

# STOLP RESIDENCE PROPOSED ALTERATIONS AND ADDITIONS

156A VICTOR ROAD,  
NARRAWEENA  
NSW 2099

## PLAN OR DOCUMENT CERTIFICATION

I am a qualified structural draftsman

I hold the following qualifications:

Building Certificate - Sydney TAFE

Member - Building Designers Association Australia - Accreditation no. 6255

Further I am appropriately qualified to certify this component of the project.

I hereby state that these plans or details comply with the conditions of development consent of the appropriate local government authority and / or the relevant Australian building industry standards.

SALLY GARDNER

27/09/2018

*Sally Gardner*

Name

Date

Signature

27 September, 2018



BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

SALLY GARDNER DESIGN AND DRAFT



Sustainability Design Specialist

47 Towradgi Street, Narrabeena, NSW, 2099 Australia  
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SPECIFICATION :

- "Approval" - obtained by either an "Accredited Certifying Authority" or "Local Council".
- The Owner will directly pay all fees associated with the following: building approval from Council or Accredited Certifier, any footpath and kerb deposits with the local council, insurance fees to Building Services Corporation, Long Service Leave Levies and approval fees by water and sewerage authorities. All other fees are to be paid by the Builder.  
The amount of any local authority deposits which are forfeited due to damage or other causes, will be deducted from payments due to the Builder.
- The Builder is to provide at his/her own expense, adequate Public Risk Insurance and arrange indemnification under the Workers Compensation Act. Works insurance to be as stated in the contract conditions.
- All tenderers are to visit the site to satisfy themselves as to the nature and extent of the works, facilities available and difficulties entailed in the works, as variations will not be allowed due to work arising owing to neglect of this clause.
- These drawings shall be read in conjunction with all structural and other consultant's drawings and specifications and with any such written instructions as may be issued during the course of the contract.
- Set out dimensions shown on the drawings shall be verified by the Builder on site before commencement of any work. Dimensions shall not be obtained by scaling the drawings. Use only figured dimensions. All dimensions are in millimetres.
- The Builder is to ensure all construction, levels and other items comply with the conditions of the Building Approval.
- Any detailing in addition to what is supplied shall be resolved between the Owner and the Builder, to the Owner's approval, except for any structural details or design which is to be supplied by the Engineer.
- All work to be carried out in a tradesman like manner and in accordance with the standards, codes and regulations of the Standards Association of Australia, National Construction Code of Australia and any Statutory Authority having jurisdiction over the works.
- All structural work is to be in accordance with the structural details prepared by a suitably qualified Structural Engineer. Including but not limited to, all piers, footings, concrete slabs, retaining walls, steelwork, formwork, underpinning, additional structural loads, timber framing, wind bracing and associated connections. Builder to obtain prior to finalising tender, unless previously obtained by owners.
- All brickwork is to be selected by owners and is to comply with AS 1640. All masonry is to comply with AS 3700.
- Provide all metalwork and flashings necessary to satisfactorily complete the works.
- All timber construction to be in accordance with AS 1684 - "Timber Framing Code".
- All glazing installed is to comply with AS 1288, AS 2047 and in accordance with manufacturer's recommendations.

- All wall and ceiling linings to be plasterboard or cement render as selected and villaboard or equal in wet areas. Workmanship is to comply with the relevant Australian Standards or installed in accordance with manufacturer's specifications.
- All bathrooms and wet areas to be adequately waterproofed to manufacturer's specification and in accordance with AS 3740 and Part 3.8.1 of the National Construction Code - Volume 2, provisions for Class 1 and Class 10 buildings.
- All architraves and skirtings to be to owner's selection or provide standard colonial mouldings or to match existing. Paint or stain finish as selected.
- All plumbing and drainage works to be installed and completed by a licenced tradesperson and in accordance with the statutory body having authority over the works. Connect all waste to Sydney Water sewer line.
- Connect all stormwater to existing system or street drainage system in accordance with AS 3500 and part 3.1.2 Drainage, of the National Construction Code - Volume 2, provisions for Class 1 and Class 10 buildings.
- Smoke detector alarms to be installed in accordance with AS3786 and part 3.7.2 of the National Construction Code - Volume 2, provisions for Class 1 and Class 10 buildings
- Termite protection measures to comply with AS3660 and be installed to manufacturer's specification.
- Stairs and Balustrades to comply with part 3.9.1 & 3.9.2 of the National Construction Code - Volume 2, provisions for Class 1 and Class 10 buildings.
- Electrical works to be in accordance with SAA wiring rules and be done by a licensed tradesman. Obtain electrical layout prior to proceeding. All electrical power (GPO) and light outlets to be determined by owner.
- Any work indicated on the plans but not specified and any item not shown on the plans which is obviously necessary as part of proper construction and/or finish, is to be considered as shown and specified and is to be undertaken at the Builder's expense.
- Variations will not be permitted without prior written approval by the owners.
- The Builder shall provide sediment and siltration control measures as required by Council and maintain them throughout the duration of the works.
- A legible copy of the plans bearing approval stamps, must be maintained on the job site at all times. Hours of construction shall be restricted to the times as required by the building approval.
- The Builder is to arrange for all inspections required by the relevant authorities and/or lending institutions, to their requirements.
- The Builder is to obtain approval for interruptions to existing services and minimise the duration and number of interruptions. Any interruptions to existing services and equipment is to be undertaken by appropriately qualified tradespersons.
- The Builder shall restore, reinstate or replace any damage to existing structures or landscaping caused by the construction works or workmen.
- Provide protection to existing trees to remain, or as required by the Approval Conditions.

