

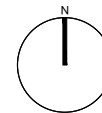
NSW, 2093

<u>SHEET NO.</u>	<u>DRAWING TITLE</u>	<u>SCALE</u>	<u>PAGE NO.</u>
L_100	COVERSHEET, SITE PLAN & AREA CALCULATIONS	1:200	1
L_200	SEDIMENT EROSION, WASTE MGMT & DEMOLITION	1:200	2
L_300	LANDSCAPE DETAIL PLAN	1:100	3
L_400	LANDSCAPE SECTIONS	1:100	4
L_500	LANDSCAPE DETAILS GENERAL	AS SHOWN	6
L_600	LANDSCAPE SPECIFICATION GENERAL	AS SHOWN	7

TOTAL PROPOSED PRIVATE OPEN SPACE = 19m²

 LANDSCAPE AREA

 PRIVATE OPEN SPACE (POS)

[illegible]

Alluvial
LANDSCAPE
ARCHITECTURE

Suite 209 Level 2
59 Great Buckingham St
Redfern, NSW, 2016, Australia
Tel: 0416 181 21
Email: tyler@alluvialstudio.com.au
Web: www.alluvialstudio.com.au

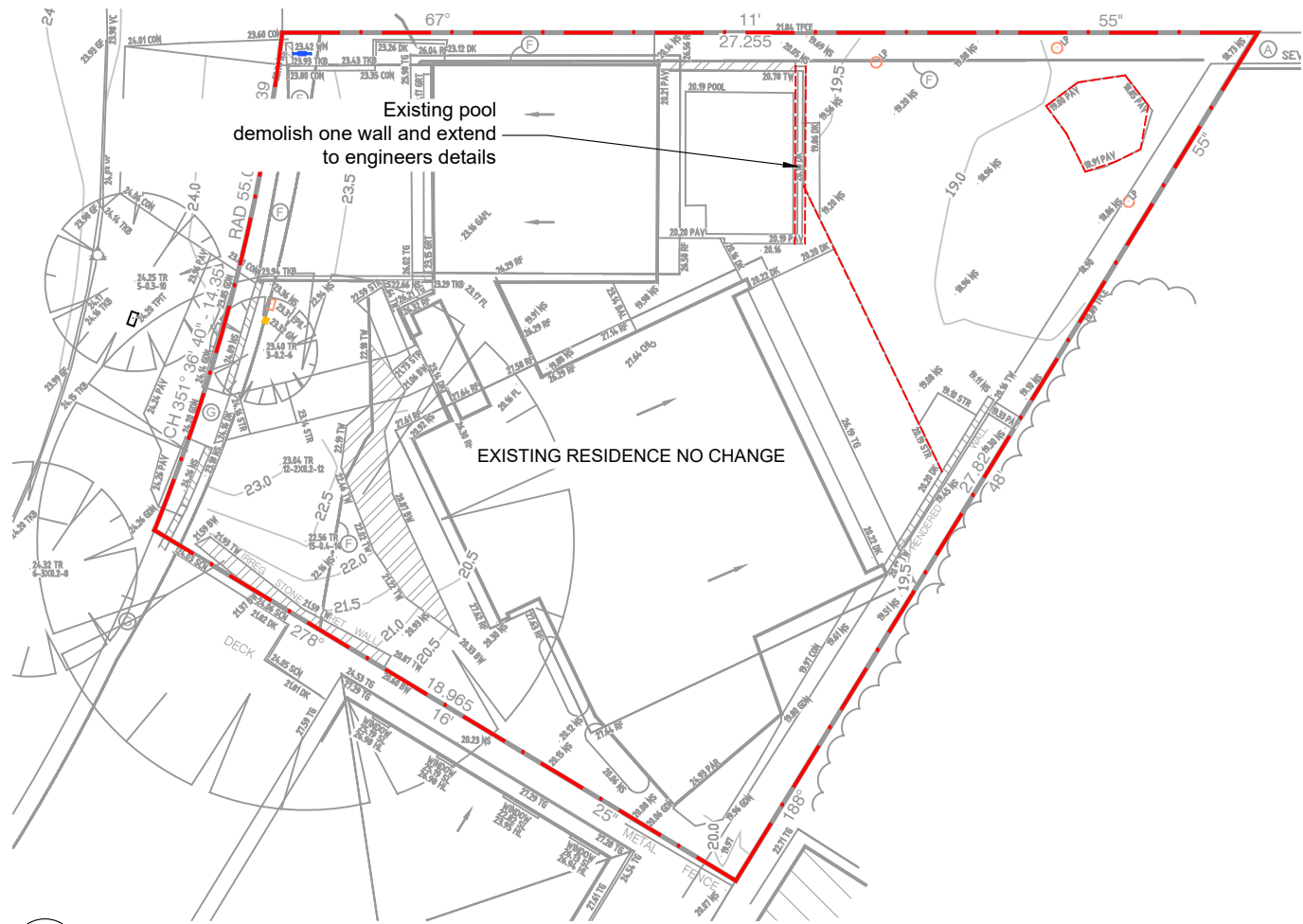
Alluvial Studio
ABN 34 483 172 699

Project:
21a CONDOVER STREET
NORTH BALGOWLAH
NSW 2093

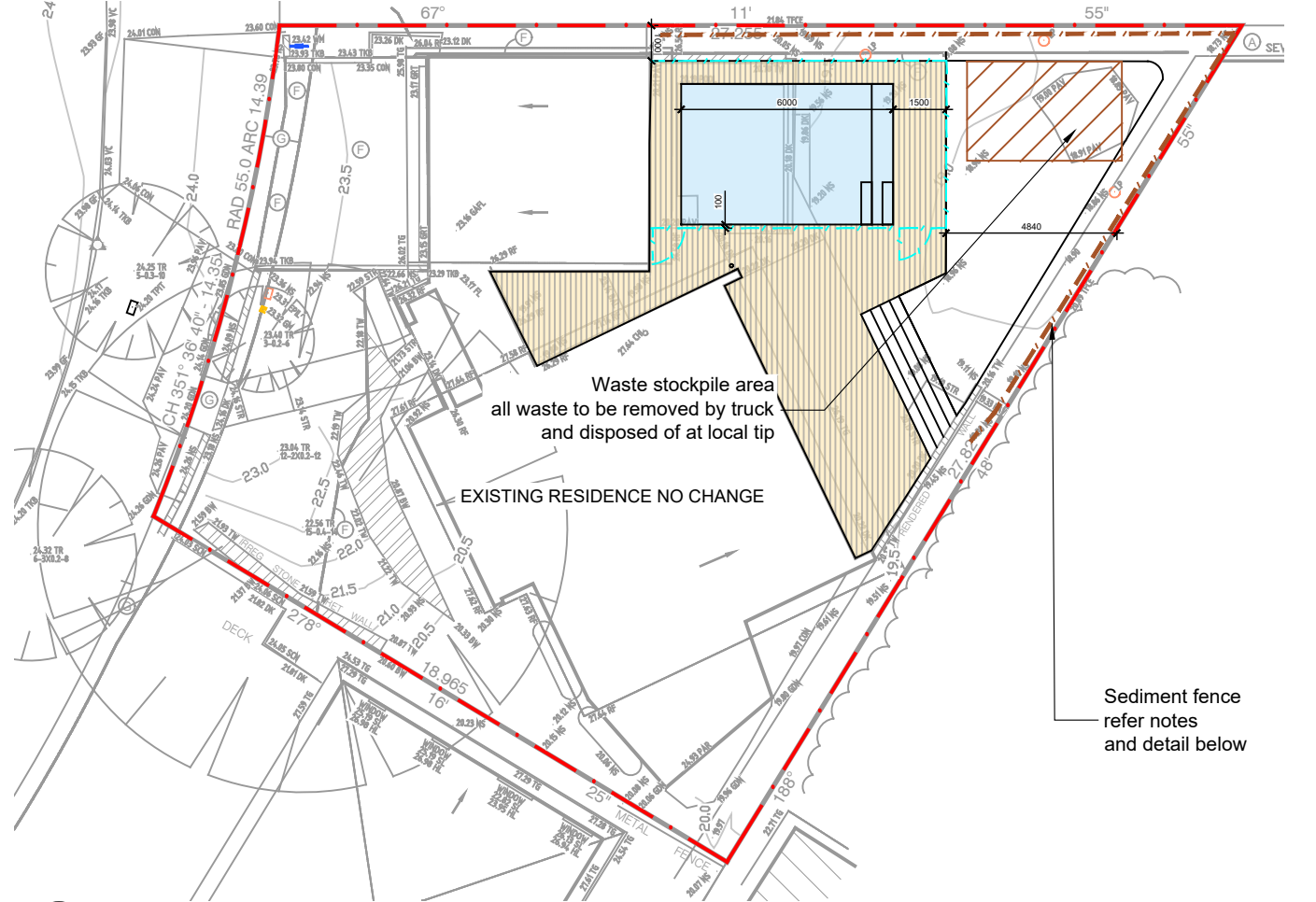
Drawing Name:	
COVERSHEET, SITE PLAN & AREA CALCULATIONS	
Sheet 1 of 6	

