

RAWSON HOMES

- EST 1978 -

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SCHEDULE OF DRAWINGS:

<u>SHEET</u>	<u>CONTENTS</u>
01	COVER SHEET
02	SITE PLAN
03	GROUND FLOOR
04	FIRST FLOOR
05	ELEVATIONS 1-2
06	ELEVATIONS 3-4
07	SECTIONS
08	SLAB SETOUT PLAN
09	WET AREA PLANS
10	SEDIMENT/ANALYSIS PLANS
11	BASIX COMMITMENTS
D1	SLAB DETAILS
D2	SLAB DETAILS GARAGE
D3	OPENINGS/FACADE DETAILS
D4	EAVES/FACADE DETAILS
D5	WET AREA DETAILS

	AMENDMENTS		
ISS	DESCRIPTION	BY	DATE
Α	SUBMISSION PLANS (TENDER 34-1)	GD	12.08.22
В	AMENDED SUBMISSION PLANS (PCV: 1,2&4)	SM	04.10.22
С	LODGMENT PLANS (PCV 3,5,6,7,8,10 &12)	GD	08.02.23
D	CONSTRUCTION PLANS (PCV: 13)	ST	21.03.23
E	AMENDED CONSTRUCTION PLANS(RETAINING WALL)	SM	29.05.23
F	AMENDED CONSTRUCTION PLANS(CROSSOVER GRADIENT)	SM	06.07.23

AMENDMENTS

PLEASE NOTE: DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE - HOWEVER INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS

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RAWSON HOMES

5 RIDER BOULEVARD LEVEL 7 RHODES NSW 2138 TELEPHONE 02 8765 5500 FAX 02 8765 8099 Builder's licence No. 33493C



MS. OLIVIA BOYLE & MR. ANDREW IEMMA

SITE ADDRESS:

LOT 7 (DP 238331) 10 COURTLEY RD **BEACON HILL NSW 2100**

WINDERMERE ACT 31 MODEL:

CLASSIC FACADE:

CLIENT INITIALS: 1.___

DOUBLE GARAGE TYPE: SPECIFICATION: CORE SPEC. V2

DRAWING TITLE: **COVER SHEET**

SIGNATURE:

DRAWN BY:

GD

COUNCIL AREA:

NORTHERN BEACHES

DATE DRAWN:

12.08.22

ISSUE: DRWG No:

AMENDED CONSTRUCTION PLANS - DA

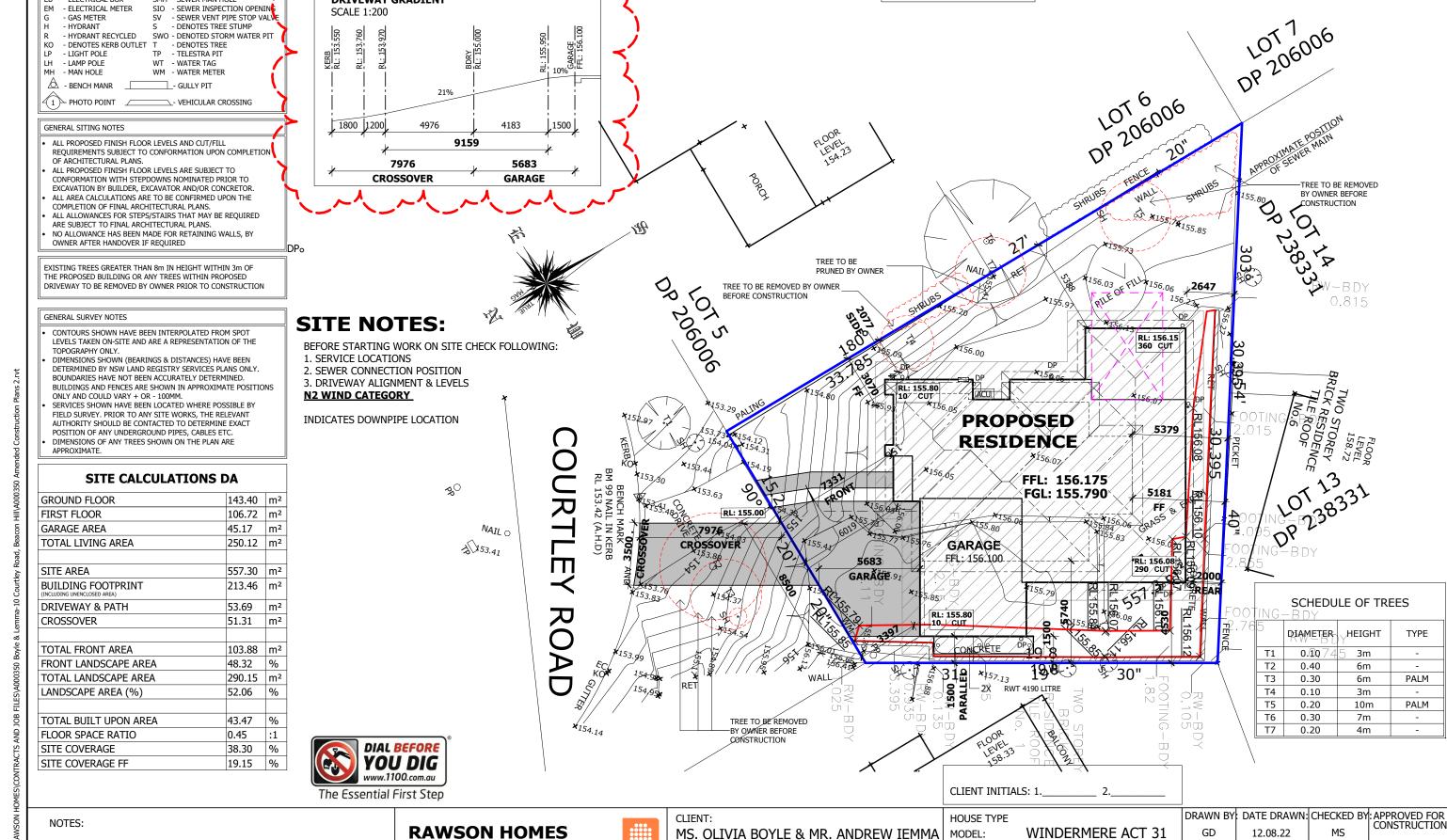
A000350 01

MS

SCALE:

CHECKED BY: APPROVED FOR

CONSTRUCTION:



SITE ADDRESS:

LOT 7 (DP 238331)

