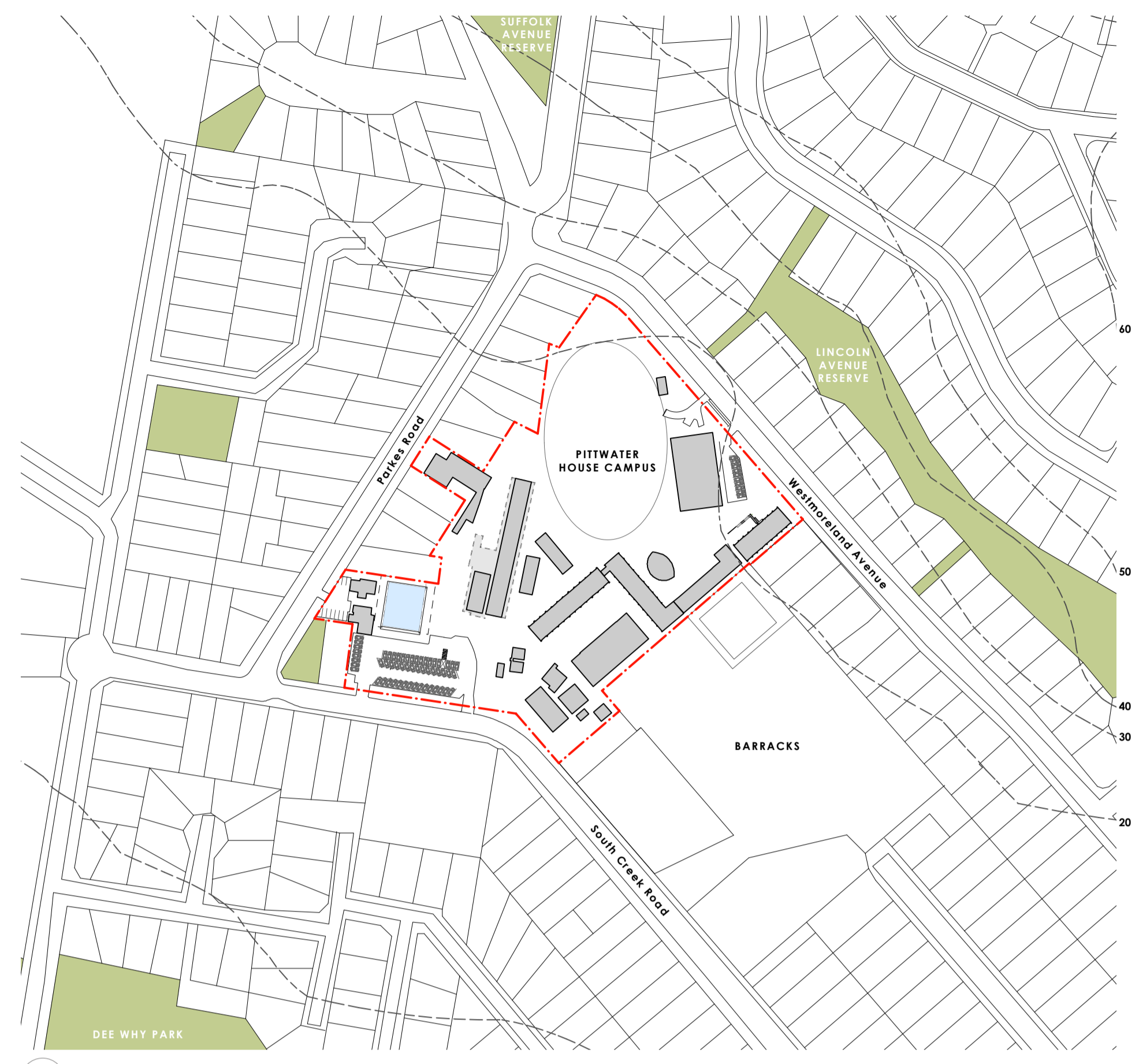


The Pittwater House Schools

DA ISSUE

DRAWING No.	DRAWING TITLE	SCALE	REVISION
DA 01	COVER SHEET		02
DA 02	SITE ANALYSIS	1:1, 1:1500	01
DA 03	SITE ANALYSIS	1:1000, 1:200, 1:2000	01
DA 04	SITE PLAN	1:500	01
DA 05	DEMOLITION PLANS	1:200, 1:500	01
DA 06	LIBRARY + STUDENT SERVICES PLANS	1:200	01
DA 07	LIBRARY + STUDENT SERVICES ELEVATIONS + SECTIONS	1:200	01
DA 08	SOUTH + WEST WING UNIVERSAL CORE PLANS	1:200	02
DA 09	TRAFFIC	1:200	01
DA 10	SHADOW DIAGRAMS	1:1500	01
DA 11	SCHEDULE OF COLOURS AND MATERIALS		01
DA 12.1	NOTIFICATION PLAN	1:1000	01
DA 12.2	NOTIFICATION PLAN	1:500	01
DA 13.1	CONSTRUCTION METHODOLOGY	1:1500	01
DA 13.2	CONSTRUCTION METHODOLOGY	1:1500	01
DA 13.3	CONSTRUCTION METHODOLOGY	1:1500	01

02



2 LOCATION PLAN
1:2500



3 CONTEXT PLAN
1:7500



4 VIEW FROM SOUTH CREEK ROAD



5 VIEW OF LIBRARY ENTRY

LEGEND

AD	ALUMINIUM DOOR	FBG	GLAZED FACE BRICK
AW	ALUMINIUM WINDOW	FGS	GLAZED FACE BRICK SCREEN
BG	ROCK GUTTER	JG	JOINERY UNIT
BR	BRICK	LD-1	EXTERNAL LOUVRES - RETRACTABLE
BSL	STEEL BALUSTRADE	LD-2	EXTERNAL LOUVRES - FIXED, HORIZONTAL
BW	BLOCKWORK	MA	ENTRY MAT
EXFL	EXISTING FLOORING	MC	METAL CLADDING
CONC	CONCRETE	MR	METAL ROOFING
CPT	CARPET	MA	METAL ROOFING
CT	CERAMIC TILE	RF	RUBBER FLOORING
DP	DOWNPIPE	RWD	RAINWATER OUTLET
EXT	EXISTING	SC	STEEL COLUMN
FG-1	FIBRE CEMENT FLOORING	SK	SKYLIGHT
FG	FIXED GLASS	TD	TIMBER DOOR JOINERY
FR	FLOOR	TW	TIMBER WINDOW JOINERY
FW	FLOOR WASTE		

