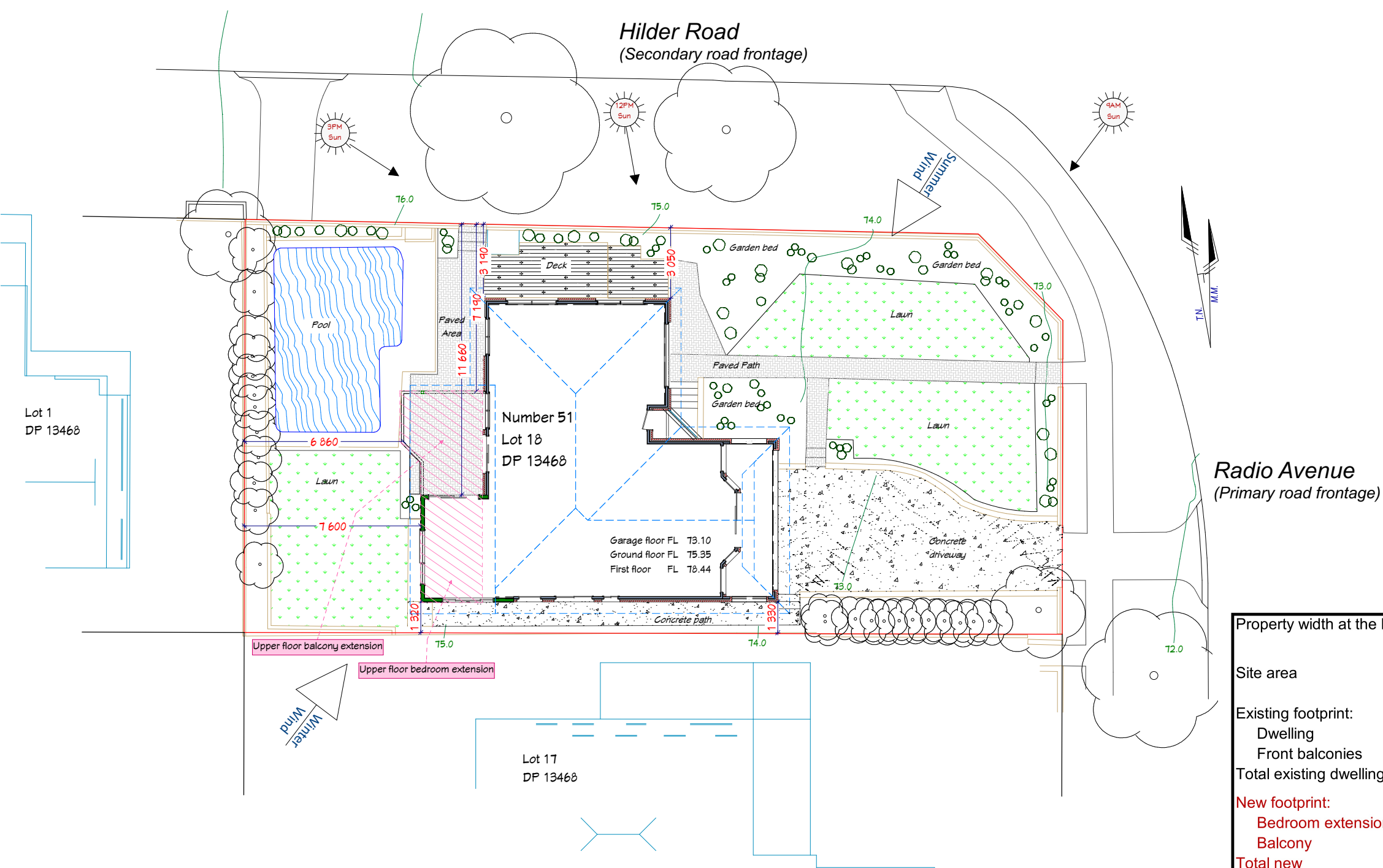




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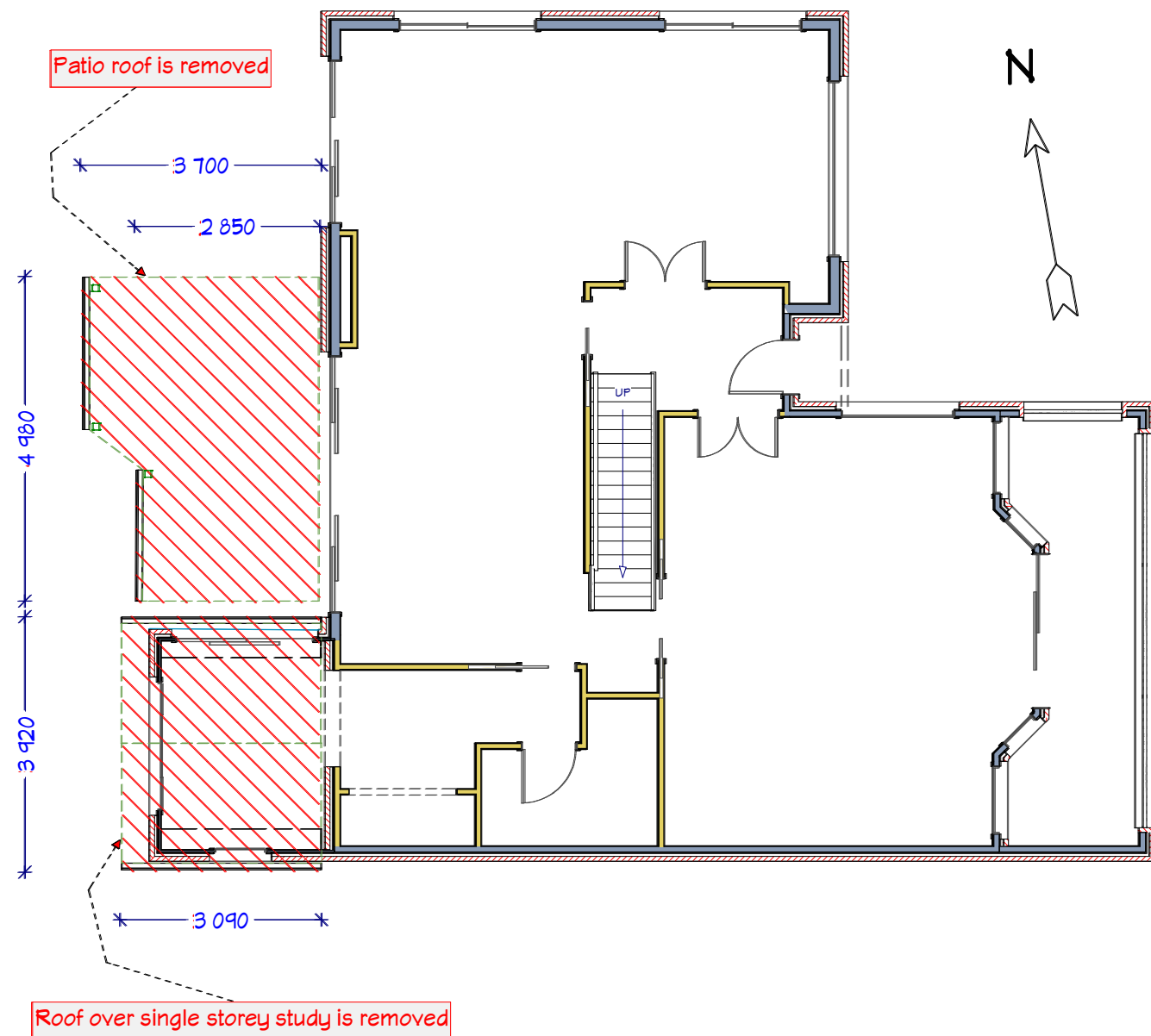
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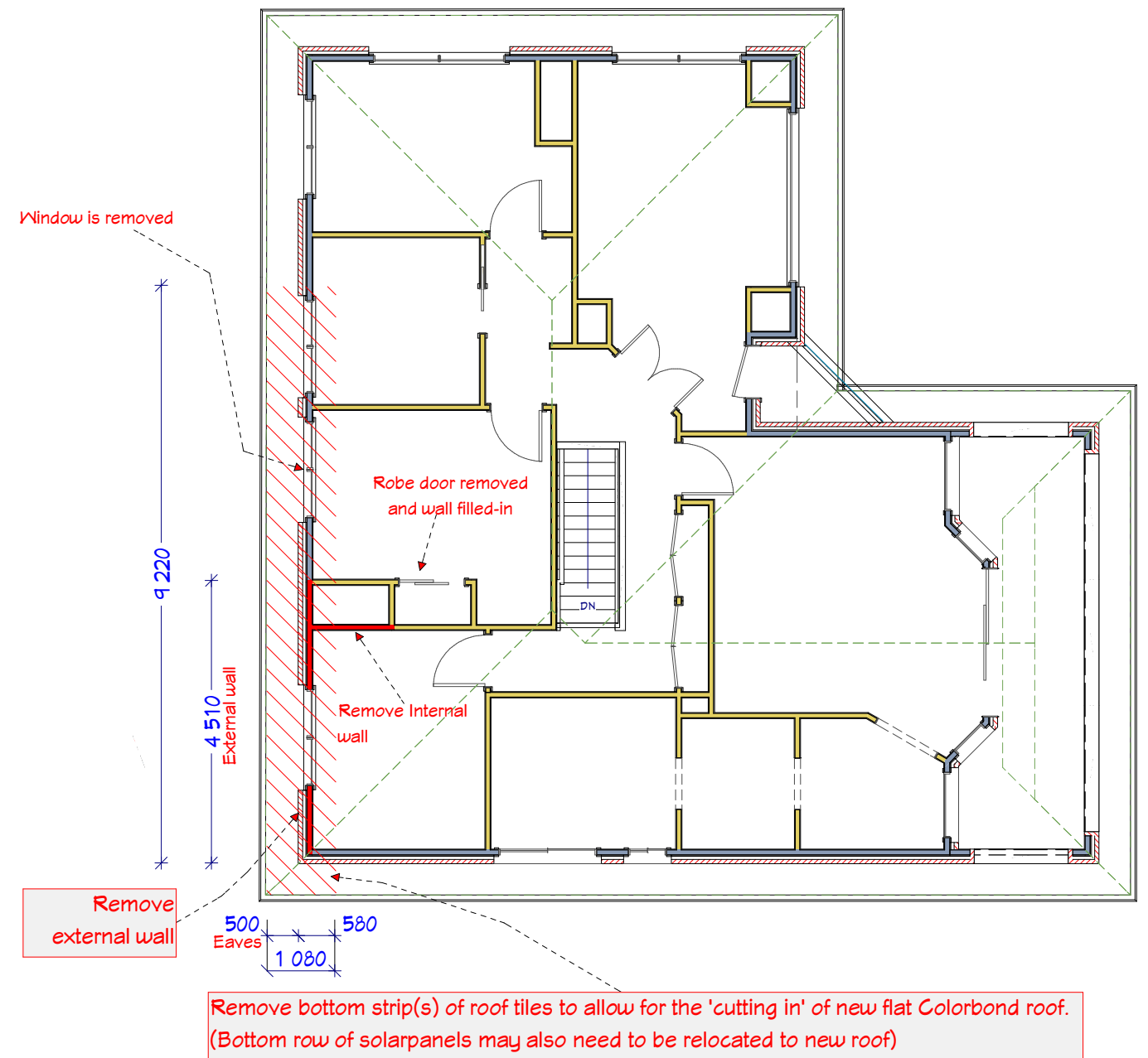
Property width at the building line 17.45 metres			
	SQM	SQM	SQM
Site area			611.1 100%
Existing footprint:			
Dwelling	133.8		21.9%
Front balconies	16.1		2.6%
Total existing dwelling footprint		149.9	24.5%
New footprint:			
Bedroom extension northerly overhang	3.0		0.5%
Balcony	14.1		2.3%
Total new		17.1	2.8%
Removed:			-2.7%
Patio roof	-16.3		
Zero change:			
(section between study and patio roof is paved)	-0.7		
Net increase of non pervious surfaces		0.1	0.0%
Existing other hard surfaces:			
Driveway	53.5		8.8%
Paved front path	34.1		5.6%
Decking (north side)	17.1		2.8%
Rear garden paving (not covered by new balcony)	15.5		2.5%
Pool coping	18.9		3.1%
total additional hard surfaces		139.1	22.8%
Total of all buildings and hard surfaces post development			306.1 50.1%

