



THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

DADA2019/1078

Provide Colorbond downpipes in accordance with Hydraulic Engineer's details. Colour as selected by owners. Connect head to gutter & foot to drainage system with brackets at 2700mm max. spacing, with a minimum of 2 brackets per downpipe. All new downpipes are to be connected to the existing stormwater system that discharges to an existing Council stormwater collection system.

Timber Fascia Boards shall be of seasoned solid timber primed or stained all round prior to fixing and not less than 19mm finished thickness for 600mm maximum centres.

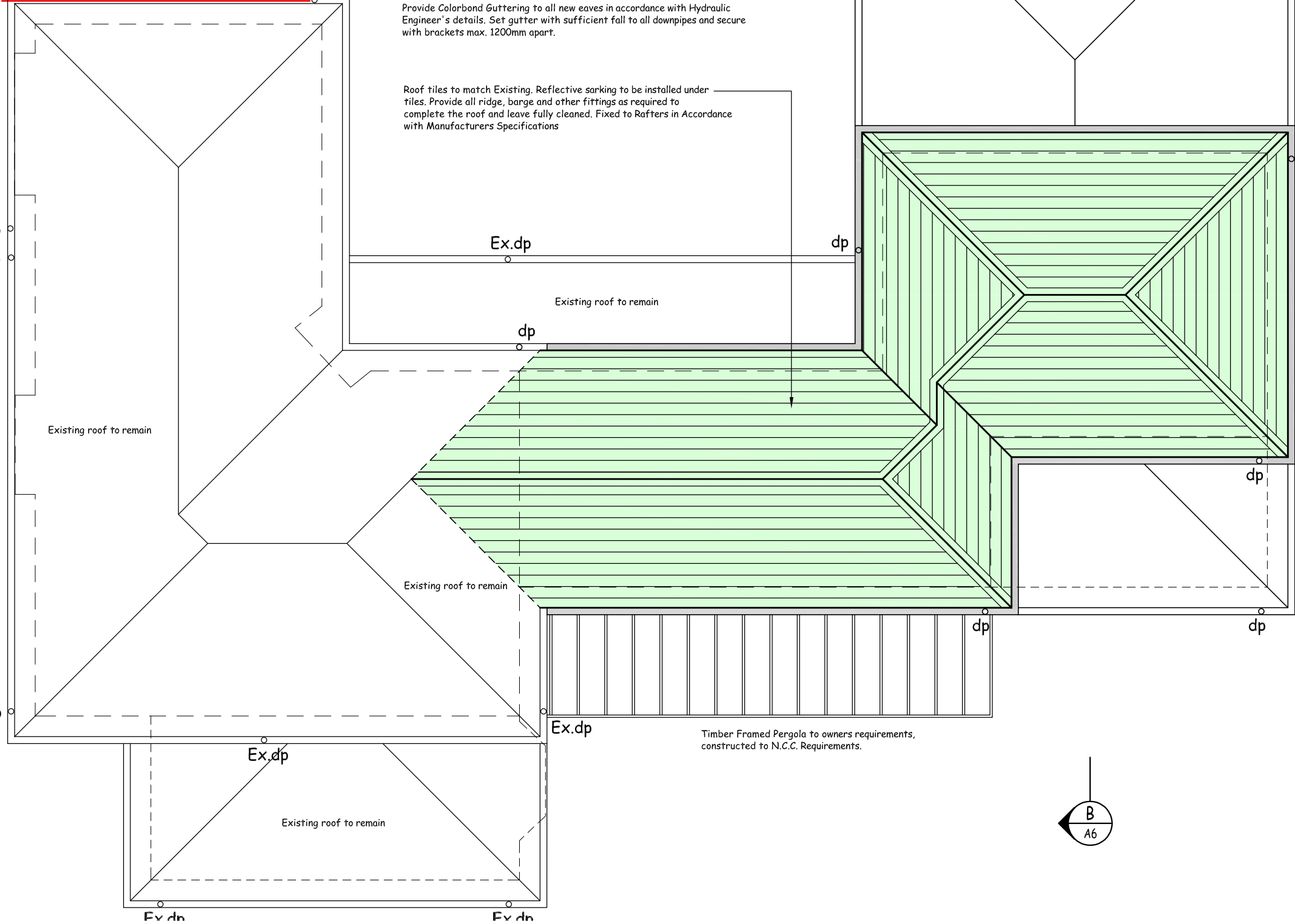
Provide Colorbond Guttering to all new eaves in accordance with Hydraulic Engineer's details. Set gutter with sufficient fall to all downpipes and secure with brackets max. 1200mm apart.