BEACON HILL NSW 2100

10 COURTLEY RD

5 RIDER BOULEVARD

RHODES NSW 2138

TELEPHONE 02 8765 5500

FAX 02 8765 8099 Builder's licence No. 33493C

LEVEL 7

RETAINING WALLS BY OWNER IF

REQUIRED

REFER TO HYDRAULIC PLANS

ASSOCIATES DATED 24.10.22

PREPARED BY NASSERI

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3030

407

MAY NOT BE COPIED WITHOUT THE WRITTEN PERMISSION

TREE TO BE REMOVED

0.815

SCHEDULE OF TREES

HEIGHT

3m

6m

6m

3m

10m

7m

4m

1:200

ISSUE:

MS

DRWG No:

02

SCALE:

TYPE

PAI M

PALM

DIAMETER

0.10

0.40

0.30

0.10

0.20

0.30

0.20

T1

T2

Т3

T4

T5

T6

T7

12.08.22

COUNCIL AREA:

A000350

JOB No:

NORTHERN BEACHES

CLASSIC

SPECIFICATION: CORE SPEC. V2

DOUBLE GARAGE

FACADE:

DRAWING TITLE:

SITE PLAN

TYPE:

CONSTRUCTION

LEGEND

DENOTES DEAD TREE

SMH - SEWER MAN HOLE

PLEASE NOTE: DETAILS SHOWN ON THESE PLANS ARE INTENDED

TO BE ACCURATE - HOWEVER INFORMATION WRITTEN INTO

* ALL DIMENSIONS ARE IN MILLIMETRES

FINISHED SURFACES

* DO NOT SCALE - USE WRITTEN DIMENSIONS

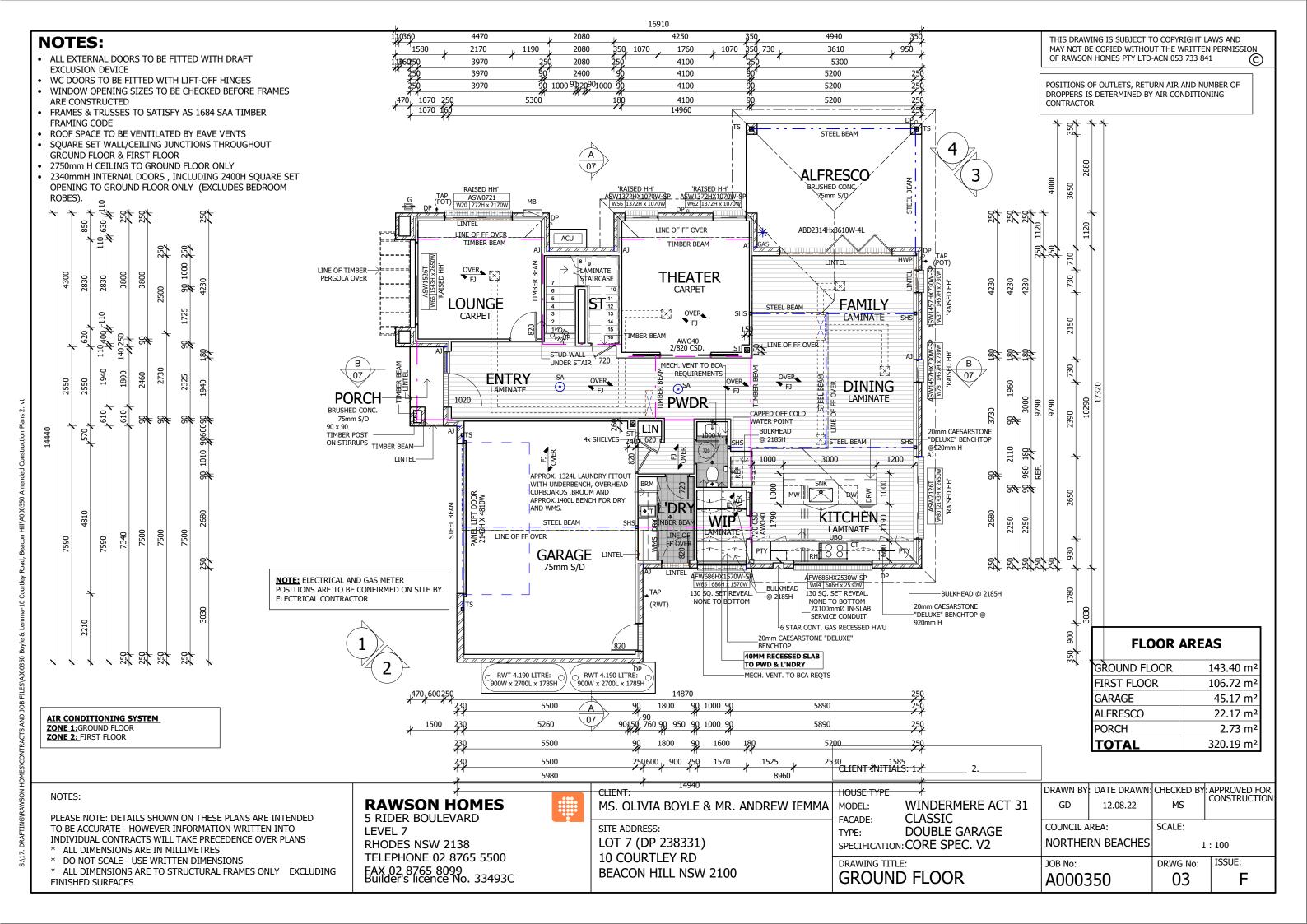
INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS

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DRIVEWAY GRADIENT

- FLECTRICAL BOX

- ELECTRICAL METER



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5 RIDER BOULEVARD LEVEL 7 RHODES NSW 2138 TELEPHONE 02 8765 5500 FAX 02 8765 8099 Builder's licence No. 33493C

SITE ADDRESS: LOT 7 (DP 238331) 10 COURTLEY RD **BEACON HILL NSW 2100** **CLASSIC**

DOUBLE GARAGE TYPE: SPECIFICATION: CORE SPEC. V2

DRAWING TITLE: FIRST FLOOR

	DRAWN BY	: DA
31	GD	1
	COUNCIL A	DEA
	NORTHE	RN

ATE DRAWN: CHECKED BY: APPROVED FOR CONSTRUCTION MS 12.08.22 SCALE:

