 & 3 Buildings and Class 4 parts: Exemptions	E4D7	Exemptions permitted for 2 & 3 buildings and Class 4 (parts).	---	Not applicable
Design & Operation of Exit Signs	E4D8	Standards applicable to illuminated exit signs and to photoluminescent exit signs.	DTS	"Tenancy to Comply" (Refer to Notes in BCA Clauses E4D5 & E4D6 above).
Early Warning & Intercommunication	E4D9	This Clause details where a EWIS system is required.	---	Not applicable.

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System (EWIS)				
SPECIFICATION 17 – (FIRE SPRINKLER SYSTEMS)				
Fire Sprinkler Systems	S17C1 - S17C14	This Specification sets out requirements for the design and installation of fire sprinkler systems.	DTS	"Tenancy to Comply" <i>(Refer to Notes in BCA Clause E1D5 above).</i>
SPECIFICATION 18 – (CLASS 2 & 3 BUILDINGS NOT MORE THAN 25 METRES EFFECTIVE HEIGHT)				
Class 2 & 3 Buildings not more than 25.0 metres Effective Height	S18C1 - S18C4	This Specification sets out requirements for the design and installation of fire sprinkler systems.	---	Not applicable.
SPECIFICATION 19 – (FIRE CONTROL CENTRES)				
Fire Control Centres	S19C1 - S18C13	This Specification describes the construction & content of required Fire Control Centres or Rooms.	---	Not applicable.
SPECIFICATION 20 – (SMOKE DETECTION & ALARM SYSTEMS)				
Smoke Detection & Alarm Systems	S20C1 – S20C8	This Specification outlines the design of various smoke detection and alarm systems.	DTS	"Tenancy to Comply" <i>(Refer to Notes in BCA Clauses E2D2 & E2D16 (NSW) above regarding A/C shutdown where a ducted system is present in the building).</i>
SPECIFICATION 21 – (SMOKE EXHAUST SYSTEMS)				
Smoke Exhaust Systems	S21C1 – S21C8	This Specification highlights the requirements for mechanical smoke exhaust and zone smoke control systems.	---	Not applicable.
SPECIFICATION 22 – (SMOKE & HEAT VENTS)				
Smoke & Heat Vents	S22C1 – S22C3	Details use and construction of smoke and heat vents.	---	Not applicable.
SPECIFICATION 23 – (RESIDENTIAL FIRE SAFETY SYSTEMS)				

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Residential Fire Safety Systems	S23C1 – S23C9	Details the use of use of Residential Fire Safety Systems referenced in Specification 18 of the BCA.	---	Not applicable.
SPECIFICATION 24 – (LIFT INSTALLATIONS)				
Lift Installations	S24C1 – S24C6	This Specification contains requirements for electric passenger lift installations and electrohydraulic passenger lift installations.	---	Not applicable.
SPECIFICATION 25 – (PHOTOLUMINESCENT EXIT SIGNS)				
BCA SECTION F – HEALTH & AMENITY				
Surface Water Management, rising damp and external Waterproofing	F1D1	Deemed-to-Satisfy Provisions.	DTS	Noted. Information Clause.
Surface Water Management, rising damp and external Waterproofing	F1D2	Application of Part.	DTS	Noted. Information Clause.
Surface Water Management, rising damp and external Waterproofing	F1D3	Provision of Stormwater drainage. All new/proposed stormwater drainage must be designed and constructed in accordance with AS/NZS3500.3.	---	Not applicable.
Surface Water Management, rising damp and external Waterproofing	F1D4	Provision of Exposed Joints. Any exposed joints in the drainage surface on a roof, balcony, podium or similar horizontal surface part of a building must – (a) be protected in accordance with Section 2.9 of AS 4654.2; and (b) not be located beneath or run through a planter box, water feature or similar part of the	---	Not applicable.

