

DEVELOPMENT APPLICATION

ALTERATIONS + ADDITIONS No. 18 PARR PARADE, NARRAWEENA

BASIXCertificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A367476

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 05/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Friday, 07 February 2020
To be valid, this certificate must be lodged within 3 months of the date of issue.

NSW Planning, Industry & Environment

Project address	18 Parr Parade, Narrabeena
Project name	18 Parr Parade, Narrabeena 2099
Street address	18 Parr Parade, Narrabeena 2099
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 16969
Lot number	29
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: AENEC - Trading As Wide Spectrum Pty Ltd
ABN (if applicable): 612558377



ARTISTS IMPRESSIONS



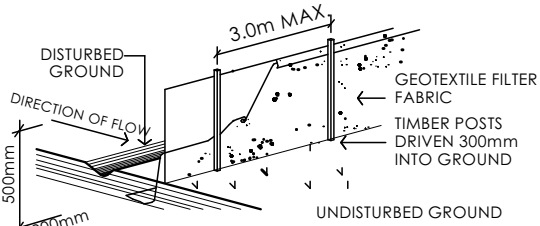
DRAWING INDEX		
DRAWING #	DRAWING NAME	REVISION
1	COVER PAGE	a
2	SITE PLAN + SITE ANALYSIS PLAN	a
3	FLOOR PLAN	a
4	PROPOSED FLOOR PLAN	a
5	ROOF PLAN	a
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9	LANDSCAPE PLAN	a

Thursday, 6 February 2020

SITE CALCULATIONS

SITE AREA	465.97 m ²
LANDSCAPED AREA	41% 191.27 m ²
FSR	0.40: 1
RESIDENCE	
EXISTING LIVING	101.90 m ²
PROPOSED LIVING	93.96 m ²
TOTAL LIVING	195.86 m ²
EXISTING DECK AREAS (TO BE DEMOLISHED)	41.39 m ²
PROPOSED DECK AREAS	24.88 m ²
EXISTING CARPORT (TO BE DEMOLISHED)	23.73 m ²
PROPOSED CARPORT	16.31 m ²

ANY NEW CONSTRUCTION WITHIN 900mm OF THE BOUNDARY MUST HAVE A FRL OF 60/60/60 IN ACCORDANCE WITH THE BCA

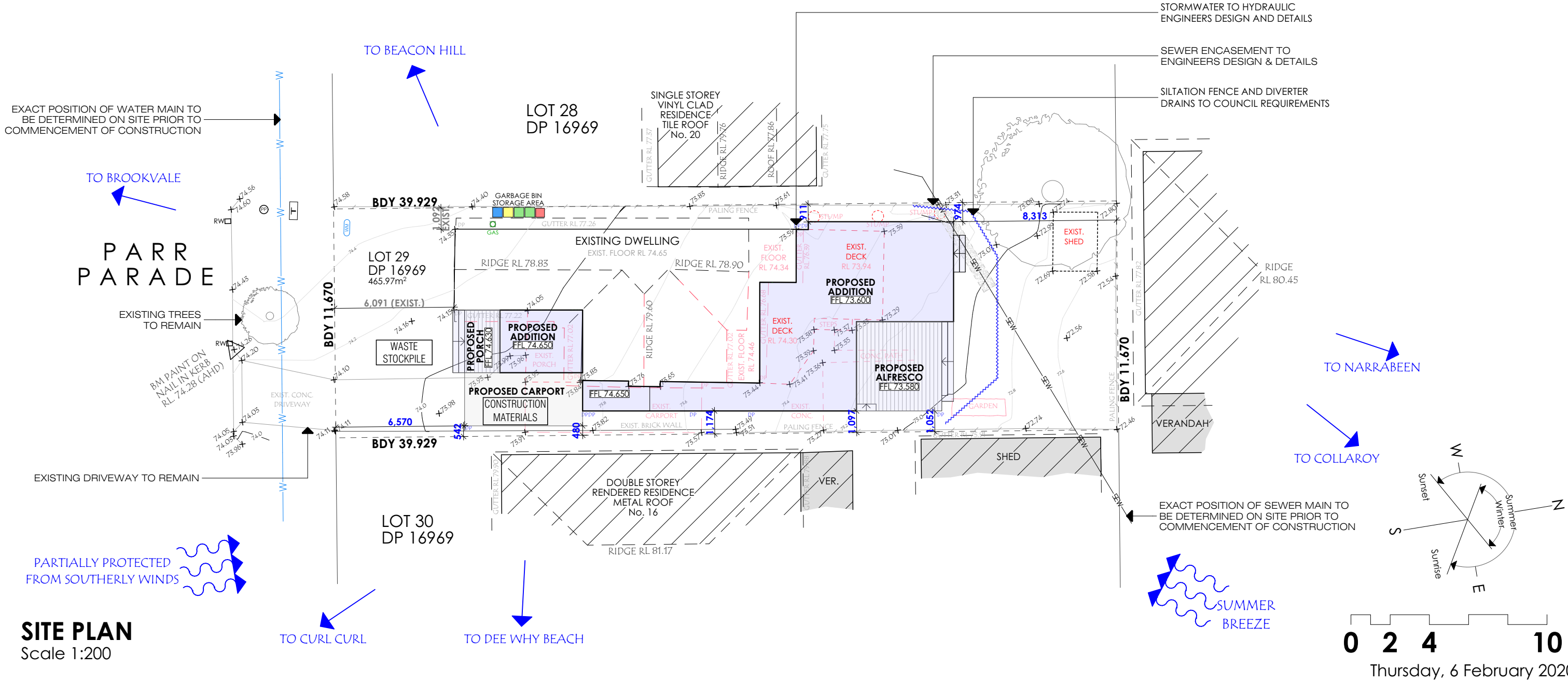


SEDIMENT FENCE
N.T.S

- SEDIMENT CONTROL NOTES
1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO COUNCIL REQUIREMENTS.
 2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
 3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE X 300mm DEEP TRENCH.
 4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
 5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
 6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.
 7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.

SITE NOTES:

- REMOVE EXISTING STRUCTURES ON SITE AS NOTED
- NO KNOWN WATERCOARSES OR WATERWAYS ON SITE
- CUT AND FILL SHOWN ON SECTION
- PROVIDE SILTATION BARRIER AS REQUIRED BY COUNCIL
- STORMWATER TO HYDRAULIC ENGINEERS DESIGN AND DETAILS. REFER TO DRAWINGS PREPARED BY E2 CIVIL AND STRUCTURAL DESIGN
- NO EXISTING TREES TO BE REMOVED
- THE BUILDING SITE IS TO BE SECURED BY A SAFETY FENCE TO PROHIBIT UNAUTHORISED PUBLIC ACCESS DURING THE COURSE OF CONSTRUCTION
- ALL LEVELS ARE TO AHD



SITE PLAN
Scale 1:200

SMOKE ALARM NOTE
SMOKE ALARMS TO BE LOCATED "BETWEEN EACH AREA CONTAINING BEDROOMS AND THE REMAINDER OF THE DWELLING" RELEVANT TO PART 3.7.2.3 OF THE BCA AND INSTALLED BY AN ELECTRICIAN IN ACCORDANCE WITH AS3786