1000 400 1000 FEATURE WALL UP TO FIRST FLOOR CEILING

8#8#

8#

84

2400

1160

BEACHES 1:100

ISSUE: JOB No: DRWG No: A000350 04

610

HARDIES 180W PAINTED

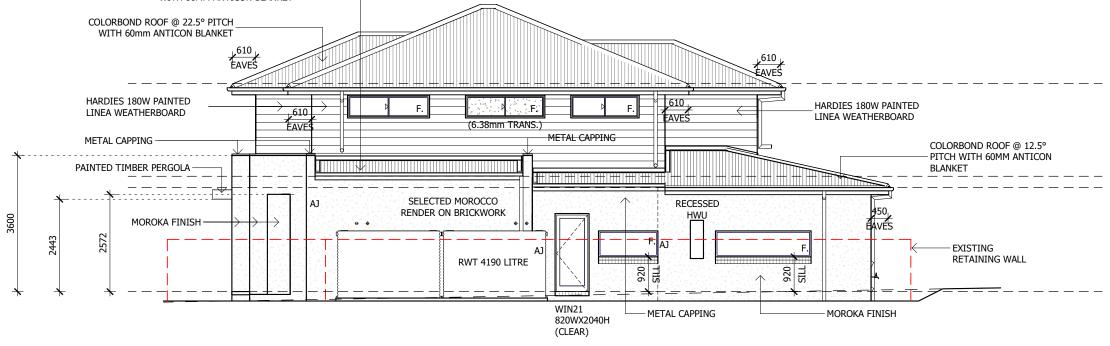
LINEA WEATHERBOARD

COLORBOND ROOF @ 12.5° PITCH

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NYLON MESH FLYSCREENS TO ALL OPENING WINDOWS, SLIDING AND STACKER DOORS (EXCLUDING HINGED DOORS)

CSR WALL WRAP TO EXTERNAL WALLS THROUGHOUT



NOTES:

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MS. OLIVIA BOYLE & MR. ANDREW IEMMA

SITE ADDRESS: LOT 7 (DP 238331) 10 COURTLEY RD **BEACON HILL NSW 2100** **HOUSE TYPE**

CLIENT INITIALS: 1._

COLORBOND ROOF @ 22.5° PITCH WITH 60mm ANTICON BLANKET

LINE OF MONOCLAD ROOF @ 4° PITCH WITH ROOF WITH 60MM ANTICON BLANKET

METAL CAPPING

HARDIES 180W PAINTED

LINEA WEATHERBOARD

EAVES

____163.701 APPROX. RIDGE HEIGHT

_161.675 FIRST FLOOR CEIL.

1<u>59</u>.225 <u>FIRST FLOOR</u> 158.925 GROUND CEIL. MOROKA FINISH

WINDERMERE ACT 31 MODEL:

CLASSIC **DOUBLE GARAGE** SPECIFICATION: CORE SPEC. V2

DRAWING TITLE:

ELEVATIONS 1-2

DRAWN BY: DATE DRAWN: CHECKED BY: APPROVED FOR CONSTRUCTION 12.08.22 COUNCIL AREA: SCALE: NORTHERN BEACHES 1:100

ISSUE: JOB No:

DRWG No: A000350 05

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RHODES NSW 2138 TELEPHONE 02 8765 5500 FAX 02 8765 8099 Builder's licence No. 33493C