Landscaped area and open space				
Is the same pre and post construction:	SQM	SQM	SQM	% of open space % of site
Site area			611.1	100%
Total open space	363.3			59.5%
Landscaped area	224.2			61.7%
Open space above ground (increased by 14.1 sqm)	40.9			11.3%

Site plan & Site Analysis plan



Ground floor



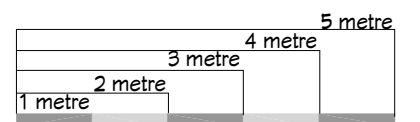
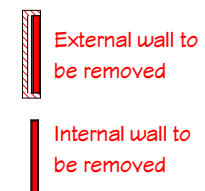
Upper floor



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## Demolition plan



M: 0410 419 682  
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W: WWW.BLACKADDERDESIGNS.COM  
ABN: 32829136273

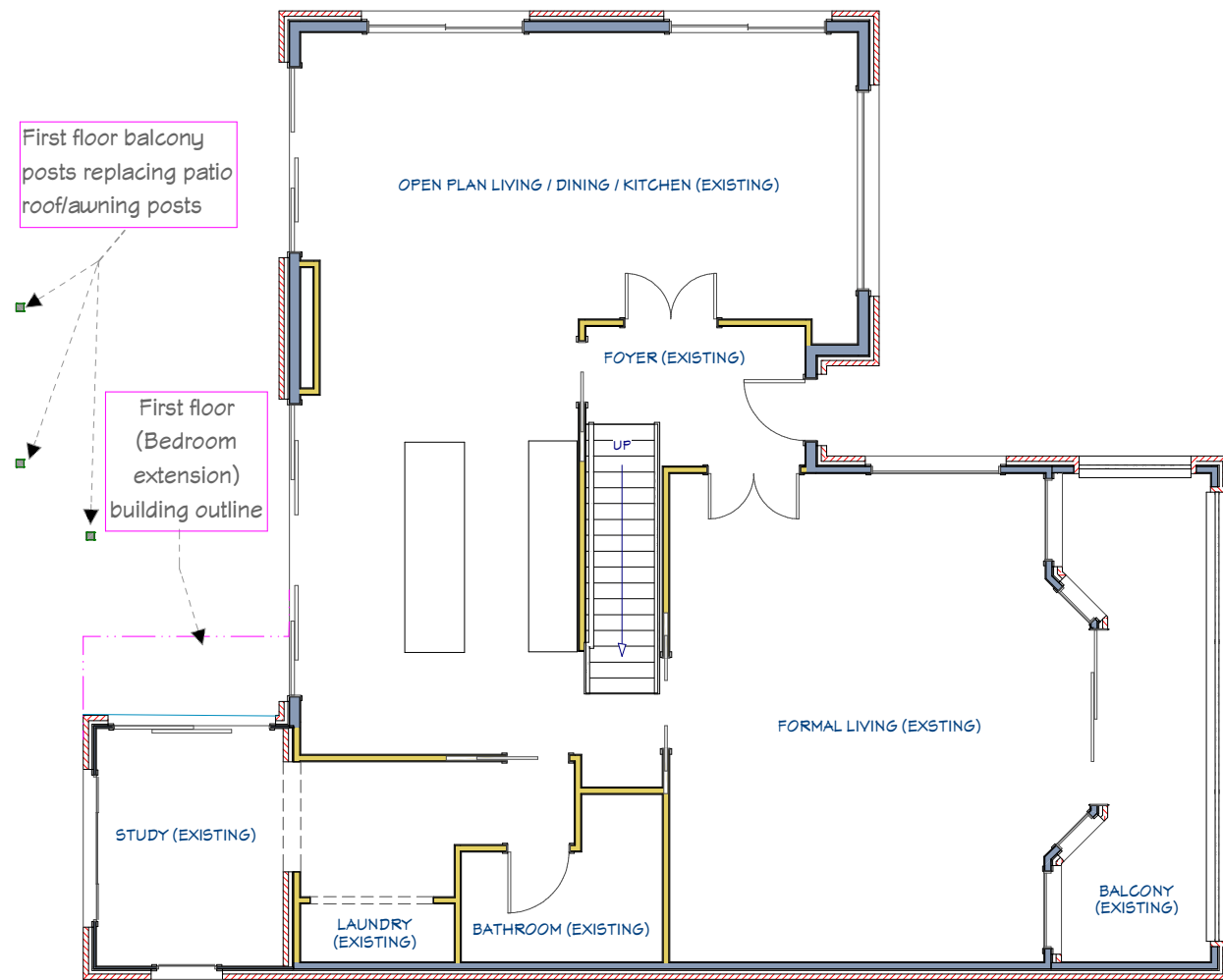
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unless otherwise noted.

General Notes:  
Written dimensions take precedence over scaled dimensions.  
Builder to verify all dimensions on site and notify this office of any discrepancies.  
All work to be carried out in accordance with engineering plans, local council's NOD, BCA, Australian Standards and any relevant authorities.

Alterations and addition to 2 rooms  
and new balcony  
51 Radio Avenue,  
Balgowlah Heights  
Emily & David Washbrook

Scale: 1:100  
Size: A3  
Date: 10/01/2022  
Drawing No: 02  
Version: 4.1



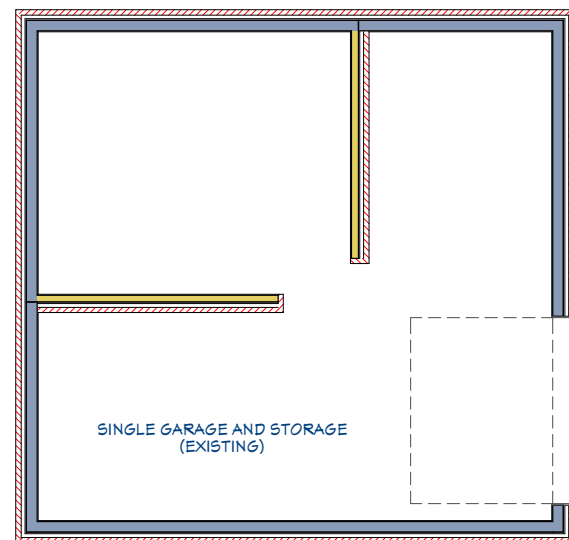
Ground floor



Upper floor

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Lower ground floor (garage)