[illegible]

Scale 1:100

 = EXISTING WALLS
 = PROPOSED WALLS
 = EXISTING WALLS TO BE REMOVED

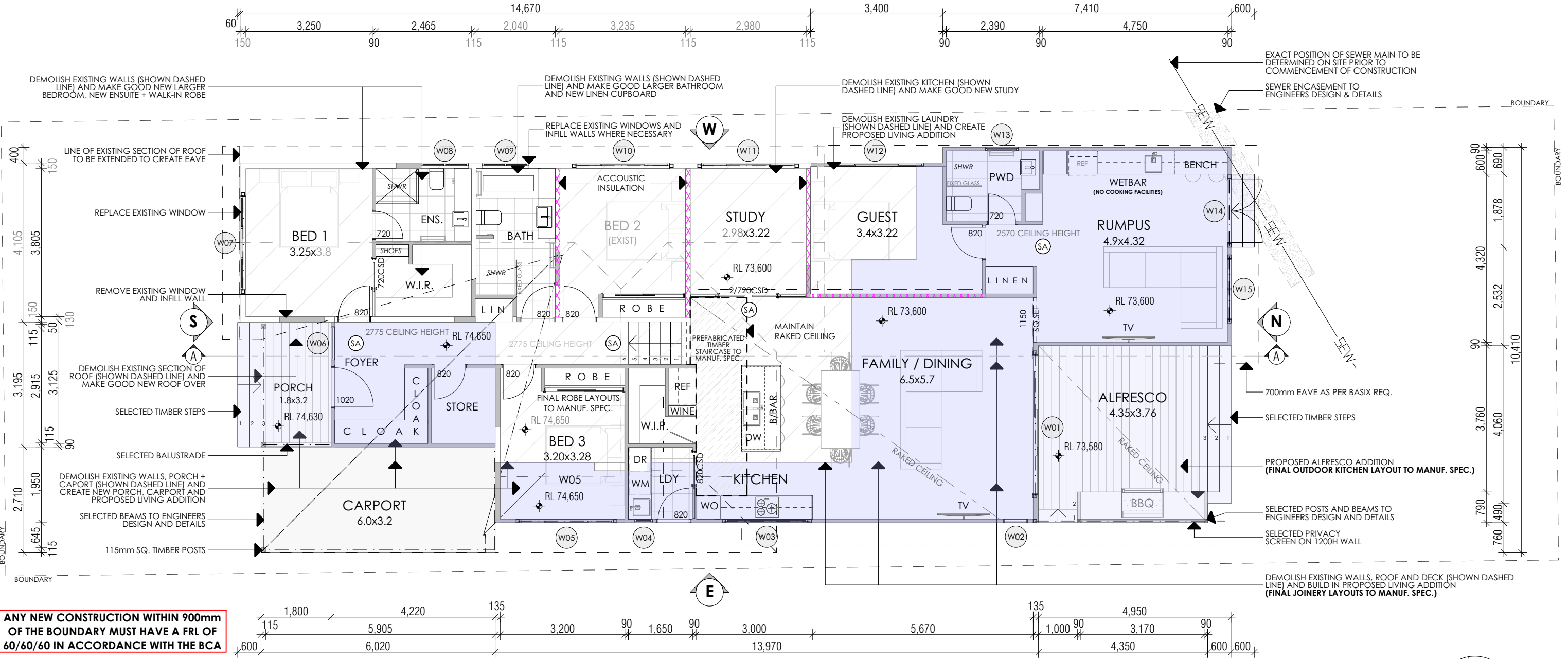


Thursday, 6 February 2020

AREA TABLE	AREA m2	SURFACE m2
EXISTING ROOF TILES TO BE REPLACED WITH SELECTED ROOF SHEETING	94.11	110.96
SELECTED ROOF SHEETING	198.05	203.40
TOTAL	292.16 m²	314.36 m²

SMOKE ALARM NOTE
SMOKE ALARMS TO BE LOCATED "BETWEEN EACH AREA CONTAINING BEDROOMS AND THE REMAINDER OF THE DWELLING" RELEVANT TO PART 3.7.2.3 OF THE BCA AND INSTALLED BY AN ELECTRICIAN IN ACCORDANCE WITH AS3786

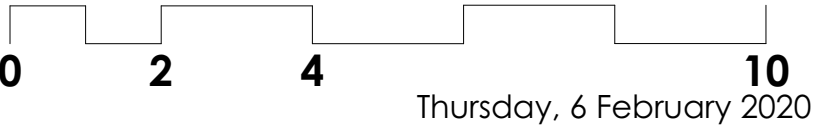
LIVING AREA (EXISTING)	101.90
LIVING AREA (ADDITION)	93.96
PORCH (ADDITION)	5.75
ALFRESCO (ADDITION)	19.13
CARPORT (ADDITION)	16.31
TOTAL	237.05 m²



PROPOSED FLOOR PLAN

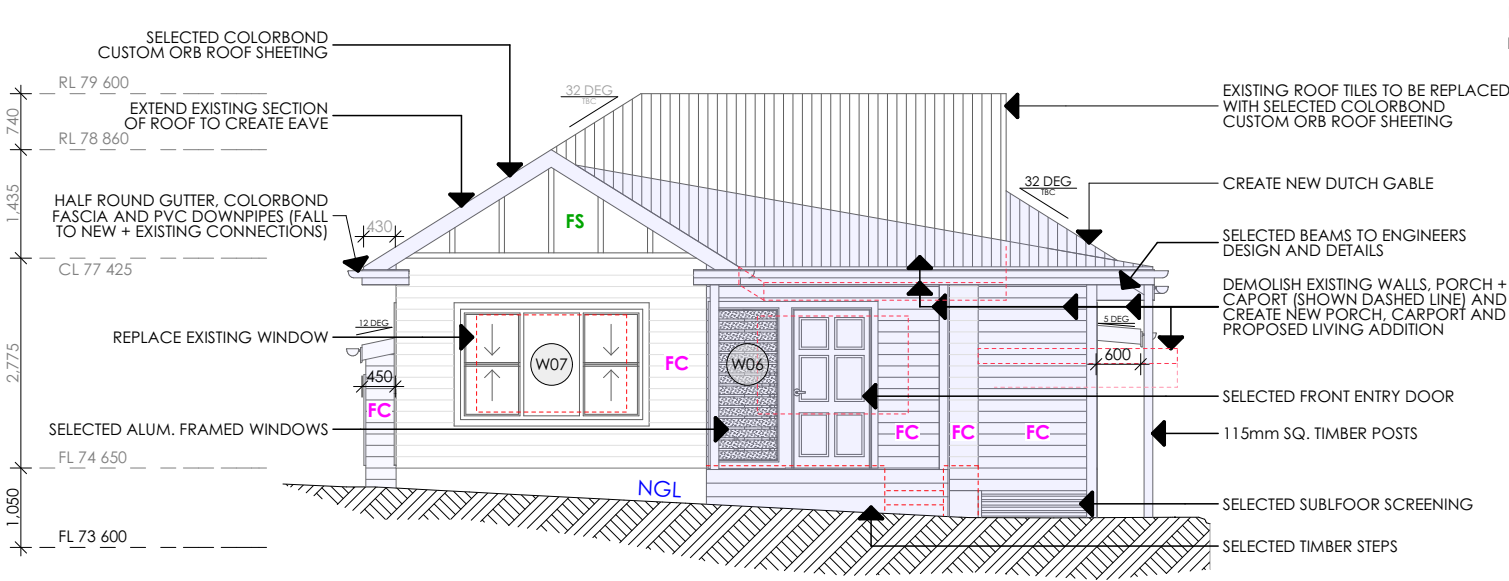
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LEGEND
 — = EXISTING WALLS
 — = PROPOSED WALLS

