

Environmental Compliance  
8am to 5:30pm Mon - Thurs, 8am to 5pm Fri  
Phone 9970 1111

10 December 2013

COPY

David Catchlove & Mary Catchlove  
112 Bungan Head Road  
NEWPORT NSW 2106

Dear Mr & Mrs Catchlove

Re: **Construction Certificate CC0174/12**  
Property: **77 MYOLA ROAD NEWPORT NSW 2106**

Please find enclosed your approved Construction Certificate and stamped plans.

**Did you know that work is unable to commence until such time as a completed Notification of Commencement Form has been submitted to Council at least two (2) days prior to starting work? Not to do so is a breach of the Environmental Planning and Assessment Act, which would result in a Penalty Infringement Notice (on-the-spot fine) being issued to you and the builder.**

To assist you please find enclosed a "Notification of Commencement and Principal Certifying Authority Service Agreement" form to enable you to appoint Pittwater Council as your Principal Certifying Authority (PCA).

If appointed as the PCA, Council would carry out various inspections as indicated in Part 6 of the enclosed "Notification of Commencement and Principal Certifying Authority Service Agreement" form and ultimately issue an Occupation Certificate for your development. Appointment and inspection fees are also detailed in the enclosed form.

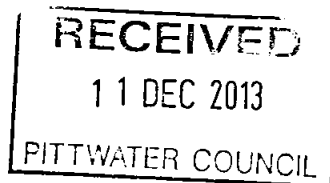
Council will endorse your "Notice of Commencement and Principal Certifying Authority Service Agreement" form and return a copy to the applicant with advice as to the required critical stage and other inspections to be carried out by Council.

Council is committed to providing a quality service and would value your business in being appointed as the Principal Certifying Authority for your development.

Yours sincerely



Kate Stoner  
DEVELOPMENT COMPLIANCE OFFICER





# PITTWATER COUNCIL

## Construction Certificate No: CC0174/12

Site Details: 77 MYOLA ROAD NEWPORT NSW 2106  
Legal Description: Lot 1 DP 538888  
Type of Development: Building Work  
Description: Alterations and additions to the existing dwelling  
Associated Development Consent No: N0390/11 Dated: 14 February 2012  
Building Code of Australia Certification: Class 1(a)

Details of plans, documents or Certificates to which this Certificate relates:

- HIA general Housing specifications – NSW
- Plan of storage/ dressing room
- New metal sheet roofing plan
- Kitchen plan
- Laundry plan
- Lower bedroom plan
- Sunroom plan
- Entrance hall/ sitting room plan
- Elevation plan of new sheet roofing
- Upper bedroom plan
- Sydney water quick check plan
- Structural engineers plans dated 30 June 2013, titled
- Ground floor plan/ pergola detail, Elevations and Sections/ details
- Stormwater drainage plan

I hereby certify that the above plans, documents or Certificates satisfy:

- The relevant provisions of the Building Code of Australia, and
- The relevant conditions of Development Consent No: N0390/11

And, that work completed in accordance with the documentation accompanying the application for this certificate (and any modifications as verified by me and shown on that documentation) will comply with the requirements of the Environmental Planning and Assessment Regulation, referred to in section 81A(5) of the Environmental Planning and Assessment Act, 1979.

Kate Stoner  
**DEVELOPMENT COMPLIANCE OFFICER**  
Accreditation No. BPB1561

10 December 2013  
**Date of Endorsement**

**Note:** You are reminded that pursuant to provisions of Clause 81A, you must nominate whether Council or an accredited certifier will be the principal certifying authority, also you must give notice to Council of your intention to commence work at least two days beforehand.



## Application Lodgement Summary

 Sydney  
**WATER**

Reference Number 8181025

Date Requested: Fri July 6 2012

**Agent** Reece Brookvale, 25 Orchard Road Brookvale  
**Applicant** Dj Catchlove Md Catchlove, 77 Myola Rd Newport 2106  
**Property/Asset** 77 Myola Rd, Newport 2106 (Dj Catchlove Md Catchlove) PNum: 3436691  
 Property Connection Point - (3010726 ) (WasteWater)  
 Maintenance Hole - (1054417 ) (WasteWater)  
 150 mm VC Sewer Main - (4317902) (WasteWater)  
 150 mm VC Sewer Main - (2810745) (WasteWater)  
 150 mm VC Sewer Main - (2808017) (WasteWater)  
**Product** Building Plan Approval Application

Charge	Product Cost	GST	Total
Building Plan Approval Application	\$16.71	\$0.00	\$16.71

### Property Special Conditions for Plumbers

Boundary Trap Required	No
Watercharged/Tidal area	No
Partial Drainage area	Yes
Aggressive Soil area	No
Cast Iron Pipe area	Yes
Sewer Surcharge area	No
Minimum Gully Height area	No
Sewer Available	Yes
Connection Type	Gravity

You must contact Sydney Water to clarify the property special conditions where the property special conditions are not shown (yes or no), are shown as "unset", "unknown" or "not available" or if the proposed development is being built over more than one existing property.

**Please note that boundary traps must be fitted for all commercial and industrial properties and you must ensure that all plumbing/drainage and building works are carried out in accordance with the relevant codes and standards.**

A water meter is required to be fitted to the property during construction. You will need to ensure that your licensed plumber carries out this work in accordance to the relevant codes and standards.

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number: CC 0174   12	
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	
Date:	10 DEC 2013

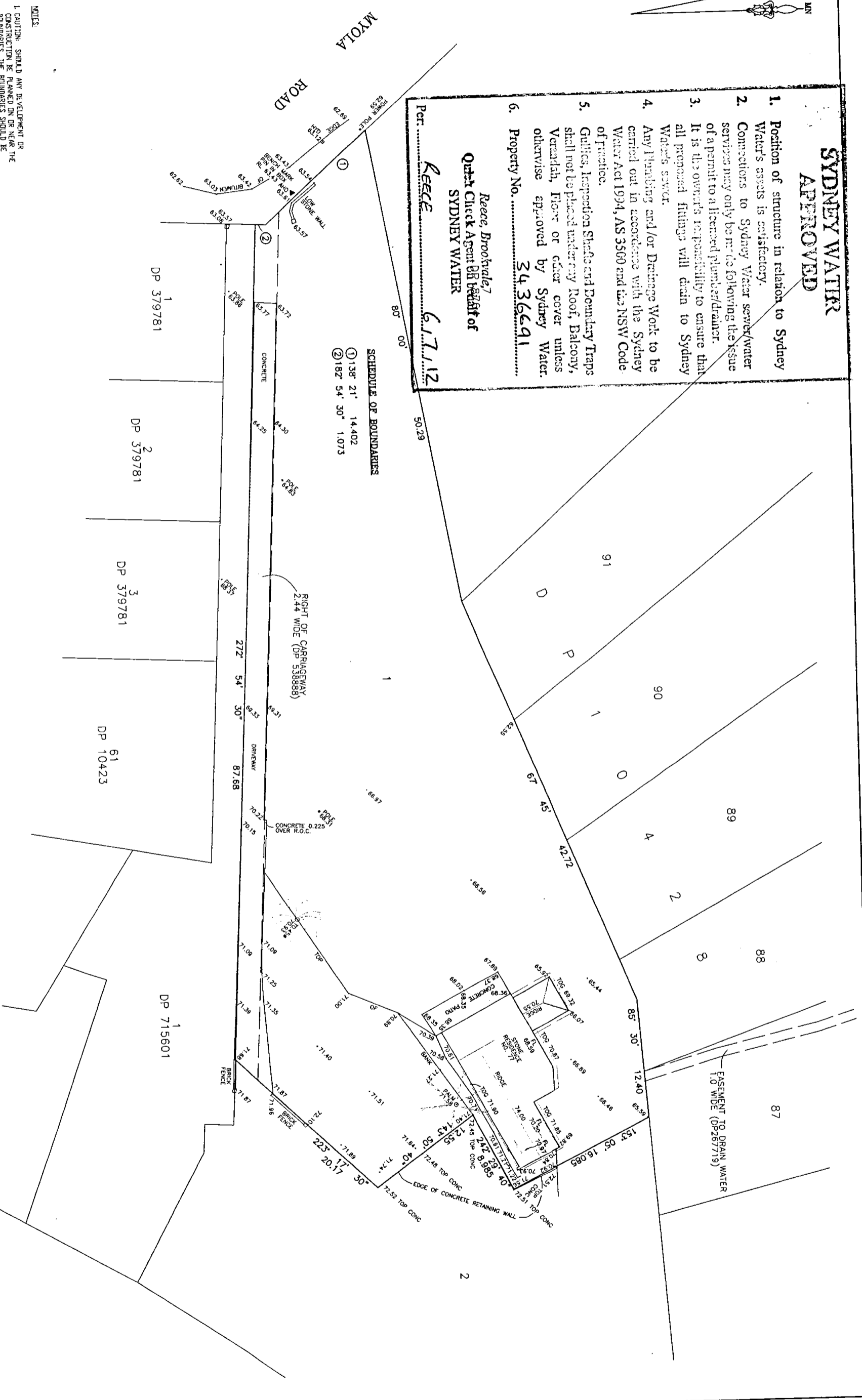
**SYDNEY WATER  
APPROVED**

1. Position of structure in relation to Sydney Water's assets is satisfactory.
2. Connections to Sydney Water sewer/water services may only be made following the issue of a permit to a licensed plumber/drainier.
3. It is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's sewer.
4. Any plumbing and/or Drainage Work to be carried out in accordance with the Sydney Water Act 1994, AS 3560 and the NSW Code of Practice.
5. Gutters, Inspection Shafts and Boundary Traps shall not be placed under any Roof, Balcony, Verandah, Floor or other cover unless otherwise approved by Sydney Water.
6. Property No. **3436691**

Per: **Reece**  
**Reece Brookdale**  
 Quota Check Agent **On behalf of**  
**SYDNEY WATER**  
**6.1.7.1.12**

**SCHEDULE OF BOUNDARIES**

- ① 138° 21' 14.402
- ② 182° 54' 30" 1.073



**PLAN OF**

LOT 1 IN D.P. 538888

AT NO. 77 MYOLA RD, NEWPORT.  
 SCALE **1:400** DATUM A.H.D.

SITE AREA = 2772 M SQ.

**PITT-WATER COUNCIL CONSTRUCTION CERTIFICATE**

Number: **CC 014112**

This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.

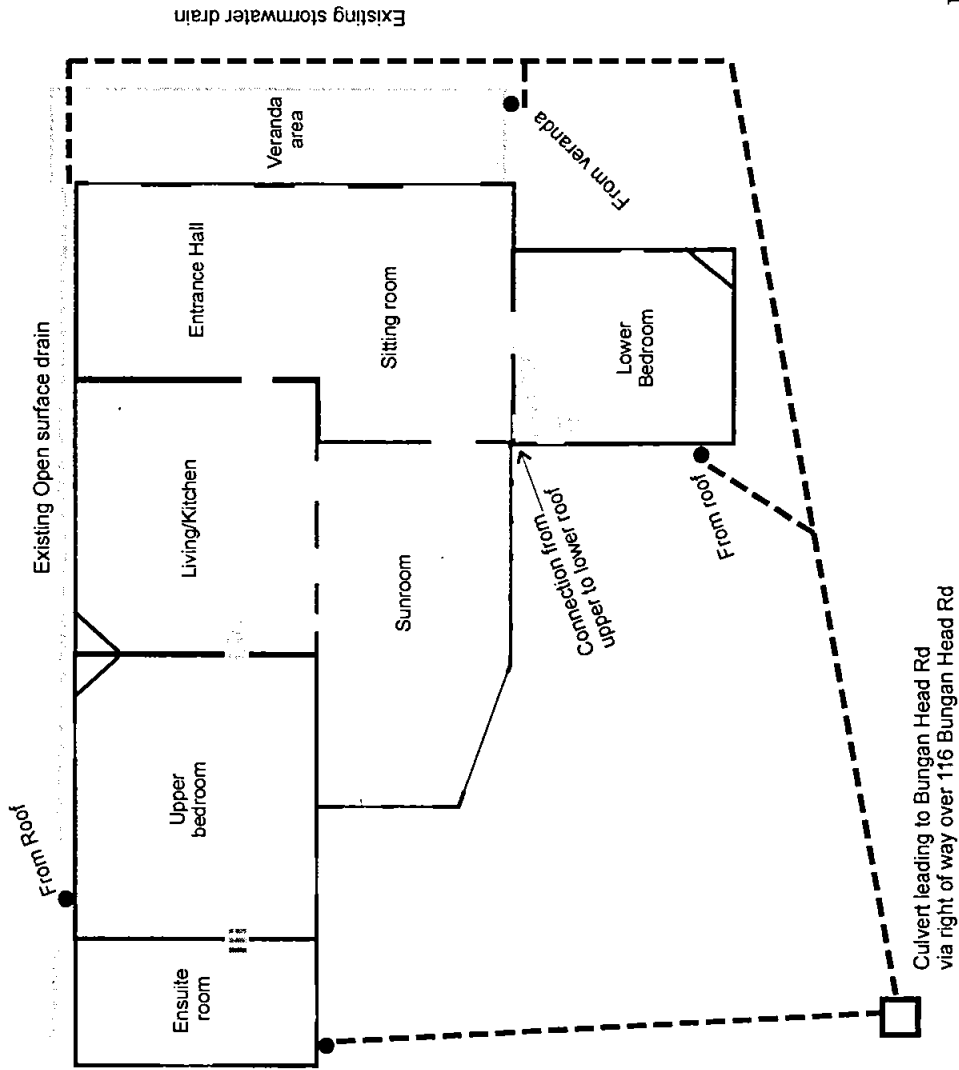
Endorsed by: **10 DEC 2013**

**DP SURVEYING SERVICES**

LAND & ENGINEERING SURVEYORS  
 SUITE 17/51 OLD BARRENHURDY RD, AVALON 2107.  
 PHONE : 99182050  
 FAX NO : 99182677  
 DATE : 20 SEPTEMBER, 2006  
 MY REF : 1598