LOT 7 (DP 238331) 10 COURTLEY RD **BEACON HILL NSW 2100** SPECIFICATION: CORE SPEC. V2

DRAWING TITLE: **ELEVATIONS 3-4**

COLORBOND ROOF @ 22.5° PITCH \

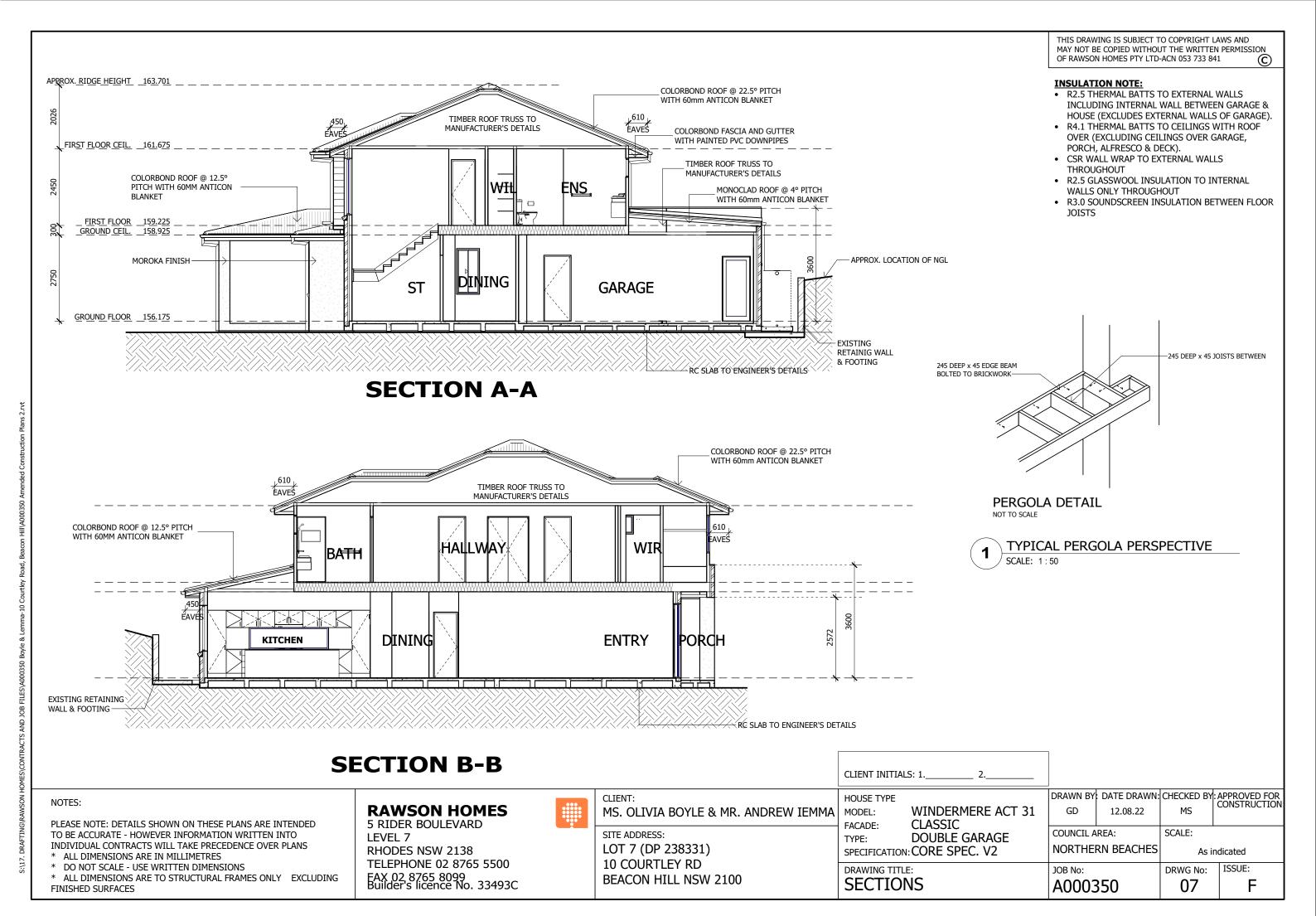
_163.701 <u>APPROX.</u> RIDGE HEIGHT

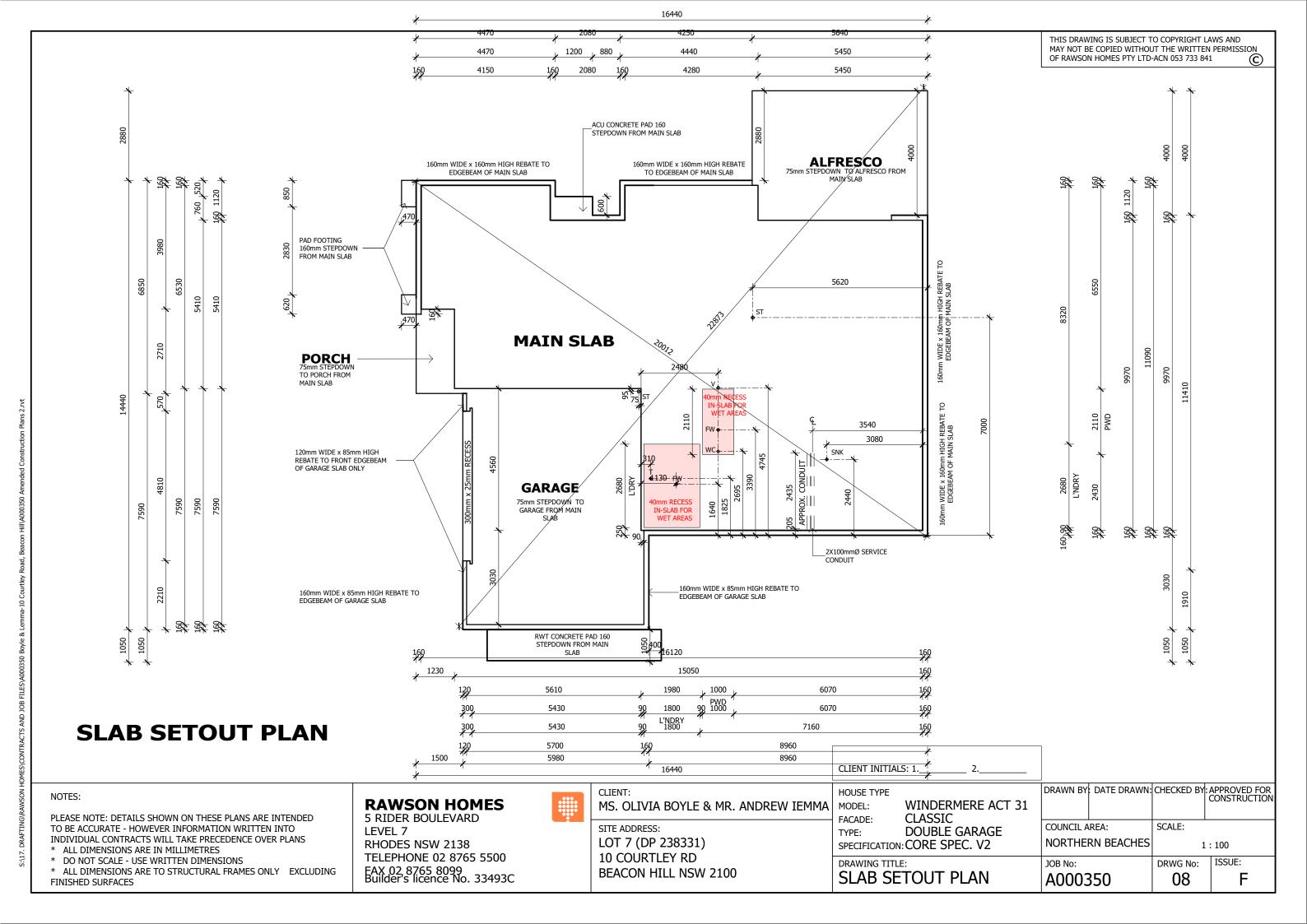
WITH 60mm ANTICON BLANKET

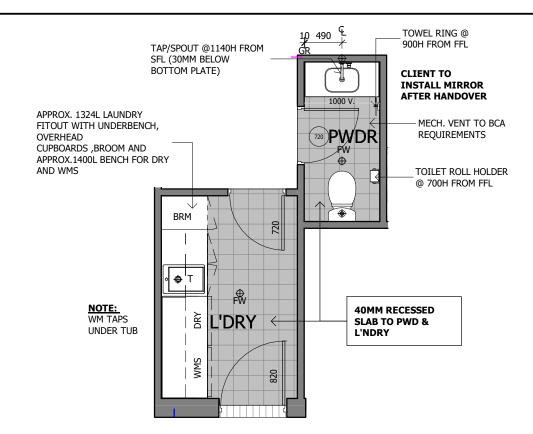
DRAWN BY: DATE DRAWN: CHECKED BY: APPROVED FOR CONSTRUCTION NORTHERN BEACHES 1:100 ISSUE: JOB No: DRWG No:

06

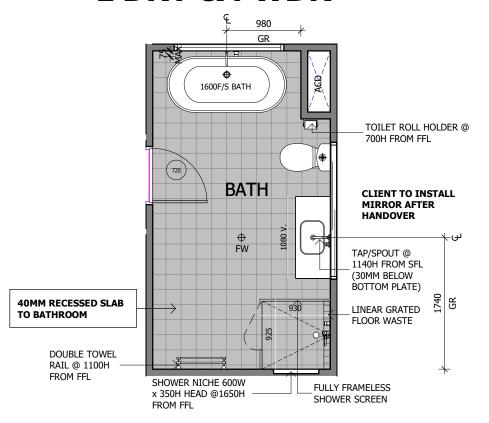
A000350







L'DRY & PWDR



BATH

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TOILET ROLL HOLDER

@ 700H FROM FFL

40MM RECESSED

1-FNS

SLAB TO BEDROOM

LAUNDRY / WC

• PROVIDE SKIRTING TILE TO PERIMETER WALLS OF LAUNDRY

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• TILED SPLASHBACK OVER LAUNDRY TUB & BENCH @ 300mm HIGH

BATHROOM

- FULL HEIGHT TILING TO BEDROOM 1-ENS, & MAIN BATHOOM
- 1900H SHOWER HEAD FROM FFL TO UNDERSIDE OF SHOWER HEAD
- FLOATING VANITIES
- 340H TILED SPLASHBACKS ABOVE VANITIES WITH FLOATING MIRROR OVER ON 32mm BOARD, 130mm FROM SIDE OF VANITY, MAX. HEIGHT 880mm
- PROVIDE KICKER TO BATH HOB 140H x 70W
- WALL MOUNTED TAPS & SPOUT TO VANITIES & BATH
- SQUARE SET WALL/CEILING JUNCTION TO MAIN BATHROOM, ENSUITE AND POWDER ROOM (INCLUDING SEPARATE WC ONLY WHEN WITHIN BATHROOM OR ENSUITE)
- SQ. SET WINDOW TO MAIN BATHROOM ENSUITE, POWDER ROOM AND WC
- 900mm H RAISED VANITY HEIGT THROUGHOUT
- 20mm CAESARSTONE "DELUXE" BENCHTOP TO MAIN BATHROOM, BEDROOM 1-ENS & PWD.