DEVELOPMENT APPLICATION	
---	--

Scale: 1:200 @ A3		
Job Number: A 24 005	Drawing Number: L 100	Rev: B



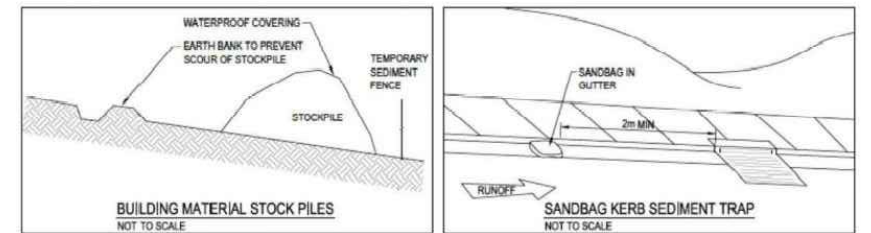
01
200
DEMOLITION PLAN
SCALE: 1:200@A3



02
200
SEDIMENT EROSION CONTROL & WASTE MANAGEMENT
SCALE: 1:200@A3

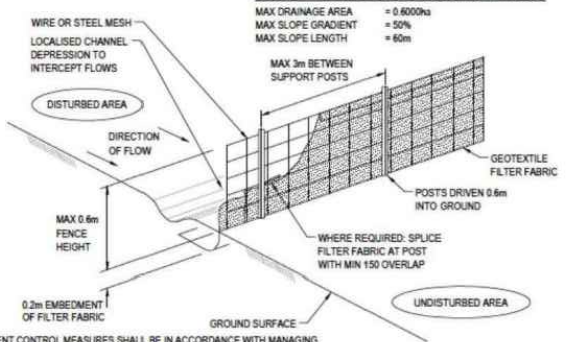
LEGEND

- Site Boundary
- Demolished item
- Sediment fence
- Waste stockpile area



SOIL & WATER MANAGEMENT NOTES

- REFER TO DETAIL FOR CONSTRUCTION OF TEMPORARY SEDIMENT FENCE.
- ALL PITS & PIPEWORK ASSOCIATED WITH PROPOSED DRAINAGE SYSTEMS SHALL BE KEPT FREE OF SOIL, WATER & DEBRIS FOR THE DURATION OF THE CONSTRUCTION WORKS.
- ALL LOOSE IMPORTED FILL & EXCAVATED MATERIAL SHALL BE STOCKPILED AS FAR AS POSSIBLE FROM SEDIMENT FENCES PRIOR TO FINAL PLACEMENT, COMPACTION OR REMOVAL FROM SITE.
- EXCESSIVE SEDIMENT BUILDUP SHALL BE AVOIDED BY REGULAR MAINTENANCE OF SEDIMENT FENCES.
- WHERE APPLICABLE, APPROVED LANDSCAPING & REVEGETATION OF DISTURBED AREAS SHALL COMMENCE AT THE EARLIEST OPPORTUNITY AFTER COMPLETION OF EARTHWORKS OPERATIONS.