- NOTES:**
1. CAUTION: SHOULD ANY DEVELOPMENT OR CONSTRUCTION BE PLANNED ON OR NEAR THE BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE.
  2. SERVICES SHOWN HEREON HAVE BEEN DETERMINED FROM VISUAL EVIDENCE ONLY PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE. THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO ESTABLISH DETAILED LOCATION AND DEPTH. MINIMISE YOUR RISK AND DIAL 1100 BEFORE YOU DIG.
  3. THE BEARINGS ON THESE PLAN BOUNDARIES ARE FROM LAND TITLES OFFICE PLANS AND ARE SUBJECT TO FINAL SURVEY. BEARINGS SHOWN ARE BASED ON A TRUE MERIDIAN.
  4. 'V' DENOTES WINDOW, 'D' DENOTES DOOR, WINDOW AND DOOR DEPTHS SHOWN ARE INDICATIVE ONLY.
  5. ALL NEW WORKS MUST REFER TO THE BENCHMARK FOR LEVEL CONTROL.
  6. TREE SPREADS ARE DIAGRAMMATIC ONLY AND MAY NOT BE SYMBOLICAL.
  7. 'TG' DENOTES TOP OF GUTTER.
  8. 'R.C.' DENOTES RIGHT OF CARRIAGEWAY.
  9. 'FL' DENOTES FLOOR LEVEL.

# Bungania Storm Water drainage



Existing stormwater drain

Existing Open surface drain

From Roof

Ensuite room

Upper bedroom

Living/Kitchen

Entrance Hall

Sunroom

Sitting room

Lower Bedroom

Veranda area

From veranda

From roof

Connection from upper to lower roof

Culvert leading to Bungania Head Rd via right of way over 116 Bungania Head Rd



Bungania  
77 Myola Road  
Newport

PITWATER COUNCIL CONSTRUCTION CERTIFICATE

Number: CC 0174 | 12

This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.


Endorsed by: *[Signature]*

10 DEC 2013

**HIA GENERAL HOUSING SPECIFICATIONS - NSW  
(INCORPORATING THE HIA GUIDE TO MATERIALS & WORKMANSHIP)  
REVISED SEPTEMBER 2012**

**TABLE OF CONTENTS**

1.	INTRODUCTION .....	1
2.	STATUTORY REQUIREMENTS .....	2
3.	OWNER'S OBLIGATIONS .....	3
4.	PLANS, PERMITS AND APPLICATION FEES.....	3
5.	EXCAVATIONS.....	3
6.	FOUNDATIONS AND FOOTINGS .....	4
7.	RETAINING WALLS .....	5
8.	EFFLUENT DISPOSAL/DRAINAGE .....	5
9.	TIMBER FRAMING .....	5
10.	STEEL FRAMING .....	7
11.	ROOFING CLADDINGS .....	7
12.	MASONRY .....	8
13.	CLADDING AND LININGS .....	9
14.	JOINERY .....	9
15.	SERVICES.....	10
16.	TILING .....	11
17.	PAINTING.....	11
18.	WORKMANSHIP STANDARDS AND TOLERANCES .....	12

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number: CC 0174   12	
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	
Date:	10 DEC 2013

**HIA GENERAL HOUSING SPECIFICATIONS - NSW  
(INCORPORATING THE HIA GUIDE TO MATERIALS & WORKMANSHIP)  
REVISED SEPTEMBER 2012**

**1. INTRODUCTION**

**1.1 General**

This Specification forms part of the *Contract* documents referred to in the building *Contract* and details the works to be executed and the materials to be used in carrying out those works at the site.

This Specification is to be read as a general specification only. The extent of the works shall be governed by the approved plans and other requirements under the *Contract*.

Any works not fully detailed shall, where appropriate, be sufficiently performed if carried out in accordance with the *National Construction Code (NCC) Series*, the relevant manufacturer's instructions or *Engineer's Instructions*.

**1.2 Preliminary Use**

This Specification forms part of the *Contract* and should be read in conjunction with the other contract documents.

**1.3 Prevailing Documents**

Where there is a difference between the plans and this Specification, this Specification shall take precedence. The *Builder* must at all times maintain a legible copy of the plans and this Specification bearing the approval of the relevant *Local Authority*.

Otherwise to the extent of any conflict between documents, the order of precedence set out in the building contract shall apply.

**1.4 Size and Dimensions**

Unless otherwise stated, all dimensions given in this specification are in millimetres and are nominal only.

**1.5 Prime Cost and Provisional Sum Items**

Prime Cost and Provisional Sums Items are items that the Owner is to select after the contract has been entered into. The prices listed are the Builder's reasonable estimate of the "cost price" of those items including GST. The prices listed do not include unquantifiable components including the "Builder's margin", cost of cartage and freight.

**1.6 Definitions**

In this Specification the following definitions shall apply:

- "NCC" Series includes NCC Series Volume 2, "Building Code of Australia Class 1 and Class 10 Buildings also known as the 'Housing Provisions', NCC Series Volume 3 Plumbing Code of Australia is also included.

- "*Engineer's Instruction*" includes any soil classification report, preliminary footings report, construction footings report and any other report, recommendation, site or other instruction, calculations or plans prepared by an engineer in respect of the works.
- Where the term "*Local Authority*" is mentioned it shall mean the local council, or other governing authority or private certifier with statutory responsibility for the compliance of the work performed.
- Where referred to in this Specification, "*Regulations*" shall mean the building *Regulations* and Codes (including the *NCC*, as amended) statutorily enforceable at the time application is made for a construction certificate or other permits, consents or approvals relating to the *Contract*.
- The "*HIA Guide*" means the HIA Guide to Materials & Workmanship for Residential Building Work.

Unless the context suggests otherwise, terms used in this Specification shall have the same meaning as in the HIA Building Contract between the *Owner* and the *Builder* ("*Contract*").

## 2. STATUTORY REQUIREMENTS

### 2.1 The Building Works

The building works outlined in the Schedule of Works, annexed to this Specification, shall be constructed in accordance with:

- the *Regulations* and in particular the Performance Requirements referred to in the *NCC*, Housing Provisions, Volume 2;
- any conditions imposed by the relevant development consent or complying development certificate; and
- commitments outlined in the BASIX Certificate

### 2.2 Compliance with Requirements of Authorities

The *Builder* is to comply with the requirements of all legally constituted authorities having jurisdiction over the building works and the provisions of the *Home Building Act*.

### 2.3 Electricity

Where there is no existing building, the *Builder* is to make arrangements for any electrical power to be used in the construction of the building works. The cost of providing and installing any poles, wiring, service risers or underground wiring etc, as may be required by the electricity supply authority, shall be borne by the *Owner*.

### 2.4 Sanitary Accommodation

Prior to the commencement of the building works, unless toilet facilities exist on the site, the *Builder* shall provide temporary toilet accommodation for the use of site personnel. Where the *Local Authority* requires the temporary toilet to be connected to sewer mains, the cost of this work shall be borne by the *Owner*. On completion the *Builder* shall remove the convenience.



### **3. OWNER'S OBLIGATIONS**

#### **3.1 Engineer's Instructions**

If the *Contract* indicates, the *Owner*, at their expense, shall provide the *Builder* with engineer's reports and specifications (including wind and soil classifications) for the foundation or footing requirements.

In these circumstances, if the *Builder* instructs any party to provide such reports, the *Builder* does so only as agent for the *Owner*.

#### **3.2 Water Supply**

Where there is no existing building on the site, the *Owner*, at their expense, shall supply adequate water to the site for construction purposes. The contract documents must include all details for management of water providing clarity for the *Owner* and *Builder* regarding items such as rainwater tanks, septic systems and the like.

#### **3.3 Sanitation**

Unless otherwise specified the *Owner* shall supply sewerage connection and pay the standard sewer connection fee to the sewerage supply authority.

### **4. PLANS, PERMITS AND APPLICATION FEES**

#### **4.1 Permits and Fees**

Subject to a contrary requirement under the *Contract*, the *Builder* shall lodge all necessary application notices, plans and details with the *Local Authority* for approval prior to commencement of construction.

#### **4.2 Mines Subsidence**

In areas affected by mine subsidence, the appropriate authority is to be consulted and any work carried out in accordance with the authority's requirements.

#### **4.3 Setting Out**

The *Builder* shall accurately set out the building works in accordance with the site plan and within the boundaries of the site.

### **5. EXCAVATIONS**

#### **5.1 Excavations**

The part of the site to be covered by the proposed building or buildings and an area at least 1000mm wide around that part of the site or to the boundaries of the site, whichever is the lesser, shall be cleared or graded as indicated on the site works plan.

Top soil shall be cut to a depth sufficient to remove all vegetation.

Excavations for all footings shall be in accordance with the *Engineer's Instructions* or the *NCC* requirements.

## **6. FOUNDATIONS AND FOOTINGS**

### **6.1 Underfloor Fill**

Underfloor fill shall be in accordance with the *NCC*.

### **6.2 Termite Risk Management**

Termite treatment shall be carried out in accordance with the *NCC*.

### **6.3 Vapour Barrier**

The vapour barrier installed under slab-on-ground construction shall be installed in accordance with the *NCC*.

### **6.4 Reinforcement**

Reinforcement shall conform and be placed in accordance with the *Engineer's Instructions* and the *NCC*.

Support to all reinforcement shall be used to correctly position and avoid any undue displacement of reinforcement during the concrete placement.

### **6.5 Concrete**

Except where otherwise approved by an engineer, structural concrete shall be in accordance with the *NCC*. Pre-mixed concrete shall be manufactured in accordance with the *NCC* with delivery dockets kept on site or available for inspection by the engineer, or the *Local Authority*.

Concrete shall be placed and compacted in accordance with good building practice and the *NCC*.

### **6.6 Curing**

All concrete slabs shall be cured in accordance with the *NCC*.

### **6.7 Footings and Slabs on Ground**

Concrete slabs and footings shall not be placed until approval to do so is given by the engineer or the *Local Authority*.

Unless otherwise specified bench and floor levels indicated on the site plan shall be regarded as nominal.

### **6.8 Suspended Slabs**

All concrete slabs, other than those supported on solid ground or properly compacted fill, shall be constructed as suspended slabs. These slabs shall be constructed in accordance with the *Engineer's Instructions*.

### **6.9 Foundation Walls**

Where specified, masonry foundation walls are to be built on specified footings to the thickness indicated on the plans and to the height of the underside of the floor bearer or bottom wall plate.

## 6.10 Sub-Floor Ventilation

All sub floor spaces to suspended ground floors shall be provided with adequate ventilation in accordance with the *NCC*.

## 6.11 Sub-Floor Access

Where required, access to suspended sub floor areas shall be located as indicated on the plan.

## 7. RETAINING WALLS

### 7.1 Retaining Walls

Where the *Builder* is required by the Schedule of Works annexed to this Specification, the *Builder* shall construct retaining walls as shown on the approved plans. Where a retaining wall is not included in the Schedule of Works, the construction of any retaining wall shall be the responsibility of the *Owner*.

## 8. EFFLUENT DISPOSAL/DRAINAGE

### 8.1 Effluent Disposal/Drainage

In both sewered and unsewered areas:

- (a) Any bath, wash basin, kitchen waste, wash tubs, pedestal pan and the floor grate to a shower recess shall be located in the position shown on the plan (refer to Schedule of Works); and
- (b) waste pipes with traps shall be provided to the above fittings and connected to the drainage system.

The whole of the work is to be performed in accordance with the *NCC* and requirements of the sewerage authority concerned.

### 8.2 Septic System

The *Builder* will provide and install a septic system where applicable to the requirements of the *Local Authority* and in accordance with the manufacturer's instructions.

### 8.3 Storm Water Drainage

Stormwater drainage shall be carried out in accordance with the *NCC*.

The *Builder* will allow for the supplying and laying of stormwater drains as shown on the site plan.

## 9. TIMBER FRAMING

### 9.1 Generally

All timber framing shall comply with the *NCC*, alternative structural framing shall be to structural engineer's details and certification.

Timber Engineered products may be used provided their design comply with the *NCC* and they are installed in accordance with the manufacturer's instructions.

The work shall be carried out in a proper and tradesperson like manner and shall be in accordance with recognised and accepted building practices.

#### **9.1.1 Floor Framing**

All floor framing is to be framed at the level shown on the plan.

#### **9.1.2 Wall Framing**

Wall framing is to be erected plumb and straight and securely fastened to the floor framing or floor slab.