LEGEND

	EXISTING ELEMENTS TO BE RETAINED
	EXISTING ELEMENTS TO BE DEMOLISHED

ISSUE	DATE	REVISION
01	31/10/19	DA Issue
02	5/2/20	DA Revision

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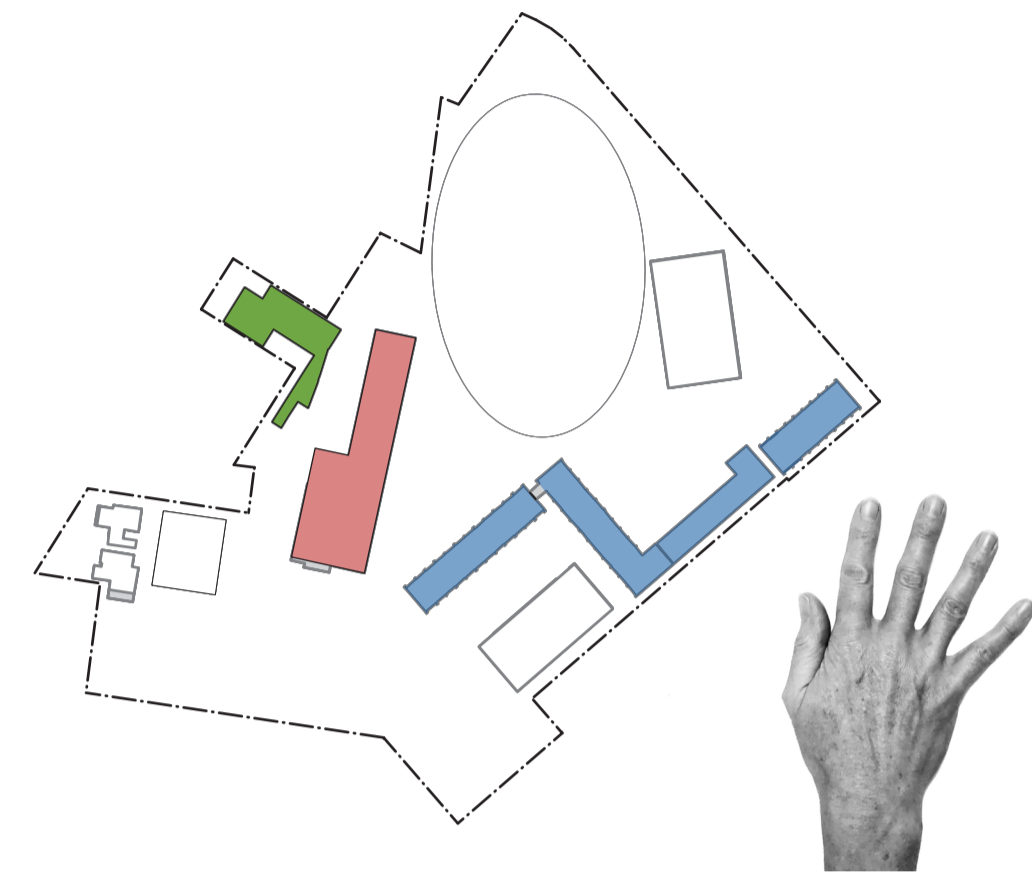
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70 South Creek Rd, Collaroy NSW 2097

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L1 9 ROSLYN ST POTTS POINT 2011 T: 8203 1870
NOMINATED ARCHITECT: RACHEL NEESON No. 6692

NO	REV	TITLE	PHASE	SCALE	DATE
DA 01	02	COVER SHEET	DA	@A1	5/2/20

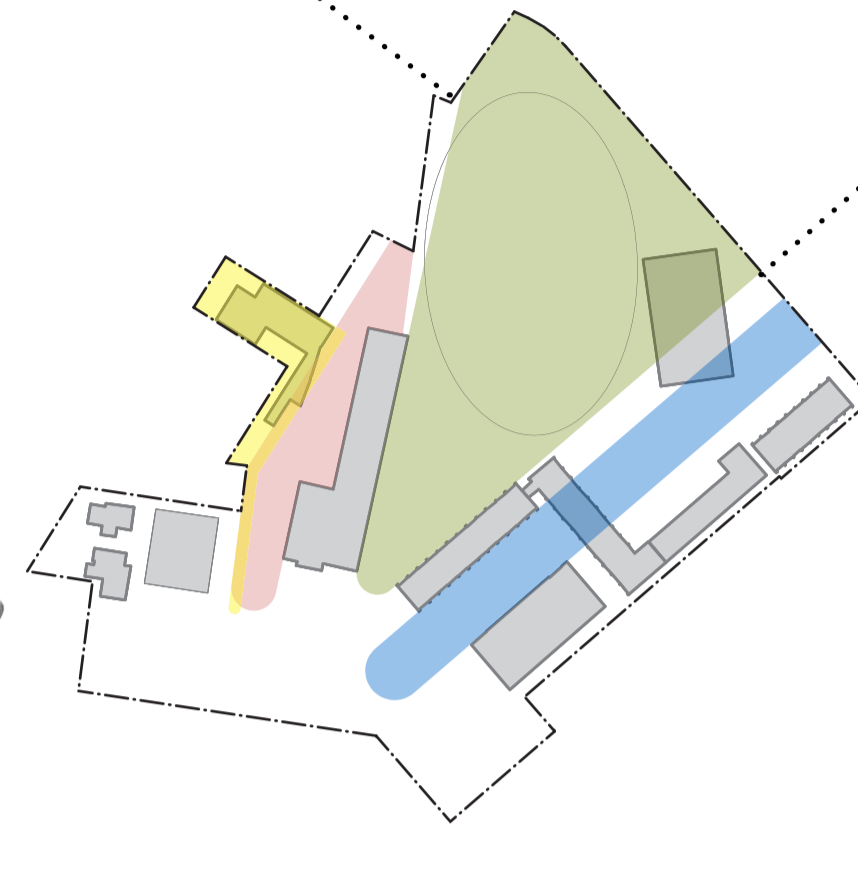
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STRATEGIC STRATEGIES



THREE SCHOOLS - ONE CAMPUS - BUILDING 'FINGERS'

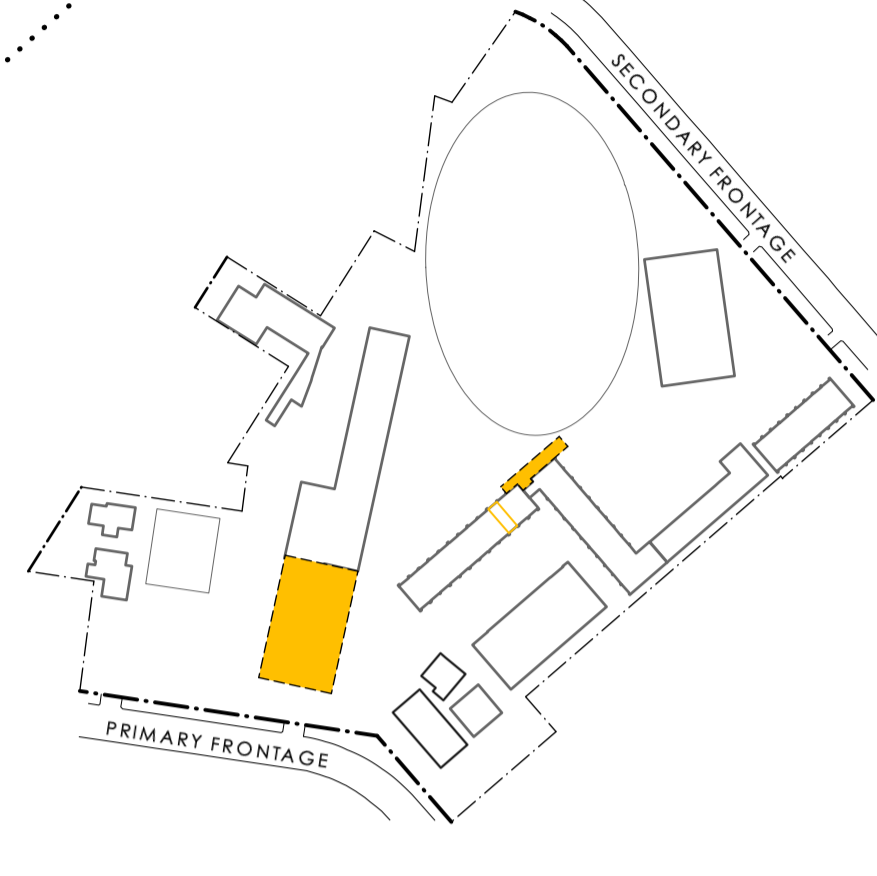
Three schools occupy the campus and together form Pittwater House. The masterplan strengthens the core location of each distinct school. They are like the 'fingers' extending from the 'palm' on South Creek Road, up towards Westmoreland Avenue.



LANDSCAPES 'SPINES'

The campus is organised by a series of landscape spines – the spaces between the 'fingers'. This strategic hierarchy of landscape and open play areas builds on what the campus already has, preserving amenity, defining possible locations for new buildings, and speaking to the beauty of the existing site. The central spine incorporates the impressive oval. The western spine builds on this as the Junior school playground – the former creekline. The eastern spine connects through the heart of the Senior school.