CONSTRUCTION OF SEDIMENT FENCE & ANY OTHER SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH MANAGING URBAN STORMWATER: SOILS & CONSTRUCTION COMMONLY KNOWN AS THE 'BLUE BOOK'.
INTERNET REFERENCE: <http://www.landcom.com.au/publications.aspx>

NOTE: SITES LESS THAN 250m² IN AREA GENERALLY DO NOT REQUIRE DETAILED EROSION & SEDIMENT CONTROL PLANS. REFER TO BLUE BOOK SECTION 2.1(4)

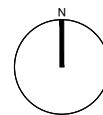
BT TEMPORARY SEDIMENT FENCE
NOT TO SCALE

© 2023 Alluvial ABN 34 483 172 699 All rights reserved. This drawing is copyright and shall not be reproduced or copied in any form or by any means (graphic, electronic or mechanical including photocopy) without the written permission of Alluvial. Any license, expressed or implied, to use this document for any purpose what so ever is restricted to the terms of the written agreement between Alluvial and the instructing party.

The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

Issue	Description	Drawn	Check	Date
B	AMENDED FOR COUNCIL RFI	TC	TC	04.05.2025
A	DEVELOPMENT APPLICATION	TC	TC	27.12.2024

Key Plan:



Alluvial
LANDSCAPE
ARCHITECTURE

Suite 209 Level 2
59 Great Buckingham St.
Redfern, NSW, 2016, Australia
Tel: 0416 181 211
Email: tyler@alluvialstudio.com.au
Web: www.alluvialstudio.com.au
Alluvial Studio
ABN 34 483 172 699