DRAWING SCHEDULE

- Title Sheet
- N1. Specification & Drawing List
- N2. Schedules & Basix Commitments
- E1. Existing Floor Plan
- A1. Roof Plan
- A2. Proposed Upper Floor Plan
- A3. Proposed Lower Floor Plan
- A4. Elevation - East
- A5. Elevation - South
- A6. Elevation - West
- A7. Elevation - North
- A8. Sections
- S1. Site Analysis Plan
- S2. Site Plan and Calculations
- S3. Sediment Control & Site Management Plan
- S4. Shadow Diagram at 9am
- S5. Shadow Diagram at 12 noon
- S6. Shadow Diagram at 3pm



WINDOW SCHEDULE

NO.	HEIGHT	WIDTH	LOCATION	FRAME / GLAZING STYLE	U value : SHGC	Additional Basix Requirements
W1	0.600	2.600	Bed 3	Powder Coated Aluminium framed Louvred window with clear glazing	6.44 : 0.75	
W2	1.700	0.600	Bed 3	Powder Coated Aluminium framed Louvred window with clear glazing	6.44 : 0.75	Requires fixed projection min. 650mm
W3	1.700	0.600	Bed 3	Powder Coated Aluminium framed Louvred window with clear glazing	6.44 : 0.75	Requires fixed projection min. 650mm
W4	1.050	3.000	Bed 1	Powder Coated Aluminium framed Fixed / Louvred window with clear glazing	6.44 : 0.75	Requires fixed projection min. 750mm
W5	0.600	1.600	Bed 1	Powder Coated Aluminium framed Sliding window with clear glazing	6.44 : 0.75	
W6	1.200	0.600	En-suite	Powder Coated Aluminium framed Louvred window with frosted glazing	6.39 : 0.56	
W7	0.600	0.600	En-suite	Powder Coated Aluminium framed Louvred window with frosted glazing	6.39 : 0.56	
W8	0.600	1.500	Bathroom	Powder Coated Aluminium framed Sliding window with frosted glazing	6.39 : 0.56	
W9	1.200	2.100	Bed 2	Powder Coated Aluminium framed Sliding window with partial frosted glazing	6.44 : 0.75	
W10	1.200	0.600	Bed 2	Powder Coated Aluminium framed Louvred window with clear glazing	6.44 : 0.75	
W11	2.000	0.490	Living	Powder Coated Aluminium framed Louvred window with clear glazing	6.44 : 0.75	Requires fixed awning min. 900mm
W12	2.410	3.010	Dining	Powder Coated Aluminium framed Sashless double hung windows with clear glazing	6.44 : 0.75	Requires fixed awning min. 900mm
W13	0.450	1.810	Dining	Powder Coated Aluminium framed Sliding window with clear glazing	6.44 : 0.75	
W14	0.450	1.810	Entry	Powder Coated Aluminium framed Sliding window with clear glazing	6.44 : 0.75	
W15	2.410	1.330	Living	Powder Coated Aluminium framed Sliding window with frosted glazing	6.39 : 0.56	
W16	0.600	0.850	Family	Powder Coated Aluminium framed Sliding window with clear glazing	6.44 : 0.75	
W17	0.600	0.850	Family	Powder Coated Aluminium framed Sliding window with clear glazing	6.44 : 0.75	
Skylights						
S1	0.980	0.550	Stairwell	Timber, double clear/air fill	4.3 : 0.5	
S2	0.980	0.550	Stairwell	Timber, double clear/air fill	4.3 : 0.5	

All sizes listed include the frame and are nominal sizes for BASIX Certification.  
All glazing assemblies will comply with AS2047 and AS1288  
All external glazing is to have a maximum reflectivity index of 25%.  
# - Denotes window requiring additional shading device to BASIX Certification requirements. Refer Basix Certificate for details.

DOOR & WINDOW NOTE:  
All Doors and Windows to be keyed alike with deadlocks to all sashes & doors. Provide weather strips and door seals around openings to prevent drafts.  
All new bedroom windows, where the floor level of the room is 2.0m or more above outside finished ground level, must be supplied with either permanently fixed robust mesh screens or permanent window locks which prevent the window from opening more than 125mm, if the lowest openable portion of the window is within 1.7m of the floor, in accordance with NCC requirements, for child safety.  
Wind loading compliance to all new windows and glazed doors to be confirmed by the Engineer prior to ordering and installation.