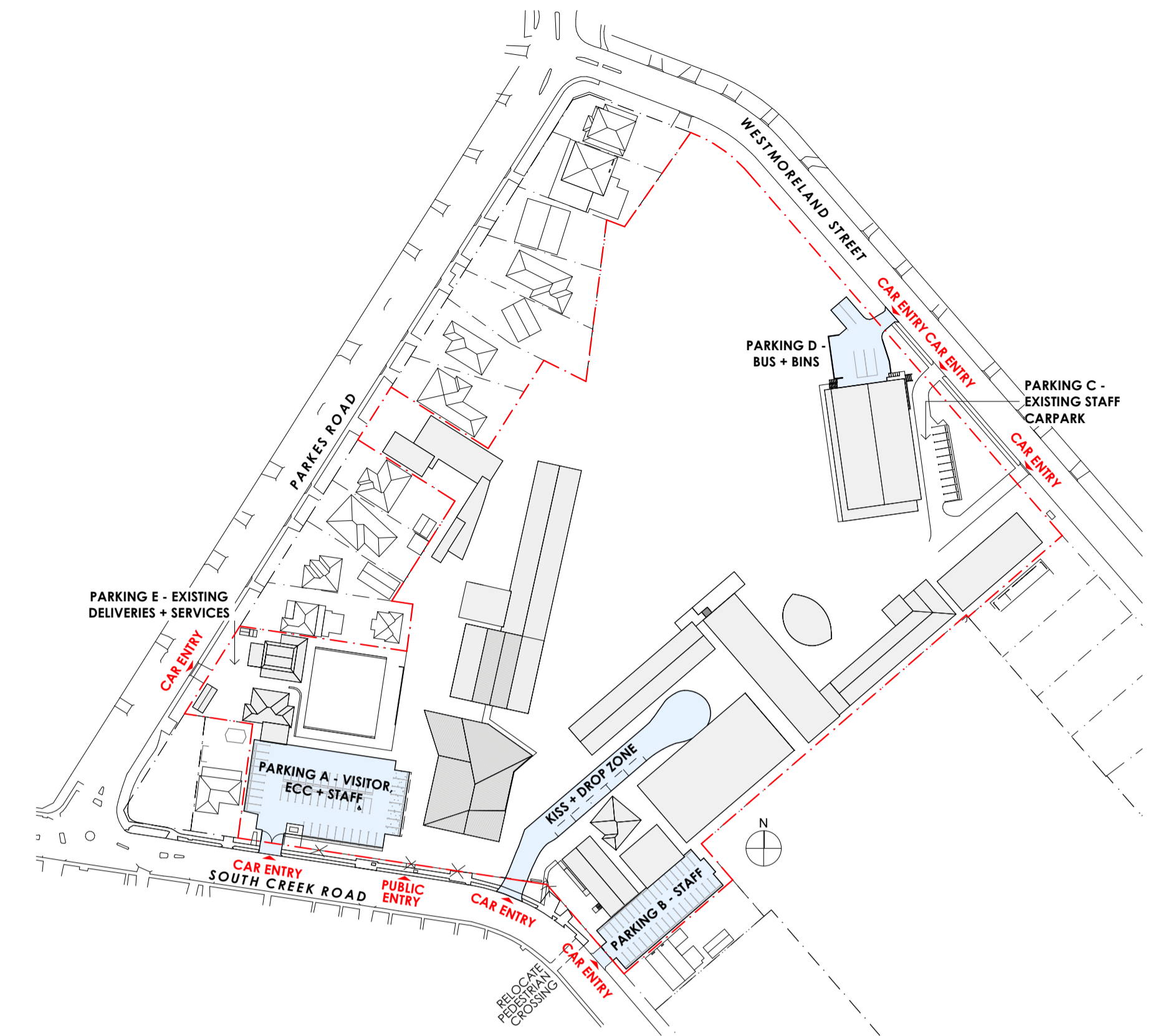
The simple organisation of 'building fingers' and 'landscape spines' provides a clear circulation logic, efficient movement and intuitive wayfinding. It allows internal spaces to be connected to landscape, natural light and fresh air – such spaces make us feel good, and help with alertness and learning.



THE NEW 'FACE'

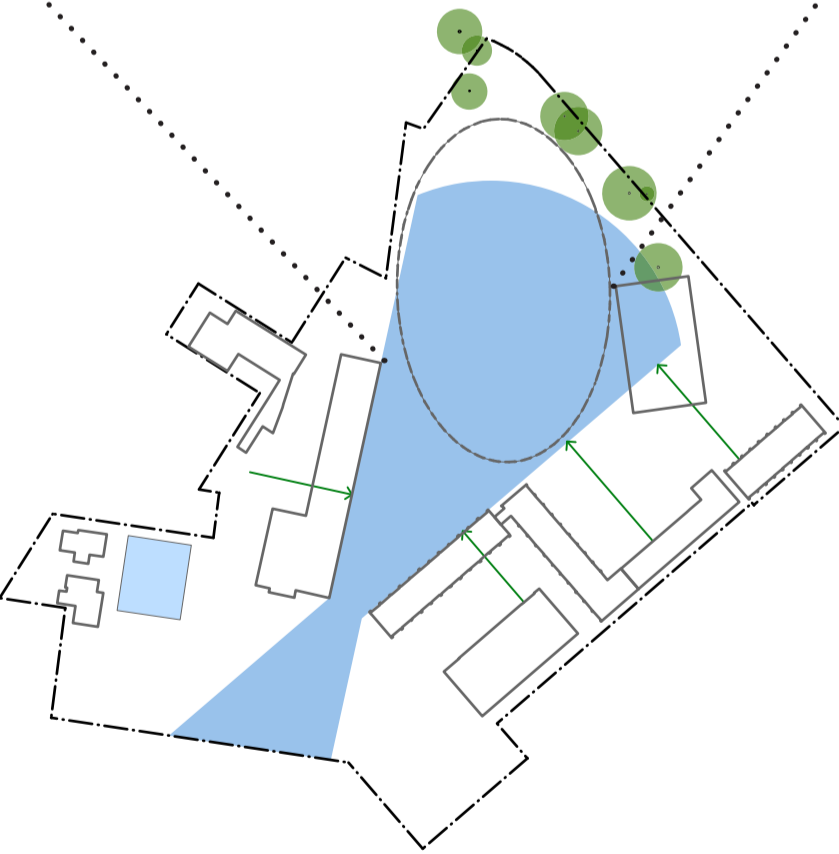
The masterplan brings clarity to South Creek Road as the primary street address. It locates new buildings with shared facilities defining a shared zone – the 'palm' of the hand – and strengthening the core identity of the school right at the primary frontage.

ARRIVAL + PARKING + SECURITY



10 TRAFFIC DIAGRAM
1:1500

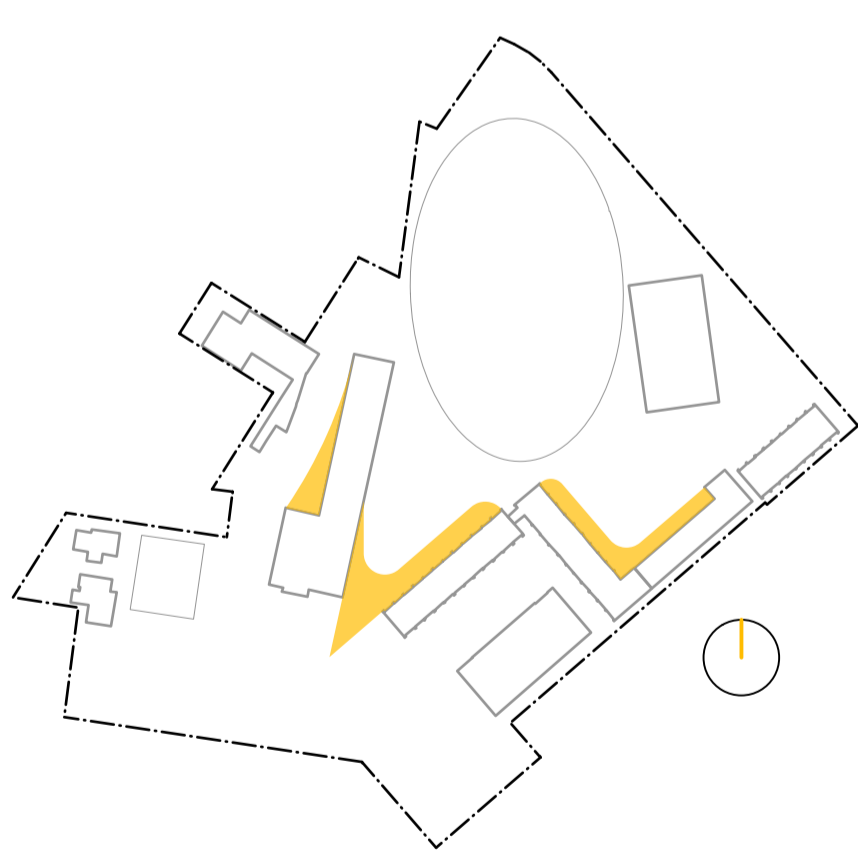
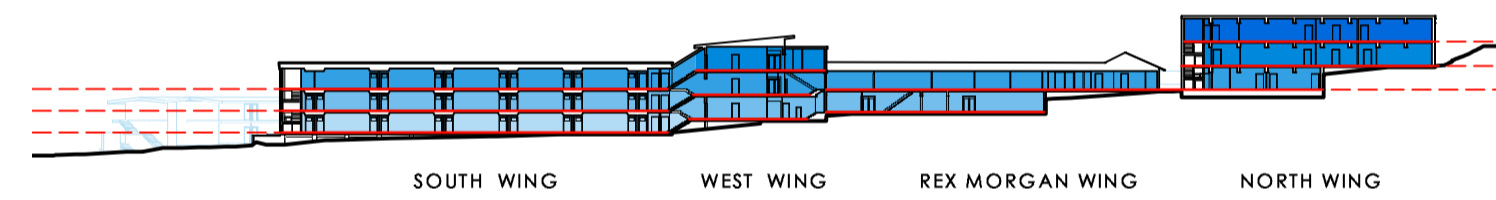
REFER TO TRAFFIC ENGINEER FOR DETAILED TRAFFIC PROPOSAL AND STUDY