The interface between masonry and wall framing will conform with the *NCC*.

#### **9.1.3 Heads Over Opening (Lintels)**

- All solid timber lintels shall conform to the *NCC*.
- Glue laminated beams conforming to AS 1328 or laminated veneer lumber beams to manufacturer's specification and data sheets may also be used.

#### **9.1.4 Roof Trusses**

Where roof truss construction is used, trusses shall be designed in accordance with AS 1720 and be erected, fixed and braced in accordance with the manufacturer's instructions.

#### **9.1.5 Bracing**

Bracing units shall be determined and installed in accordance with the *NCC* as appropriate for the design wind velocity for the site. Bracing shall be evenly distributed throughout the building.

#### **9.1.6 Flooring**

Strip and sheet timber floors shall be installed in accordance with the *NCC*.

The selection, installation and waterproofing of wet area floors shall conform to the *NCC* when listed in Schedule of Works. Where specified in the contract floors shall be sanded to provide an even surface and shall be left clean throughout.

#### **9.1.7 Roof Framing**

Roofs shall be pitched to the slope shown on plan.

The work shall be carried out in a proper and tradesperson like manner and shall be in accordance with recognised and accepted building practices.

Metal fascias shall be installed in accordance with the manufacturer's instructions and shall meet the requirements of the *NCC*.

#### **9.1.8 Timber Posts**

Unless otherwise specified and where required by the *NCC* posts supporting carports, verandas and porches shall be timber suitable for external use.

## 9.2 Corrosion Protection

All metal brackets, facing plates and other associated fixings used in structural timber joints and bracing must have corrosion protection appropriate to the site in accordance with the *NCC*.

## 9.3 Hot Water Storage Units

Where a hot water storage unit or solar panels are supported by the roof structure the structure shall be specifically designed to support all imposed loads.

## 10. STEEL FRAMING

### 10.1 Generally

Steel framing shall be installed in accordance with the manufacturer's recommendations and the *NCC*.

## 11. ROOFING CLADDINGS

All roof cladding is to comply with the relevant structural performance and weathering requirements of the *NCC* and be installed as per the manufacturer's specifications.

### 11.1 Tiled Roofing

The *Builder* shall cover the roof of the dwelling with approved tiles as selected. The roof shall be fixed and waterproofed in accordance with the *NCC*. Roofing adjacent to valleys should be fixed so as to eliminate water penetration. Where roof tiles are made of natural products slight variation in colour is acceptable.

### 11.2 Metal Roofing

The *Builder* shall provide and install a metal roof together with accessories as determined in the contract documents in accordance with the *NCC* and the manufacturer's recommendations.

Except where design prohibits, sheets shall be in single lengths from fascia to ridge. Fixing of sheets shall be in accordance with the manufacturer's instructions as required for the appropriate design and wind speed.

### 11.3 Gutters and Downpipes

Gutters and downpipes as determined in the contract documents shall be manufactured and installed in accordance with the *NCC*.

### 11.4 Corrosion protection

Materials used for flashings, fasteners, gutters and downpipes shall be compatible.

### 11.5 Sarking

Sarking under roof coverings must comply with and be fixed in accordance with the *NCC*.

### 11.6 Sealants

Appropriate sealants shall be used where necessary and in accordance with manufacturer's specifications.

## **11.7 Flashing**

Flashings shall comply with, and be installed in accordance with the *NCC*.

## **12. MASONRY**

### **12.1 Bricks**

All masonry construction and units shall comply with the *NCC*.

Tolerances shall only be applied to the total measurements over 20 units, and not to the individual units. As clay masonry units are natural kiln fired products their individual size may vary due to the manufacturing process.

### **12.2 Concrete Blocks**

Concrete blocks are to be machine pressed, of even shape, well cured and shall comply with the *NCC*. Concrete blockwork shall be constructed in accordance with the *NCC*.

Autoclaved aerated concrete blocks shall be in accordance with the manufacturer's product specification at the time the work is being carried out.

### **12.3 Damp Proof Courses**

All damp proof courses shall comply with the *NCC*.

The damp proof membrane shall be visible in the external face of the masonry in which it is placed and shall not be bridged by any applied coatings, render or the like.

### **12.4 Cavity Ventilation (Weepholes)**

Where required open vertical joints (weepholes) must be created in the course immediately above any Damp Proof Course or flashing at centres in accordance with the *NCC*.

### **12.5 Mortar and Joining**

Mortar and joint tolerances shall comply with the *NCC*.

### **12.6 Masonry Accessories**

Masonry accessories shall comply with the *NCC* and accepted building practices. Articulated joints shall be constructed in accordance with the *NCC*.

### **12.7 Lintels**

Lintels used to support masonry above openings in walls must be suitable for the purpose as required by the *NCC*. Lintels are to be provided to each wall leaf and are to be corrosion protected appropriate for the site environment and location of the lintel within the structure in accordance with the *NCC*.

### **12.8 Cleaning**

All exposed face brickwork shall be cleaned with an approved cleaning system. Care should be taken not to damage brickwork or joints and other fittings.

## **13. CLADDING AND LININGS**

### **13.1 External Claddings**

Sheet materials or other external cladding shall be fixed in accordance with the manufacturer's recommendations and any applicable special details.

Where required, the specified materials shall be used to line soffits at eaves, open verandas and porches.

### **13.2 Internal Wall and Ceilings Linings**

Unless otherwise specified, internal linings to walls and ceilings in other than wet areas shall be of gypsum plasterboards.

Plasterboard sheets are to be of a minimum 10 mm thick with recessed edges to facilitate a smooth set finish. Internal angles to walls are to be set from floor to ceiling.

Where specified, suitable cornice moulds shall be fixed at the junction of all walls and ceilings. Alternatively the joint may be set as required for vertical internal angles.

Wet area linings are to be fixed in accordance with the manufacturer's recommendations.

The ceiling access hole shall be of similar material to the adjacent ceiling.

### **13.3 Waterproofing**

All internal wet areas are to be waterproofed in accordance with the *NCC*. External tiled decks and balconies where required are to be waterproofed in accordance with the *NCC* and relevant manufactures specifications.

## **14. JOINERY**

### **14.1 General**

All joinery work (metal and timber) shall be manufactured and installed according to accepted building practices.

### **14.2 Door Frames**

External door frames shall be suitable for the expose conditions and to receive doors. Internal jamb linings shall be suitable to receive doors as specified in the contract documents. Manufactured door frames shall be installed in accordance with the manufacturer's instructions.

### **14.3 Doors and Doorsets**

All internal and external timber door and door sets shall be installed in accordance with accepted building practice and specific manufacturer's instructions.

### **14.4 Window and Sliding Doors**

Sliding and other aluminium windows and doors shall be installed in accordance with manufacturer's recommendations and AS 2047.

All glazing shall comply with the *NCC* and any commitments outlined in the relevant BASIX Certificate.

#### **14.5 Architraves and Skirting**

Architraves and skirting as nominated on the plans or listed in the Schedule of Works shall be installed in accordance with accepted building practice.

#### **14.6 Cupboards/Kitchens/Bathroom**

Units shall be installed to manufacturer's recommendations. Bench tops shall be of a water resistant material.

#### **14.7 Stairs, Balustrades and other Barriers**

Where required stairs or ramps to any change in levels shall be provided and balustrades or barriers fitted in accordance with the *NCC*.

### **15. SERVICES**

#### **15.1 Plumbing**

All plumbing shall comply with the requirements of the *NCC* Volume 3 and the relevant supply authority. All work shall be carried out by a licensed plumber.

Fittings, as listed in the Schedule of Works, shall be supplied and installed to manufacturer's specifications.

Fittings, hot water systems and any rainwater harvesting systems shall be appropriate to satisfy any commitment outlined in the relevant BASIX Certificate.

#### **15.2 Electrical**

All electrical work is to be carried out by a licensed electrical contractor to AS/NZS 3000 Electrical installations (known as the Australian/New Zealand Wiring Rules) plus any other relevant regulations. The location of lights, switches, power points and the like, is to be nominated in the contract documents.

Unless otherwise specified, the electrical service shall be 240 volt, single phase supply.

#### **15.3 Gas**

All installation (including LPG) shall be carried out in accordance with the rules and requirements of the relevant supply authority.

#### **15.4 Smoke Detectors**

Smoke alarms shall be installed in accordance with the *NCC*.

#### **15.5 Thermal Insulation**

Where thermal insulation is used in the building fabric or services, such as air conditioning ducting or hot water systems, it shall be installed in accordance with manufacturer's recommendations to achieve the R-Values required by the *NCC* or as outlined in the relevant BASIX Certificate.



## 16. TILING

### 16.1 Materials

Tiles shall be as listed in the Schedule of Works or as selected by the *Owner*.

Cement mortar and other adhesives shall comply with AS 3958.1 or tile manufacturer's specifications.

### 16.2 Installation

Installation of tiles shall be in accordance with AS 3958.1 or the manufacturer's recommendations and accepted building practices.

Where practicable, spacing between tiles should be even and regular.

Expansion joints shall be installed in accordance with AS 3958.1 or the tile manufacturer's specifications.

All vertical and horizontal joints between walls and fixtures e.g. bench top, bath, etc. and wall/floor junctions shall be filled with flexible mould resistant sealant.

All joints in the body of tiled surfaces shall be neatly filled with appropriate grout material as specified by the tile manufacturer or accepted building practice.

As tiles are made of natural products a slight variation in colour is acceptable.

Tiles are to be fixed to the substrate with adhesives that are compatible with the substrate and any waterproofing material.

### 16.3 Walls

Wall surfaces shall be tiled with selected tiles and accessories where indicated by the contract documents.

### 16.4 Floors

Floors shall be tiled to areas where indicated by the contract documents with selected tiles. Tiles shall be laid in a sand and cement mortar or using an adhesive, where required, edge strips or metal angle to exposed edges in doorways or hob-less showers in wet areas shall be provided in accordance with the *NCC*.

Where required, adequate falls shall be provided to wastes in accordance with the *NCC*.

## 17. PAINTING

### 17.1 General

All paint used shall be of a quality suitable for the purpose intended and the application shall be as per the manufacturer's specifications. The colours used shall be as listed in the Schedule of Works or other relevant contract document. All surfaces to be painted shall be properly prepared to manufacturer's instructions.

**18. WORKMANSHIP STANDARDS AND TOLERANCES**

**18.1 General**

These general specifications incorporate the *HIA Guide*. By agreeing to these specifications, the *Owner* agrees that he/she has been provided with a copy and has had the opportunity to read the *HIA Guide*.

The *HIA Guide* is to be used by the *Builder* and *Owner* as a point of reference for information on workmanship standards and tolerances, and amongst other things, in deciding whether an alleged defect exists and/or whether the materials used and/or workmanship is in accordance with the plans and specifications.

The parties agree to use the *HIA Guide* in precedence over any other non-legislated guide to standards and tolerances.

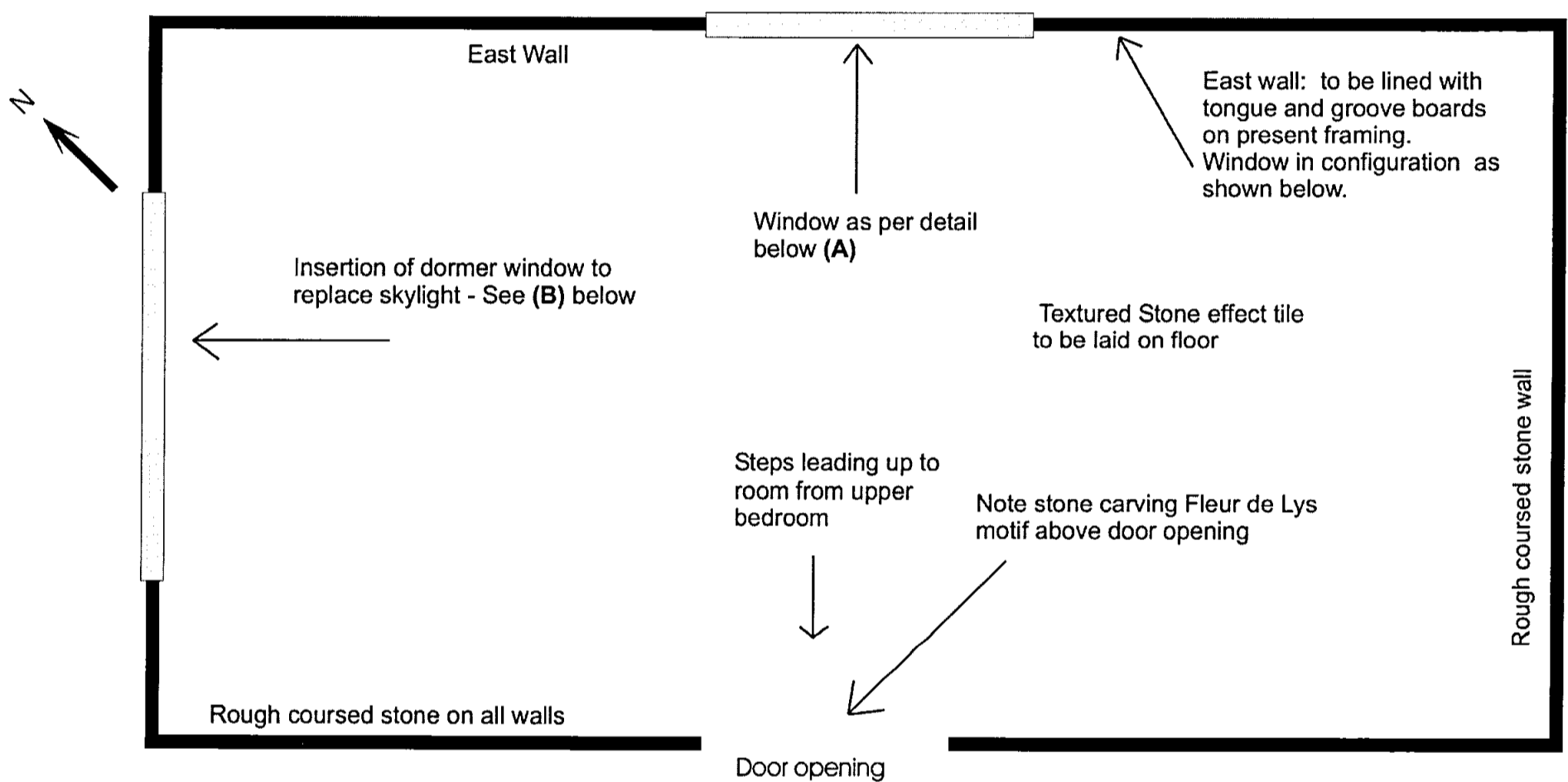
PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number:	CC 0174/12
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	
Date:	10 DEC 2013