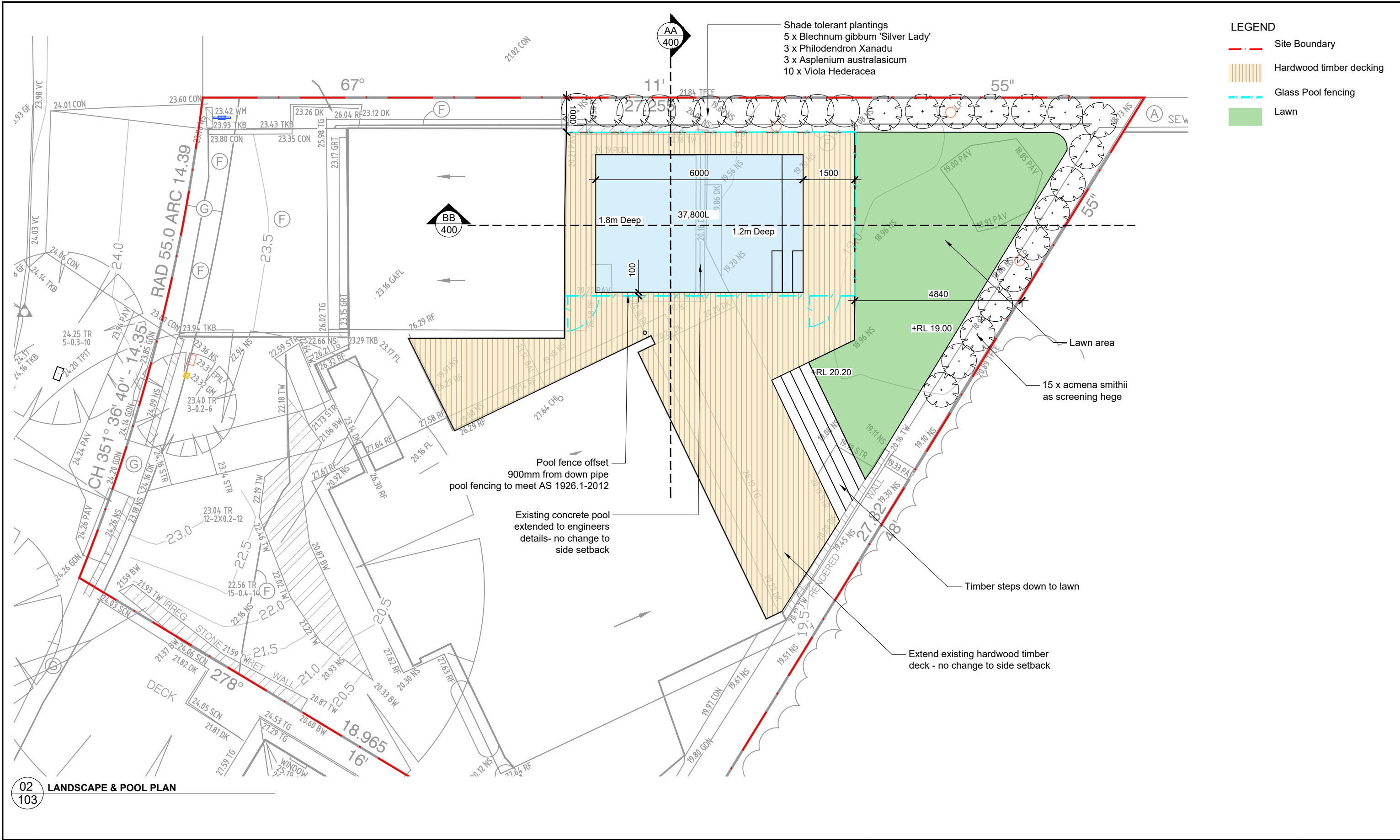
Client:
EMREN AND EBONY KARA

Project:
**21a CONDOVER STREET
NORTH BALGOWLAH
NSW 2093**

Drawing Name:
**SEDIMENT & EROSION
& DEMOLITION PLAN**

DEVELOPMENT APPLICATION

Scale: 1:200 @ A3
Job Number: A 24 005
Drawing Number: L_200
Rev: B



02
103

LANDSCAPE & POOL PLAN

© 2023 Alluvial ABN 34 483 172 699 All rights reserved. This drawing is copyright and shall not be reproduced or copied in any form or by any means (graphic, electronic or mechanical including photocopy) without the written permission of Alluvial. Any license, expressed or implied, to use this document for any purpose what so ever is restricted to the terms of the written agreement between Alluvial and the instructing party.

The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation. **NOT FOR CONSTRUCTION**

Issue	Description	Drawn	Check	Date
B	AMENDED FOR COUNCIL RFI	TC	TC	04.05.2025
A	DEVELOPMENT APPLICATION	TC	TC	27.12.2024

Key Plan:

Alluvial
LANDSCAPE
ARCHITECTURE

Suite 209 Level 2
59 Great Buckingham St.
Redfern, NSW, 2016, Australia
Tel: 0416 181 211
Email: tyler@alluvialstudio.com.au
Web: www.alluvialstudio.com.au