VIEW TO GREEN CAMPUS

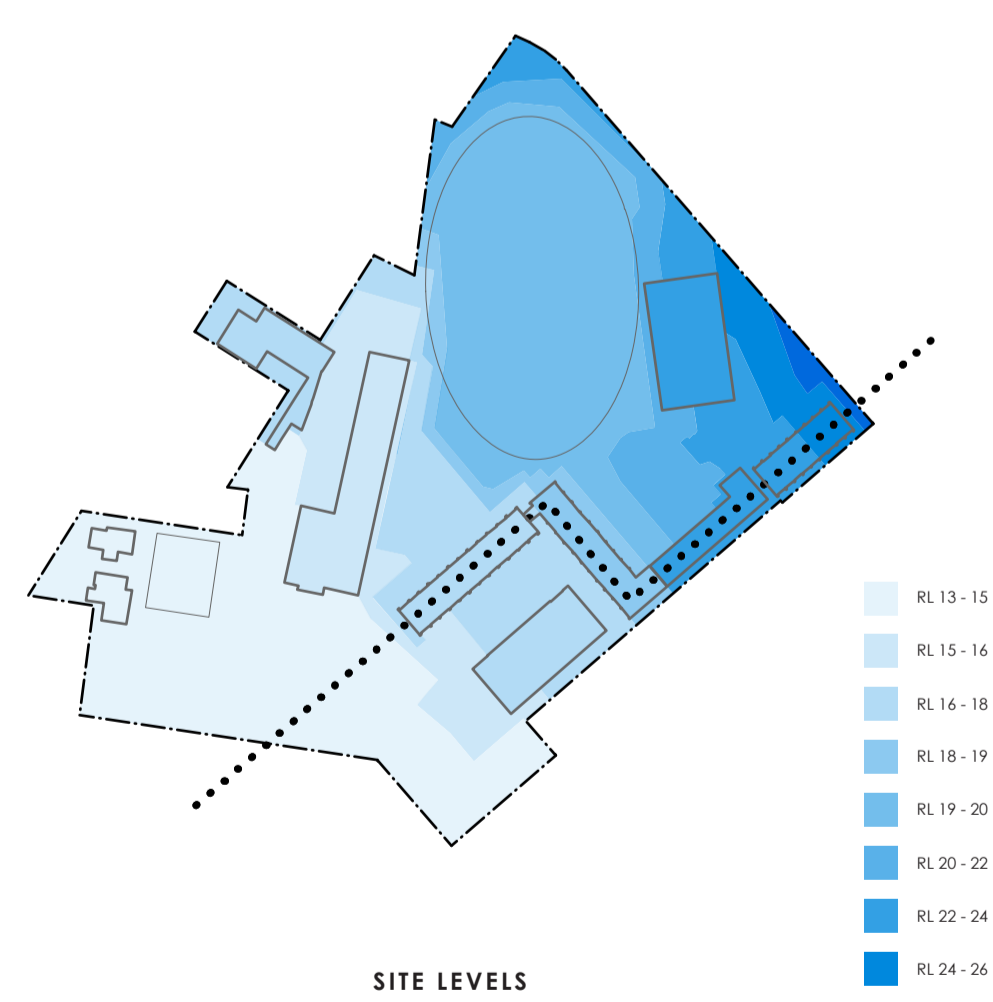
The masterplan strengthens connection to the oval – the school's prized green space. The central spine opens views to the oval, its mature tree edging, and the green plateau beyond, from the primary campus entrance on South Creek Road.

The masterplan also opens views from the Junior and Senior school fingers to the Main Hall on the edge of the oval, establishing a positive connection to this, the most substantial old building on the site. The Main Hall can be opened more to the heart of the school and made to feel more welcoming.



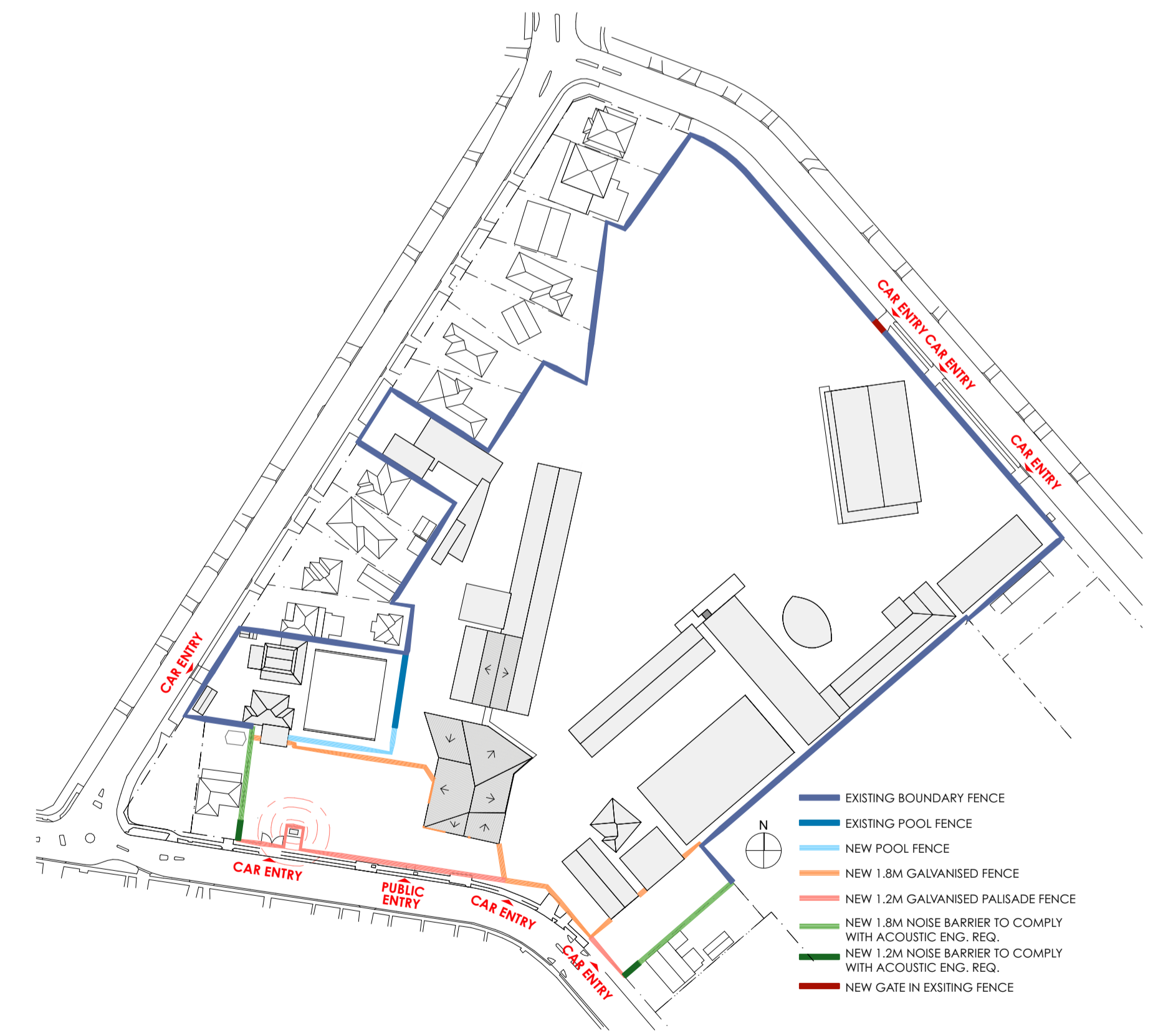
SUNNY SPACES

The masterplan recognises the value of north-facing sunny spaces – drawing people to them in winter and readily shaded through passive design in summer. Sydney's temperate climate is well-suited to all weather learning. Strategically placed all-weather spaces for large groups have potential for multiple and frequent use.