BCA Clause Title	Deemed to Satisfy Provisions (Clauses)	Description of Compliance Requirement	"Deemed to Satisfy" OR "Performance Solution" to Satisfy BCA Performance Requirements	Comments
		building.		
Surface Water Management, rising damp and external Waterproofing	F1D5	<p>Provision of external waterproofing membranes.</p> <p>A roof, balcony, podium or similar horizontal surface of a building must be provided with a waterproofing membrane-</p> <ul style="list-style-type: none"> (a) consisting of materials complying with AS4654.1; and (b) designed and installed in accordance with AS4654.2. 	---	Not applicable.
Surface Water Management, rising damp and external Waterproofing	F1D6	Provision of Damp-proofing.	---	Not applicable.
Surface Water Management, rising damp and external Waterproofing	F1D7	Provision of Damp-proofing of floors on the ground.	---	Not applicable.
Surface Water Management, rising damp and external Waterproofing	F1D8	<p>Provision of subfloor ventilation.</p> <p>Climate Zone – C.</p> <p>Refers to buildings where subfloor ventilation is required in buildings located in climate zone C.</p> <p>1) Subfloor spaces must—</p> <ul style="list-style-type: none"> a. be provided with openings in external walls and internal subfloor walls in accordance with Table F1D8 for the climatic zones given in Figure F1D8; and b. have clearance between the ground surface and the underside of the lowest horizontal member in the subfloor in accordance 	---	Not applicable.

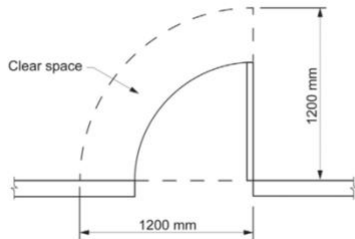
BCA Clause Title	Deemed to Satisfy Provisions (Clauses)	Description of Compliance Requirement	"Deemed to Satisfy" OR "Performance Solution" to Satisfy BCA Performance Requirements	Comments
		<p>with Table F1D8.</p> <p>(2) In addition to (1), a subfloor space must—</p> <ul style="list-style-type: none"> a. be cleared of all building debris and vegetation; and b. have the ground beneath the suspended floor graded to prevent surface water ponding under the building; and c. contain no dead air spaces; and d. have openings evenly spaced as far as practicable; and e. have openings placed not more than 600 mm in from corners. <p>(3) In double leaf masonry walls, openings specified in (1) must be provided in both leaves of the masonry, with openings being aligned to allow an unobstructed flow of air.</p> <p>(4) Openings in internal subfloor walls specified in (1) must have an unobstructed area equivalent to that required for the adjacent external openings.</p> <p>(5) Where the ground or subfloor space is excessively damp or subject to frequent flooding, in addition to the requirements of (1) to (4)—</p> <ul style="list-style-type: none"> a. the subfloor ventilation required in (1) must be increased by 50%; or b. the ground within the subfloor space must be sealed with an impervious membrane; or c. subfloor framing must be— <ul style="list-style-type: none"> i. where above ground, 		

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		<p>above-ground durability Class 1 or 2 timbers or H3 preservative treated timbers in accordance with AS 1684.2, AS 1684.3 or AS 1684.4; or</p> <p>ii. where in ground, in-ground durability Class 1 or 2 timbers or H5 preservative treated timbers in accordance with AS 1684.2, AS 1684.3 or AS 1684.4; or</p> <p>iii. steel in accordance with NASH Standard 'Residential and Low-Rise Steel Framing' Part 2.</p>		
Wet Areas & Overflow Protection	F2D1	Deemed-to-Satisfy Provisions.	DTS	Noted. Information Clause.
Wet Areas & Overflow Protection	F2D2	<p>Provision of wet area construction.</p> <p>In a Class 9b building, building elements in wet areas (bathrooms, shower room, a slop hopper or sink compartment, laundry or sanitary compartment) must –</p> <p>(a) be water resistant or waterproof in accordance with BCA Specification 26; and</p> <p>(b) comply with AS3740-2021.</p>	DTS	Noted. Existing sanitary compartments.
Wet Areas & Overflow Protection	F2D3	Provision of rooms containing urinals.	---	Not applicable. Our inspection revealed there are no urinals installed in the building.
Wet Areas & Overflow Protection	F2D4	<p>Provision of Floor Wastes.</p> <p>Where a floor waste is installed –</p> <p>(a) the minimum continuous fall of a floor plane to the waste must be</p>	---	Not applicable. Existing sanitary compartments.