Roof tiles to match Existing. Reflective sarking to be installed under tiles. Provide all ridge, barge and other fittings as required to complete the roof and leave fully cleaned. Fixed to Rafters in Accordance with Manufacturers Specifications

0.9m Side Setback

0.9m Side Setback

0.9m Side Setback



To all Wardrobes, allow for providing one 1800mm edge stripped particleboard shelf 450mm wide, supported on 50 x 25mm battens to sides and back, along with a similar batten under front edge. Provide 20mm dia. hanging rail with fittings and supports to underside of shelf, unless owners direct otherwise.

To Linen Cupboards: provide five 18mm edge stripped particleboard shelves x 450 wide, supported on 50 x 25 battens to both sides and back edge along with a similar batten under front edge, unless owners direct otherwise.

Smoke detector alarms to be installed in accordance with AS3786 and the National Construction Code of Australia.

Demolish items as indicated (dashed) or as required to allow for new construction and if necessary, rubbish removal. Make good floors & walls to match existing. Protect any items indicated for reuse from damage. Disconnect and terminate existing services, pipelines etc. in a workman like manner. Provide barricades, hoardings, tarpaulines etc. as necessary to protect the existing property and persons within the work area.

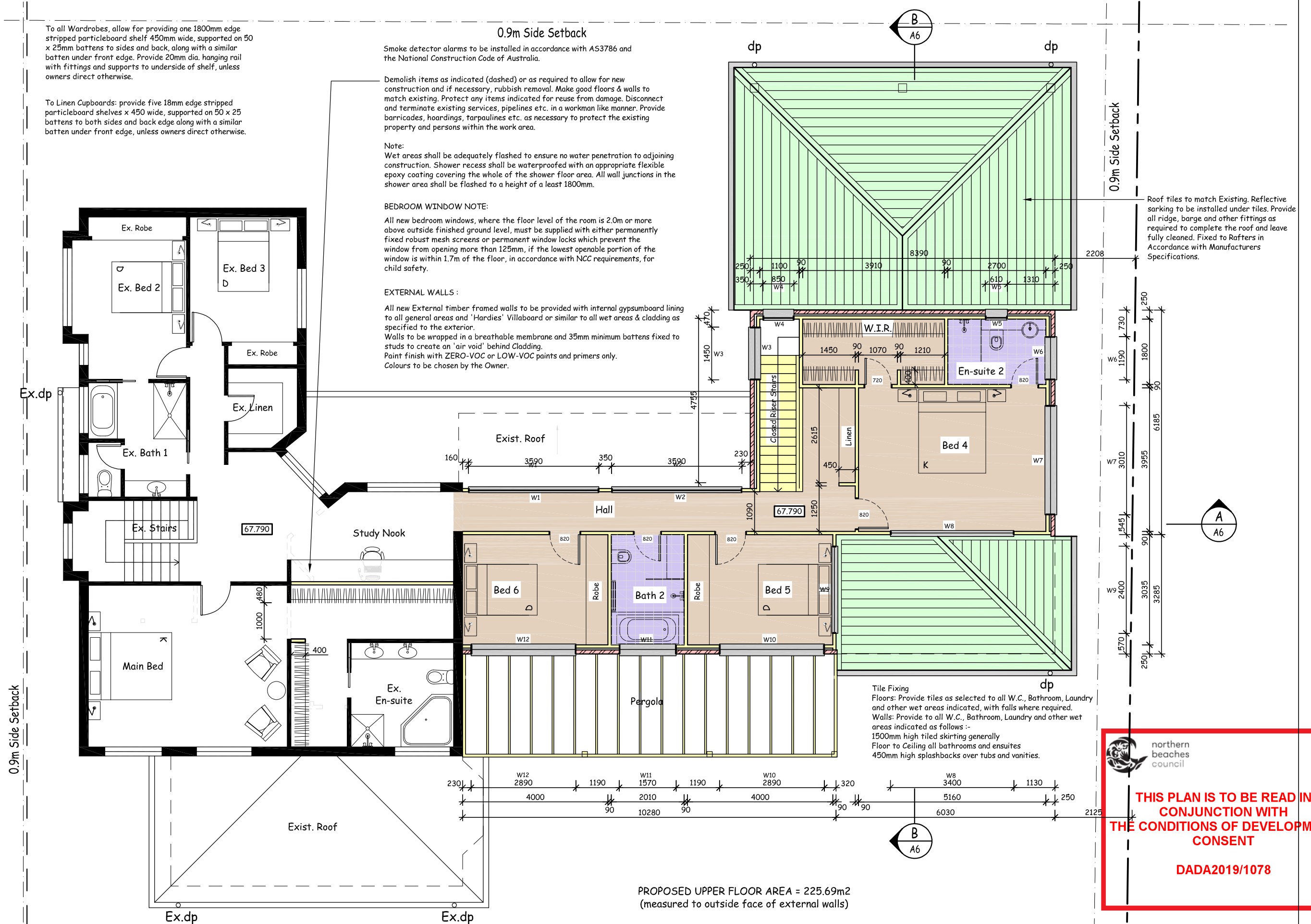
Note:  
Wet areas shall be adequately flashed to ensure no water penetration to adjoining construction. Shower recess shall be waterproofed with an appropriate flexible epoxy coating covering the whole of the shower floor area. All wall junctions in the shower area shall be flashed to a height of a least 1800mm.