# Storage/dressing/ensuite Room

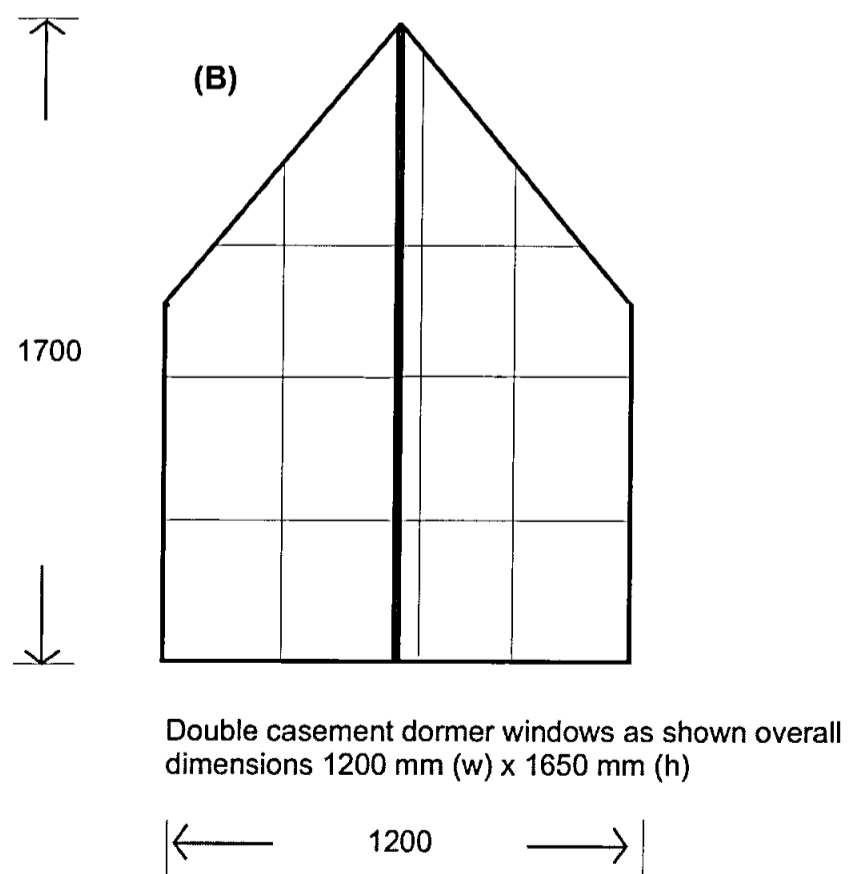
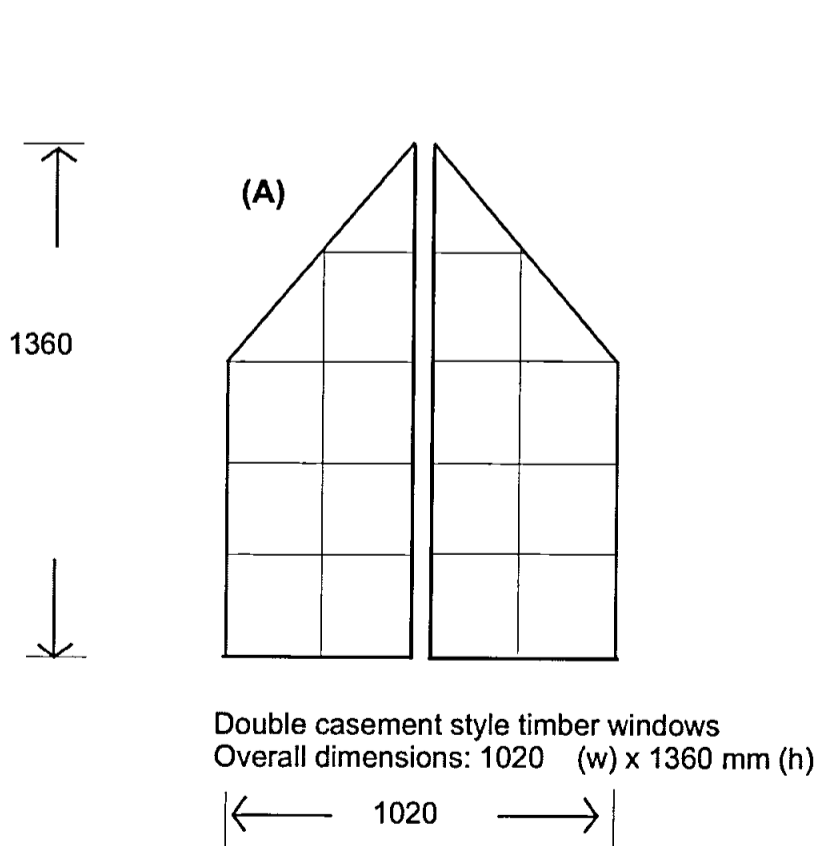
4.5 X 2.3

**Notes:**

- Because of its head clearance, this room has limited functionality and is best simply used as a dressing room or storage room.
- Simple restoration that would involve tiling the floor and inserting a multi pane window in the East wall in sympathy with the character of the house. In addition, there would be a dormer window inserted in the north facing roof, which, with the aforementioned window, would allow adequate lighting.
- The concrete floor would be either polished concrete or subdued texture and colour tile. The walls would remain rough coursed stone, while there would be grooved boarding matching the original applied to the east wall.
- Ceiling height: From apex of roof to existing floor is 294cm. Height at lowest point of roof is 90cm.



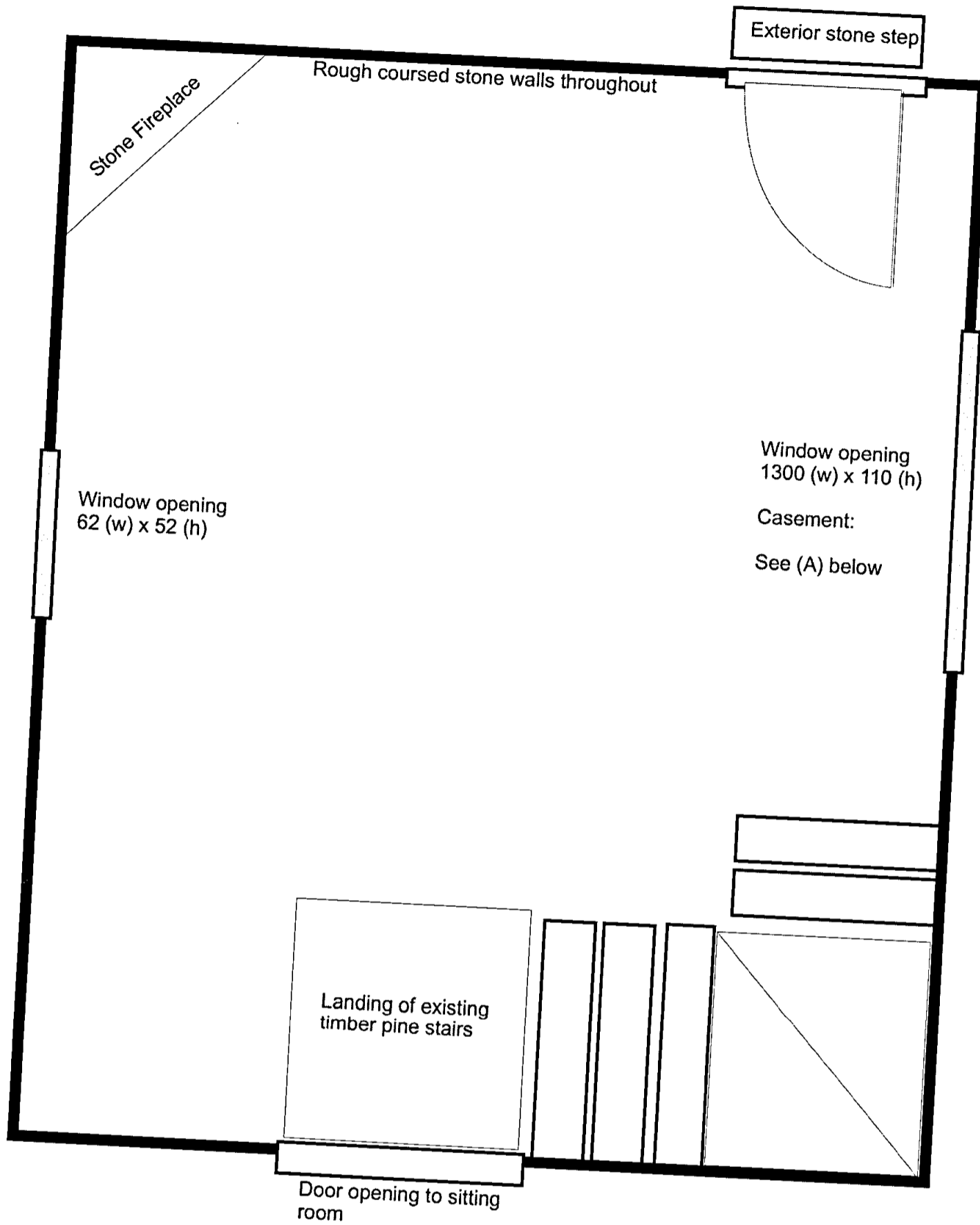
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Bungania  
77 Myola Road  
Newport

# Lower Bedroom

3500 x 4200



## Notes:

- Existing floor is 20 mm solid Jarrah to be retained
- Ceiling height: 3590 mm at top of pitch. 2500 mm at walls.
- Difference in level between sitting room and lower bedroom: 1700 mm

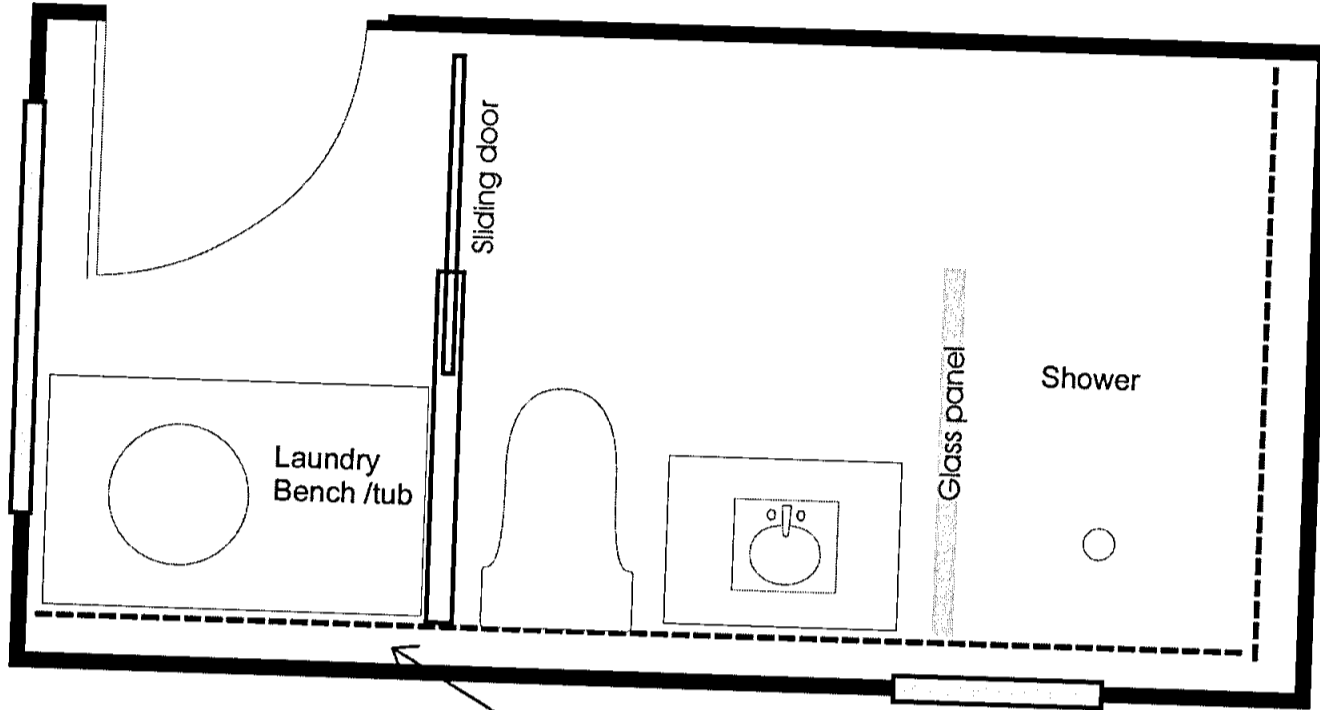
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Newport