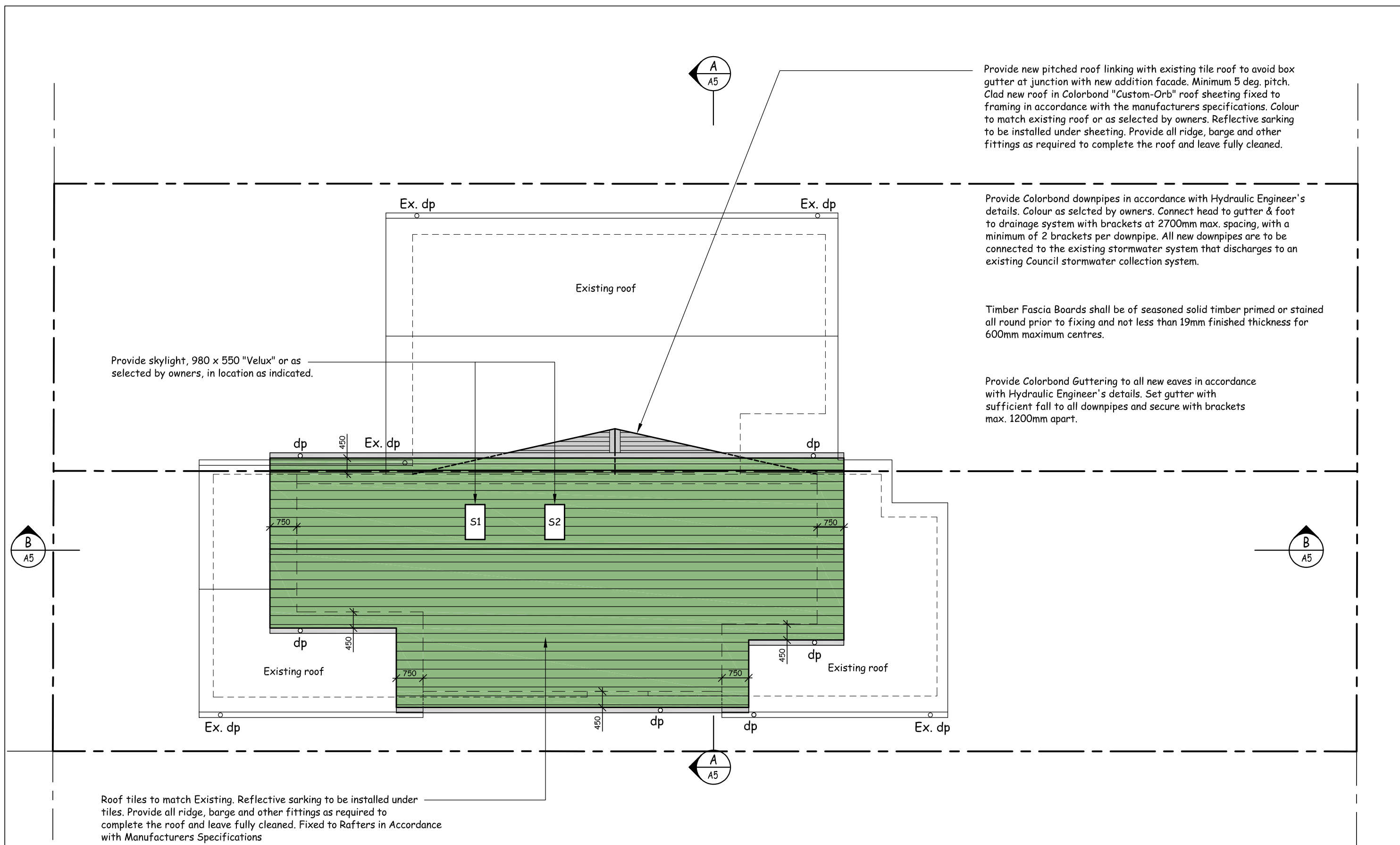
BASIX NOTES

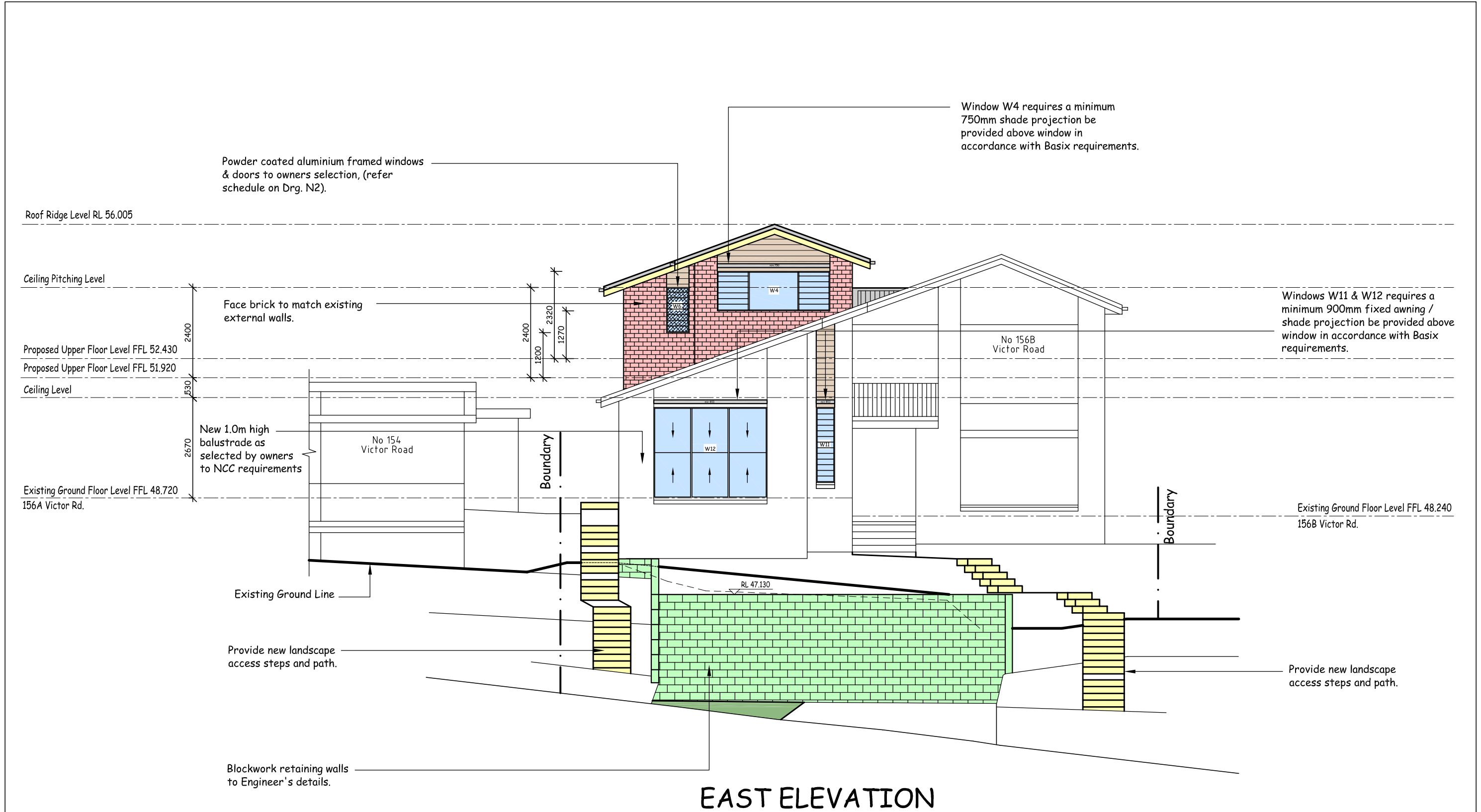
TAPS: Must have a flow rate no greater than 9 litres per minute or a minimum 3 star water rating.  
TOILETS: Must have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.  
SHOWER HEADS: Must have a flow rate no greater than 9 litres per minute or a 3 star water rating.  
Install aerators on bathroom hand basins & kitchen sinks.