SITE LEVELS

The site falls almost 1.6m from Westmoreland Avenue to South Creek Road. The difficulty of slope is compounded by significant differences in building floor levels, presenting challenges in connecting buildings and establishing universal access across the campus. The masterplan finds opportunities for cross-campus pedestrian movement along contour lines, and strategic locations for stairs and lifts.



11 FENCE DIAGRAM
1:1500

REFER TO LANDSCAPE ARCHITECT FOR FENCING DETAIL: REFER TO ACOUSTIC ENGINEER FOR ACOUSTIC FENCING REQUIREMENTS

LEGEND	
AD	ALUMINIUM DOOR
AW	ALUMINIUM WINDOW
BG	ROCK GUTTER
BR	BRICK
BSL	STEEL BALUSTRADE
BW	BLOCKWORK
EXFL	EXISTING FLOORING
CONC	CONCRETE
CPT	CARPET
CT	CERAMIC TILE
DN	DOWNSPIPE
EXT	EXISTING FLOORING
FGA	FIBRE CEMENT FLOORING
FG	FIXED GLASS
FR	FRODOOR
FW	FLOOR WASTE
FBG	GLAZED FACE BRICK
FGS	GLAZED FACE BRICK SCREEN
JG	JOINERY UNIT
LD-1	EXTERNAL LOUVRES - RETRACTABLE
LD-2	EXTERNAL LOUVRES - FIXED, HORIZONTAL
ENT	ENTRY MAT
MC	METAL CLADDING
MR	METAL ROOFING
PM	PERFORATED METAL
RF	RUBBER FLOORING
RWO	RAINWATER OUTLET
SC	STEEL COLUMN
SL	SUNLIGHT
TD	TIMBER DOOR JOINERY
TW	TIMBER WINDOW JOINERY

LEGEND	
(Grey box)	EXISTING ELEMENTS TO BE RETAINED
(Red dashed line)	EXISTING ELEMENTS TO BE DEMOLISHED

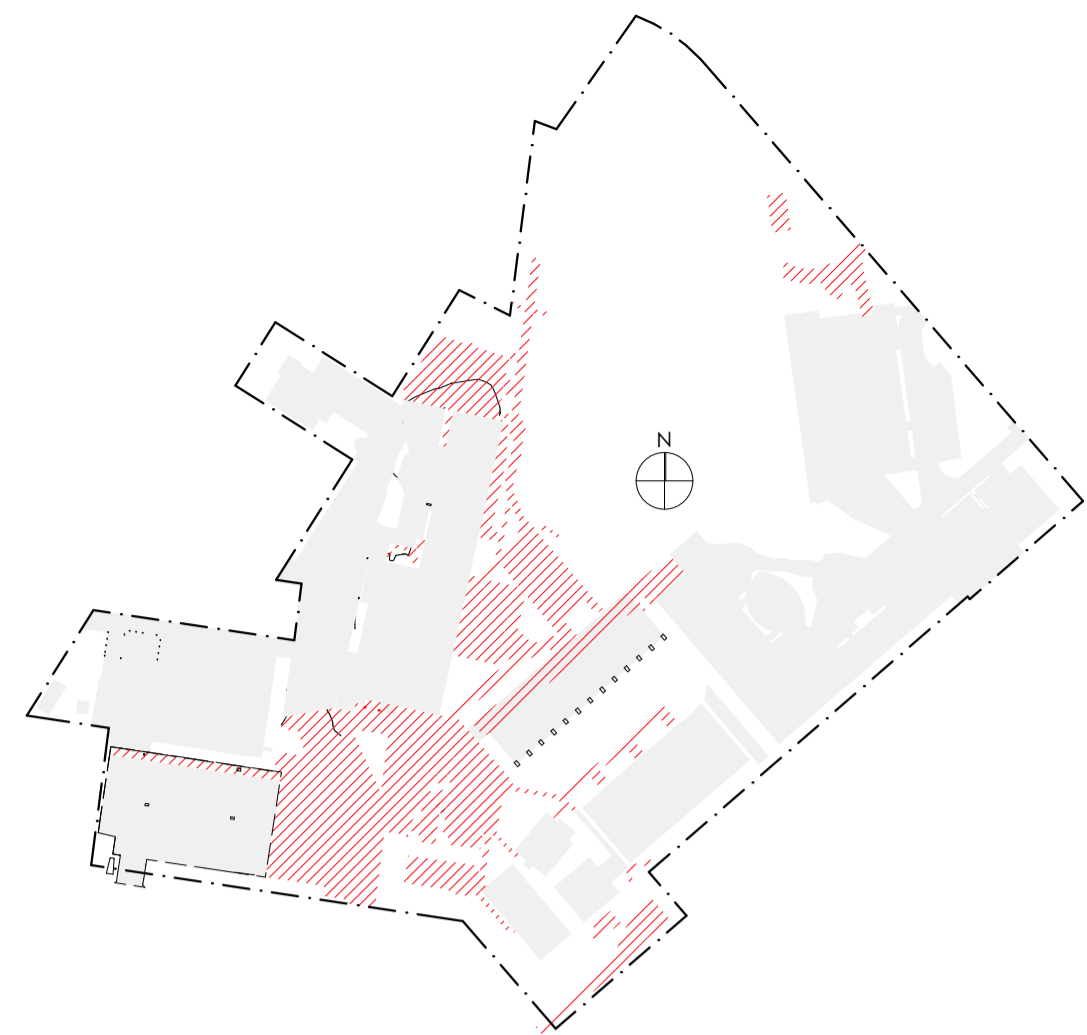
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NO	REV	TITLE	PHASE	SCALE	DATE
DA 02	01	SITE ANALYSIS	DA	1:1, 1:1500 @A1	5/2/20

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IMPERVIOUS AREA STUDY



2 Impervious Surfaces - Demo
1:2000



3 Impervious Surfaces - Proposed
1:2000

Impervious Surfaces - Existing		Impervious Surfaces - Demo		Impervious Surfaces - New	
Element ID	Area	Element ID	Area	Element ID	Area
BITUMEN	1,205.19	BITUMEN	177.25	BITUMEN	102.94
BITUMEN	1,992.79	CONCRETE	5.97	BITUMEN	263.41
CONCRETE	10.64	CONCRETE	14.21	BITUMEN	332.93
CONCRETE	33.16	CONCRETE	19.34	CONCRETE	6.03
CONCRETE	50.34	CONCRETE	29.98	CONCRETE	18.11
CONCRETE	82.02	CONCRETE	50.27	CONCRETE	19.42
CONCRETE	714.63	CONCRETE	134.24	CONCRETE	29.48
CONCRETE	1,076.54	CONCRETE	189.98	CONCRETE	94.18
CONCRETE	1,262.79	CONCRETE	365.57	CONCRETE	106.34
CONCRETE	1,277.65	CONCRETE	414.41	CONCRETE	205.63
CONCRETE	2,010.54	CONCRETE	698.30	CONCRETE	241.52
CONCRETE - BLDG	146.49	CONCRETE	714.63	CONCRETE	330.57
CONCRETE - BLDG	149.46	CONCRETE	1,019.57	CONCRETE	662.51
CONCRETE - BLDG	163.63	CONCRETE	1,019.57	CONCRETE	1,024.27
CONCRETE - BLDG	180.65	CONCRETE	2,010.54	CONCRETE - BLDG	760.54
CONCRETE - BLDG	240.79	CONCRETE	2,010.54	PERBLECRETE	536.58
CONCRETE - BLDG	511.03	CONCRETE - BLDG	163.22	PERBLECRETE	730.74
CONCRETE - BLDG	674.39	CONCRETE - BLDG	187.00	SYNTHETIC SURFACE	404.72
CONCRETE - BLDG	817.30	CONCRETE - BLDG	190.62		
CONCRETE - BLDG	818.40		9,415.21 m²		5,869.92 m²
CONCRETE - BLDG	1,068.76				
CONCRETE - BLDG	1,598.29				
CONCRETE - BLDG	1,992.79				
	18,098.27 m²				