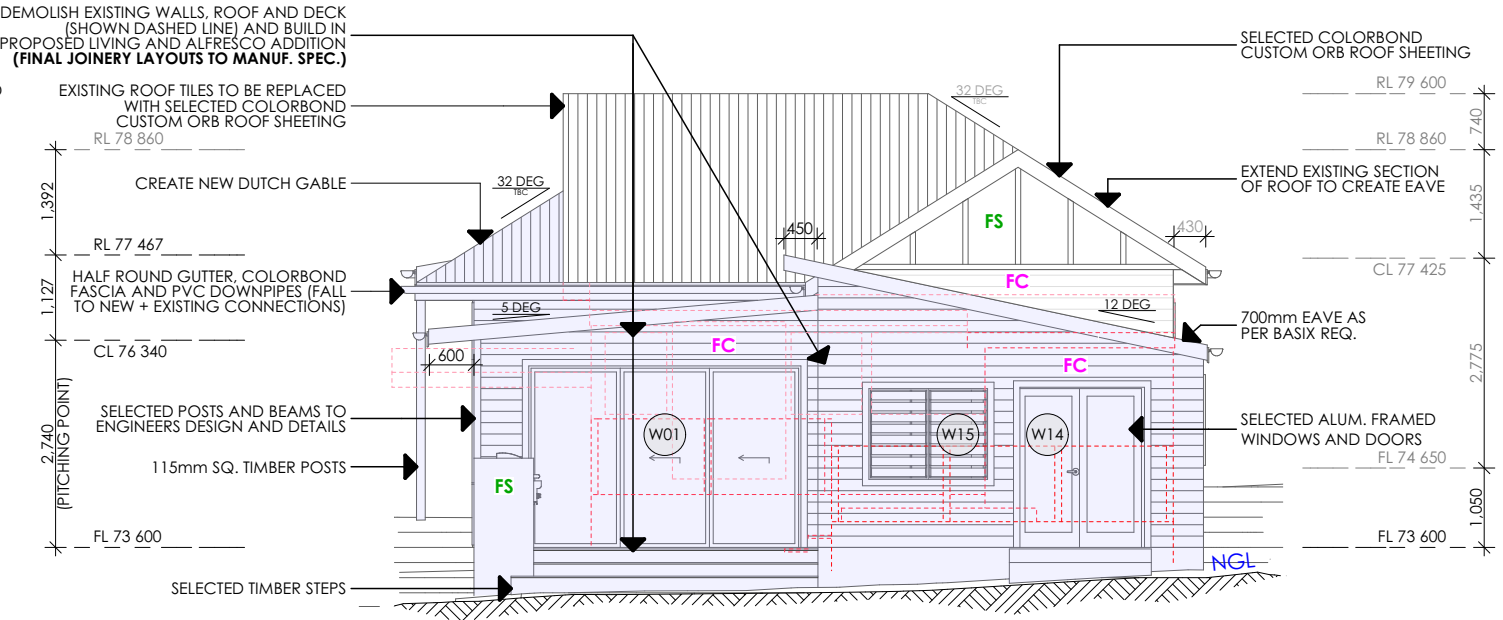


SELECTED MATERIAL

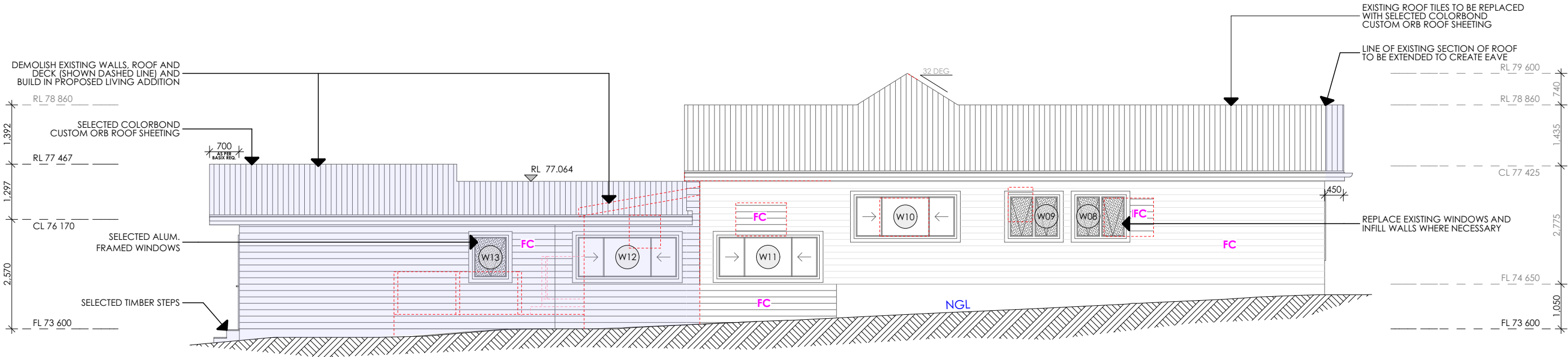
FC	EXISTING WEATHER BOARDS TO BE REPLACED WITH SELECTED HORIZ. FC CLADDING E.G. "PRIMELINE" NEWPORT
FC	SELECTED HORIZ. FC CLADDING E.G. "PRIMELINE" NEWPORT
FS	SELECTED FC SHEETING