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Laundry  
1700 x 1030

Bathroom  
1700 x 2100

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Date:	10 DEC 2013



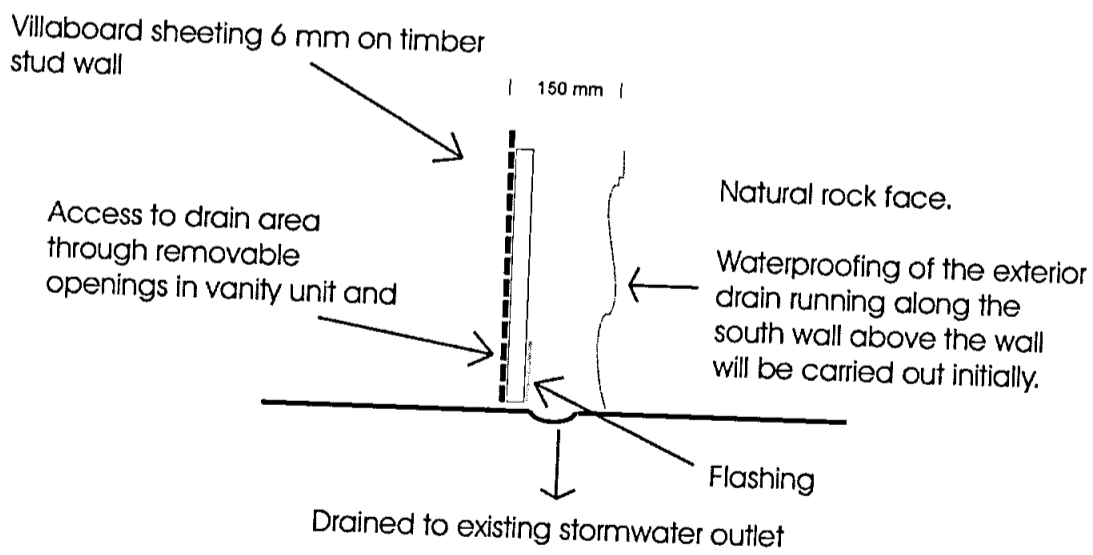
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See below for drain detail

Window in stonework at height 245 cm  
dimensions 550 (h) x 720 (w)  
- two pane, fixed

Notes:

- Ceiling to be paneling with dormer skylight. Paneling on east wall above stonework as in entrance hall and sitting room.



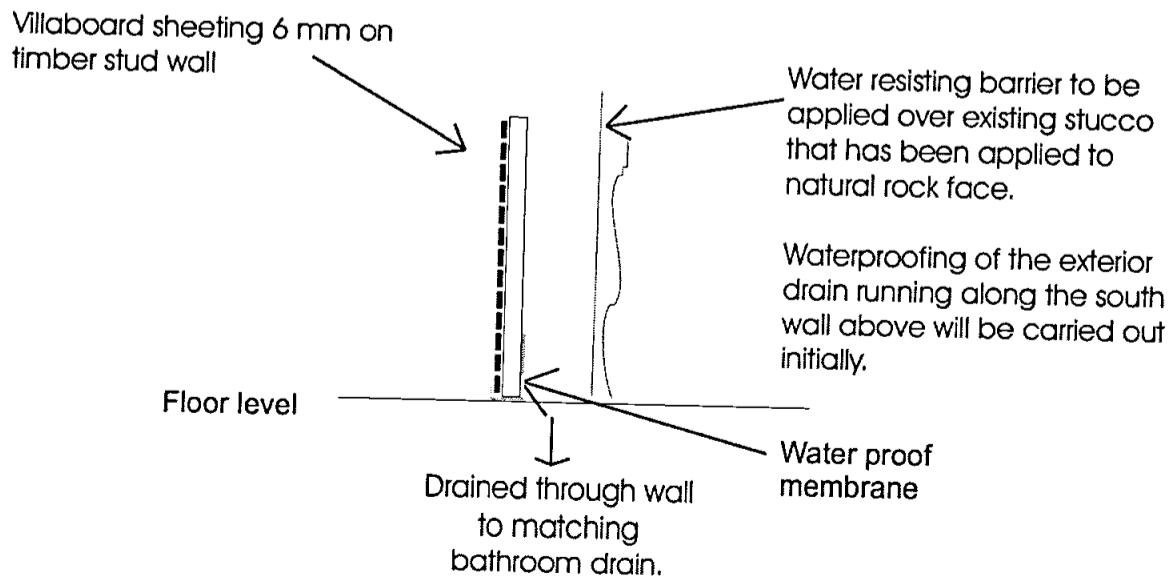
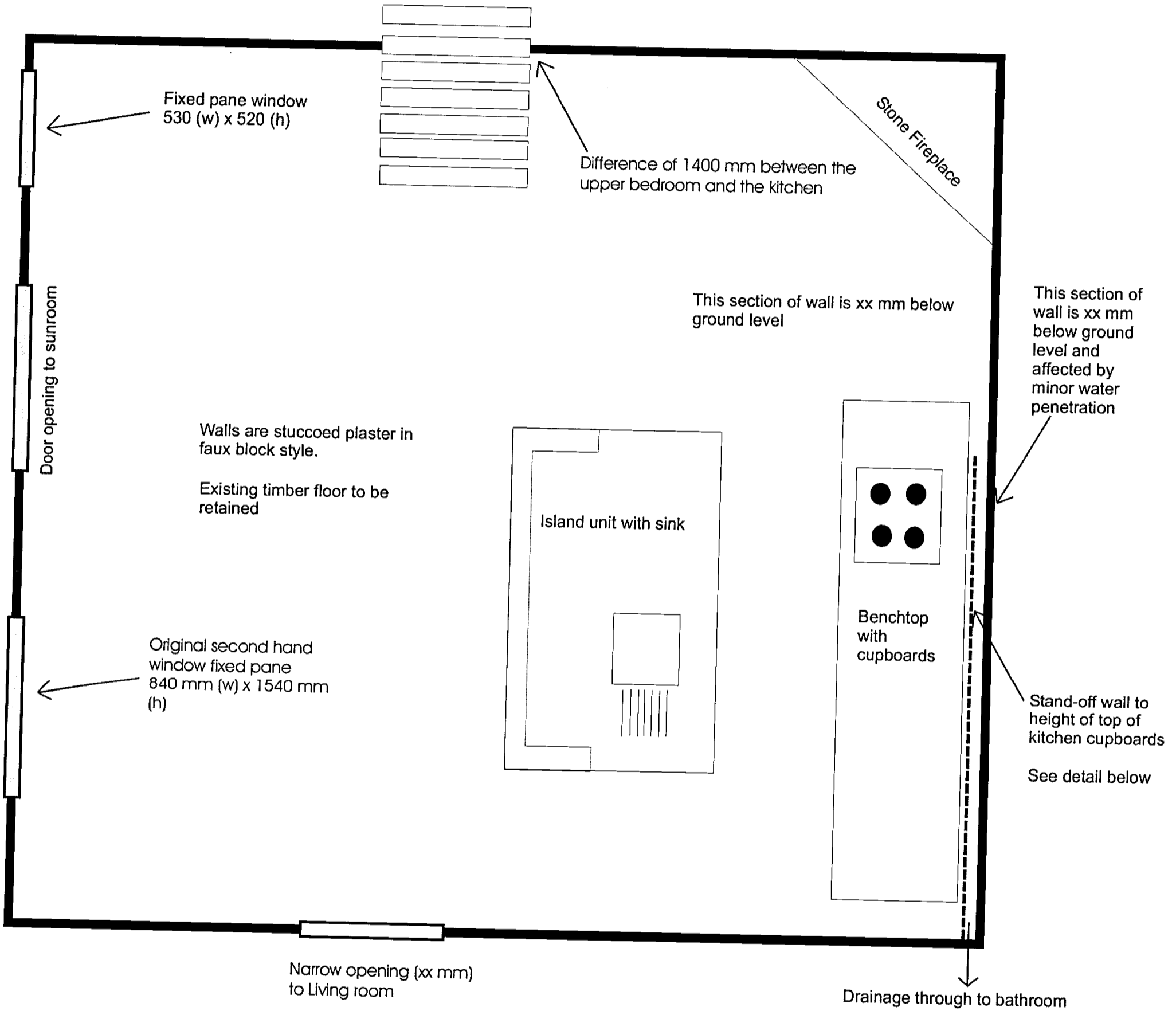
Bungania  
77 Myola Road  
Newport

# Kitchen

4500 x 4100

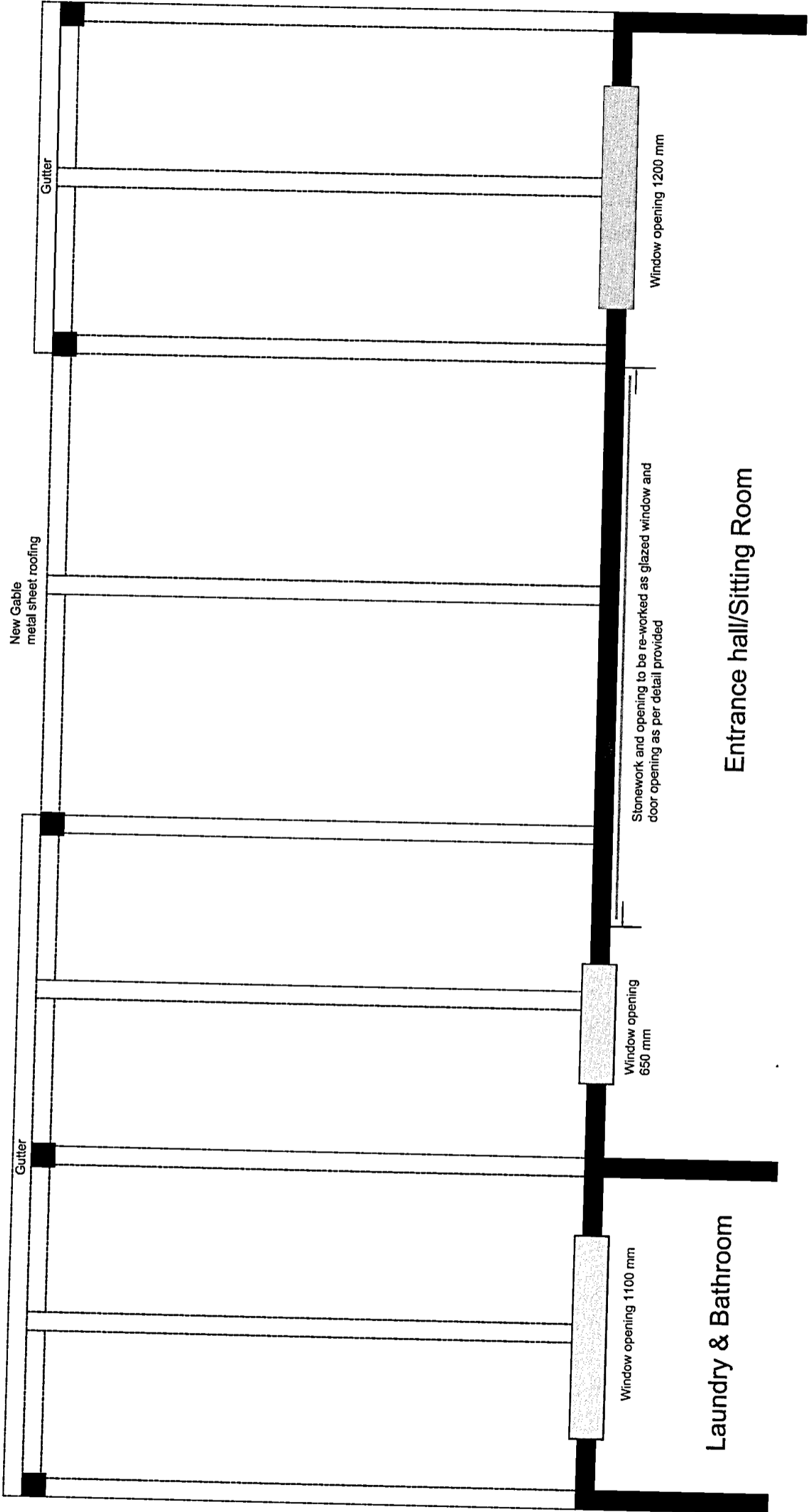
Some parts of the south wall in this room are affected by water penetration from the rock face. It is proposed to create a stand-off wall and drainage behind the wall through the wall between this room and the bathroom.