#### BEDROOM WINDOW NOTE:

All new bedroom windows, where the floor level of the room is 2.0m or more above outside finished ground level, must be supplied with either permanently fixed robust mesh screens or permanent window locks which prevent the window from opening more than 125mm, if the lowest openable portion of the window is within 1.7m of the floor, in accordance with NCC requirements, for child safety.

#### EXTERNAL WALLS :

All new External timber framed walls to be provided with internal gypsumboard lining to all general areas and 'Hardies' Villaboard or similar to all wet areas & cladding as specified to the exterior.  
Walls to be wrapped in a breathable membrane and 35mm minimum battens fixed to studs to create an 'air void' behind Cladding.  
Paint finish with ZERO-VOC or LOW-VOC paints and primers only.  
Colours to be chosen by the Owner.



Tile Fixing  
Floors: Provide tiles as selected to all W.C., Bathroom, Laundry and other wet areas indicated, with falls where required.  
Walls: Provide to all W.C., Bathroom, Laundry and other wet areas indicated as follows :-  
1500mm high tiled skirting generally  
Floor to Ceiling all bathrooms and ensuites  
450mm high splashbacks over tubs and vanities.

PROPOSED UPPER FLOOR AREA = 225.69m<sup>2</sup>  
(measured to outside face of external walls)