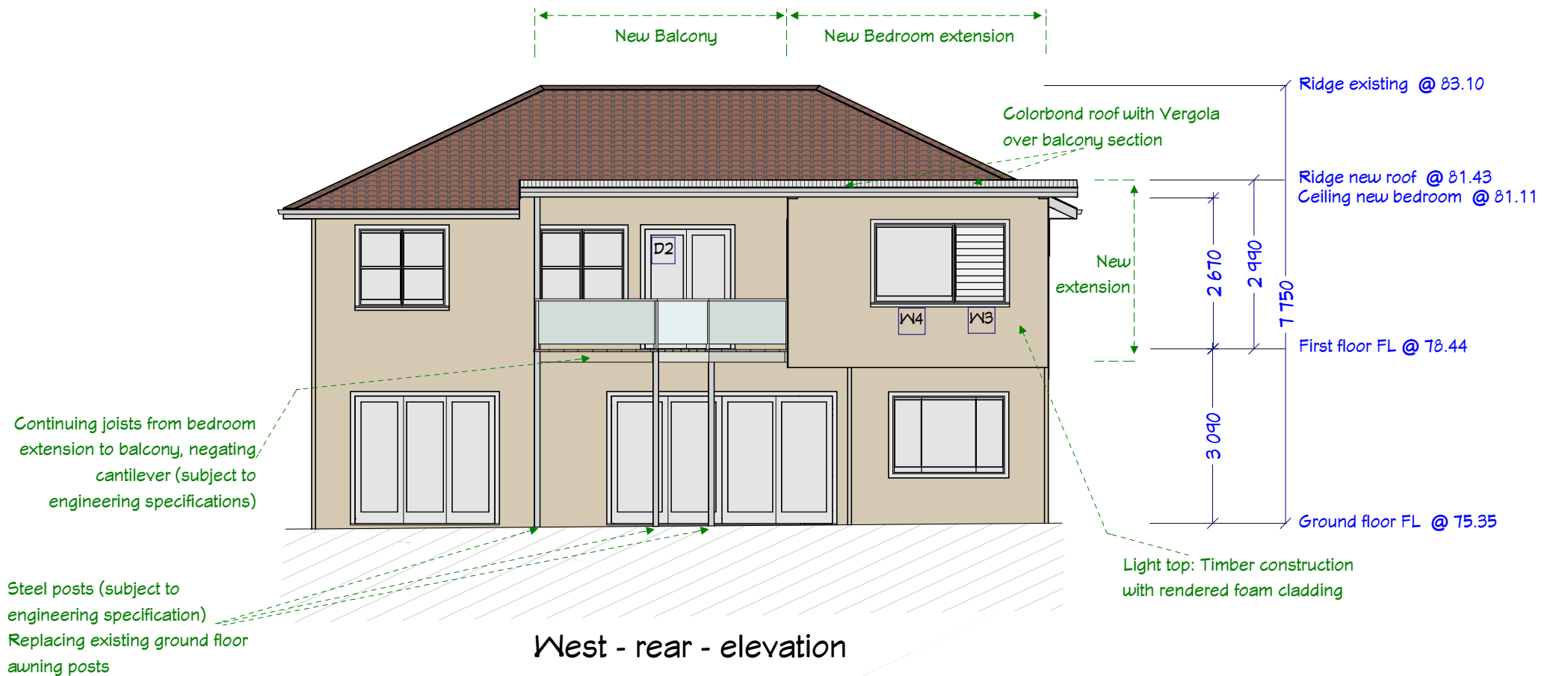
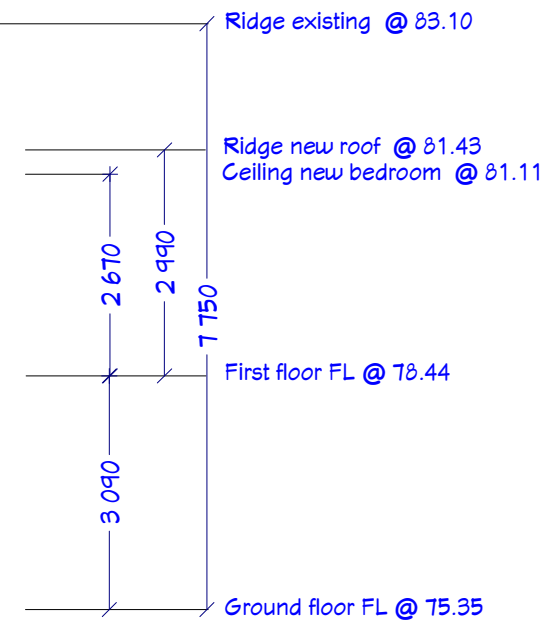
Window Schedule