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		1:80; and (b) the maximum continuous fall of a floor plane to the waste must be 1:50.		
Roof & Wall Cladding	F3D1	Deemed-to-Satisfy Provisions.	DTS	Noted. Information Clause.
Roof & Wall Cladding	F3D2	Provision of Roof Coverings.	DTS	Noted.
Roof & Wall Cladding	F3D3	Provision of Sarking.	---	Not applicable.
Roof & Wall Cladding	F3D4	Provision of Glazed assemblies. The following glazed assemblies if proposed must comply with AS2047 requirements for resistance to water penetration of the windows, shopfronts, sliding/glazed doors with a frame and window walls with one piece framing.	---	Not applicable.
Roof & Wall Cladding	F3D5	Provision of Wall cladding. (1) External wall cladding must comply with one or a combination of the following: (a) Masonry, including masonry veneer, unreinforced or reinforced masonry to AS3700. (b) Autoclaved aerated concrete to AS5146.3. Metal wall cladding to AS1562.1.	---	Not applicable.
Sanitary and Other Facilities	F4D1 – F4D12	Provision of sanitary, washing facilities and control of micro-organisms.	DTS	"Tenancy to Comply" <u>BCA Clause F4D1 - Deemed-to-Satisfy Provisions</u> – Noted. Information Clause. <u>BCA Clause F4D2 – Facilities in Residential Buildings</u> – Not applicable. <u>BCA Clause F4D3 – Calculation of number</u>

BCA Clause Title	Deemed to Satisfy Provisions (Clauses)	Description of Compliance Requirement	"Deemed to Satisfy" OR "Performance Solution" to Satisfy BCA Performance Requirements	Comments
				<p>of occupants and facilities – The number of persons accommodated must be calculated according to BCA Clause D2D18 if it cannot be more accurately determined by other means. Sanitary facilities must be provided on the basis of equal numbers of males and females. In calculating the number of sanitary facilities to be provided under F4D4, a unisex facility required for people with a disability (other than a facility provided under F4D12) may be counted once for every sex.</p> <p>Details of compliance shall be indicated on the architectural plans to demonstrate compliance.</p> <p><u>BCA Clause F4D4 – Sanitary Facilities</u> Class 9b Gym –</p> <p><u>Male Patrons</u> –</p> <p><u>Closet pans</u> – 1-20 male persons – 1 closet pan required, then add 1 additional closet pan per 20 persons.</p> <p><u>Urinals</u> – 1-10 male persons – 1 urinal required, then add 1 additional urinal per 10 persons.</p> <p><u>Washbasins</u> – 1-10 male persons – 1 washbasin required, then if greater than > than 10 male persons add 1 additional basin per 10 males.</p> <p><u>Female Patrons</u> –</p> <p><u>Closet pans</u> – 1-10 female persons – 1 closet pan required, then add 1 additional closet pan per 10 persons.</p> <p><u>Washbasins</u> – 1-10 female persons – 1 washbasin required, then if greater than > than 10 female persons add 1 additional basin per 10 females.</p> <p>Adequate means of disposal of sanitary</p>

BCA Clause Title	Deemed to Satisfy Provisions (Clauses)	Description of Compliance Requirement	"Deemed to Satisfy" OR "Performance Solution" to Satisfy BCA Performance Requirements	Comments
				<p>products must be provided in the unisex sanitary facility for use by females.</p> <p>Class 9b buildings must be provided with one shower for each 10 participants or part thereof.</p> <p>Not less than one washbasin must be provided where closet pans and urinals are provided.</p> <p>BCA Clause F4D4 states where not more than 10 people are employed, a unisex facility may be provided instead of separate facilities for each sex. Adequate means of disposal of sanitary products must be provided in the unisex sanitary facility for use by females.</p> <p>The designer or architect to confirm the total number of patrons to determine the total number of facilities required in the tenancy.</p> <p>Details of compliance shall be indicated on the architectural plans.</p> <p><u>BCA Clauses F4D5, F4D6, F4D7 – Accessible Sanitary Facilities, Accessible Unisex Sanitary Compartments, Accessible Unisex Showers –</u> Not assessed. Accessible facilities are outside of the scope of this report.</p> <p><u>BCA Clause F4D8 - Construction of Sanitary Facilities</u> - The door to a fully enclosed sanitary compartment must either open outwards, slide or be capable of being removed from the outside unless there is a clear space of 1.2 metres between the door and the closet pan.</p> <p>Details of compliance shall be indicated on the architectural plans.</p>