SOUTH ELEVATION
Scale 1:100



NORTH ELEVATION
Scale 1:100

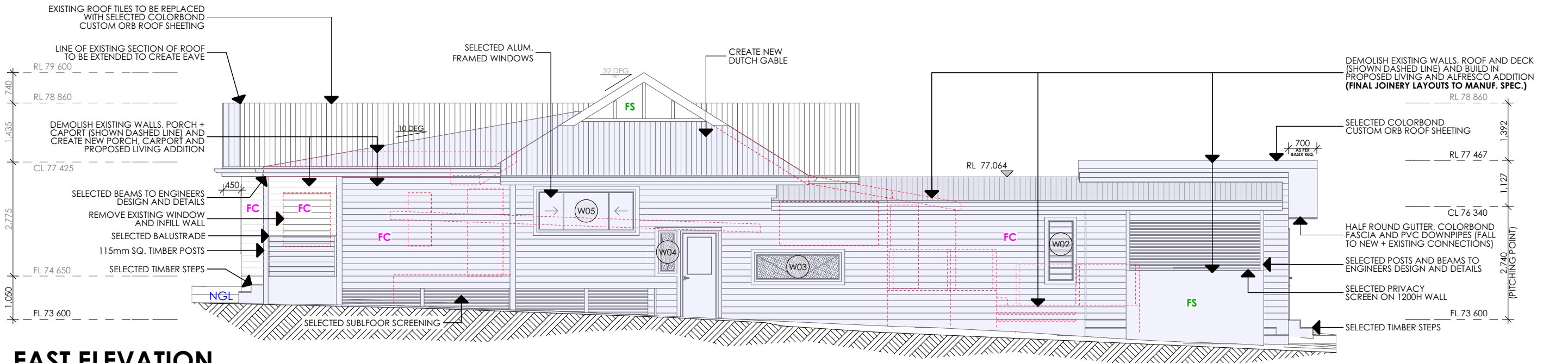


WEST ELEVATION
Scale 1:100

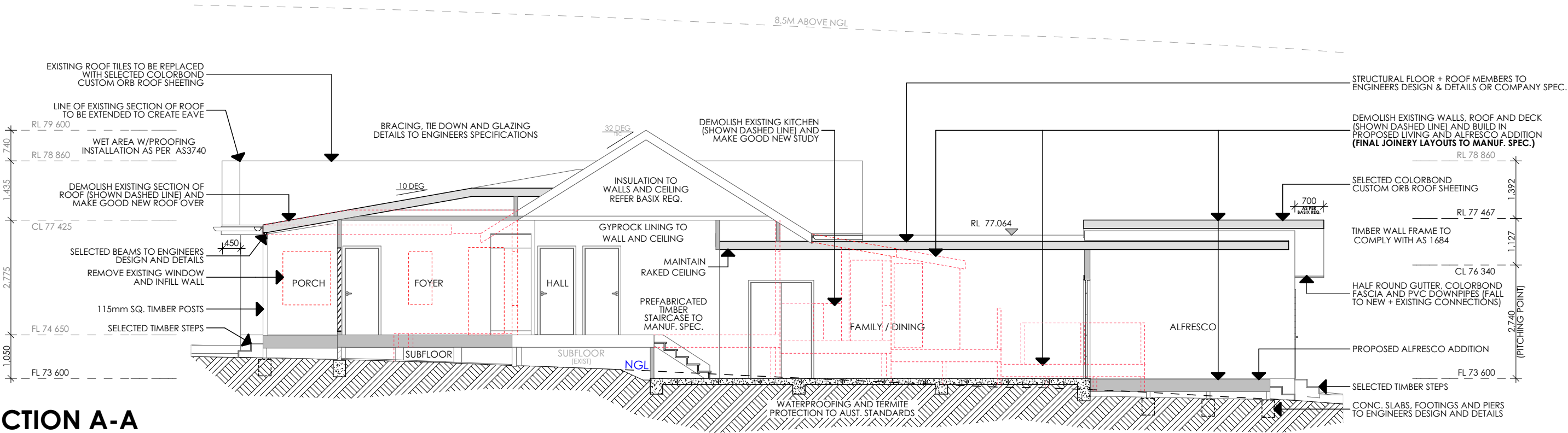
Thursday, 6 February 2020

SELECTED MATERIAL

FC	EXISTING WEATHER BOARDS TO BE REPLACED WITH SELECTED HORIZ. FC CLADDING E.G. "PRIMELINE" NEWPORT
FC	SELECTED HORIZ. FC CLADDING E.G. "PRIMELINE" NEWPORT
FS	SELECTED FC SHEETING



EAST ELEVATION
Scale 1:100



SECTION A-A
Scale 1:100

Thursday, 6 February 2020


AREA TABLE	AREA m2	SURFACE m2
EXISTING ROOF TILES TO BE REPLACED WITH SELECTED ROOF SHEETING	94.11	110.96
SELECTED ROOF SHEETING	198.05	203.40
TOTAL	292.16 m²	314.36 m²

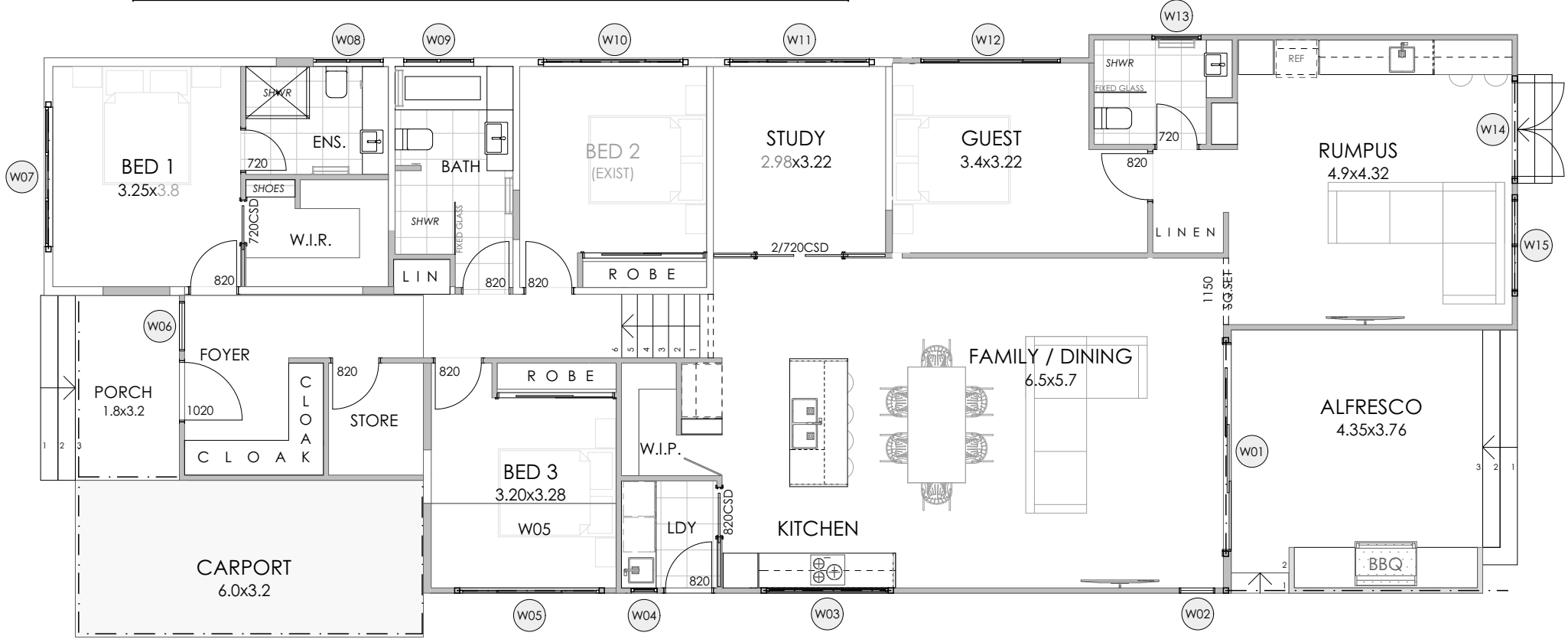
LIVING AREA (EXISTING)	101.90
LIVING AREA (ADDITION)	93.96
PORCH (ADDITION)	5.75
ALFRESCO (ADDITION)	19.13
CARPORT (ADDITION)	16.31
TOTAL	237.05 m²