REFER TO TILING QUOTE DATED 21/09/22 FOR **TILLING DETAILS**

REFER TO WET AREA DESIGN DATED 12/01/23 PRPARED BY ELBA KITCHENS

	CLIENT INITIAL	S: 1 2				
CLIENT:	HOUSE TYPE		DRAWN BY	DATE DRAWN:		
MS. OLIVIA BOYLE & MR. ANDREW IEMMA	MODEL:	WINDERMERE ACT 31	GD	12.08.22	MS	CONSTRUCT
OT 7 (DP 238331)	FACADE: TYPE: SPECIFICATION	CLASSIC DOUBLE GARAGE DN:CORE SPEC. V2	COUNCIL A	irea: RN BEACHES	SCALE:	: 50
LO COURTLEY RD BEACON HILL NSW 2100	DRAWING TITLI WET AR	e: Ea plans	JOB No: A000 7	350	DRWG No:	ISSUE:

LINEAR GRATED

FULL FRAMELESS

SHOWER SCREEN

SHOWER NICHE

1000W x 350H

HEAD @ 1650H

DOUBLE TOWEL

TAP/SPOUT @1140H

INSTALL MIRROR AFTER HANDOVER

BOTTOM PLATE)

CLIENT TO

FROM SFL (30MM BELOW

-RAIL @ 1100H

FROM FFL

FROM FFL

1130

ENS

2100 V.

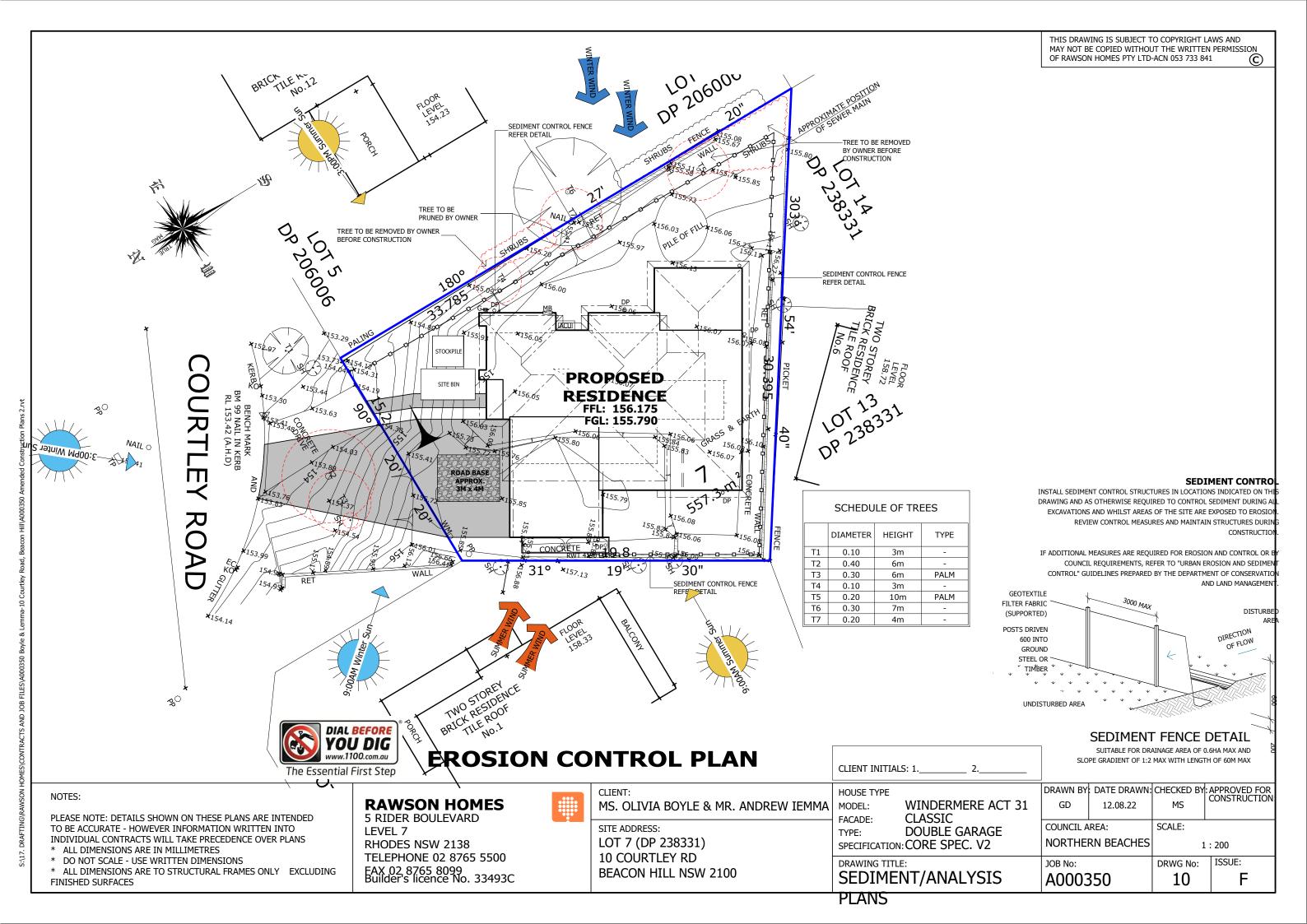
450

450

ENS

1040

FLOOR WASTE



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BASIX COMMITMENTS						
PROJECT DETAILS			STORMWATER	ENERGY	LIGHTING	
Site area	557	m²	Rainwater tank to collect at least 60m ² of rain run off from roof area	ACTIVE COOLING/HEATING 1-phase	Applicant must provide a window or skylight for natural lighting to 2	
Roof area	240.0		Rainwater tank to be connected to all toilets with in the development	Cooling system with day/night zoning for bedrooms & living areas with an EER 3.0	bathrooms/toilets and kitchen	
number of bedrooms	4		Rainwater tank to be connected to cold water tap to supply water to the washing machine	Heating system with day/night zoning for bedrooms & living areas with an EER 3.5	Applicant must provide artificial lighting to at least 4 of bedroom/study,	
Total area of vegetation (garden & lawn)	290	m²	Rainwater to be connected to at least one outdoor tap for garden watering	VENTILATION	kitchen, laundry, all bathroom/toilets and all hallways.	
ABSA Certificate Number (if applicable)	0008143794		Rainwater to have a capacity of at least 3000L	At least 1 Bathroom: individual fan, ducted to façade or roof: manual switch on/off	COOKING (KITCHEN APPLIANCES)	
Net conditioned floor area	206	m²	WATER	Kitchen: individual fan, ducted to façade or roof: manual switch on/off	Install a gas cooktop and electric oven	