BCA Clause Title	Deemed to Satisfy Provisions (Clauses)	Description of Compliance Requirement	"Deemed to Satisfy" OR "Performance Solution" to Satisfy BCA Performance Requirements	Comments
				 <p>BCA Clause F4D9 – Interpretation Urinals & Handbasins – A urinal if provided may be an individual stall or wall hung urinal; or each 600 mm length of continuous urinal trough; or a closet pan used in place of a urinal. A washbasin may be an individual basin; or a part of a hand washing trough served by a single water tap.</p> <p>Details of compliance shall be indicated on the architectural plans if urinals are required or proposed to be installed in the tenancy subject to the total number of male patrons.</p> <p>BCA Clause F4D10 – Microbial (legionella) Control – Hot water, warm water and cooling water systems in a building must be installed in accordance with AS/NZS3666.1.</p> <p>Details of compliance shall be indicated on the architectural plans.</p> <p>BCA Clause F4D11 – Waste Management – Not applicable.</p> <p>BCA Clause F4D12 – Accessible Adult change Facilities – Not assessed. Accessible facilities are outside of the scope of this report.</p>
Room Heights	F5D1 & F5D2	Requirements for minimum room height.	DTS	<p>"Complies"</p> <p>Room Heights for a Class 9b Building including corridors which accommodates not more than 100 persons – The BCA states</p>

BCA Clause Title	Deemed to Satisfy Provisions (Clauses)	Description of Compliance Requirement	"Deemed to Satisfy" OR "Performance Solution" to Satisfy BCA Performance Requirements	Comments
				<p>that a minimum height of 2.4 metres is required.</p> <p><u>Room Heights for a Class 9b Building including corridors which accommodates more than 100 persons</u> – The BCA states that a minimum height of 2.7 metres is required.</p> <p><u>Note</u> – It is understood that the total number of patrons will be less than 100 persons and therefore a minimum floor to ceiling height of 2.4 metres is required.</p> <p>Our inspection carried out on 2/11/2024 revealed the floor to ceiling height is over 2.4 metres (actual height between 2.440 m to 2.7 metres to the main gym parts and over 2.1 metres (actual height 2.350 m) in the sanitary facilities.</p> <p>The height of rooms and other spaces in the Class 9b building must not be less than –</p> <ul style="list-style-type: none"> - For a bathroom, shower room, sanitary facility compartment, other than an accessible adult change facility, airlock, tea preparation room, pantry store room, garage or the like – not less than 2.1 metres; and - For a commercial kitchen – not less than 2.4 metres; and - Above a stairway, ramp, landing or the like – not less than 2 metres measured vertically above the nosing line of the stair treads or the surface of the ramp, landing or the like. <p>"No further action required."</p>
Light and Ventilation	F6D1 & F6D12	Requirements for light and ventilation.	DTS	<p>"Further Information Required"</p> <p><u>BCA Clauses F6D1 Deemed to Satisfy</u></p>

BCA Clause Title	Deemed to Satisfy Provisions (Clauses)	Description of Compliance Requirement	"Deemed to Satisfy" OR "Performance Solution" to Satisfy BCA Performance Requirements	Comments
				<p>Provisions – Noted.</p> <p><u>F6D2– Provision of Natural Light</u> – Not applicable.</p> <p><u>BCA Clause F6D3. – Methods and extent of Natural Lighting</u> – Not applicable.</p> <p><u>BCA Clause F6D4 - Natural Light Borrowed from adjoining Room</u> – Not applicable</p> <p><u>BCA Clause F6D5 - Artificial Lighting</u> – Artificial lighting is required to rooms that are frequently occupied, all spaces required to be accessible, all corridors, lobbies, internal stairways, other circulation spaces and paths of egress in accordance with AS/NZS1680.0.</p> <p>The applicant or the architect shall demonstrate compliance with AS/NZS1680.0 regarding the provision of artificial lighting.</p> <p><u>BCA Clause F6D6 – Ventilation of Rooms</u> – A workroom, sanitary compartment bathroom, shower, laundry and any other room occupied by a person for any purpose must have either natural light in accordance with BCA Clause F6D7; or a mechanical ventilation or air handling system complying with AS1668.2 and AS/NZS3666.1.</p> <p>Details of compliance of the mechanical ventilation system within sanitary compartments, wet areas and any other room occupied by a person must comply with AS1668.2 and AS/NZS3666.1.</p> <p><u>BCA Clause F6D7 – Natural Ventilation</u> – Not applicable.</p> <p><u>BCA Clause F6D8 – Ventilation borrowed from adjoining Room</u> – Not applicable.</p> <p><u>BCA Clause F6D9 – Restriction on location of</u></p>