LIGHTING : Basix requirements  
A minimum of 40% of new or altered light fixtures must be fitted with flourescent, compact flourescent or light-emitting diode (LED) lamps.

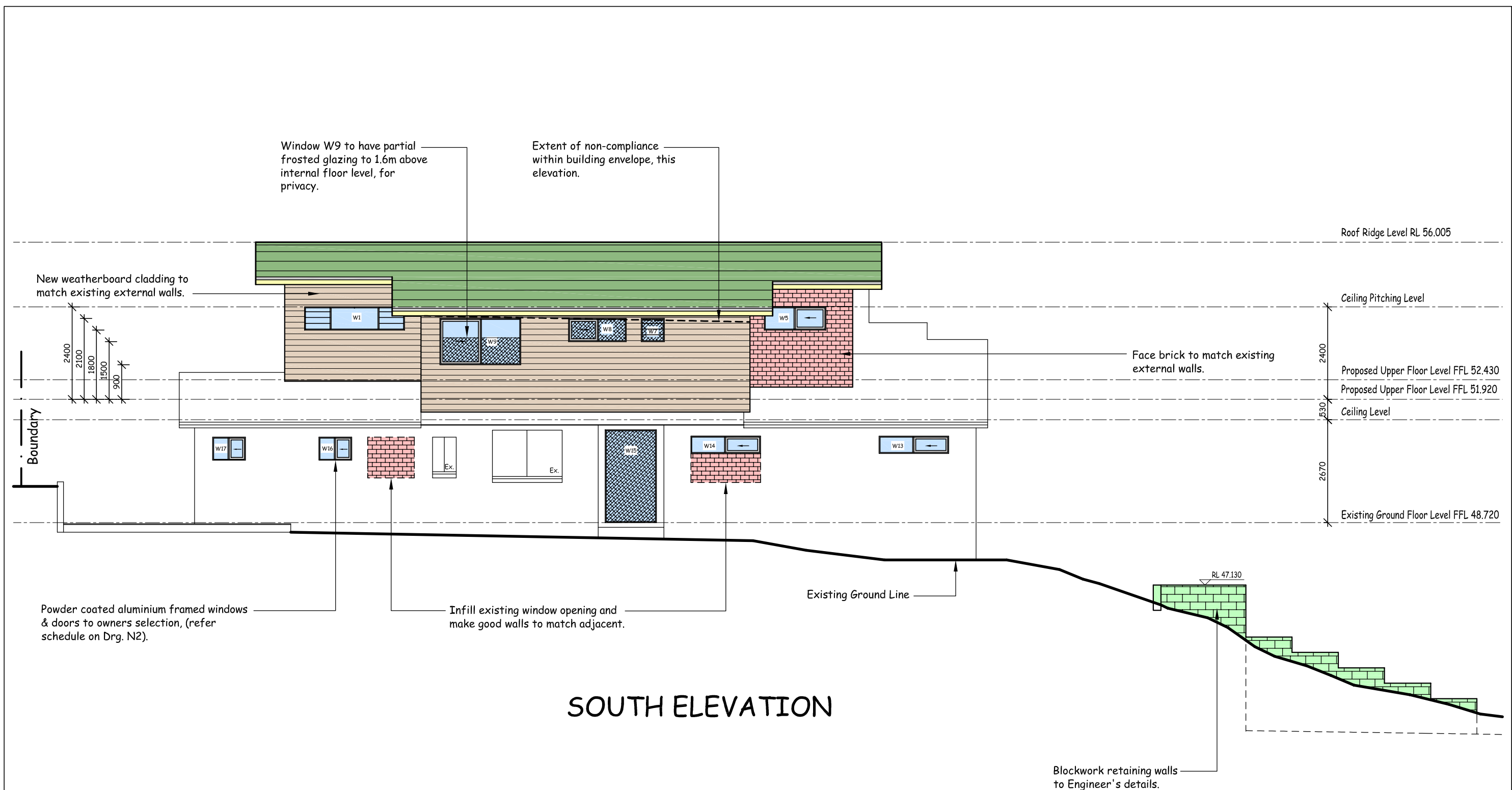
BASIX INSULATION SCHEDULE

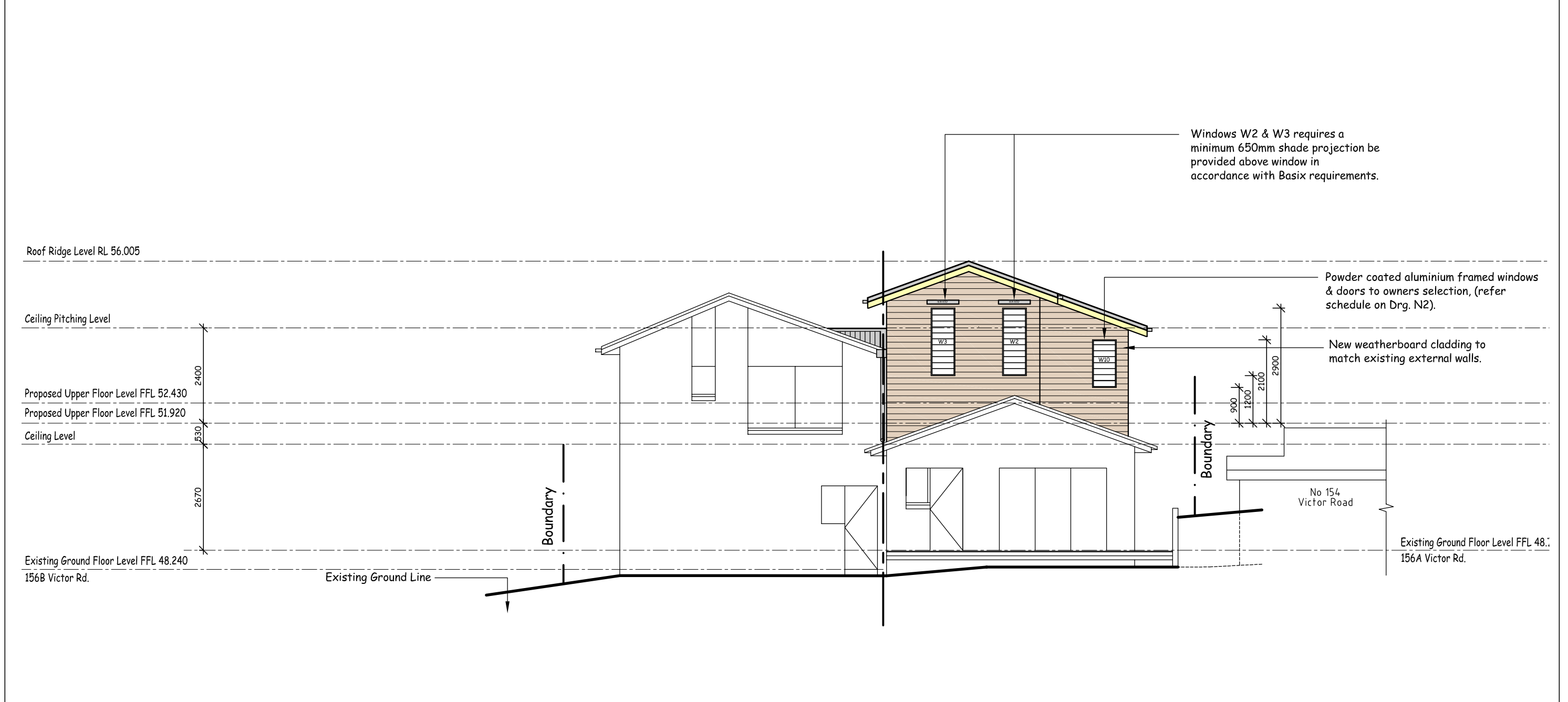
Construction	Additional insulation required (R-value)
external wall: cavity brick	nil
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)
raked ceiling, pitched/skillion roof: framed	ceiling: R2.50 (up), roof: foil/sarking