Net Unconditioned floor area	15	m²	All showers with in the development are to have a minimum rating of 4 star showerheads	Laundry: Natural ventilation only or no laundry	DESIGN ENHANCEMENT	
Concession claimed (if applicable)	N/A		Each toilet is to have a flushing system of no less than a 4 star rating	HOT WATER	Install a fixed outdoor clothes drying line	
Cooling load (if applicable)	25	MJ/m²/pa	All basin taps to have a minimum rating of 4 star rating	Gas instantaneous hot water system with a performance of 6 stars	INSULATION	
Heating load (if applicable)	38	MJ/m²/pa	All taps in the kitchen are to have a minimum rating of 4 star		External wall [excluding garage]: R2.5	
					Ceiling [excluding garage & alfresco]: R4.1	

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MS. OLIVIA BOYLE & MR. ANDREW IEMMA

SITE ADDRESS: LOT 7 (DP 238331) 10 COURTLEY RD BEACON HILL NSW 2100

HOUSE TYPE WINDERMERE ACT 31 MODEL: CLASSIC FACADE:

DOUBLE GARAGE SPECIFICATION: CORE SPEC. V2

CLIENT INITIALS: 1.___

DRAWING TITLE:

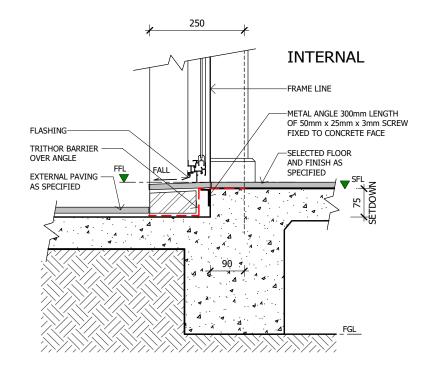
Author

DRAWN BY: DATE DRAWN: CHECKED BY: APPROVED FOR CONSTRUCTION 11/03/22 Checker SCALE: COUNCIL AREA:

NORTHERN BEACHES

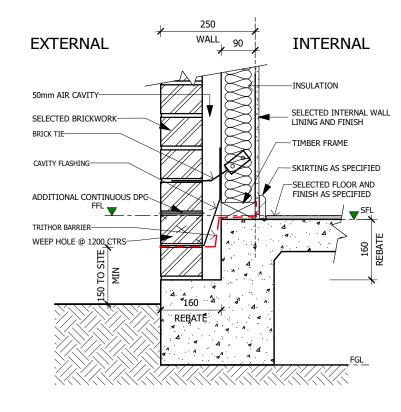
JOB No: DRWG No:

ISSUE: **BASIX COMMITMENTS** A000350 11



ALLOW ADJUSTMENT IN HEIGHT DEPENDANT ON FLOOR FINISH FORMED IN SLAB FOR RECESSED STACKER DOOR PACKING BLOCK CUT BRICK ON EDGE AS -SELECTED FLOOR AND REQUIRED-N EXTERNAL PAVING AS SPECIFIED -GROUT INFILL REBATE BI FOLD DOOR

INTERNAL



TYPICAL PORCH ENTRY DOOR 1a SCALE: 1:10



TYPICAL REBATE DETAIL SCALE: 1:10

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ALFRESCO

MS. OLIVIA BOYLE & MR. ANDREW IEMMA

SITE ADDRESS: LOT 7 (DP 238331) 10 COURTLEY RD **BEACON HILL NSW 2100** **HOUSE TYPE** WINDERMERE ACT 31 MODEL:

CLIENT INITIALS: 1.

CLASSIC FACADE: **DOUBLE GARAGE** TYPE:

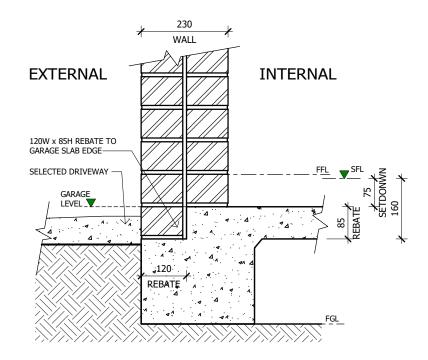
SPECIFICATION: CORE SPEC. V2 DRAWING TITLE:

JOB No: **SLAB DETAILS** A000350

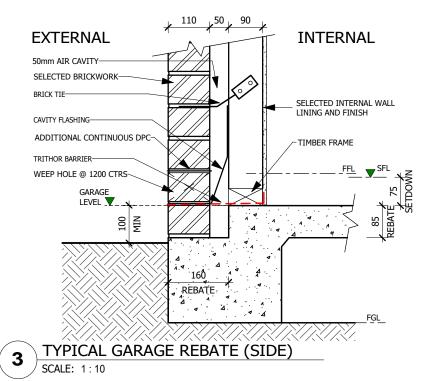
DRAWN BY: DATE DRAWN: CHECKED BY: APPROVED FOR CONSTRUCTION COUNCIL AREA: SCALE: NORTHERN BEACHES 1:10

ISSUE: DRWG No:

D1



1 TYPICAL GARAGE REBATE (FRONT/S) SCALE: 1:10



TYPICAL GARAGE RECESS (FRONT/O)