CONCLUSION
ABOVE FINDING IS THAT THE PROPOSAL INCLUDES LESS IMPERVIOUS SURFACES THAN EXISTING, ALLOWING FOR GREATER RAINFALL ABSORPTION ON-SITE.

existing
18,096.83 m²

proposed
14,553.19 m² (less 3,543.64 m²)

LEGEND			
AD	ALUMINIUM DOOR	FBG	GLAZED FACE BRICK
AW	ALUMINIUM WINDOW	FGS	GLAZED FACE BRICK SCREEN
BG	ROCK GUTTER	JG	JOINERY UNIT
BA	BRICK	LD-1	EXTERNAL LOUVRES - RETRACTABLE
BS	STEEL BALUSTRADE	LD-2	EXTERNAL LOUVRES - FIXED, HORIZONTAL
BW	BLOCKWORK	MA	METAL CLADDING
BL	EXISTING FLOORING	MC	METAL CLADDING
CONC	CONCRETE	MR	METAL ROOFING
CPT	CARPET	PM	PERFORATED METAL
CT	CERAMIC TILE	RF	RUBBER FLOORING
DN	DOWNPIPE	RMO	RAINWATER OUTLET
EXT	EXISTING	SC	STEEL COLUMN
FG-1	FIBRE CEMENT FLOORING	SK	SATLIGHT
FG	FIXED GLASS	TD	TIMBER DOOR JOINERY
FR	FRISE	TW	TIMBER WINDOW JOINERY
FW	FLOOR WASTE		

LEGEND	
—	EXISTING ELEMENTS TO BE RETAINED
- - -	EXISTING ELEMENTS TO BE DEMOLISHED

VISUAL IMPACT ON WIDER CONTEXT



1 ROOF MATERIALITY SURVEY
1:1000

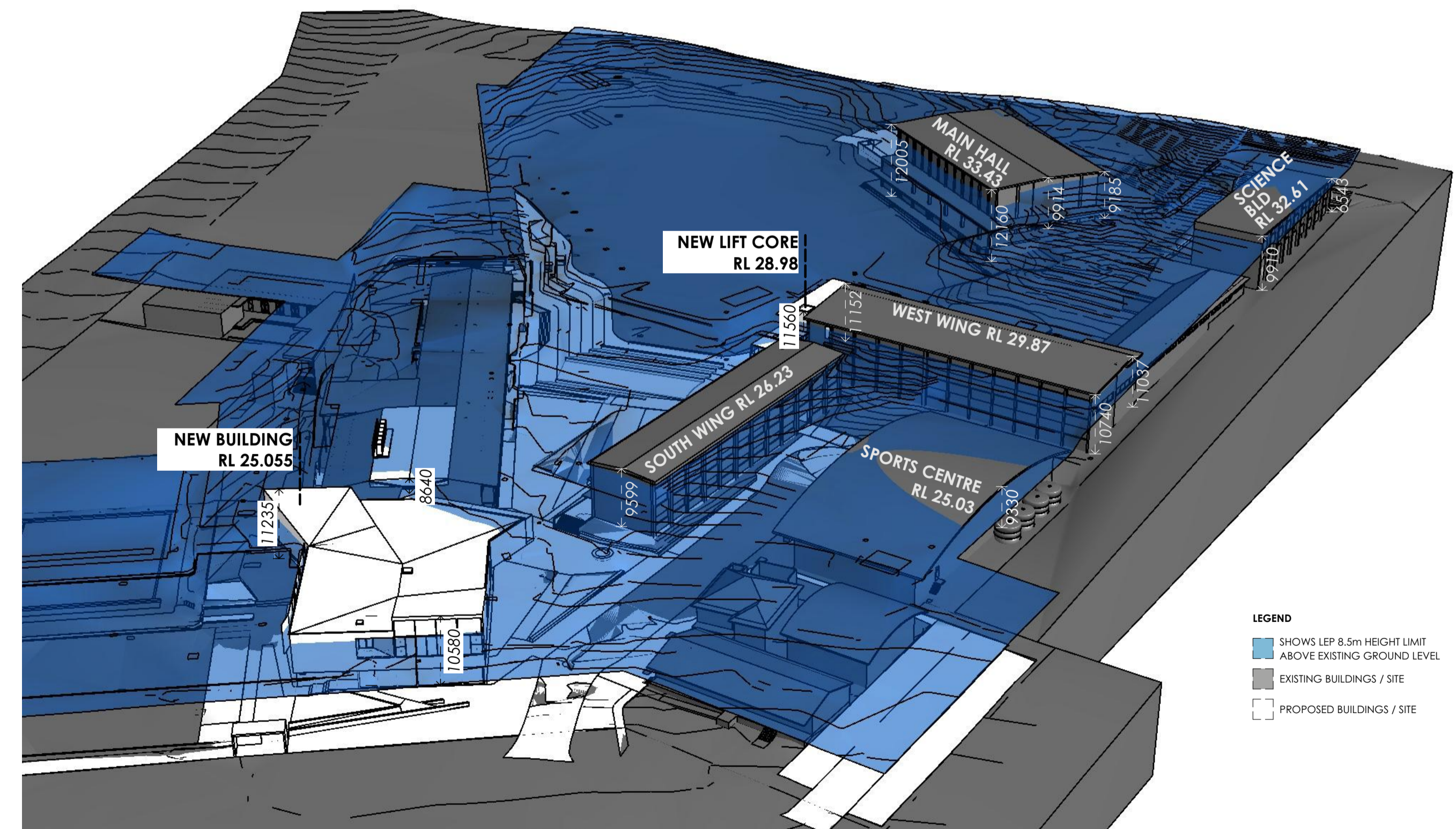
DIAGRAM ABOVE INDICATES THE EXISTING ROOF FORMS WHICH ARE WHITE / ZINCALUME WITHIN THE IMMEDIATE CONTEXT DEMONSTRATING THE PRECEDENT FOR THE ANTI-HEAT-ABSORBING ROOF MATERIALITY

60 INDICATES STREET NUMBERS, REFER TO IMAGES TO THE RIGHT FOR VIEWS TOWARDS NEW BUILDINGS FROM APPROXIMATE TOP HABITABLE STOREY OF EACH DWELLING



3D VIEWS FROM APPROXIMATE EYE LEVEL FROM TOP FLOOR OF EACH DWELLING

HEIGHT ABOVE EXISTING GROUND



4 8.5m HEIGHT PLANE AXONOMETRIC DIAGRAM
1:200

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L1 9 ROSLYN ST POTTS POINT 2011 T: 8203 1870
NOMINATED ARCHITECT: RACHEL NEESON No. 6692