Alluvial Studio
ABN 34 483 172 699

Client:
EMREN AND EBONY KARA

Project:
**21a CONDOVER STREET
NORTH BALGOWLAH
NSW 2093**

Drawing Name:
**LANDSCAPE & POOL
PLAN**

Scale: 1:100 @ A3

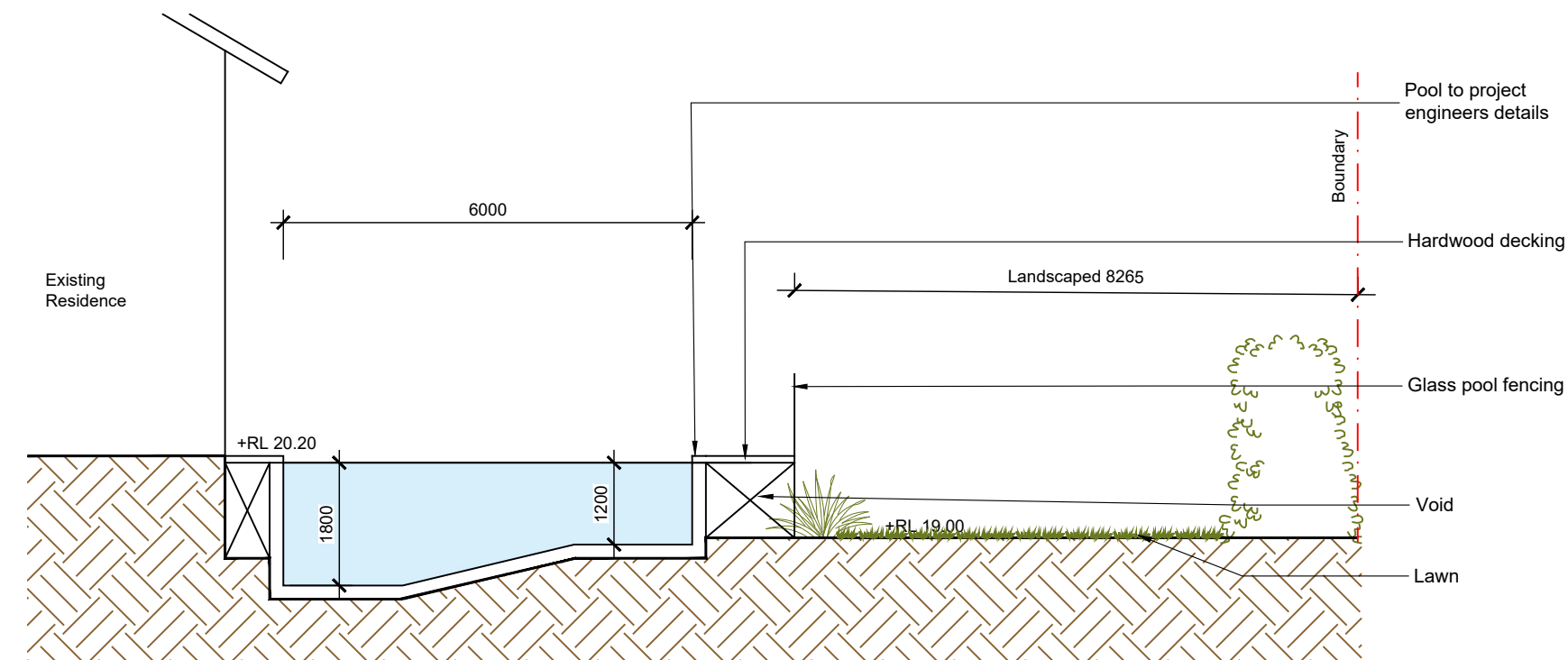
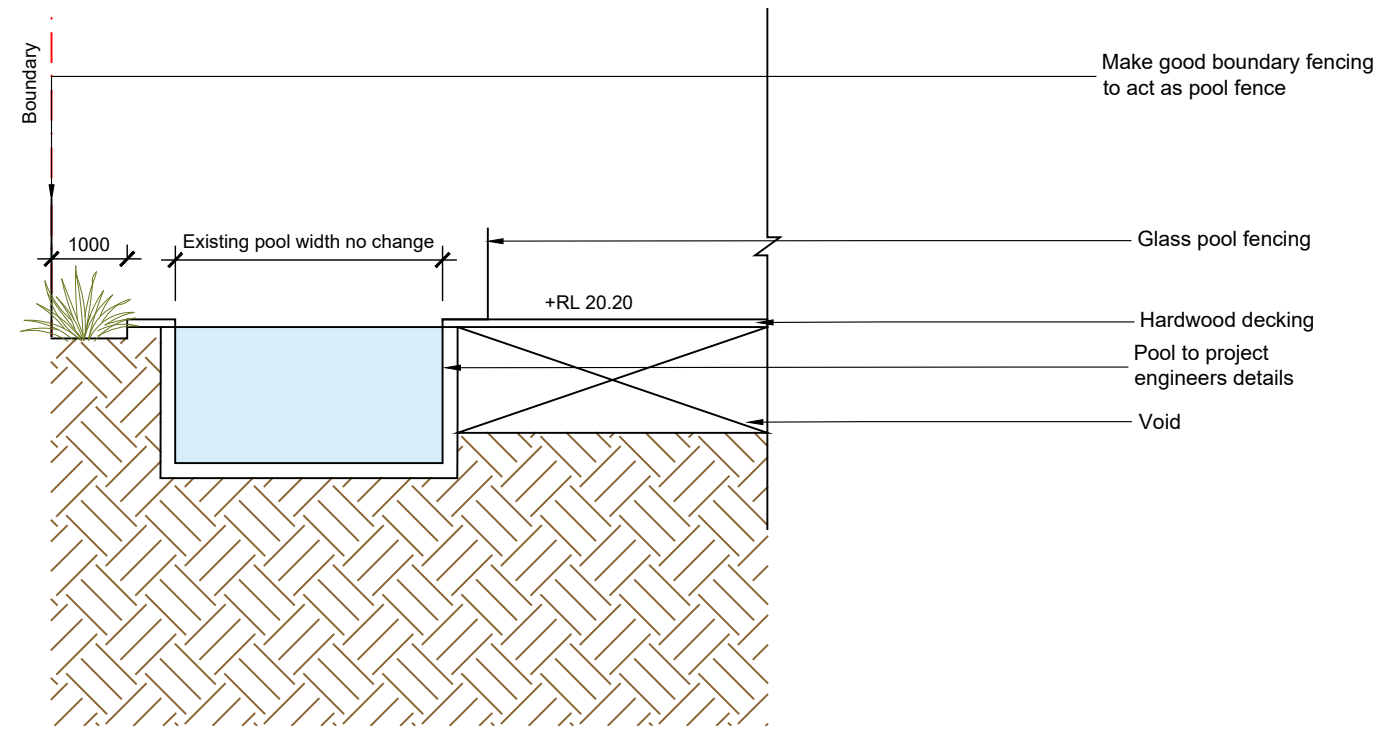
Job Number: A 23 035