BCA Clause Title	Deemed to Satisfy Provisions (Clauses)	Description of Compliance Requirement	"Deemed to Satisfy" OR "Performance Solution" to Satisfy BCA Performance Requirements	Comments
				<p><u>sanitary compartments</u> – Noted.</p> <p><u>BCA Clause F6D10 – Airlocks</u> – Not applicable.</p> <p><u>BCA Clause F6D11 - Carparks</u> – Not applicable.</p> <p><u>BCA Clause F6D12 – Kitchen local Exhaust Ventilation</u> – Not applicable.</p>
Sound Transmission & Insulation	F7D1 to F7D8	Requirements for sound transmission in Class 2 and 3 buildings.	---	Not applicable.
Condensation Management	F8D1	Deemed-to-Satisfy Provisions.	DTS	Noted.
Condensation Management	F8D2	Application of this Part for Class 2 and 4 Buildings.	DTS	Noted.
Condensation Management	F8D3	<p>External Wall Construction.</p> <p>1) Where a pliable building membrane is installed in an external wall, it must -</p> <p>i) comply with AS/NZS 4200.1-2017; and</p> <p>ii) be installed in accordance with AS 4200.2-2017; and</p> <p>iii) be a vapour permeable membrane for climate zones 6, 7 and 8; and</p> <p>iv) be located on the exterior side of the primary insulation layer of wall assemblies that form the external envelope of a building.</p>	---	Not applicable.
Condensation Management	F8D4	Exhaust Systems.	DTS	<p>"Further Information Required"</p> <p>2) An exhaust system installed in a kitchen, bathroom, sanitary compartment must have a minimum flow rate of –</p> <p>i) 25 L/s for a bathroom or sanitary compartment; and</p> <p>ii) 40 L/s for a kitchen or laundry.</p> <p>3) Exhaust from a kitchen must be discharged directly or via a shaft or duct to</p>

BCA Clause Title	Deemed to Satisfy Provisions (Clauses)	Description of Compliance Requirement	"Deemed to Satisfy" OR "Performance Solution" to Satisfy BCA Performance Requirements	Comments
				<p>outdoor air.</p> <p>4) Exhaust from a bathroom, sanitary compartment, must be discharged –</p> <p>i) directly or via a shaft or duct to outdoor air; or</p> <p>ii) to a roof space that is ventilated in accordance with the BCA.</p> <p>Details of compliance shall be indicated on the architectural plans.</p>
Condensation Management	F8D5	<p>Ventilation of roof spaces.</p> <p>(1) In climate zones 6, 7 and 8, a roof must have a roof space that—</p> <p>a. is located—</p> <p>i. immediately above the primary insulation layer; or</p> <p>ii. immediately above sarking with a vapour permeance of not less than 1.14 µg/N.s, which is immediately above the primary insulation layer; or</p> <p>iii. immediately above ceiling insulation which meets the requirements of J3D7(3) and J3D7(4); and</p> <p>b. has a height of not less than 20 mm; and</p> <p>c. is either—</p> <p>i. ventilated to outdoor air through evenly distributed openings in accordance with Table F8D5; or</p> <p>ii. located immediately</p>	---	Not applicable.

BCA Clause Title	Deemed to Satisfy Provisions (Clauses)	Description of Compliance Requirement	"Deemed to Satisfy" OR "Performance Solution" to Satisfy BCA Performance Requirements	Comments
		<p>underneath roof tiles of an unsarked tiled roof.</p> <p>(2) The requirements of (1) do not apply to a—</p> <ul style="list-style-type: none"> a. concrete roof; or b. roof that is made of structural insulated panels; or c. roof that is subject to Bushfire Attack Level FZ requirements in accordance with AS 3959. 		

CONCLUSION

In summary it is considered that the adoption of the recommendations in this report will result in enhanced fire and life safety commensurate with the age and nature of the building.

It is recommended that a Registered Certifier - Fire Safety to be engaged where compliance with the Deemed to Satisfy of the BCA cannot be achieved.

Council or the accredited certifier to have the final say regarding items in the report and compliance with Building Code of Australia.

If you have any questions in relation to the above, please do not hesitate to contact the undersigned on 0432 227 442.

Report Prepared by:



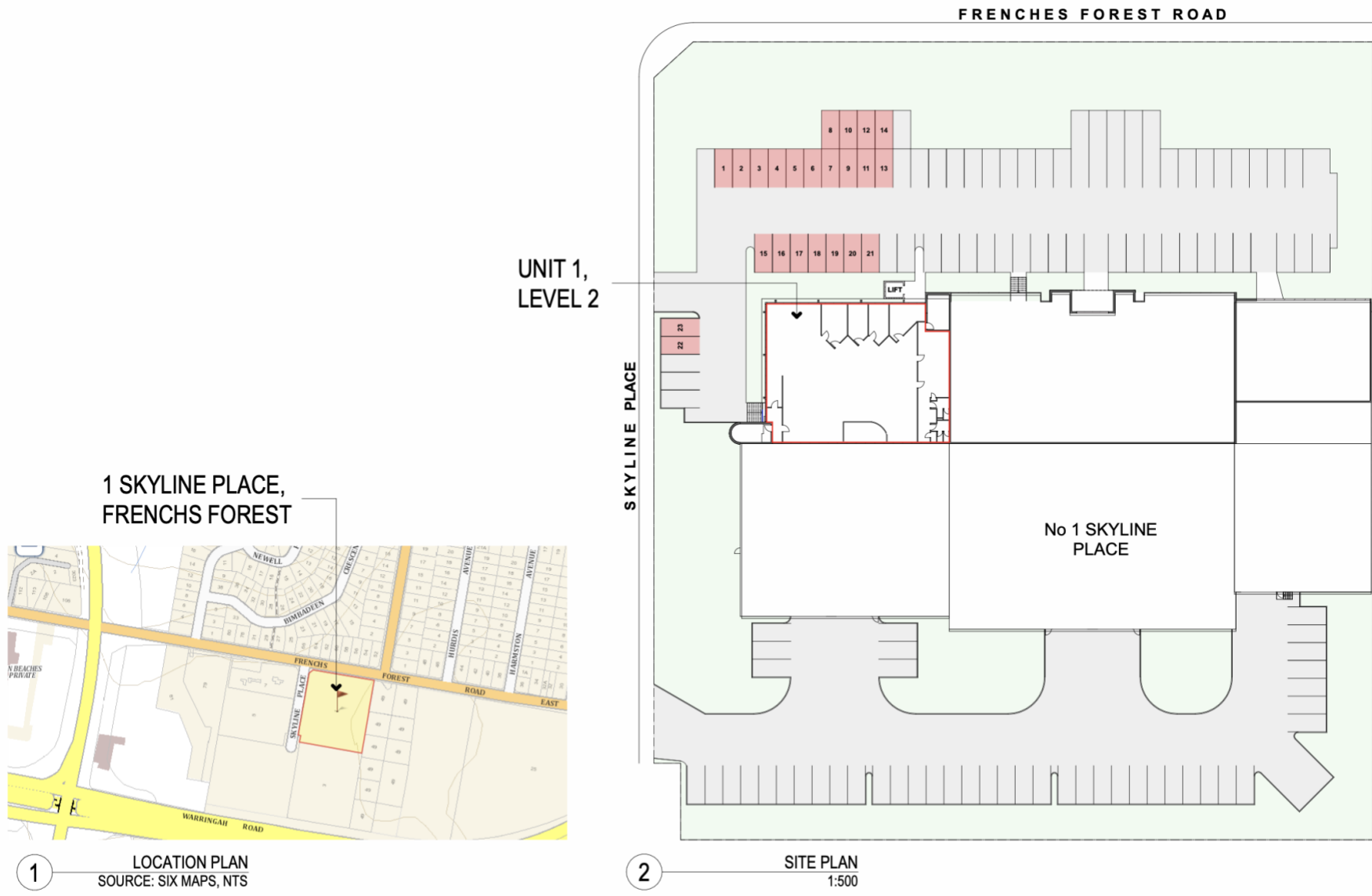
Manuyel Gregory

Senior Building Surveyor/Building Regulations Consultant

Diploma Applied Science Building Surveying

& Certificate IV Fire Technology

12th November, 2024



ISSUE	REVISIONS	DATE	ISSUE	REVISIONS	DATE
			A	ORIGINAL ISSUE	18.07.24

PROJECT:
DEVELOPMENT APPLICATION FOR
SECOND FLOOR TENANCY OF LOT 1
1 SKYLINE PLACE, FRENCHS FOREST
SP 72120

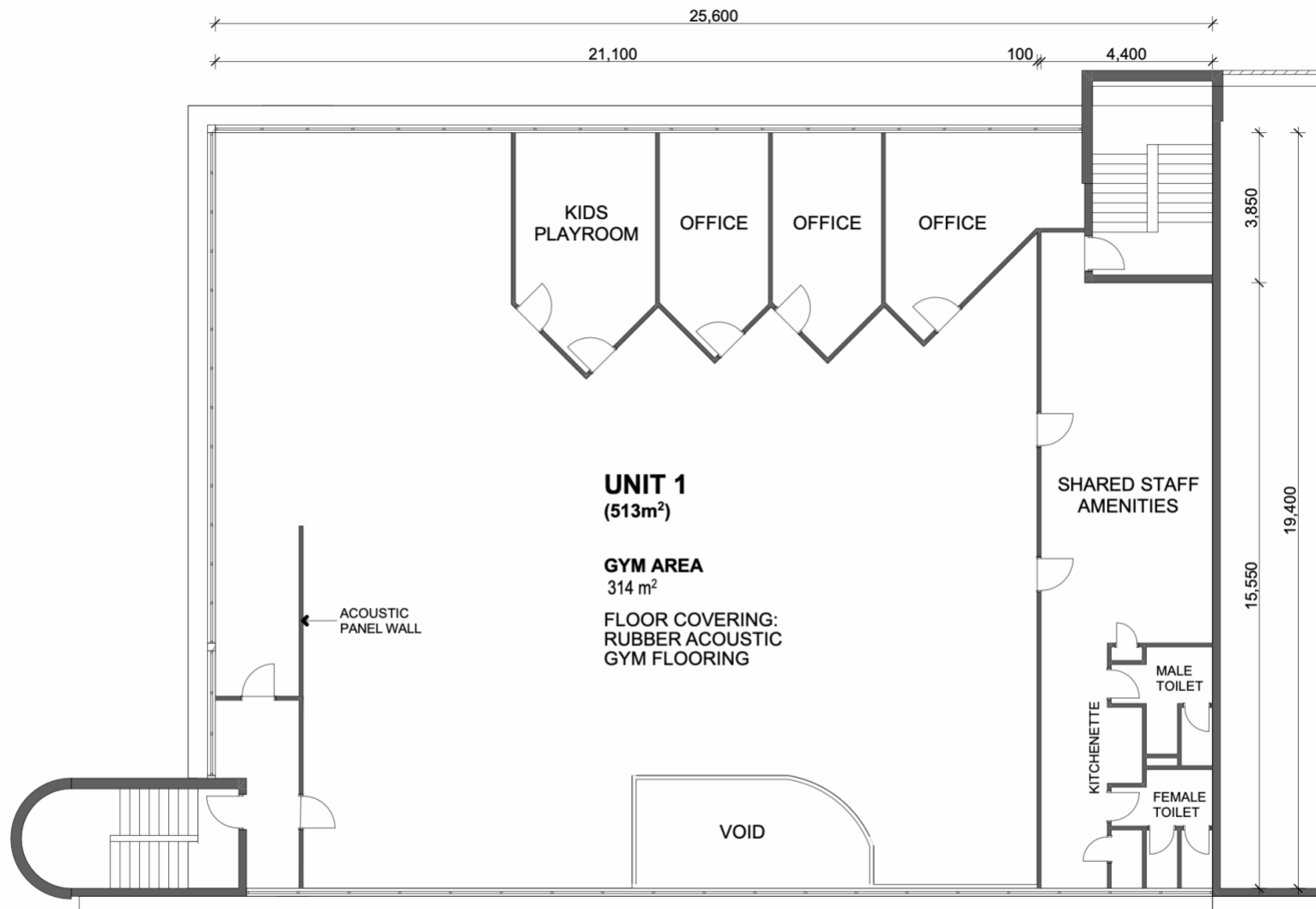
SITE PLAN

SCALE: AS SHOWN

PA STUDIO
LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089
TEL: 8868 1800 FAX: 8868 1999 ACN: 653 389 288

DRAWING SET ID:
SUBSET: UNIT 1
DRAWN BY: FK
FILE: SKY1 DA F45.pln

DA
DA00
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1 FLOOR PLAN
1:100



ISSUE	REVISIONS	DATE	ISSUE	REVISIONS	DATE
			A	ORIGINAL ISSUE	18.07.24

PROJECT:
DEVELOPMENT APPLICATION FOR
SECOND FLOOR TENANCY OF LOT 1
1 SKYLINE PLACE, FRENCHS FOREST
SP 72120

SCALE:
AS SHOWN

LEVEL 2 FLOOR PLAN

PA STUDIO
LEVEL 2, 20 YOUNG ST, NEUTRAL BAY, NSW 2089
TEL: 8968 1985 FAX: 8968 1999 ACN: 603 389 288

DRAWING SET ID:
SUBSET: UNIT 1
DRAWN BY: FK
FILE: SKY1 DA F45.ph

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ISSUE
A

Fire Safety Statement

Part 9 of the Environmental Planning and Assessment Regulation 2000



Please note:

Information to assist building owners to complete each section of the statement is provided on pages 3, 4 and 5.