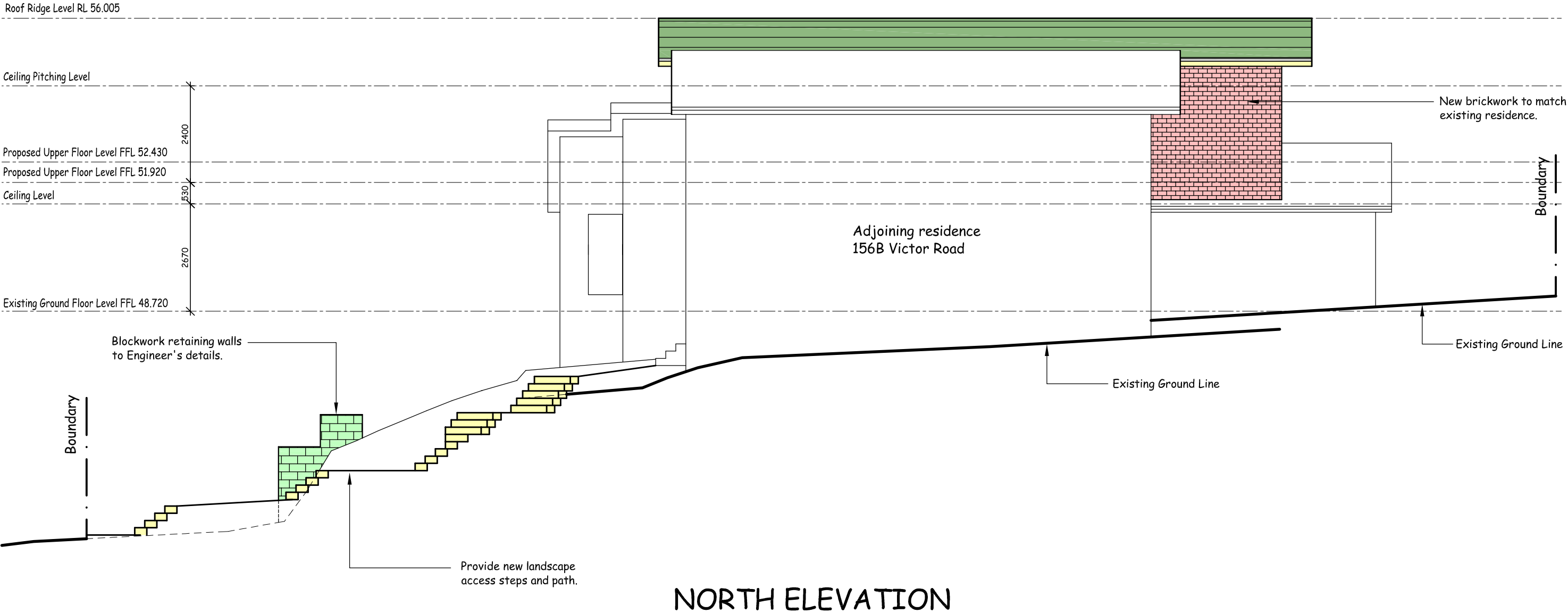


EAST ELEVATION



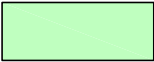
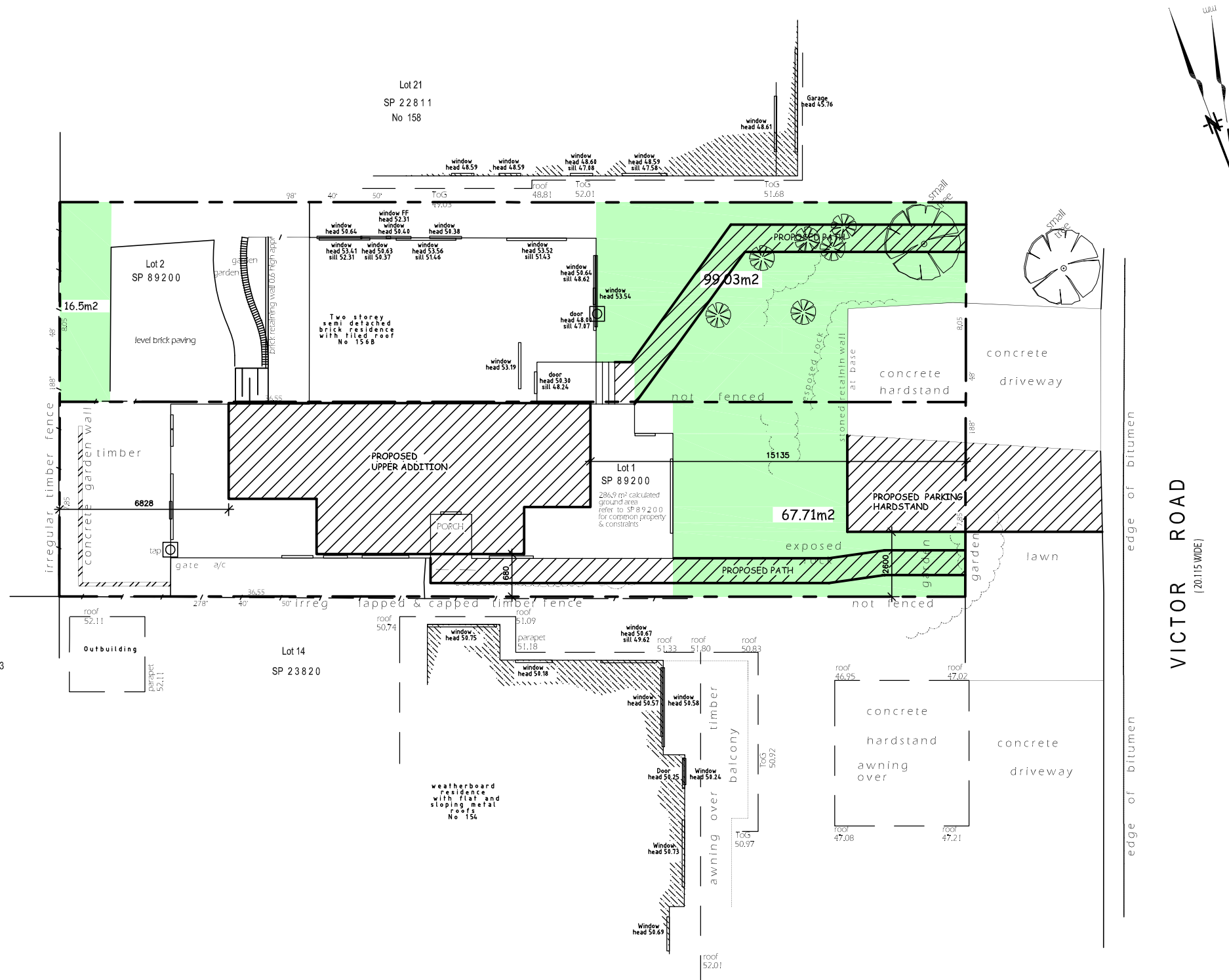


WEST ELEVATION





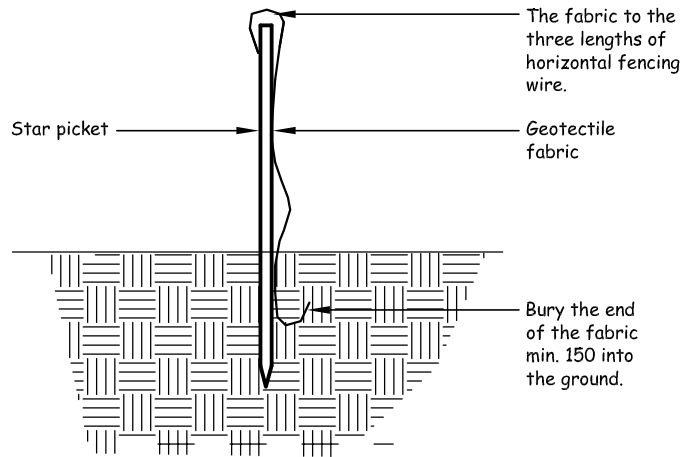




Denotes Proposed Landscape Area  
(excludes areas less than 2m wide)

SITE DEVELOPMENT CALCULATIONS - R2 LOW DENSITY RESIDENTIAL

	Existing m2	Existing %	Proposed m2	Proposed %	Control	Compliance
Site Area = 581.1 m2						
Residence	194.63		194.63			
Driveway	25.67		43.53			
Paving / Deck	116.28		86.74			
Site Coverage	336.58	57.92	324.90	55.91	60% max.	YES
Total Landscaped Open Space (Excludes areas of less than 2.0m wide)	170.57	29.35	183.24	31.53	40% min.	NO
Total Pervious Site Area	244.52	42.08	256.20	44.09		



## Sediment Control Fence Scale 1:10

### SEDIMENT NOTE :

All Erosion and Sediment Control measures to be inspected and maintained daily by the site manager.  
Minimise disturbed areas, remove excess soil from excavated area as soon as possible.  
All material stockpile to be clear from drains, gutters and footpaths, or within sediment fence area.  
Drainage to be connected to storm water as soon as possible. If stored on site, it must be filtered before releasing into storm water system or waterways.  
Roads and footpaths to be swept daily.

### ON-SITE PRACTICES :

All trenches must be filled immediately after services are laid.  
Excess materials such as cement, water from tool cleaning, paintbrushes and brick and concrete slurry, must not be washed into storm water system. It's against the law to pollute waters with any solid, liquid or gas. Where possible, construct a depression or earth dam below brick, concrete or tile cutting. If this is not possible, pass waste water through a filtration system prior to release.