Drawing Number: L_300

Rev: B

Sheet 3 of 6

DEVELOPMENT APPLICATION

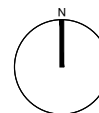


© 2023 Alluvial ABN 34 483 172 699 All rights reserved. This drawing is copyright and shall not be reproduced or copied in any form or by any means (graphic, electronic or mechanical including photocopy) without the written permission of Alluvial. Any license, expressed or implied, to use this document for any purpose what so ever is restricted to the terms of the written agreement between Alluvial and the instructing party.

The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

[illegible]

Key Plan:



Alluvial
LANDSCAPE
ARCHITECTURE

Suite 209 Level 2
59 Great Buckingham St
Redfern, NSW, 2016, Australia
Tel: 0416 181 21
Email: tyler@alluvialstudio.com.au
Web: www.alluvialstudio.com.au

Alluvial Studio
ABN 34 483 172 695

Client: **EMREN AND EBONY KARA**

Project:
21a CONDOVER STREET
NORTH BALGOWLAH
NSW 2093

Drawing Name:

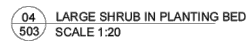
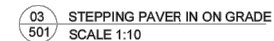
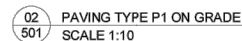
SECTIONS

DEVELOPMENT APPLICATION

Scale: 1:100 @ A3

0 0.5 1 2 3m

Job Number: A 24 004	Drawing Number: L 400	Rev: B
-------------------------	--------------------------	-----------



1.0 General
Alluvial has not been engaged for construction drawings.
All landscape works are to be carried out by a qualified
Landscape tradespersons with the appropriate skill set and
accreditation.
Any changes to the required works are to be approved by the
Project Landscape Architect.

2.0 SOILS
All plantings on grade are to be a mix of cultivated site soils
and imported native mix

3.0 DRAINAGE TO PLANTERBOXES
Supply and install drainage provisions behind all planter walls.
The Landscape Contractor shall check the waterproofing is
installedas per manufacturers recommendations. and notify of
any breaks or inadequacies prior to installation.
Supply and install polypropylene cellular drainage cell
complete with continuous geotextile filter fabric liner to back of
all planterboxwalls and floors, in accordance with
manufacturer's instructions and details. Drainage cell and filter
fabric shall extend across up
planter walls to the underside of the mulch layer. Geotextile
filter fabric is to be installed over all drainage cell material.
Allow to tape
the fabric over the top of the planter walls to ensure soil mix
does not escape into drainage outlets/holes.