Window:	Type	Width	Height	SQM	Head Height	Note
W1	Awning	950	500	0.48	2230	Frosted
W2	Triple sliding	2200	500	1.10	2230	Centre fixed
W3	Glass Louvre	900	1400	1.26	2230	(one unit with W4)
W4	Fixed	1400	1400	1.96	2230	(one unit with W3)
D1	Sliding	2130	2230	4.75	2230	Two Panels
D2	Sliding & Aneeta in fixed panel	600	1100	0.66	2230	Door & window combo

Floor plan



North - secondary street façade - elevation



West - rear - elevation

## Elevations plan



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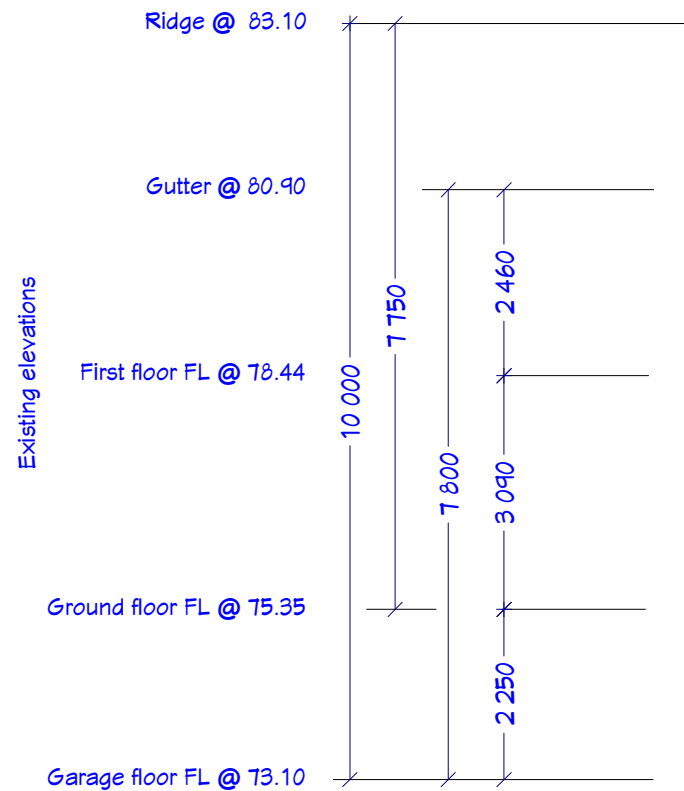
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- All elevations in metres (@ xx.xx)

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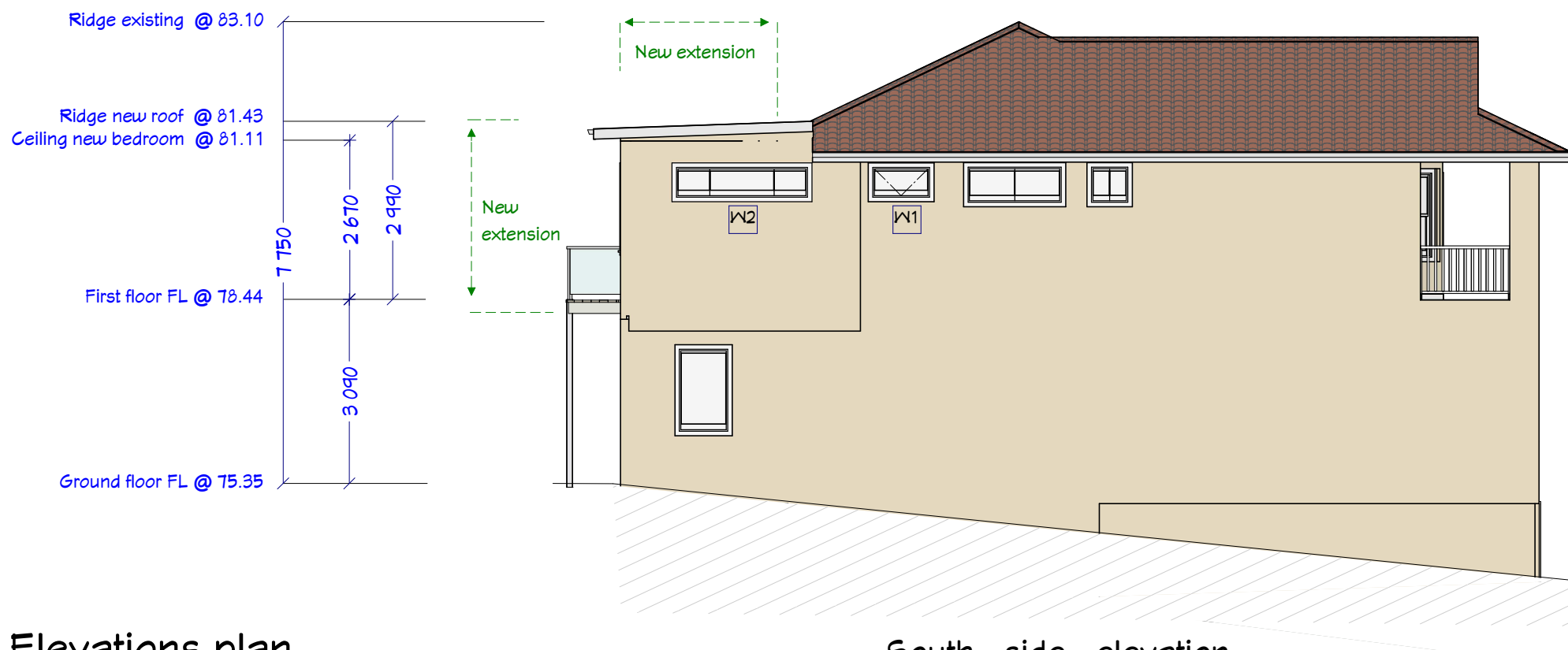
Alterations and addition to 2 rooms and new balcony  
51 Radio Avenue,  
Balgowlah Heights  
Emily & David Washbrook