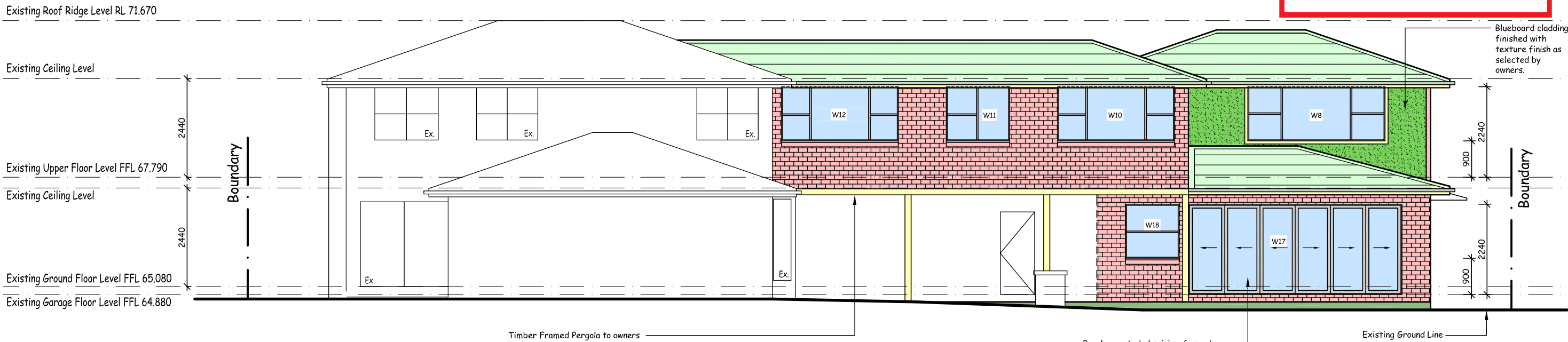


## WEST ELEVATION

 northern  
beaches  
council

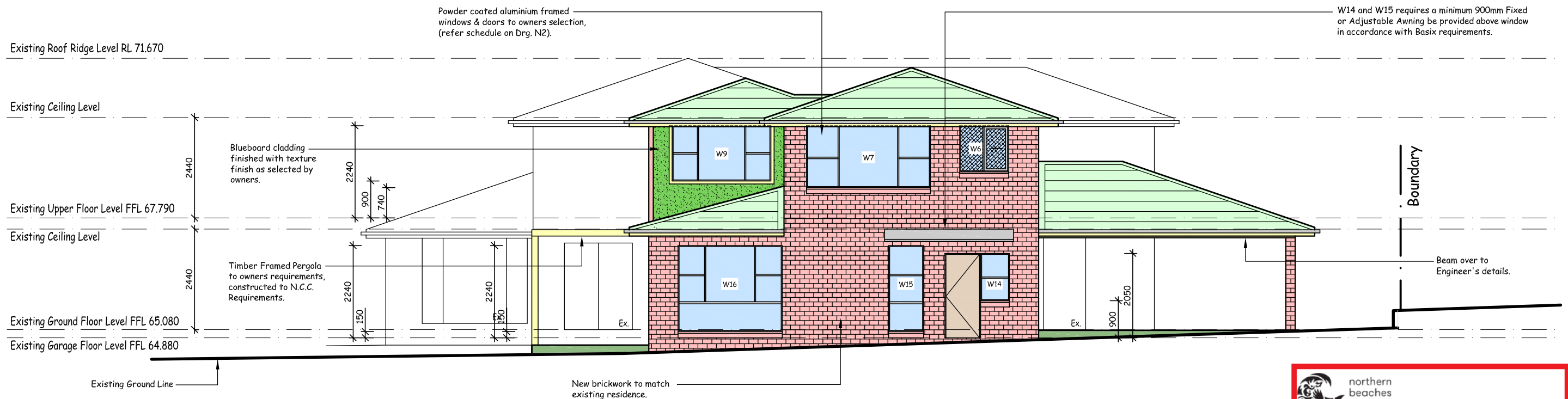
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## EAST ELEVATION