4.0 MULCHING
All planting areas, unless otherwise specified. to be mulched
with a course and open mulch to 75mm depth with catchments
dish tobe left around base of all plants_ Mulch to be
composted bark and wood waste, free from any diseased or
noxious plant material equivalent to 'Forest Fines' from
Australian Native Landscapes

5.0 PLANTS
Supply all plants in accordance with the landscape schedules,
which have the following characteristics:
- Large healthy root systems, with no evidence of root
curl, restriction or damage
- Vigorous. well established. free from disease and pests,
of good form consistent with the species or variety
- Hardened off, not soft or forced, and suitable for planting
in the natural climatic conditions prevailing at the site
- Trees, unless required to be multi-stemmed. shall have
a single leading shoot

6.0 CONCRETE PATHS/WALLING
All new concrete paths are to have 1% fall to adjacent garden
beds.All new paths to comply with non-slip requirements as
per AS 4586 Walling/paths to have expansion joints installed
at appropriate intervals to prevent cracking as per AS 3600
concrete structures

Reinforcing and strength of concrete to comply with AS 3600
Final path/walling structures is to be checked and approved by
an engineer

7.0 STEEL
All steel should be of appropriate strength and comply with AS
4100

8.0 STEEL EDGING
Install steel strip edging at interface between all turf and
planted areas_
Material: 100 x 4mm Galvanised fiat bar.
Fixings: 300 x 10mm0 Galvanised deformed bar welded to the
flat @ max. 1.0m centres and 300mm from ends.

9.0 IRRIGATION
Automatic drip irrigation watering system to be selected and
installed to extend to all landscaped areas. The Landscape
Contractor
is to liaise with council as necessary, to ensure that the
irrigation conforms with all Sydney Water , Council and
Australian Standards
and Regulations. Contractor is to use collected rainwater
wherever possible.
A schematic design of the proposed irrigation system is to be
prepared by the contractor. showing solenoids. pipe diameters,
and all drip and sprinkler attachment types (including
spray/head angle), for review by the superintendent prior to
installation Provide an automatic controller that provides for
two week scheduling and hourly multi-cycle operation.
Programming shall be undertaken by the contractor who shall
advise on the operation of the system. It shall be the
contractor's responsibility to ensure
and guarantee satisfactory operation of the irrigation system.
Provision of secure housing for the automatic irrigation
controller to be located alongside the corresponding plan
services equipment store on site and in association with the
landscape contractor and location confirmed by the Hydraulic
consultant.
Wiring to connect remote solenoid locations is to be provided.
the controller shall be located in a dry place, protected from
theweather, and all cable connections shall be made with
waterproof connectors. Water supply points to be supplied by
builder.Implement a review of all irrigation.

© 2023 Alluvial ABN 34 483 172 699 All rights reserved. This drawing is
copyright and shall not be reproduced or copied in any form or by any
means (graphic, electronic or mechanical including photocopy) without
the written permission of Alluvial. Any license, expressed or implied, to
use this document for any purpose what so ever is restricted to the
terms of the written agreement between Alluvial and the instructing
party.

The contractor shall check and verify all work on site (including work
by others) before commencing the landscape installation. Any
discrepancies are to be reported to the Project Manager or Landscape
Architect prior to commencing work. Do not scale this drawing. Any
required dimensions not shown shall be referred to the Landscape
Architect for confirmation.

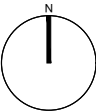
-	-	-	-	-	-
-	-	-	-	-	-
-	-	-	-	-	-
-	-	-	-	-	-
-	-	-	-	-	-
-	-	-	-	-	-
-	-	-	-	-	-
-	-	-	-	-	-
-	-	-	-	-	-
-	-	-	-	-	-
-	-	-	-	-	-
B	AMENDED FOR COUNCIL RFI	TC	TC	04.05.2025	
A	DEVELOPMENT APPLICATION	TC	TC	27.12.2024	
Issue	Description	Drawn	Check	Date	

100

200

300

Key Plan:



Alluvial
LANDSCAPE
ARCHITECTURE

Suite 209 Level 2
59 Great Buckingham St.
Redfern, NSW, 2016, Australia
Tel: 0416 181 211
Email: tyler@alluvialstudio.com.au
Web: www.alluvialstudio.com.au
Alluvial Studio
ABN 34 483 172 699

Client:
EMREN AND EBONY KARA

Project:
**21a CONDOVER STREET
NORTH BALGOWLAH
NSW 2093**

Drawing Name:
SPECIFICATION GENERAL

Sheet 6 of 6

DEVELOPMENT APPLICATION

Scale: **1:100 @ A3**
Job Number: **A 24 004**
Drawing Number: **L_600**
Rev: **B**