WINDOW SCHEDULE			
WINDOW #	HEIGHT	WIDTH	3D IMAGE
W01	2,400	3,600	
W02	1,460	610	
W03	700	2,110	
W04	1,030	450	
W05	1,030	2,410	
W06	2,038	850	
W07	1,460	2,410	
W08	1,030	1,210	
W09	1,030	1,210	
W10	1,030	2,410	
W11	1,030	2,410	
W12	1,030	2,410	
W13	1,030	850	
W14	2,100	1,640	
W15	1,200	1,570	

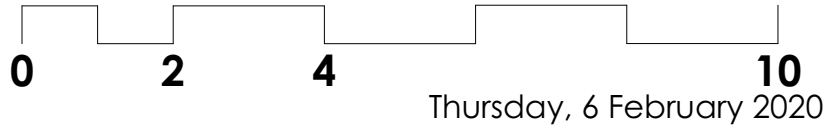
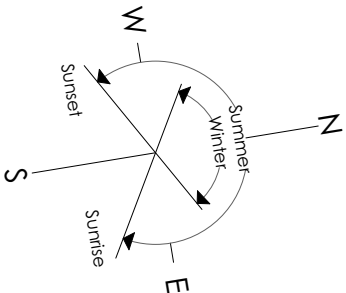
NOTES: WINDOW SCHEDULE REFERS TO FRAME OPENING SIZES.
ALL SIZES TO BE CONFIRMED PRIOR TO ORDERING.
REFER TO SELECTED MANUFACTURER FOR SPECIFICATIONS

BASIX COMMITMENTS

Project Specification		Form # AE0.3		Australian Energy Efficiency Consulting E:info@aenec.com.au P:0416 316 204		 www.aenec.com.au
Project Address:		18 Parr Parade, Narraweena				
BASIX CERTIFICATION NUMBER:		A367476				
This Project Specification outlines ONLY some of the BASIX commitments. For the full list, you must refer to BASIX document.						
External Walls Specification:						
Type	Material	Insulation	Colour	Detail		
Framed	Framed	R1.30	-	As per drawings		
Internal Walls specification:						
Type	Material	Insulation	Colour	Detail		
Framed	Plasterboard	Nil	-	-		
Roof Specification:						
Type	Material	Insulation	Colour	Detail		
Framed	As per Drawings	R3.00 + sarking	Dark	As per drawings		
Floors Specification:						
Type	Material	Insulation	Covering	Detail		
Masonry	Concrete	Nil	-	Slab on ground		
Framed	As per Drawings	R0.80	-	Above outdoor air		
Window Specification:						
Frame material	Glazing	U Value	SHGC	Detail		
Aluminium	Single	7.63 or Lower	0.75 or Lower	See BASIX		
Aluminium	Single - Low E	5.70 or Lower	0.47 or Lower	See BASIX		
Skylight Specification:						
Frame material	Glazing	U Value	SHGC	Detail		
n/a	n/a	SHGC	Detail			
U Value						
Various Notes if Applicable:						
Showerheads	3 star no grater than 9lt/min flow rate					
Toilet Flush	3 star or no grater than 4 litres/flush					
Kitchen taps	3 star no grater than 9lt/min flow rate					
Bathroom taps	3 star no grater than 9lt/min flow rate					
Rainwater tank	N/A	Hot Water	Gas Instantaneous			
NOTES: 1. ALL DOWNLIGHTS TO BE : APPROVED NON VENTILATED WITH FIRERATED COVER/SHIELD TO ALLOW CONTINUOUS INSTALLATION OF INSULATION 2.ALL vents and/or wall openings to be the 'SEALED' type. 3. All insulation is to be installed in accordance with AS/NZS 4859.1 4. All windows to comply with AS2047						



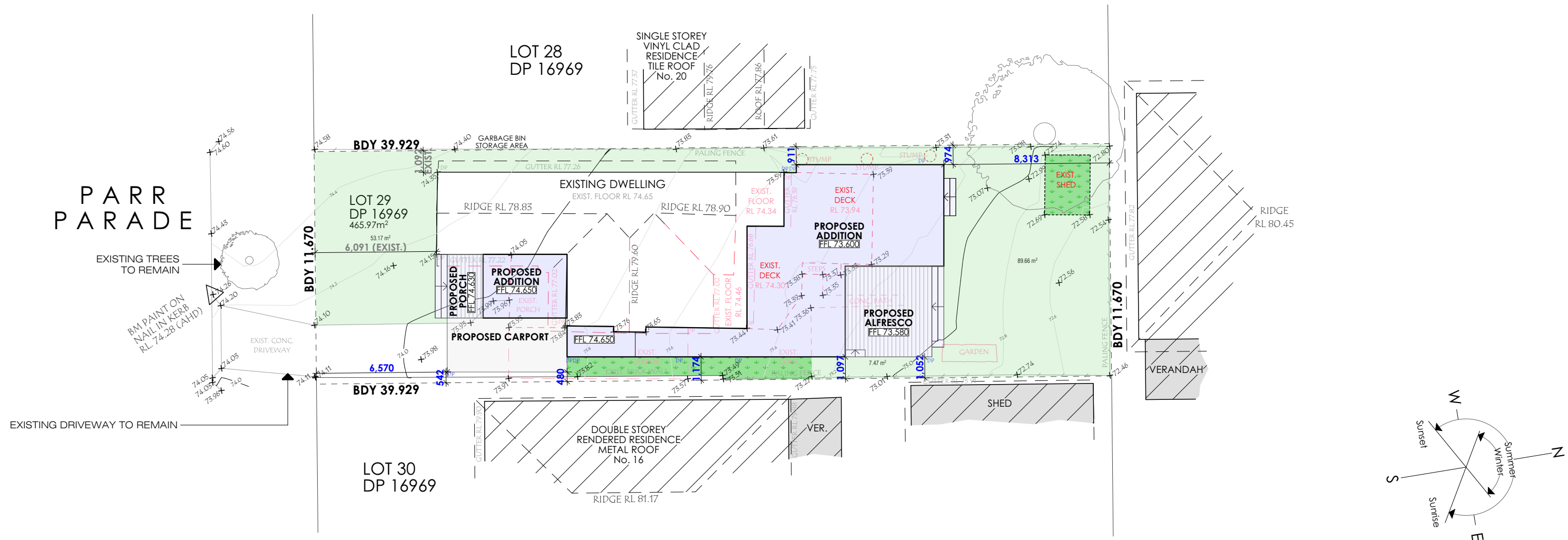
LEGEND
= EXISTING WALLS
= PROPOSED WALLS