NO	REV	TITLE	PHASE	SCALE	DATE
DA 03	01	SITE ANALYSIS	DA	1:1000, 1:2000, 1:200 @A1	5/2/20

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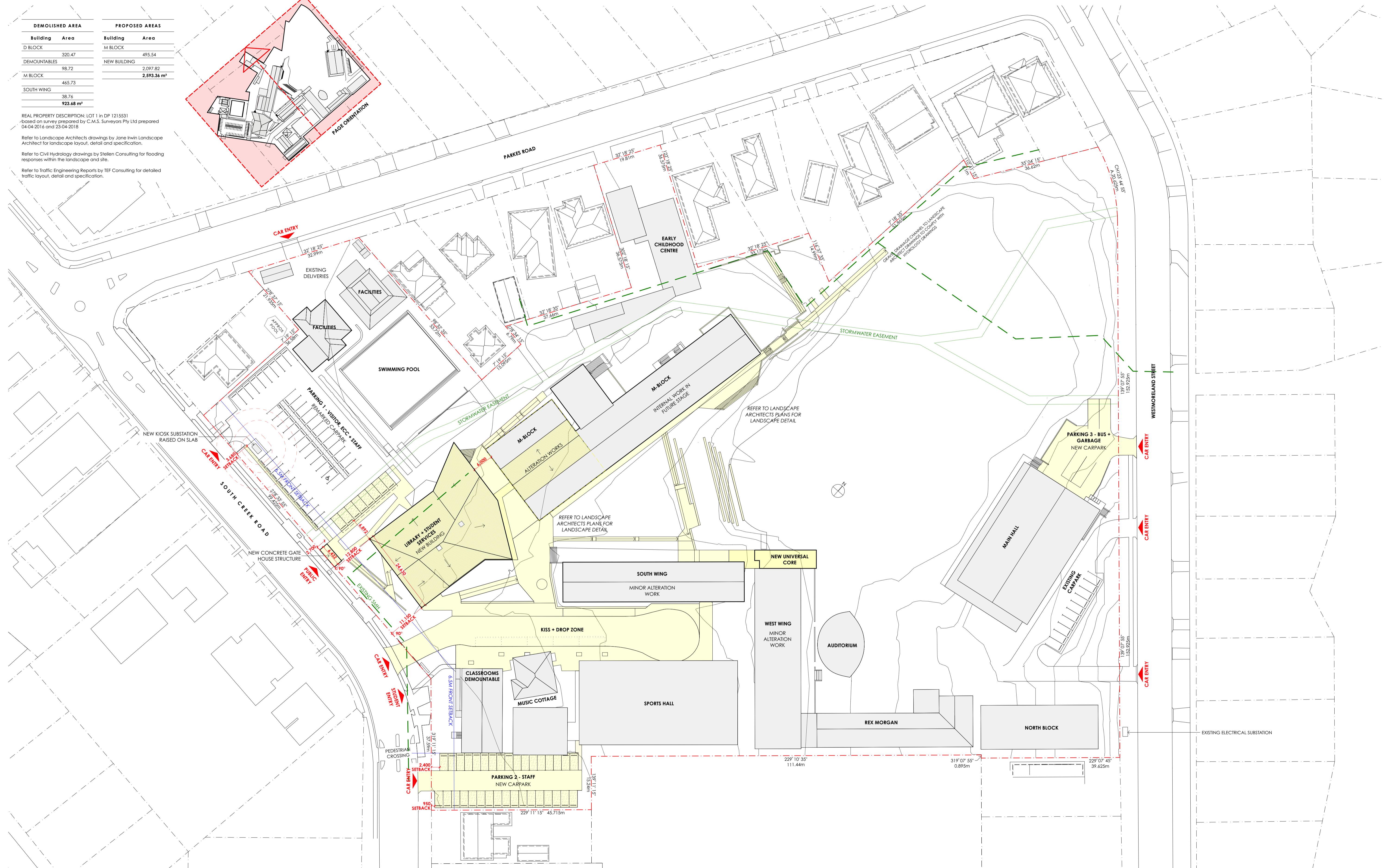
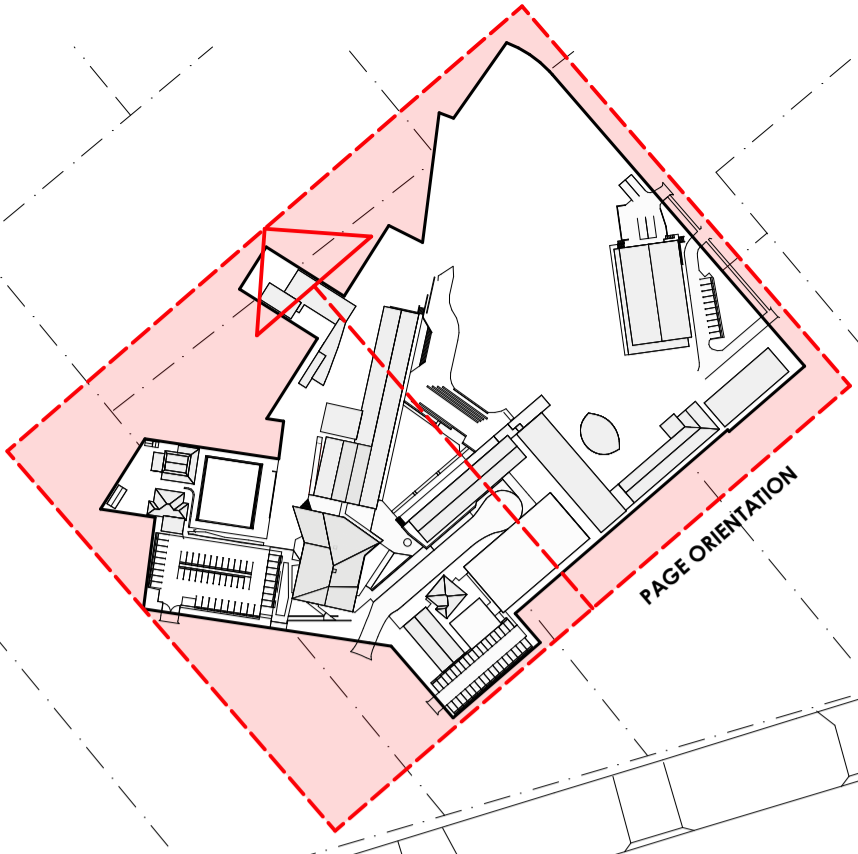
DEMOLISHED AREA		PROPOSED AREAS	
Building	Area	Building	Area
D BLOCK	320.47	M BLOCK	495.54
DEMOUNTABLES	98.72	NEW BUILDING	2,097.82
M BLOCK	465.73		2,593.36 m²
SOUTH WING	38.76		
	923.68 m²		

REAL PROPERTY DESCRIPTION: LOT 1 in DP 1215531
 Based on a survey prepared by C.M.S. Surveyors Pty Ltd prepared
 04-04-2016 and 23-04-2018

Refer to Landscape Architects drawings by Jane Irwin Landscape
 Architect for landscape layout, detail and specification.

Refer to Civil Hydrology drawings by Stelen Consulting for flooding
 responses within the landscape and site.

Refer to Traffic Engineering Reports by TEF Consulting for detailed
 traffic layout, detail and specification.



1 Site Plan (Roof)
 1:500

LEGEND	
AD	ALUMINUM DOOR
AW	ALUMINUM WINDOW
BG	BRICK GUTTER
BR	BRICK
BS	STEEL BALUSTRADE
BL	BLOCKWORK
EX	EXISTING FLOORING
CONC	CONCRETE
CT	CARPET
CT	CERAMIC TILE
DN	DOWNPIPE
EXT	EXISTING
FG-1	FIBRE CEMENT FLOORING
FG	FIXED GLASS
FR	FLOOR
FW	FLOOR WASTE
FBG	GLAZED FACE BRICK
HS	JOINTLY FINISH
LD-1	EXTERNAL LOUVRES - RETRACTABLE
LD-2	EXTERNAL LOUVRES - FIXED, HORIZONTAL
ENT	ENTRY MAT
MC	METAL CLADDING
MR	METAL ROOFING
PM	PERFORATED METAL
RF	RUBBER FLOORING
RWO	RAINWATER OUTLET
SC	STEEL COLUMN
SK	SKYLIGHT
TD	TIMBER DOOR JOINERY
TW	TIMBER WINDOW JOINERY