### WASTE MINIMISATION :

This should be achieved by:  
\* ordering the right quantities of materials  
\* prefabrication of materials  
\* careful consideration of design to reduce the need for off-cuts  
\* co-ordination and sequencing of various trades

### STOCKPILES :

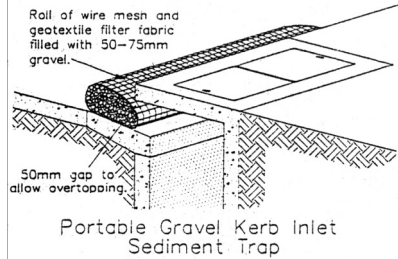
All stockpiles are to be kept on-site where possible. Any materials placed on the footpaths or nature strips require council's permission.  
All stockpiles are to be placed away from the drainage lines and street gutters. It is best to locate these on the highest part of the site if possible. Place waterproof covering over stockpiles.  
If required provide diversion drain & bank around stockpiles.

### SITE DISTURBANCE MINIMISATION :

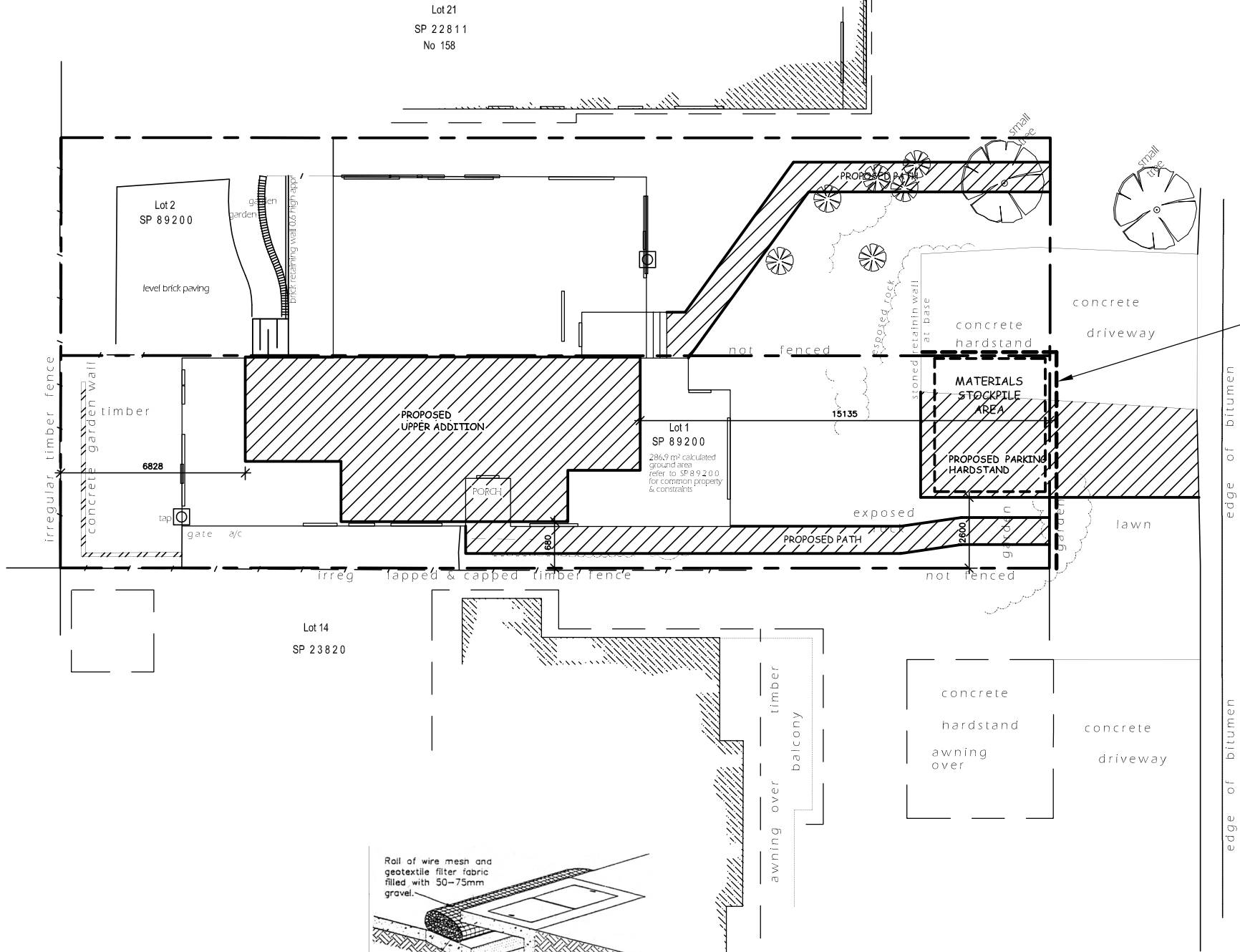
This should be achieved by:  
restrict machinery and vehicle movement to the building footprint and access corridor.  
locating drainage lines close to the building within previously excavated areas  
confine storage areas to previously disturbed parts of the site, away from the drip-line of trees to be retained

### DUST CONTROL :

To reduce dust generated by wind action, the removal of the top soil is to be minimised. To prevent dust generation, watering down of the site, especially during the movement of machinery is required.  
Where excavating into rock, keep the surface moist to minimise dust. Construct a gravel entry/exit point using blue metal and restrict all vehicle movements within the site to a minimum. Ensure wind breaks, such as existing fences are maintained during the construction phase until new landscaping is provided or reinstated. Prevent dust by covering stockpiles.