EXTERNAL

SELECTED DRIVEWAY

LEVEL V

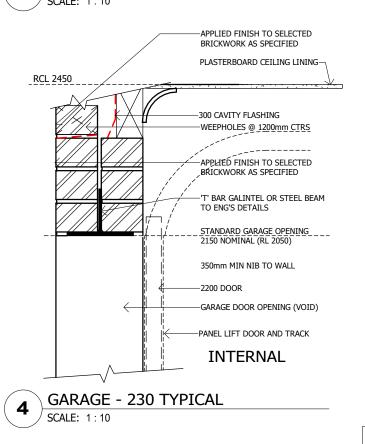
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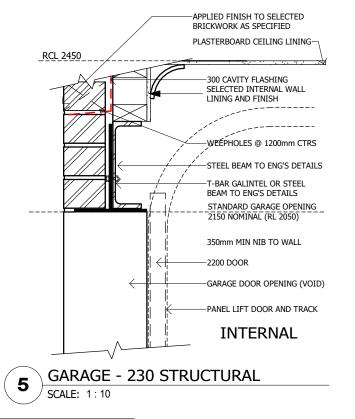
REBATE

INTERNAL

-300W x 25H RECESS TO

GARAGE DOOR SLAB EDGE (REFER ENG'S DETAILS)





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SITE ADDRESS: LOT 7 (DP 238331) 10 COURTLEY RD BEACON HILL NSW 2100 HOU

HOUSE TYPE

MODEL: WINDERMERE ACT 31

FACADE: CLASSIC

TYPE: DOUBLE GARAGE

TYPE: DOUBLE GARAGE
SPECIFICATION: CORE SPEC. V2

DRAWING TITLE:
SLAB DETAILS GARAGE

CLIENT INITIALS: 1.

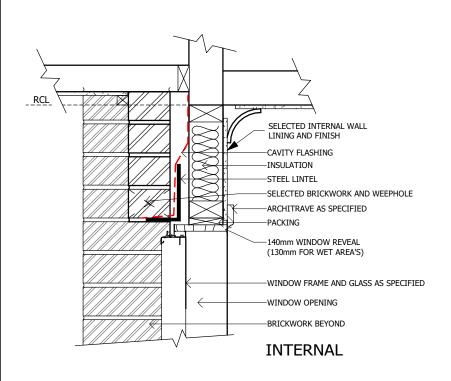
DRAWN BY: DATE DRAWN: CHECKED BY: APPROVED FOR CONSTRUCTION

COUNCIL AREA: SCALE:

 RE SPEC. V2
 NORTHERN BEACHES
 1:10

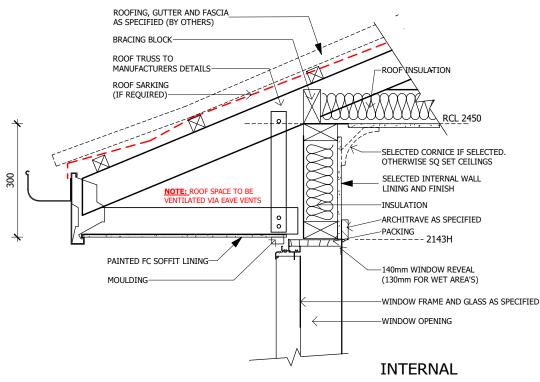
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 DRWG No:
 ISSUE:

JOB No: DRWG No: ISSUE: D2 F

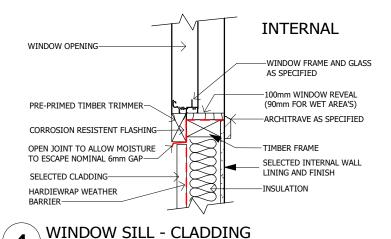


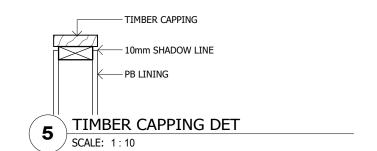
WINDOW HEAD - VENEER SCALE: 1:10

> **INTERNAL** BRICKWORK BEYOND -BRICK SILL ANGLE AND DETAIL AS SPECIFIED WINDOW FRAME AND GLASS AS SPECIFIED 140mm WINDOW REVEAL (130mm FOR WET AREA'S) -ARCHITRAVE AS SPECIFIED TIMBER FRAME CAVITY FLASHING -HARDIEWRAP WEATHER BARRIER SELECTED INTERNAL WALL LINING AND FINISH -SELECTED BRICKWORK -50mm AIR CAVITY WINDOW TYPICAL SILL - ANGLE SCALE: 1:10



WINDOW HEAD - AT EAVES SCALE: 1:10





A000350

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SCALE: 1:10

MS. OLIVIA BOYLE & MR. ANDREW IEMMA

SITE ADDRESS: LOT 7 (DP 238331) 10 COURTLEY RD **BEACON HILL NSW 2100** CLIENT INITIALS: 1. **HOUSE TYPE** WINDERMERE ACT 31 MODEL: CLASSIC FACADE: **DOUBLE GARAGE**

OPENINGS/FACADE

SPECIFICATION: CORE SPEC. V2 DRAWING TITLE:

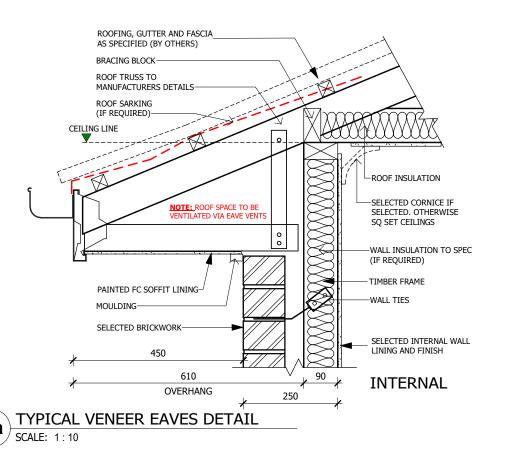
DRAWN BY: DATE DRAWN: CHECKED BY: APPROVED FOR CONSTRUCTION COUNCIL AREA: SCALE: **NORTHERN BEACHES** 1:10 ISSUE: JOB No: DRWG No:

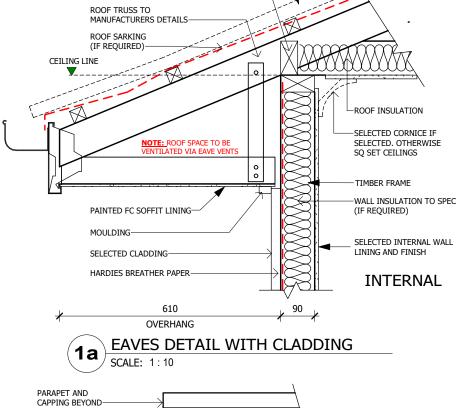
D3

DETAILS

NOTE: TYPICAL DETAILS ARE APPLICABLE TO ALL ARCHITECTURAL CONDITIONS NOT SPECIFICALLY DETAILED OR REFERENCED ON ARCHITECTURAL DRAWINGS.