Scale: 1:100  
Size: A3  
Date: 10/01/2022  
Drawing No: 04.1  
Version: 4.1





East - primary street façade (Radio Ave) - elevation



South - side - elevation



## Elevations plan



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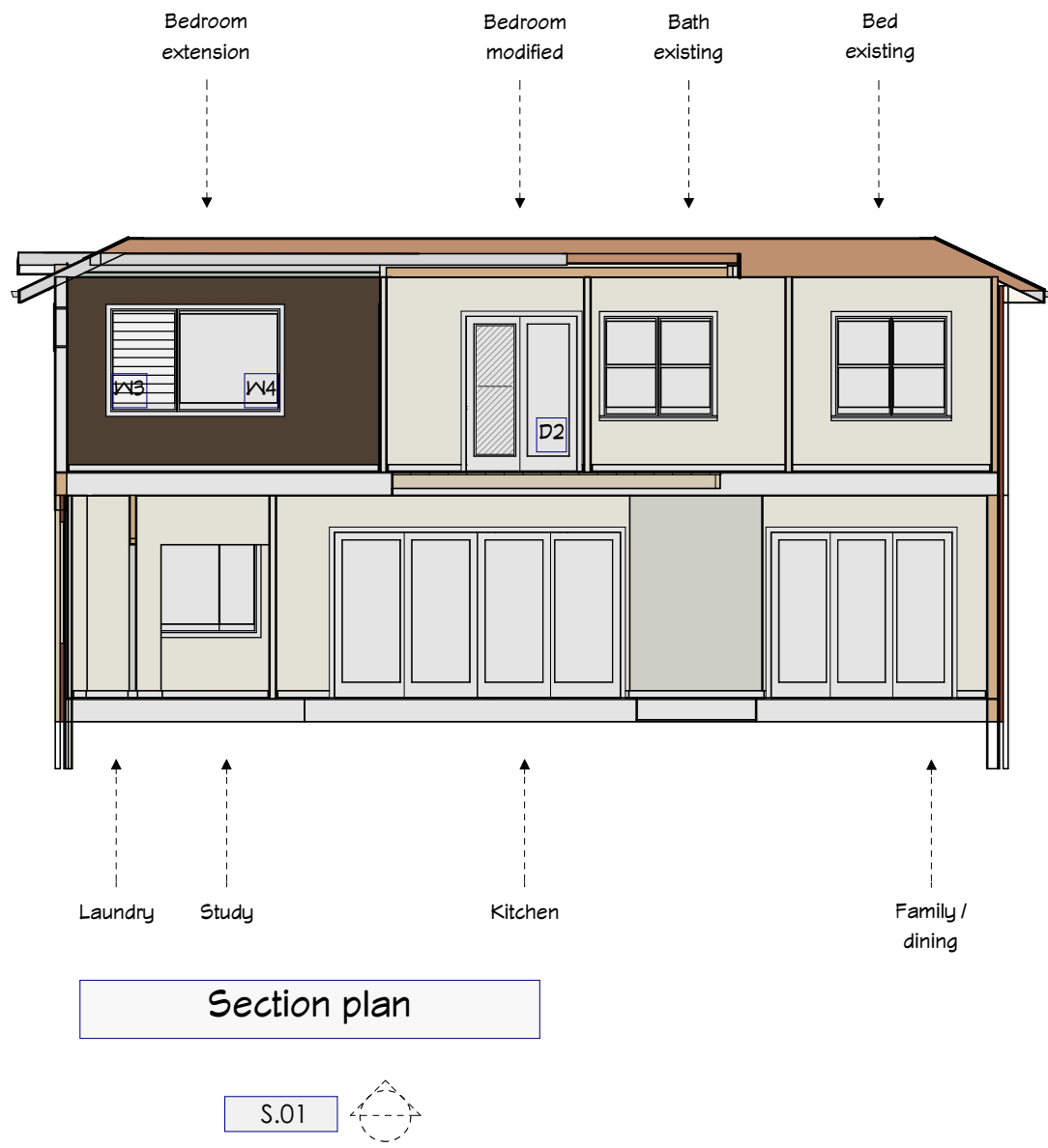
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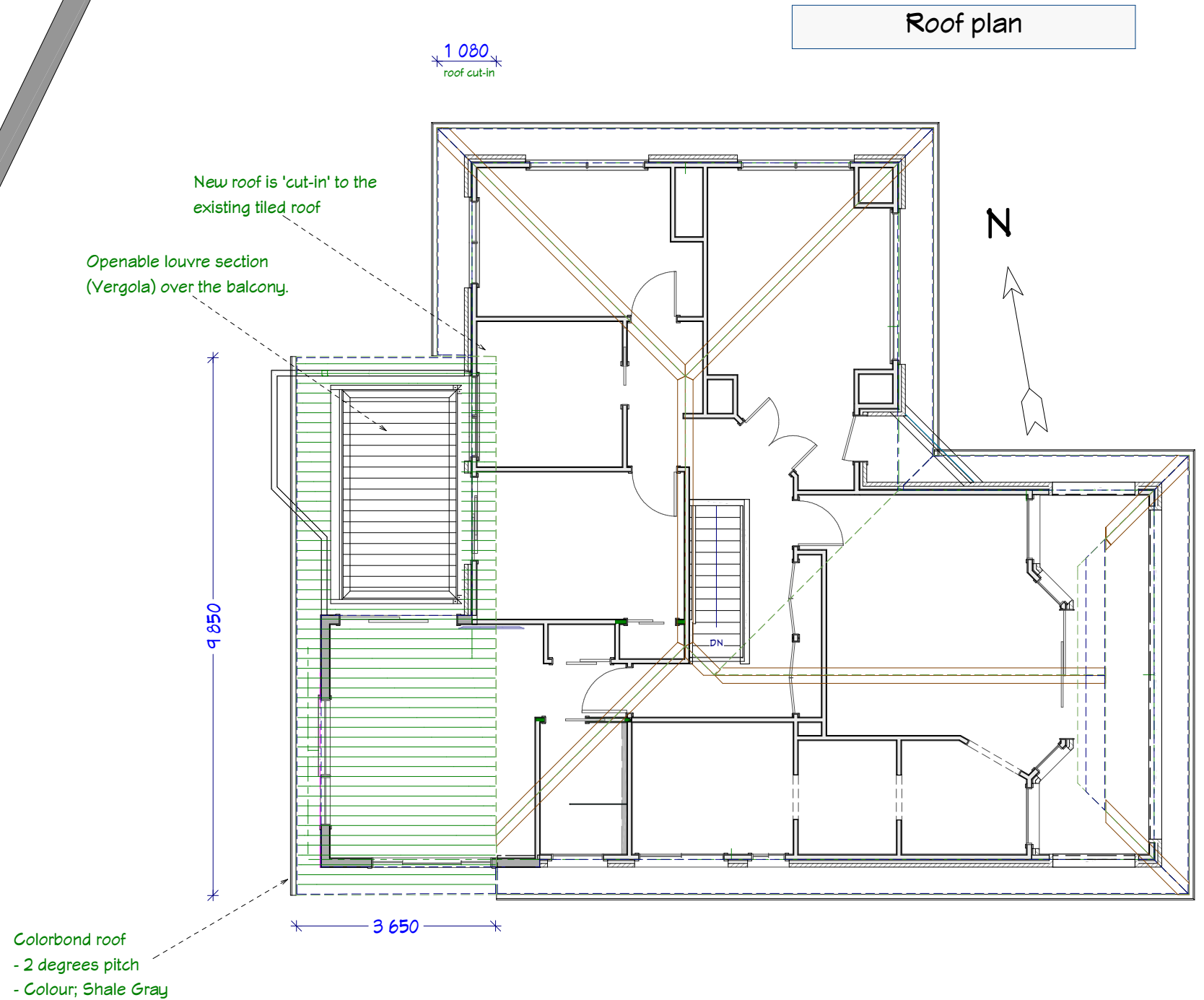
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Drawing No: 04.2  
Version: 4.1



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## Section plan & Roof plan



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Alterations and addition to 2 rooms and new balcony  
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Balgowlah Heights  
Emily & David Washbrook

Scale: 1:100  
Size: A3  
Date: 10/01/2022  
Drawing No: 05  
Version: 4.1