FLOOR PLAN

Scale 1:100

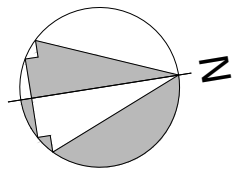
LEGEND		
	DENOTES EXISTING TREES TO REMAIN	
	EXISTING <u>TOTAL</u> LANDSCAPED AREA (INCLUDING AREAS LESS THAN 2M WIDE)	229.12m ²
	DENOTES EXISTING <u>TOTAL</u> LANDSCAPED AREA TO REMAIN (INCLUDING AREAS LESS THAN 2M WIDE)	178.58m ²
	DENOTES PROPOSED LANDSCAPED AREA (INCLUDING AREAS LESS THAN 2M WIDE)	19.45m ²
	PROPOSED TOTAL LANDSCAPED AREA (INCLUDING AREAS LESS THAN 2M WIDE)	198.03m²
TOTAL SITE AREA		465.97m²
	EXISTING LANDSCAPED AREA	43.46%
	PROPOSED LANDSCAPED AREA	32.12%
PROVIDE PINE BARK or LEAF MULCH TO ALL GARDEN BEDS		



LANDSCAPE PLAN

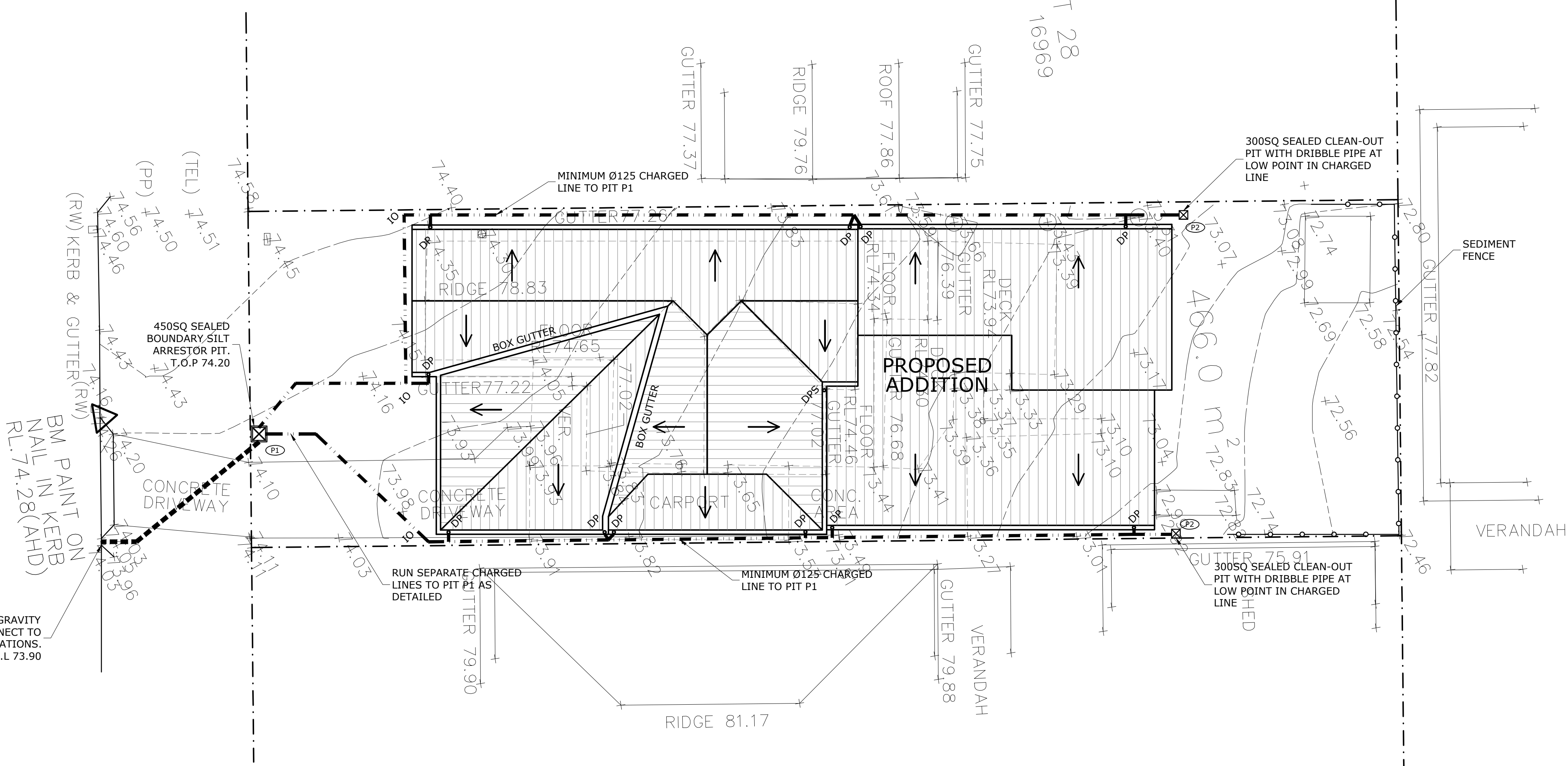
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FOR DA PROVAL ONLY



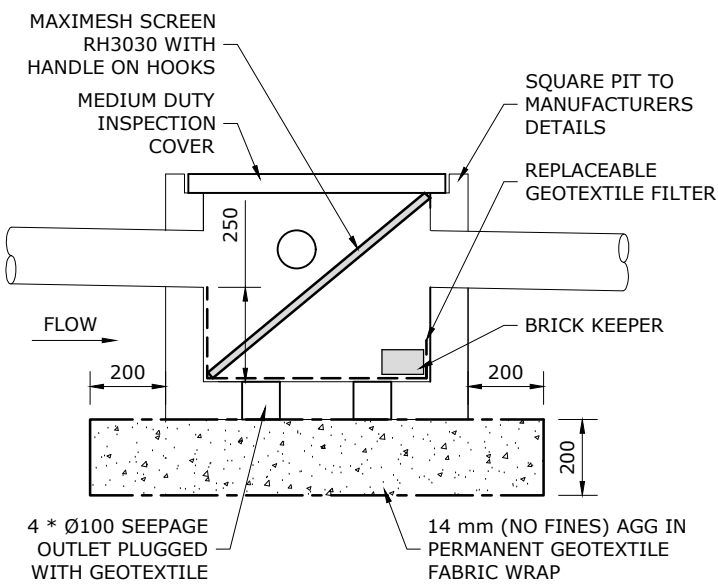
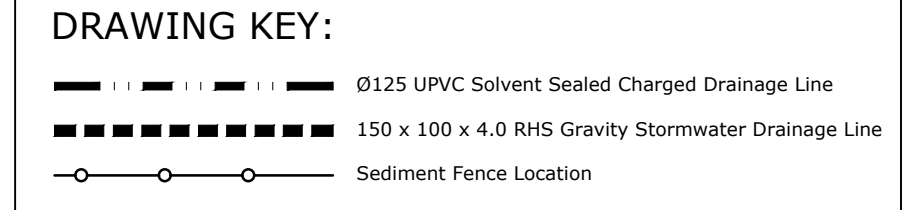
PARR PARADE