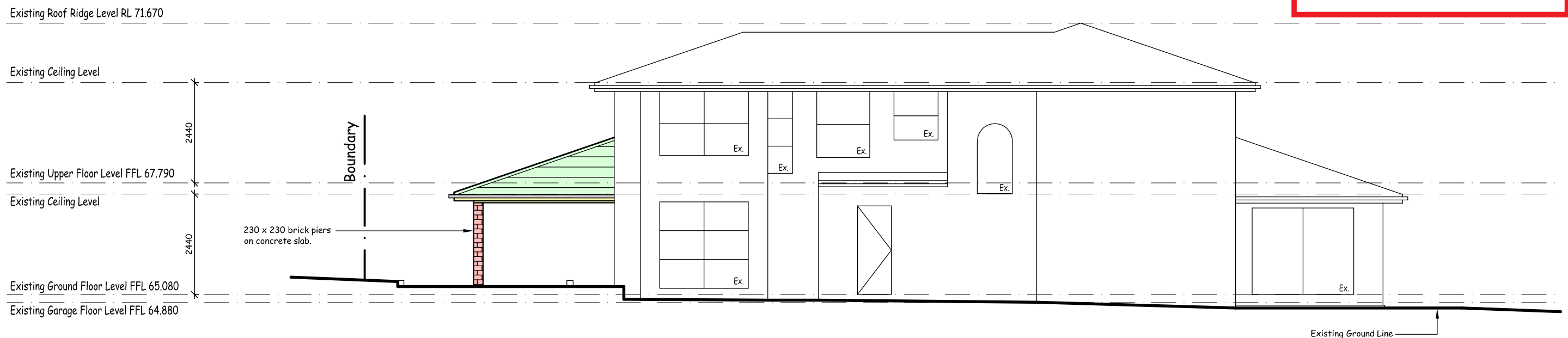


## NORTH ELEVATION

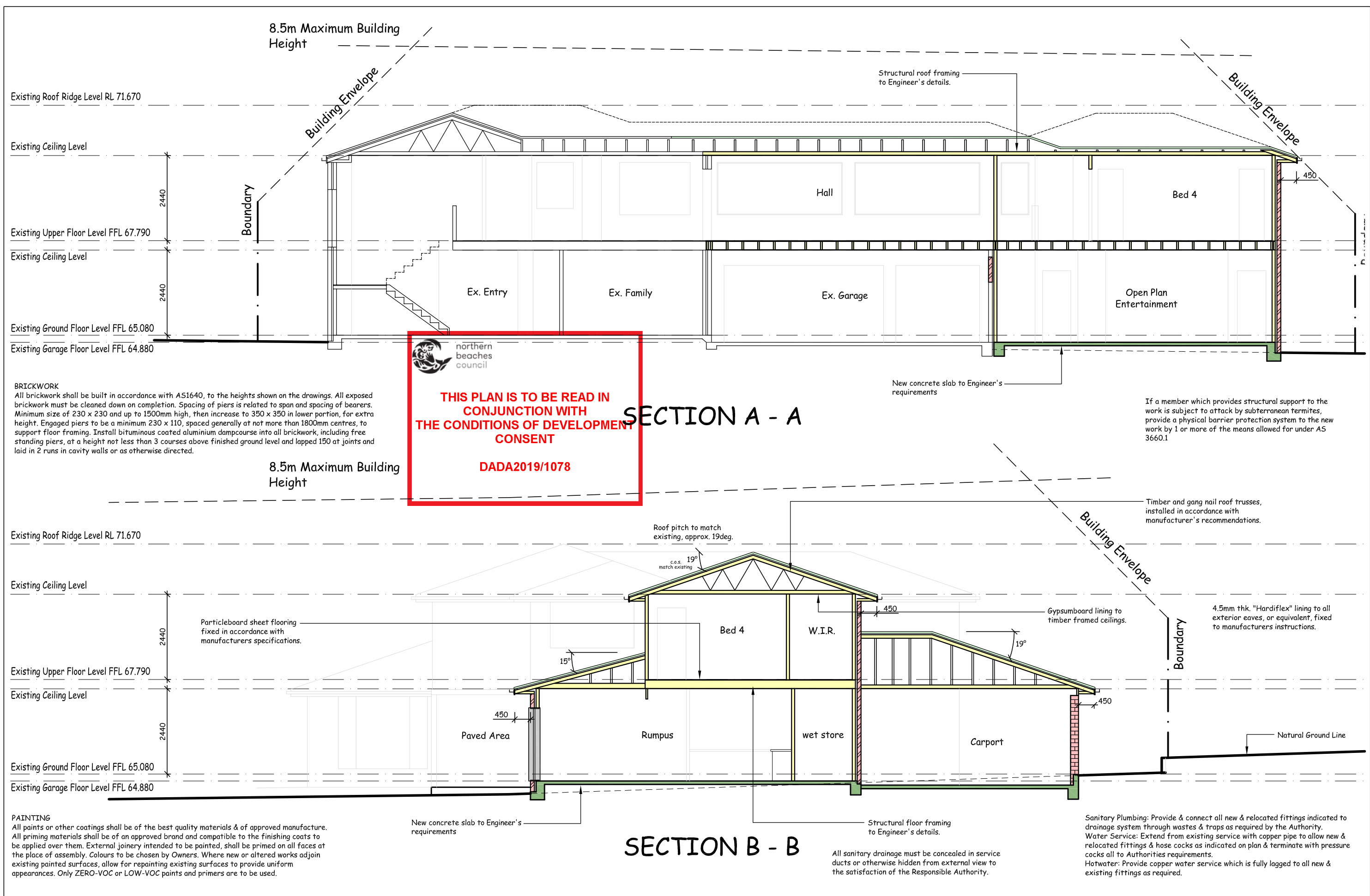
 northern beaches council




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## SOUTH ELEVATION



 BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA Accreditation Number 6255	 SALLY GARDNER DESIGN AND DRAFT ASSOCIATION OF AUSTRALIA PLANS DRAWN FOR APPROVAL	 SustainAbility Design™ Specialist	47 Towradgi Street, Narraweena, NSW, 2099 ABN 17 751 732 195  www.designanddraft.com.au	Clients  <b>Wendy + Jeff SMIT</b>	Project Proposed Alterations + Addition 95B Victor Road, Dee Why, N.S.W. 2099	True North	Scale 1:100	@sheet size A3	Job Number <b>2-2218</b>	
					Drawing Title Sections		Drawn SK	Checked SG	Drawing Number <b>A6</b>	Revision -

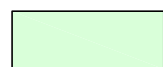


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#### SITE DEVELOPMENT CALCULATIONS - R2 LOW DENSITY RESIDENTIAL

Site Area = 1158.95 m2 (excl. access handle)	Existing m2	Existing %	Proposed m2	Proposed %	Control	Compliance
Residence	160.02		239.47			
Driveway	121.20		130.81			
Paving / Deck	135.93		163.42			
Garage	53.37		53.37			
Carport	0.0		52.27			
Site Coverage	470.52	40.60	639.34	55.17	60% max.	YES
Total Landscaped Open Space (Excludes areas of less than 2.0m wide)	631.98	54.53	464.16	40.05	40% min.	YES
Total Pervious Site Area	688.43	59.40	519.61	44.83		



Denotes Proposed Landscape Area  
(excludes areas less than 2m wide)