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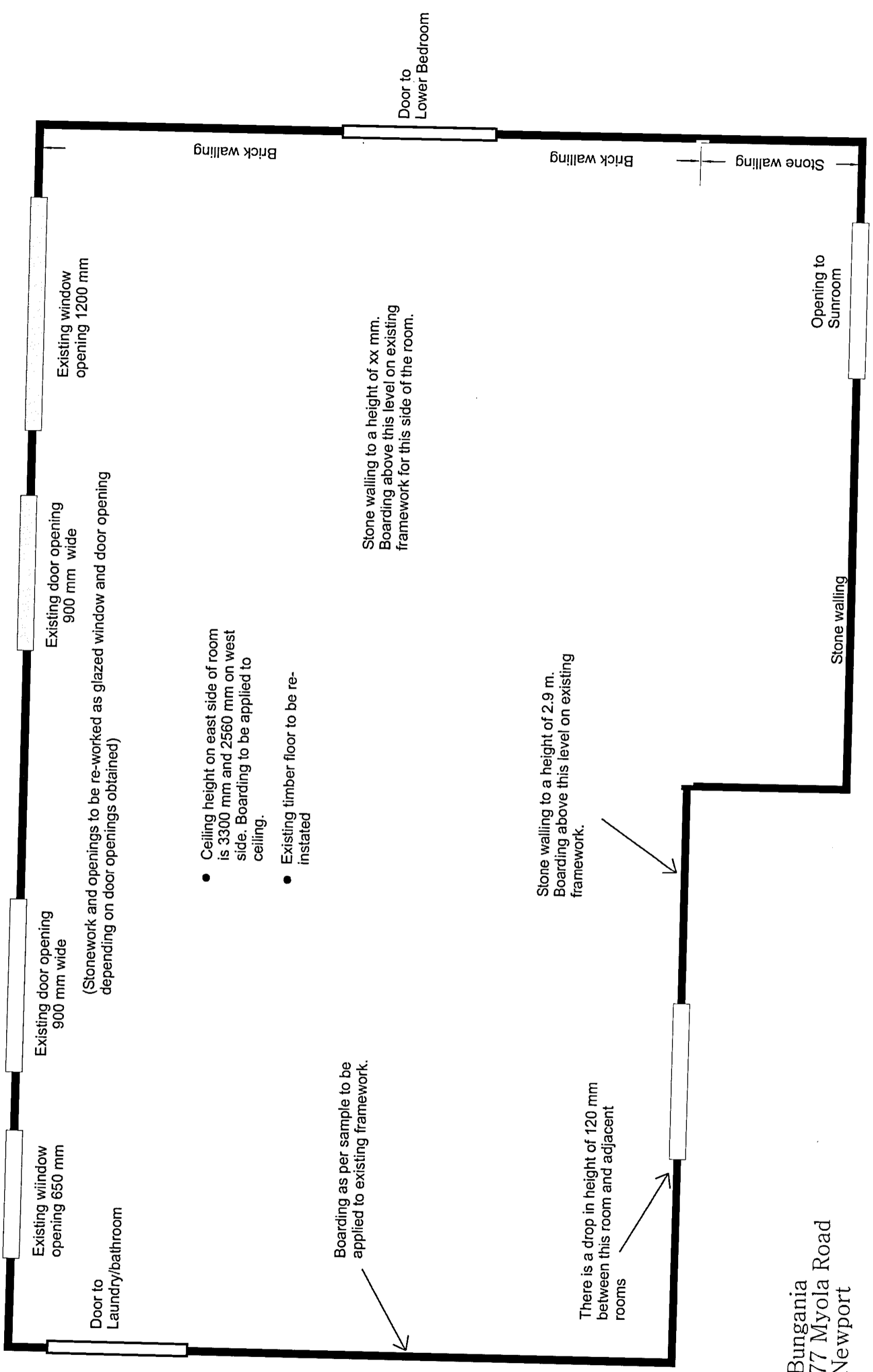


New metal sheet roofing plan

# Entrance Hall/Sitting Room

6300 x 4200

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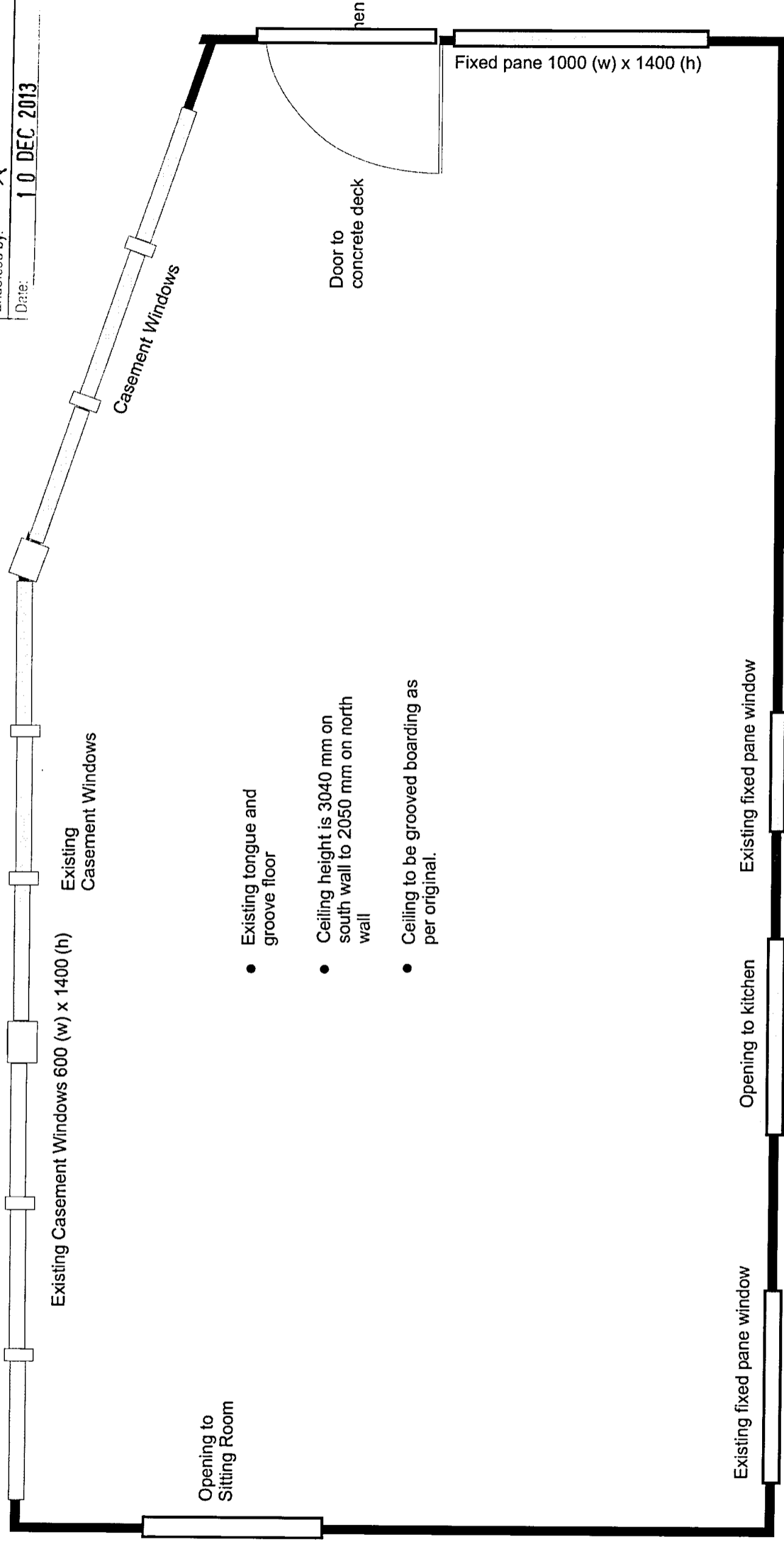
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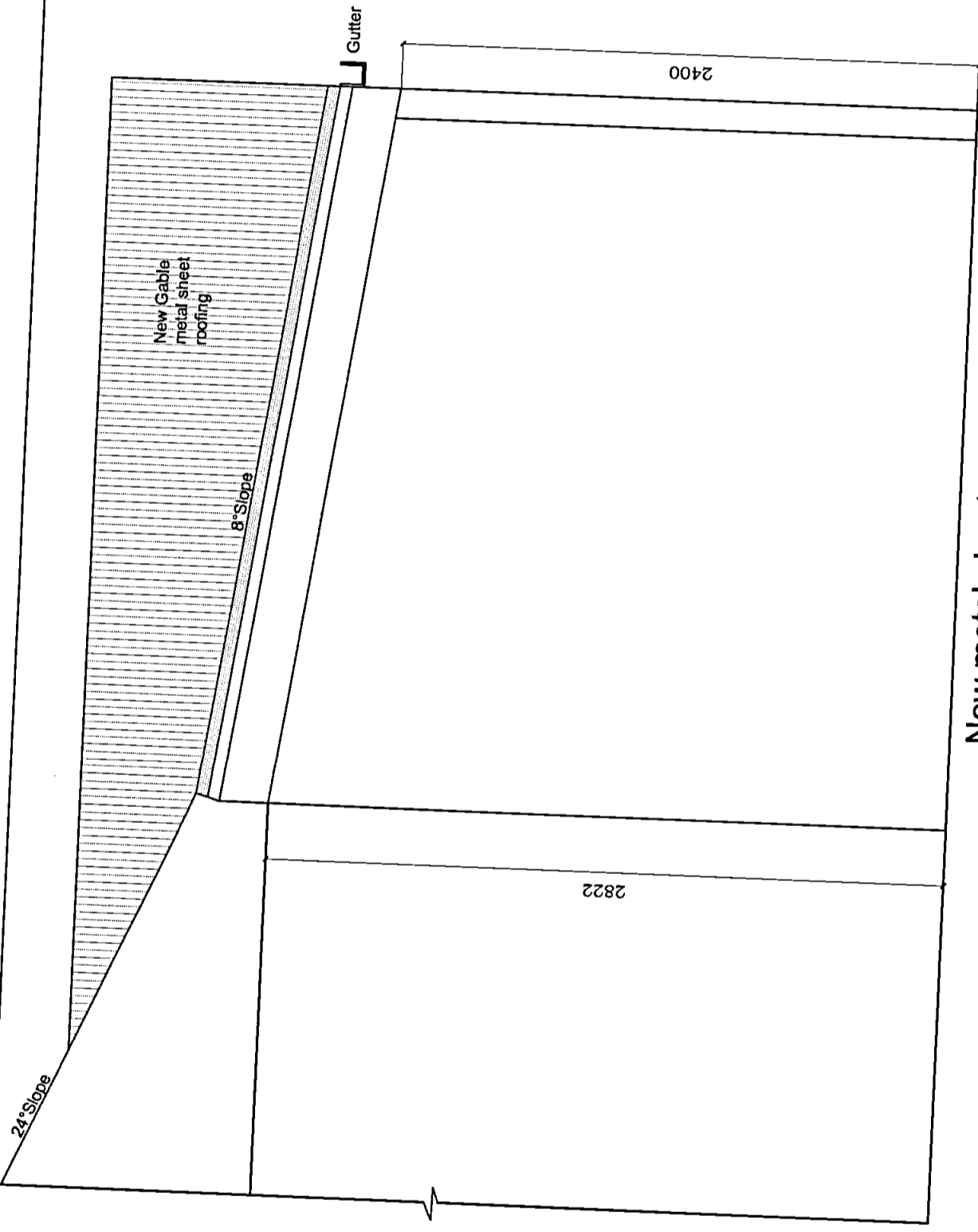
# Sunroom

6500 x 3300

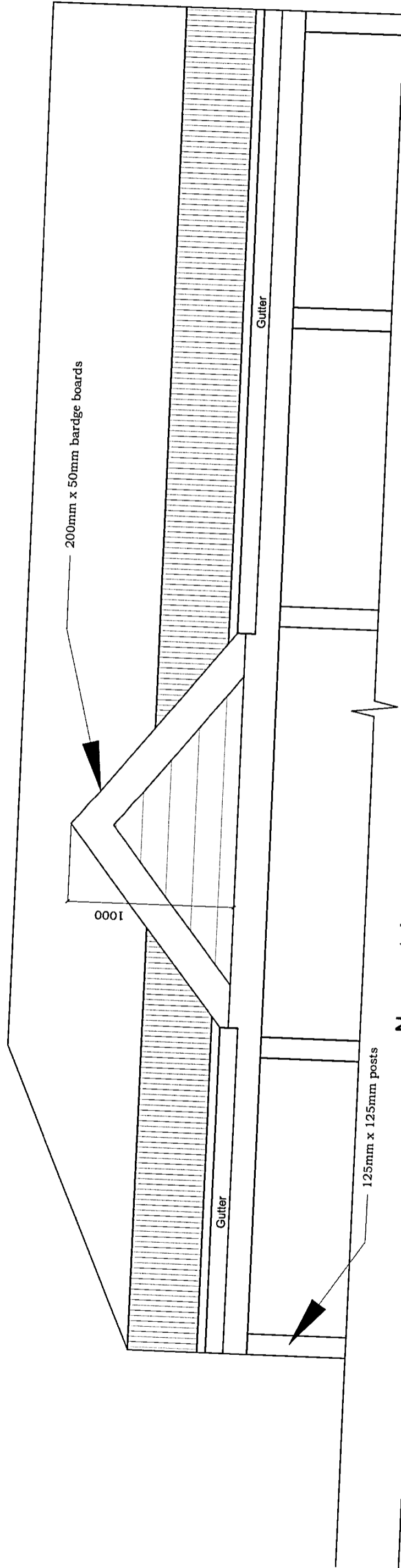
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New metal sheet roofing side elevation