DISCHARGE VIA GRAVITY TO STREET. CONNECT TO COUNCIL SPECIFICATIONS. I.L 73.90

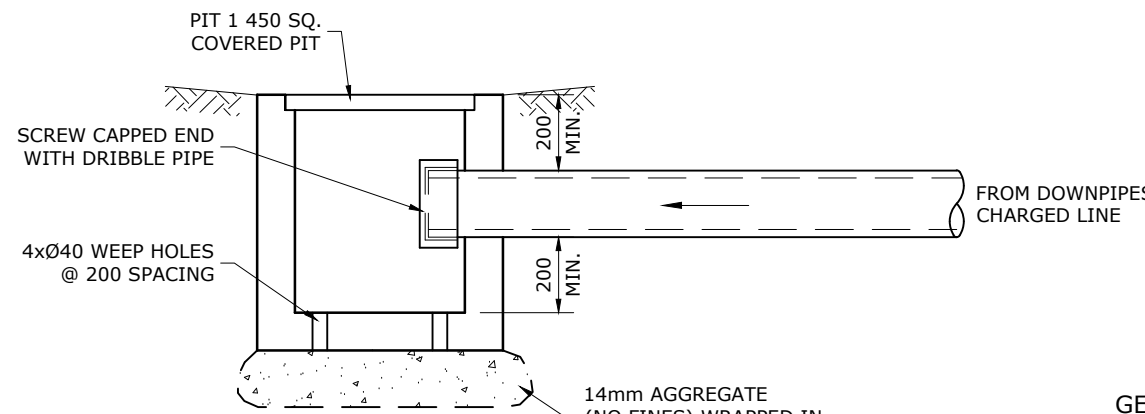


CONCEPT DRAINAGE PLAN 1:100

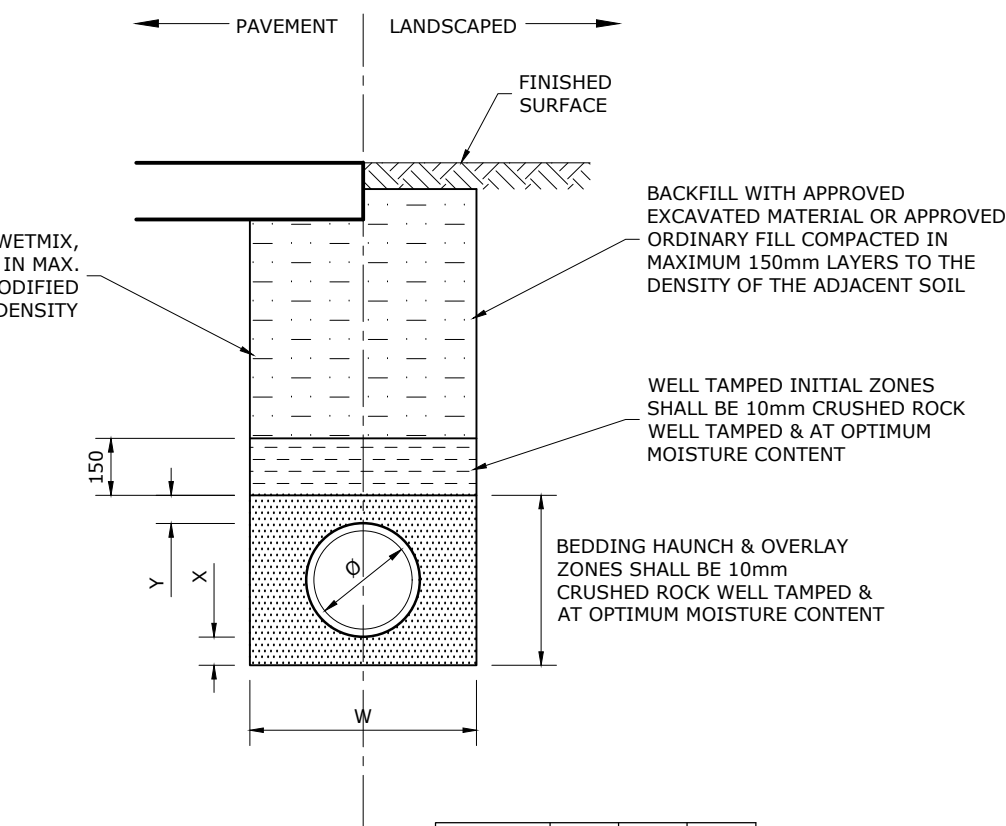
- All drainage lines shall be UPVC (Class SH) Stormwater Drainage Pipe, UNO.
- All drainage lines shall be laid @ 1% min fall, UNO.
- DP = New Ø90 UPVC Down Pipe
- DPS = New Ø90 UPVC Down Pipe Spreader
- IO = Inspection Opening



SILT ARRESTOR PIT 'P1' DETAIL 1:20



DETAIL - CLEAN OUT PIT P2 1:20



NOTE: 1. REFER TO PIPE LAYING SPECIFICATIONS FOR DETAILS

PIPE DIA Ø	W	X	Y
100-150	300	75	75
225-300	600	75	75

UPVC DRAINAGE PIPE

TYPICAL PIPE LAYING DETAILS 1:20

GENERAL

- These drawings shall be read in conjunction with the architectural and other consultants' drawings / specifications and with other such written instructions as may be issued during the construction. Any discrepancy shall be referred to the Engineer before commencing the work.
- All dimensions are in millimeters, UNO (unless noted otherwise).
- These drawings shall not be scaled, refer to dimensions given only or refer to the Architectural drawings.
- All levels and setting out dimensions shown on the drawings shall be checked on site prior to the commencement of the work.
- During construction the structure shall be maintained in a stable condition with no part being overstepped.
- Existing services, where shown, have been drawn based on supplied information and as such their accuracy can not be guaranteed. It is the responsibility of the contractor to determine their exact location prior to the commencement of work.
- All service trenches under vehicular pavements shall be back filled in accordance with the respective authorities requirements.
- All trench backfill material shall be compacted to the same density as the surround material.
- All site disturbed areas shall be reinstated to the original condition, including kerbs, footpaths, concrete areas, gravel and grassed areas, etc.
- It is the contractor's responsibility to obtain all authority approvals.

STORMWATER DRAINAGE

- The stormwater drainage design has been carried out in accordance with AS / NZS 3500.2.3 "Stormwater Drainage" & AS / NZS 3500.2.3 "Stormwater Drainage - Acceptable Solutions".
- Any variations to the design levels shall be referred to the engineer immediately for approval.
- Any variations to specified products or details shall be referred to the engineer for approval prior to their installation.
- Subsoil drainage shall be provided to all retaining walls & embankments. They shall be a minimum of Ø100 slotted pipe in filter sock surrounded by crushed rock. They shall drain to the stormwater drainage system.

SEDIMENT & EROSION CONTROL NOTES

- The sediment & erosion controls shall be maintained effectively for the duration of the project. They shall not be removed until the site has been stabilized or landscaped to the principal certifying authorities satisfaction.