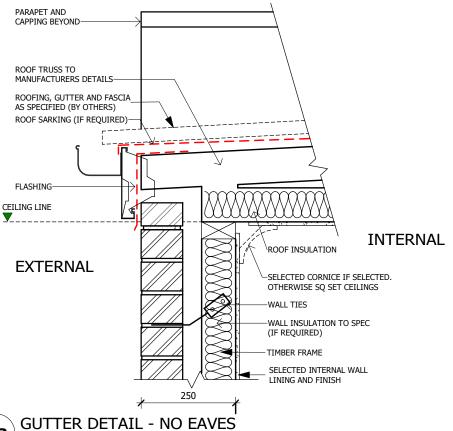
NOTE: DETAILS SHOWN ARE FOR STANDARD 22.5° PITCH ROOF, FOR OTHER PITCHES PROVIDE ADJUSTMENT IN EAVE DROP OFF TO SUIT.





ROOFING, GUTTER AND FASCIA AS SPECIFIED (BY OTHERS)

BRACING BLOCK



METAL CAPPING -FC SUPPORT -SELECTED **DOUBLE BRICK PARAPET** SCALE: 1:10

- 245 DEEP x 45 JOISTS BETWEEN 245 DEEP x 45 EDGE **BOLTED TO BRICKWORK** PERGOLA DETAIL 5a

CLIENT INITIALS: 1._

SCALE: 1:50

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- INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS * ALL DIMENSIONS ARE IN MILLIMETRES
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- * ALL DIMENSIONS ARE TO STRUCTURAL FRAMES ONLY EXCLUDING FINISHED SURFACES

RAWSON HOMES 5 RIDER BOULEVARD LEVEL 7

RHODES NSW 2138 TELEPHONE 02 8765 5500 FAX 02 8765 8099 Builder's licence No. 33493C

EXTERNAL

MS. OLIVIA BOYLE & MR. ANDREW IEMMA

SITE ADDRESS: LOT 7 (DP 238331) 10 COURTLEY RD **BEACON HILL NSW 2100**

HOUSE TYPE WINDERMERE ACT 31 MODEL: CLASSIC FACADE: **DOUBLE GARAGE** TYPE: SPECIFICATION: CORE SPEC. V2 DRAWING TITLE:

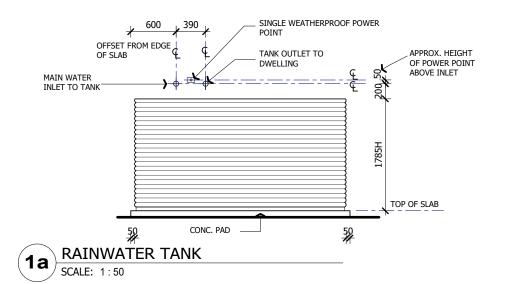
DRAWN BY: DATE DRAWN: CHECKED BY: APPROVED FOR CONSTRUCTION COUNCIL AREA: SCALE: NORTHERN BEACHES As indicated ISSUE:

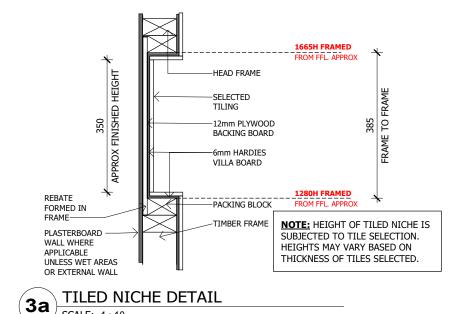
EAVES/FACADE DETAILS A000350

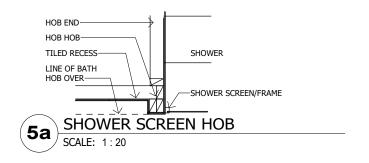
JOB No: DRWG No: D4

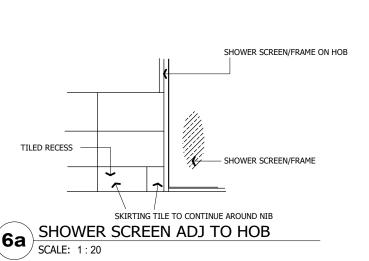
IMPORTANT NOTE: FINISHED TILED HEIGHTS SHOWN ARE SUBJECT TO CHANGE DEPENDING ON TILE SELECTION. ALLOW ADJUSTMENTS IF LARGER/THICKER TILES ARE SELECTED.

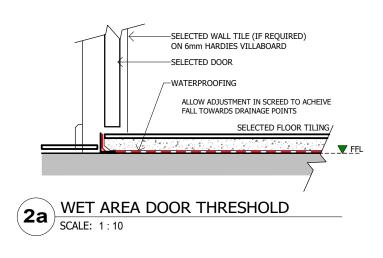
NOTE: **ALL** DIMENSIONS SHOULD BE MARKED FROM THE SLAB/FLOOR LEVEL



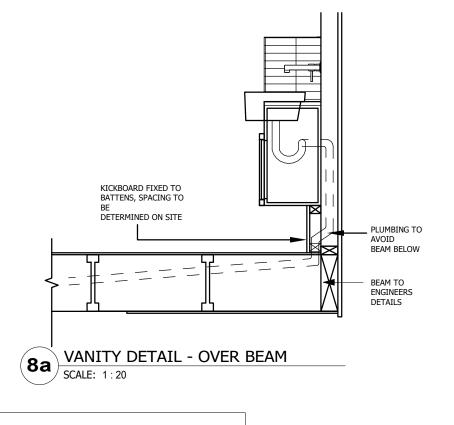








SCALE: 1:10



NOTES:

PLEASE NOTE: DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE - HOWEVER INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS

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- * DO NOT SCALE USE WRITTEN DIMENSIONS
- * ALL DIMENSIONS ARE TO STRUCTURAL FRAMES ONLY EXCLUDING FINISHED SURFACES

RAWSON HOMES

5 RIDER BOULEVARD LEVEL 7 RHODES NSW 2138 TELEPHONE 02 8765 5500 FAX 02 8765 8099 Builder's licence No. 33493C



MS. OLIVIA BOYLE & MR. ANDREW IEMMA SITE ADDRESS:

LOT 7 (DP 238331) 10 COURTLEY RD **BEACON HILL NSW 2100** CLIENT INITIALS: 1. DRAWN BY: DATE DRAWN: CHECKED BY: APPROVED FOR CONSTRUCTION **HOUSE TYPE** WINDERMERE ACT 31 MODEL: **CLASSIC** FACADE: COUNCIL AREA: SCALE: **DOUBLE GARAGE** TYPE: NORTHERN BEACHES SPECIFICATION: CORE SPEC. V2 As indicated DRAWING TITLE: JOB No: DRWG No: WET AREA DETAILS

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ISSUE:

D5