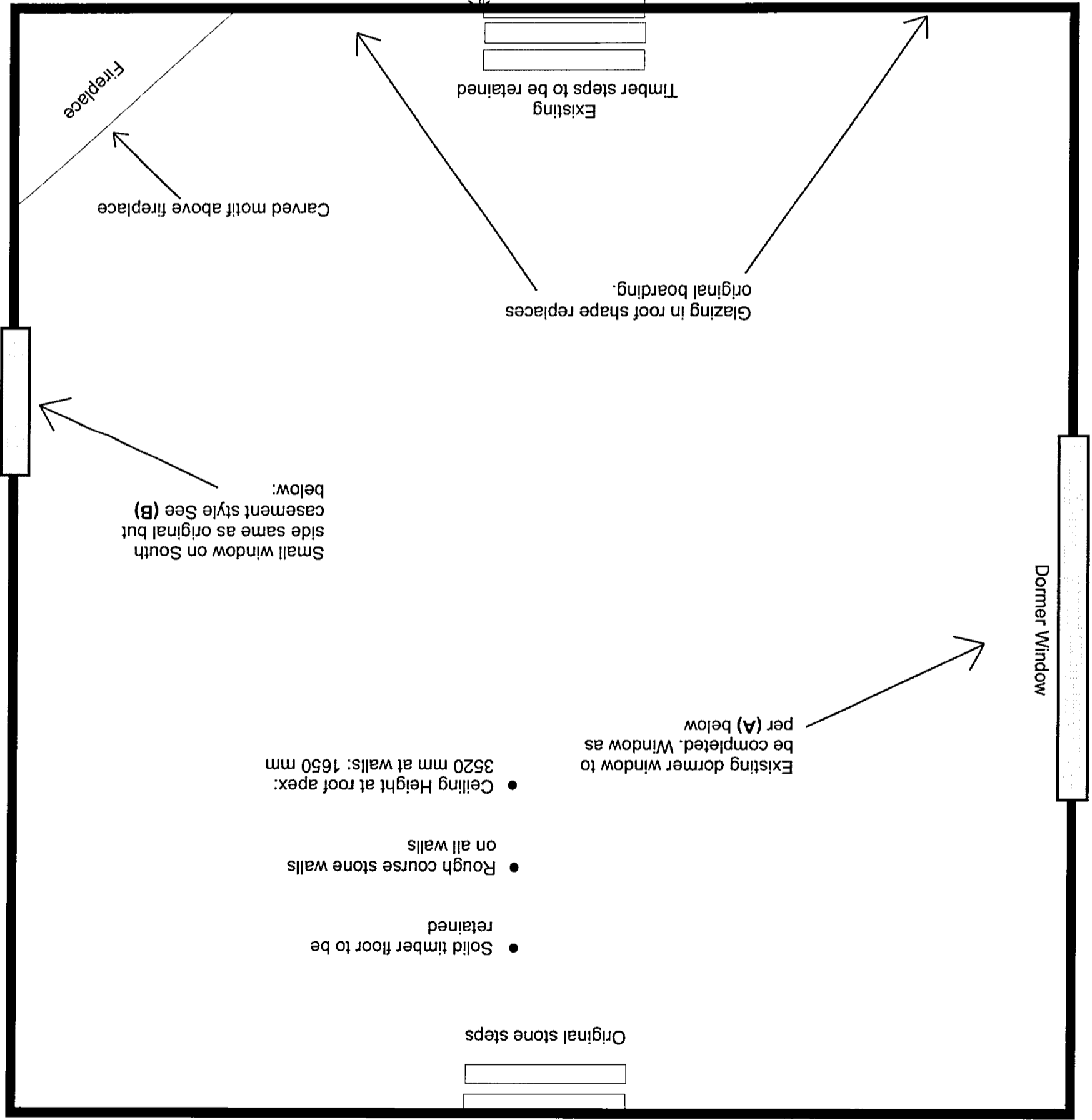


New metal sheet roofing front elevation

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# Upper Bedroom

4500 X 4700



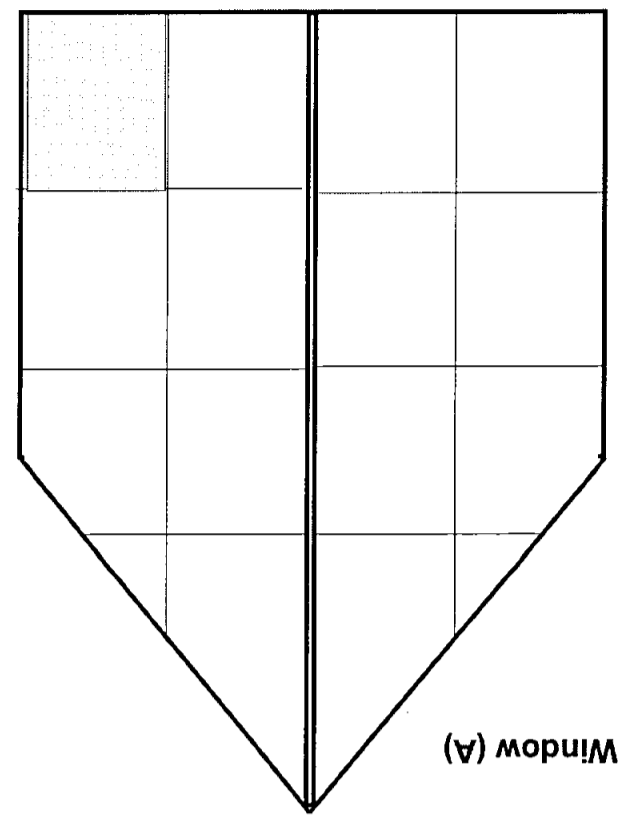
- Solid timber floor to be retained
  - Rough course stone walls on all walls
  - Ceiling Height at roof apex: 3520 mm at walls: 1650 mm
- Existing dormer window to be completed. Window as per (A) below
- Glazing in roof shape replaces original boarding.
- Existing Timber steps to be retained
- Original stone steps

Small window on South side same as original but casement style See (B) below:

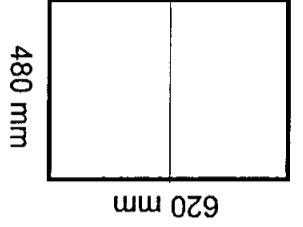
Carved motif above fireplace

Fireplace

Overall dimensions: 2110 x 1550 mm



Window (A)



Window (B)

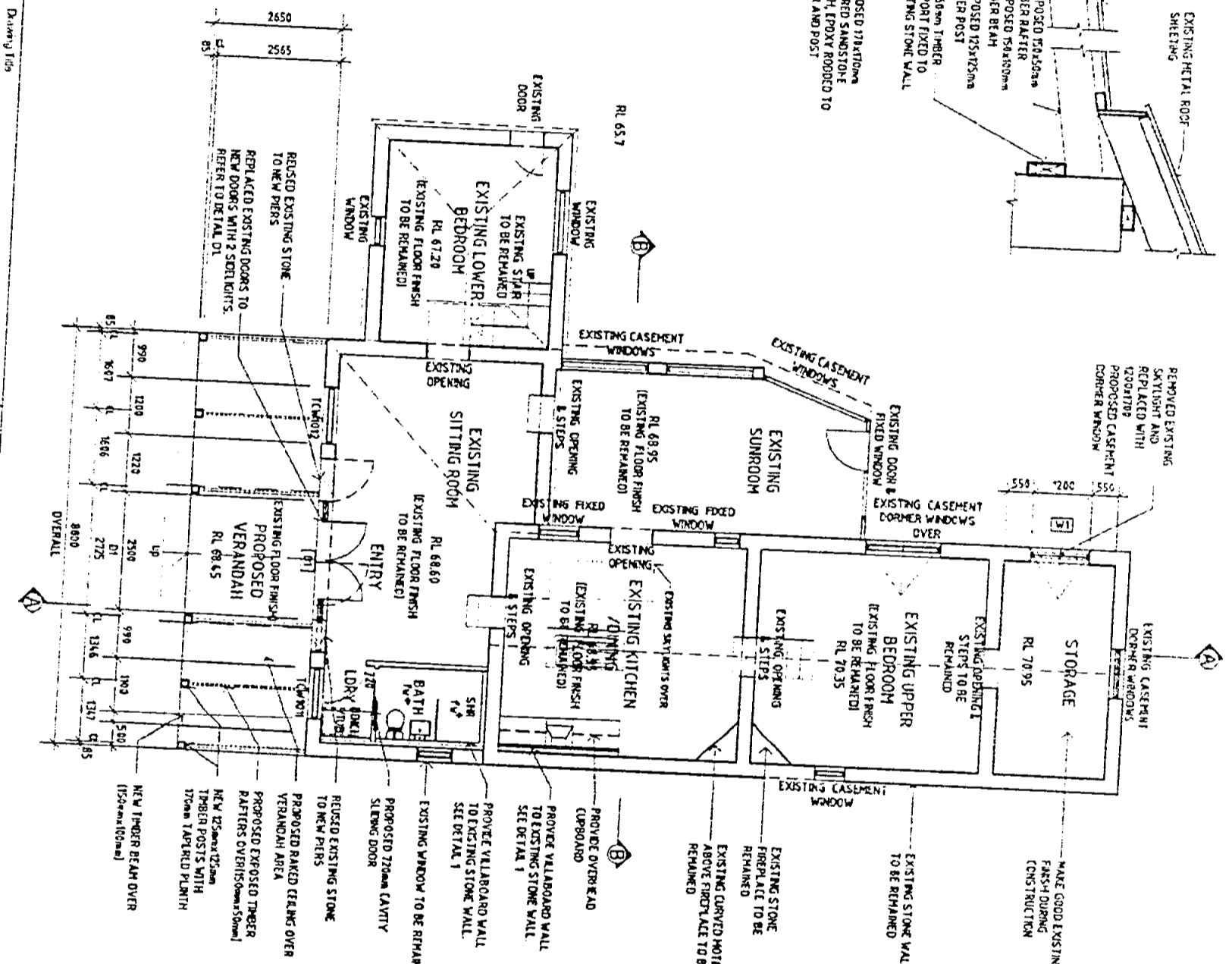
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Bungania  
 77 Myola Road  
 Newport

# Marilou Elano

"A Design for Everyone"  
 Mob. 0410181751

GROUND FLOOR PLAN/PERGOLA DETAIL



NOTE: DIMENSIONS ARE INDICATIVE ONLY.  
 CHECK ON SITE PRIOR CONSTRUCTION.

Drawing Title	Ground Floor Plan/Perigola Detail
Author/Drawn	A CONSTRUCTION CERTIFICATE
Date	30 Oct 13
Project Address	DAVID CATCHLOVE
Scale	1:100/1:20
Date	30.06.13
Issue No	ME
Issue No	A
Sheet No	1

LOT 1, NO. 77 MYOLA ROAD NEWPORT, NSW 2106

PITTSWATER COUNCIL CONSTRUCTION CERTIFICATE  
 Number: CC 0174112  
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 Endorsed by: *[Signature]*  
 Date: 10 DEC 2013

SIGNED:  
*[Signature]*  
 JAMAR ELANO  
 STRUCTURAL ENGINEER  
 Reg (Struct.) NSW 2106