Section 1: Type of statement

This is (mark applicable box): ☒ an annual fire safety statement (complete the declaration at Section 8 of this form)
☐ a supplementary fire safety statement (complete the declaration at Section 9 of this form)

Section 2: Description of the building or part of the building

This statement applies to: ☒ the whole building ☐ part of the building

Address

1 SKYLINE PLACE, FRENCHS FOREST NSW 2086

Lot No. (if known) DP/SP (if known) Building name (if applicable)

72120

Provide a brief description of the building or part (building use, number of storeys, construction type etc)

6 Lot commercial site.

Section 3: Name and address of the owner(s) of the building or part of the building

Name

The Owners Corporation – Strata Plan 72120 C/- PRD Strata Norwest

Address

PO Box 6191, NORWEST NSW 2153

Section 4: Fire safety measures

Fire safety measure	Minimum standard of performance	Date(s) assessed	APFS *
Portable Fire Extinguishers	AS 2444-2001	15/03/2024	F027409A
Hose Reel Systems	AS 2441 -1988	15/03/2024	F027409A
Fire Hydrant Systems	AS 2419.1 - 1994	15/03/2024	F027409A
Exit Signs	AS 2293.1 - 1998	15/03/2024	F027409A
Emergency Lighting	AS 2293.1 - 1998 E4 .2	15/03/2024	F027409A
Fire Doors	AS 1905 1 & 2 - 1997	15/03/2024	F027409A

* See notes on page 4 about how to correctly identify an accredited practitioner (fire safety) (APFS).

Section 5: Inspection of fire exits and paths of travel to fire exits (Part 9 Division 7)

Part of the building inspected	Date(s) inspected	APFS *
WHOLE BUILDING	15/03/2024	F027409A

* See notes on page 4 about how to correctly identify an accredited practitioner (fire safety) (APFS).

1 SKYLINE PLACE, FRENCHS FOREST NSW 2086

Version 3.1 | Effective from 1 March 2021 | NSW Department of Planning, Industry and Environment | 1

Fire Safety Statement

Part 9 of the Environmental Planning and Assessment Regulation 2000



Section 6: Name and contact details of each accredited practitioner (fire safety) (APFS)

Full name	Phone	Email	Accreditation No.*	Signature
REX BARKER	0434 073 017	SALES@SECUREFIREPROTECTION.COM.AU	F027409A	

Section 7: Details of the person making the declaration in section 8 or 9

Full name (Given Name/s and Family Name)

BEN GIBBONS

Organisation (if applicable)

NEIGHBOURLY STRATA

Title/Position (if applicable)

LICENSEE IN CHARGE

Address (Street No, Street Name, Suburb and Postcode)

PO BOX 6191 NORWEST NSW 2153

Phone

02 8880 1040

Email

FIRESAFETY@NEIGHBOURLY.CO

Section 8: Annual fire safety statement declaration

I, BEN GIBBONS ON BEHALF OF SECTION 3 OWNER being the: ☐ owner ☒ owner's agent

declare that:

- a) each essential fire safety measure specified in this statement has been assessed by an accredited practitioner (fire safety) as capable of performing:
- for an essential fire safety measure specified in the fire safety schedule, to a standard no less than that specified in the schedule, or
 - for an essential fire safety measure applicable to the building but not specified in the fire safety schedule, to a standard no less than that to which the measure was originally designed and implemented, and
- b) the building has been inspected by an accredited practitioner (fire safety) and was found, when it was inspected, to be in a condition that did not disclose grounds for a prosecution under Part 15 of the Regulation.

Owner/Agent Signature

Benjamin Gibbons

Date issued

05/06/2024

Note:

A current fire safety schedule for the building must be attached to the statement in accordance with the Regulation.

FIRE SAFETY SCHEDULE

CLAUSE 168 ENVIRONMENTAL PLANNING & ASSESMENT REGULATION 2000

FIRE SAFETY MEASURES CURRENTLY IN THE BUILDING

PROPERTY: 1 SKYLINE PLACE, FRENCHS FOREST NSW 2086

MINIMUM STANDARD OF PERFORMANCE

1	Portable Fire Extinguishers	AS 2444-2001
2	Hose Reel Systems	AS 2441 -1988
3	Fire Hydrant Systems	AS 2419.1 - 1994
4	Exit Signs	AS 2293.1 - 1998
5	Emergency Lighting	AS 2293.1 - 1998 E4 .2
6	Fire Doors	AS 1905 1 & 2 - 1997
X		