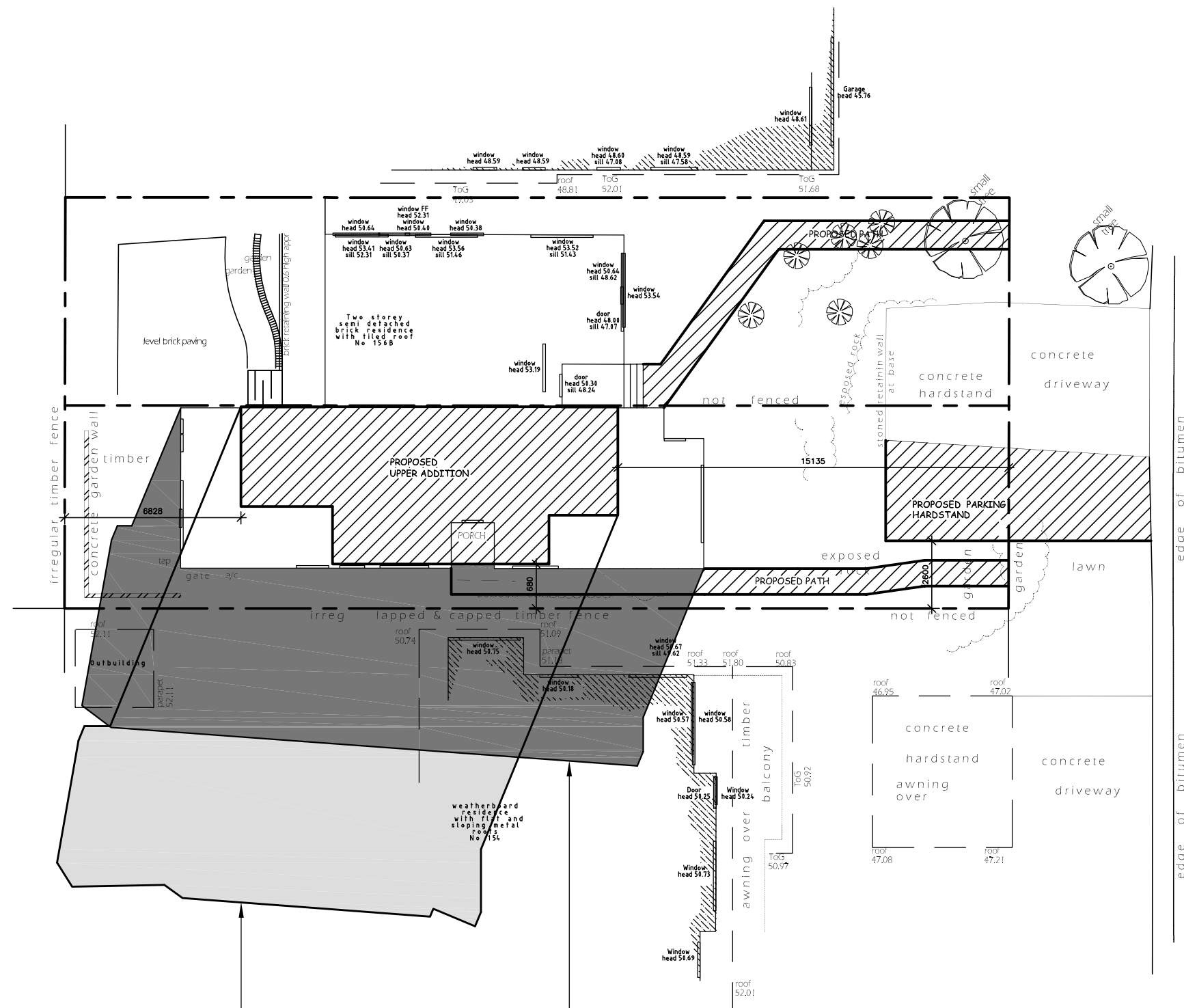
The trap involves a roll of wire mesh and geotextile filter fabric filled with gravel in front of the kerb inlet.  
It has the benefit of being portable and easily removed for cleaning.  
Ensure that there is a gap at the top to allow overtopping and prevent flooding.



Approximate line of sediment control fence (if required)







SHADOWING DATA  
 Sydney Latitude = 34deg south  
 Landslope orientation 18.5% East  
 Shadows cast by trees and fences are not taken into account.

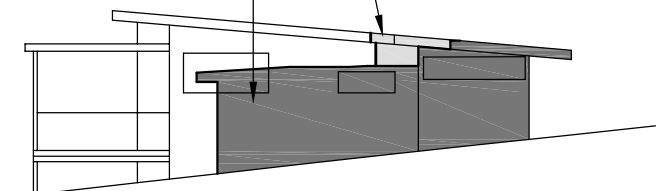
Survey Details provided by  
 DA Surveys Pty Limited  
 Datum to A.H.D.

Existing shadows cast at 9am  
 Winter Solstice - 21st June

Proposed additional  
 shadows cast at 9am  
 Winter Solstice - 21st June

Proposed additional  
 shadows cast at 9am  
 Winter Solstice - 21st June

Existing shadows cast at 9am  
 Winter Solstice - 21st June



9am ELEVATED SHADOW  
 NORTH ELEVATION  
 No 154 Victor Road



SHADOWING DATA  
Sydney Latitude = 34deg south  
Landscape orientation 18.5% East  
Shadows cast by trees and fences are not taken into account.

Survey Details provided by  
DA Surveys Pty Limited  
Datum to A.H.D.

Existing shadows cast at  
12 noon Winter Solstice -  
21st June

Proposed additional  
shadows cast at 12 noon  
Winter Solstice - 21st June

Existing shadows cast at  
12 noon Winter Solstice -  
21st June

Proposed additional  
shadows cast at 12 noon  
Winter Solstice - 21st June

12 Noon ELEVATED SHADOW  
NORTH ELEVATION  
No 154 Victor Road

100

**SHADOWING DATA**  
Sydney Latitude = 34deg south  
Landslope orientation 18.5% East  
Shadows cast by trees and fences taken into account.

Survey Details provided by  
DA Surveys Pty Limited  
Datum to A.H.D.

Existing shadows at 3pm Winter Solstice 21st June

m  
1st June

Proposed additional \_\_\_\_\_  
 shadows cast at 3pm  
 Winter Solstice - 21st June

3pm ELEVATED SHADOW  
NORTH ELEVATION  
No 154 Victor Road

Proposed additional \_\_\_\_\_  
 shadows cast at 3pm  
 Winter Solstice - 21st June