- A single all weather access way shall be provided at the front of the property consisting of 50-80 mm aggregate or similar material with a minimum thickness of 150 mm laid over needle-punched geotextile fabric (Bidim A14 or similar) and installed prior to any works being commenced on site.
- Where the building works are greater than a single dwelling development, a shaker pad must be installed as part of the vehicular accessway. The shaker pad shall be:
 - Established on suitable prepared & compacted material.
 - Constructed such that it is flush with the adjoining surfaces.
 - A minimum of 5000 mm in length and breadth.
 - Designed with rungs spaced 200-250 mm apart & with a maximum width of 75 mm each.
- The contractor shall ensure that no spoil or fill encroaches upon adjacent areas during the project.
- The street / road shall be kept clean from dirt and debris from vehicles departing the site.
- Sediment fencing shall be secured to posts (please note that if star pickets or similar are used then plastic safety caps shall be installed on top of the posts) at 2000 mm intervals with the geotextile fabric embedded a minimum of 200 mm in to the soil.
- All the topsoil stripped from the site shall be stockpiled such that it does not interfere with drainage lines and stormwater inlet pits. The stockpile shall be suitably covered with an impervious membrane and screened by sediment fencing.

SOIL CONSERVATION NOTE:

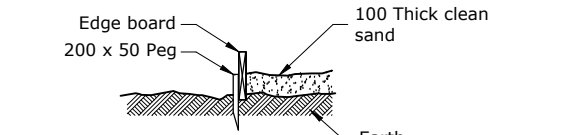
- Prior to the commencement of the site works the following shall be provided to capture water borne sediments:
 - Sediment fencing
 - Sediment trap
 - Washout area
- These shall be maintained regularly during the course of the construction with the sediment trap cleaned after each storm event.

SEDIMENT TRAP

- A 1000 x 1000 mm square by 500 mm deep pit located at the lowest point of the site.

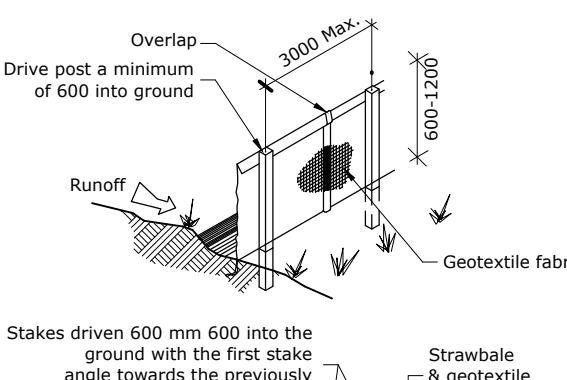
WASHOUT AREA

- The washout area shall be 1800 x 1800 mm allocated for the washing of tools & equipment in accordance with the detail below:



SEDIMENT FENCE

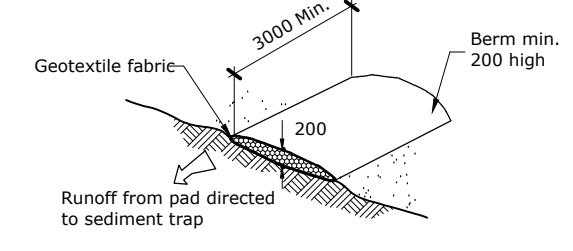
- Provide sediment fence on down slope boundary as shown on plan.
- Geotextile fabric to be buried 200 mm below ground at the lower edge.



- Drainage area is 0.5 HA with a maximum slope gradient 1:2 maximum and a maximum slope length of 50 m.

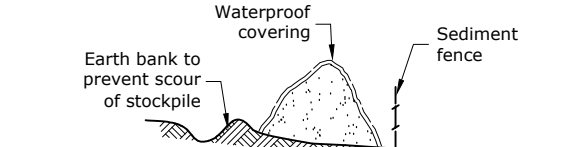
VEHICLE ACCESS TO SITE

- Vehicle access to the building site shall be restricted to a single point so as to reduce the amount of soil deposited on the street pavement.



BUILDING MATERIAL STOCKPILES

- Where there are stockpiles of material on site they shall be located at least 2000 mm away from any hazard including surfaces with grades greater than 15%, away from zones of concentrated stormwater flows, away from driveways, temporary vehicular accessways, footpaths, nature strips, kerbs, open swales & the drip zone of trees.
- Sediment fencing shall be installed downslope of all stockpiles.
- The stockpile shall be covered with an impervious cover and held down firmly at all corners and sides.



SANDBAG KERB SEDIMENT TRAP

- In certain circumstances extra sediment trapping may be needed in the street gutter.



DRAINAGE DESIGN CALCULATIONS:

Council: Warringah - Northern Beaches

Site area = 466.0 m² (0.0466 ha)
Pre-developed impervious area = 237.0 m²
Post-developed impervious area = 277.0 m²
Increase in impervious = 40.0 m² < 50.0 m²

Existing single dwelling where development is limited to a one-off alteration and addition resulting in a net increase in impervious area of less than 50.0m². Therefore OSD is not required.

No existing easement for stormwater drainage is present on the site and the installation of an easement through the rear property has been refused.

Exposed rock is present on the site and as such infiltration or absorption is not feasible.

Due to the low lying site it is necessary to partially charge the downpipes to the boundary pit P1 prior to the site being discharged from the boundary to the street via gravity as required. All charged lines shall be solvent sealed UPVC to gutter level throughout.

DRAINAGE LINE NOTE:

All underground pipes and pits shall not disturb tree roots.
All sub-soil drainage shall be installed to BCA requirements and connected to the drainage system.
Drainage line location is indicative and shown for clarity. Exact location subject to change to engineer's approval.
Existing drainage infrastructure shall be clean & in proper working order.
All levels shall be verified by builder on-site prior to commencing.
All charged drainage lines shall be solvent jointed UPVC pipes.

DOWNPIPE & GUTTER SCHEDULE

MARK	GUTTER SIZE	DP
GS1	Stramit M/S Pattern Eaves Gutter	Ø90

NOTE: All Gutter Systems shall be GS1, UNO.

STORMWATER PIT SCHEDULE

PIT	PIT DIMENSIONS	PIPE I.L.		TOP PIT R.L.
		IN	OUT	
P1	450 SQ. Sealed Silt Pit	-	-	74.20
P2	300 SQ. Clean-out Pit	-	-	-

All pits greater than 1200 mm deep shall have step ins.
Maximum pit depths: 450 x 450 - 600 mm max. 600 x 600 - 900 mm max. 600 x 900 - 1200 mm max. 900 x 900 - greater than 1200 mm

REV	APP.	AMENDMENT DESCRIPTION	DATE
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P.O. Box 608 WAVERTLEY NSW 2024 p 02 8594 6111 f 02 8089 1051 info@E2design.com.au www.E2design.com.au ACN 145 358 265			
E2 CIVIL AND STRUCTURAL DESIGN PTY LTD			
PROPOSED ADDITIONS			
18 PARR PARADE NARRWEENA NSW			
WADE			
Concept Drainage Plan			
SCALE: 1:100, 1:20	DATE: 23 Jan 2020	DESIGN: CB	REV: 0
JOB: 20.022	DRW: SW1	SIGNED:	