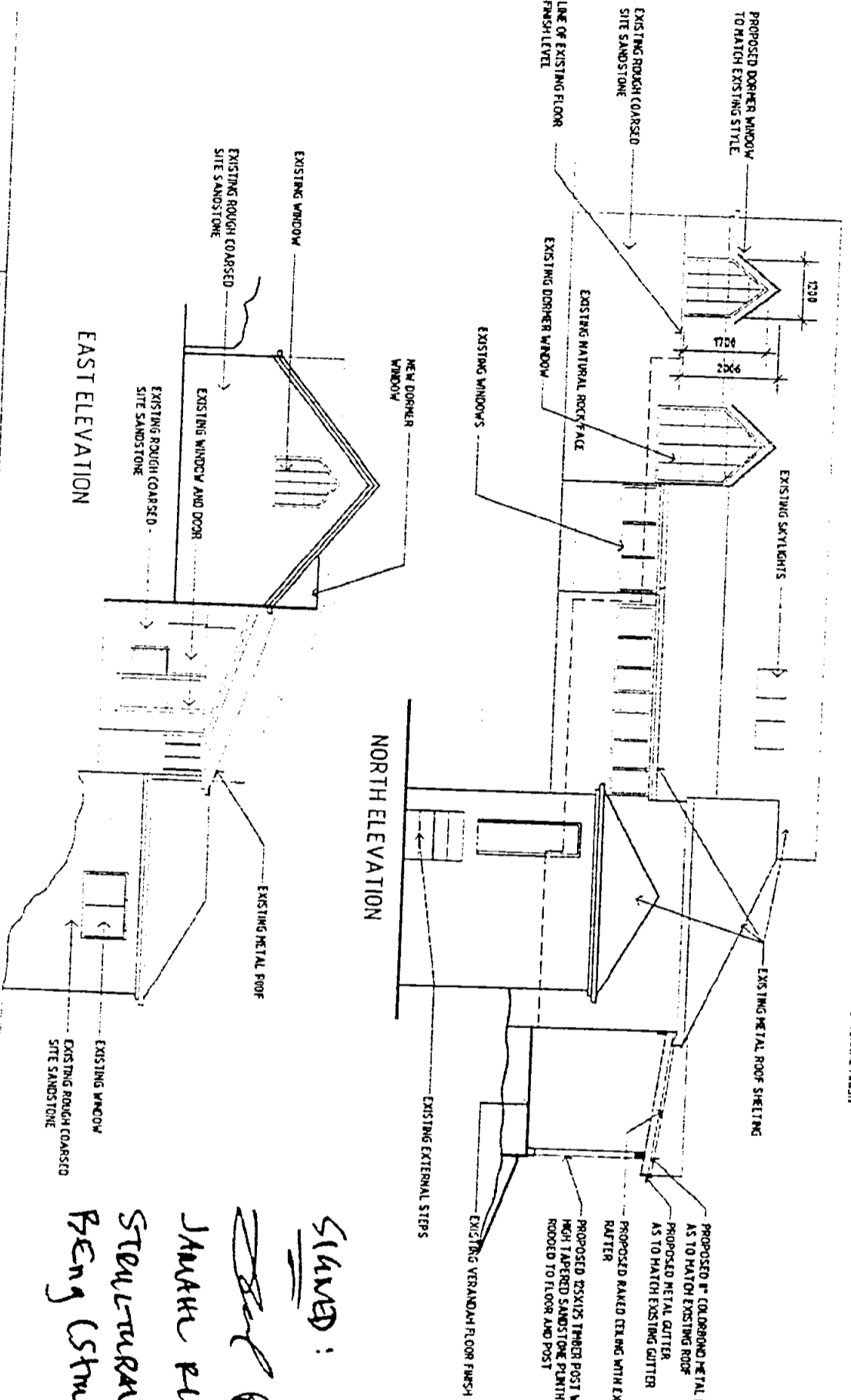
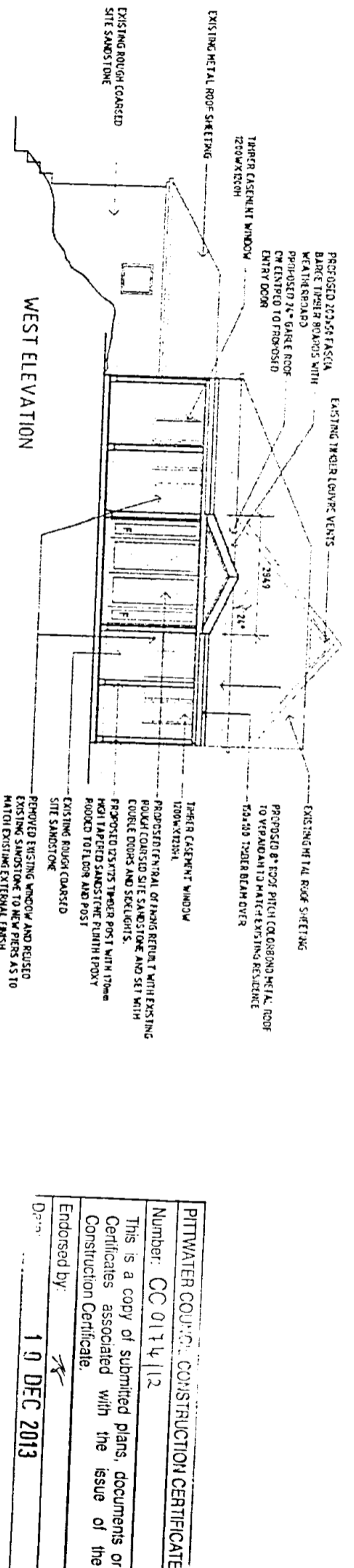
# Marilou Elano

\* A Design for Everyone \*  
Mob: 0419181751

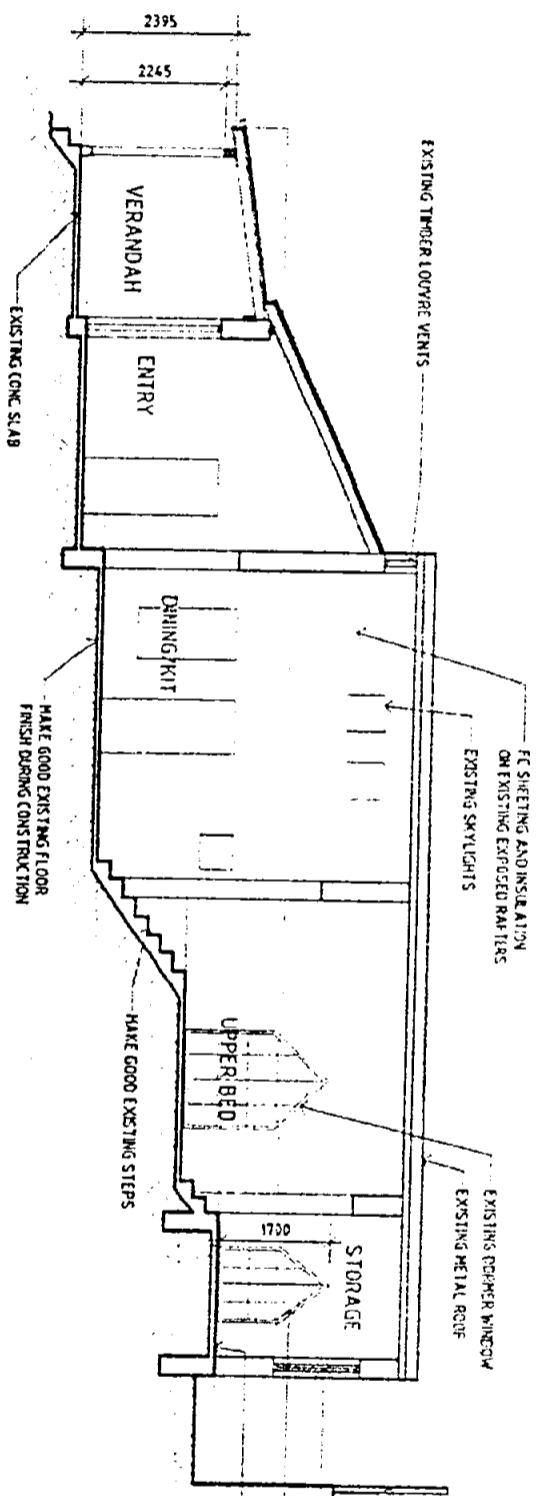
Drawing Title  
**ELEVATIONS**

Annotations	Author	Date
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Project Address	DAVID CATCHLOVE	Scale: 1:100
LOT 1, NO. 77 MYOLA ROAD NEWPORT, NSW 2106	Drawing Title: ME	Date: 30.06.13
	Issue No: A	Sheet No: 1

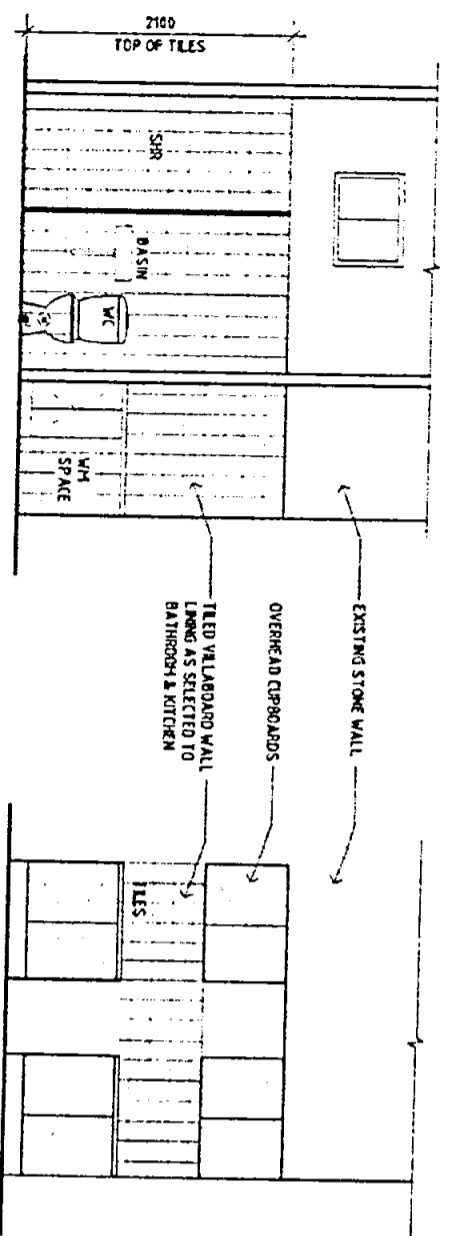
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CHECK ON SITE PRIOR CONSTRUCTION.



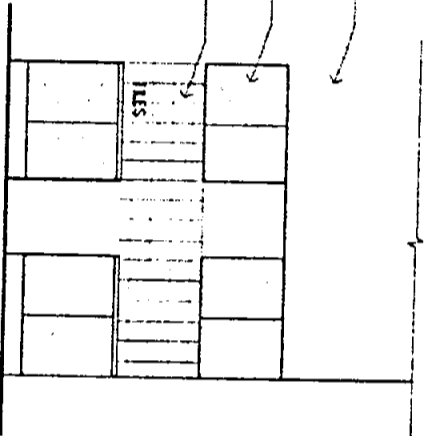
Slaved:  
*[Signature]*  
JAMAR RUSBY  
STRUCTURAL ENGINEER  
Reny (Struct.) USTP



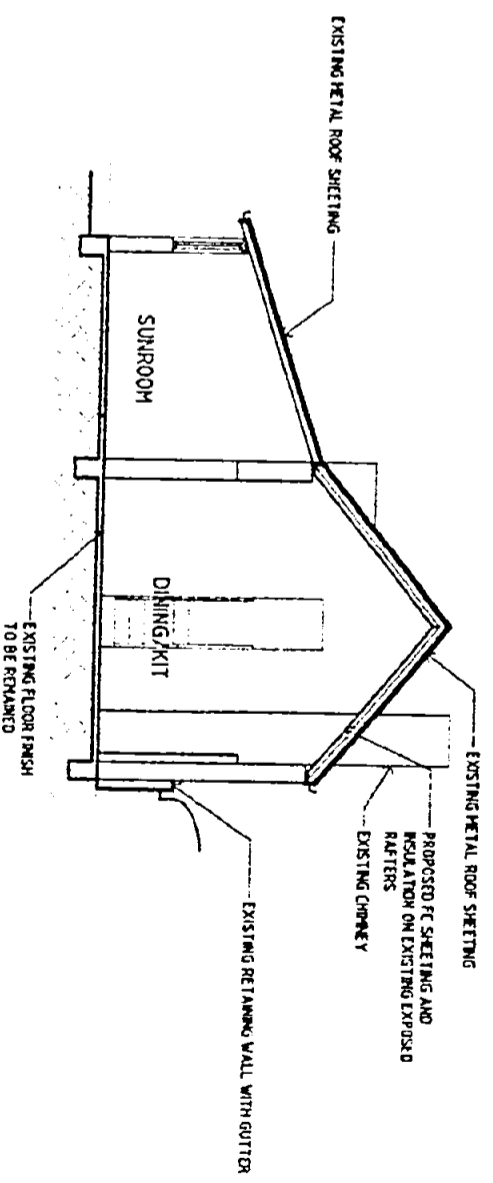
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 10 DEC 2013



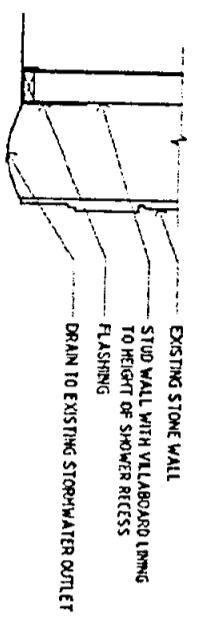
BATHROOM ELEVATION  
 SCALE 1:50M



KITCHEN ELEVATION  
 SCALE 1:50M



SECTION B - B



DETAIL 1  
 SCALE 1:20M

**Marilou Elano**  
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 Mob: 0410184751

SECTIONS / DETAIL

Amendments	30/06/13	Drawing Title	DAVID CATCHLOVE	Scale	100/20/50	Date	30.06.13	Sheet No.	1
A	CONSTRUCTION CERTIFICATE	Project Address	LOT 1, NO. 77 MYOLA ROAD NEWPORT, NSW 2106	Drawn	ME	Issue No.	A		

*SLAVED:*  
*[Signature]*  
 JAVUIC RUBY  
 STRUCTURAL ENGINEER, BENG (Struct.) USTP