LEGEND	
—	EXISTING ELEMENTS TO BE RETAINED
- - -	EXISTING ELEMENTS TO BE DEMOLISHED
■	PROPOSED NEW WORKS

ISSUE	DATE	REVISION
01	31/10/19	DA Issue

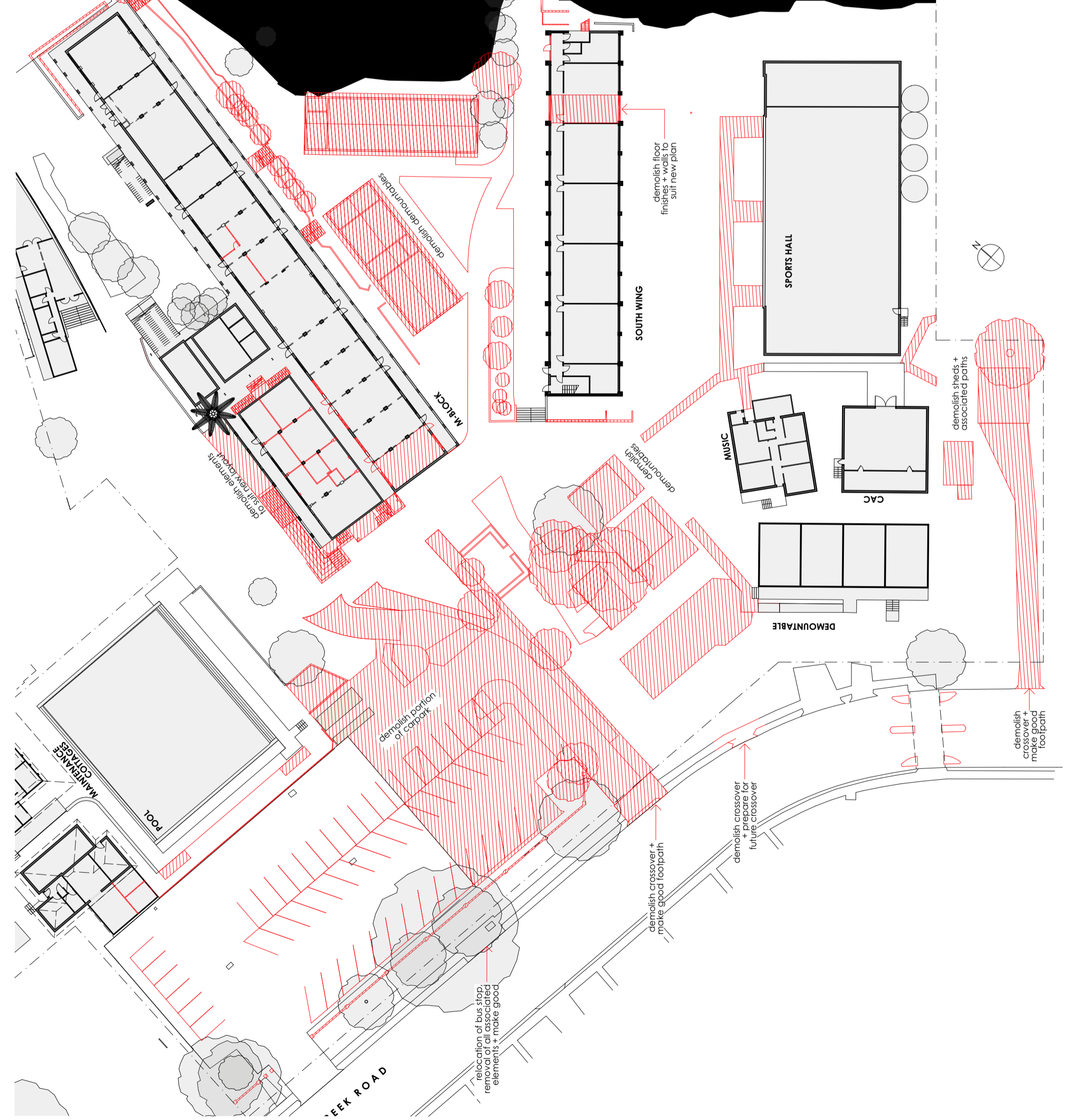
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DA 04	01	SITE PLAN	DA	1:500 @A1	5/2/20

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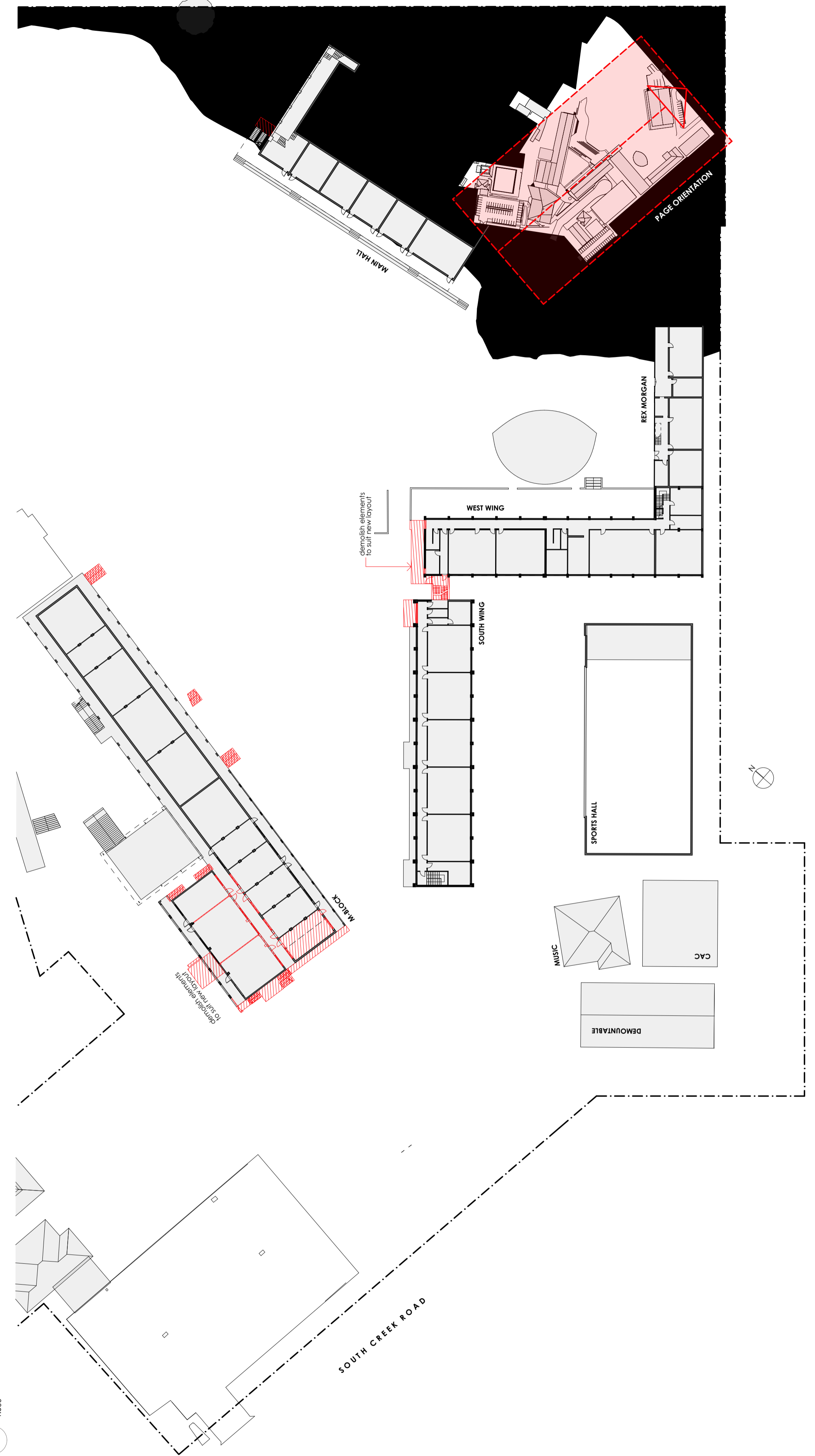
LEGEND

AD	ALUMINIUM DOOR	FBG	GLAZED FACE BRICK
AW	ALUMINIUM WINDOW	FGS	GLAZED FACE BRICK SCREEN
RG	ROCK GUTTER	JG	JOINTERY JOINT
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BL	BLOCKWORK	MA	METAL CLADDING
EXFL	EXISTING FLOORING	EM	ENTRY MAT
CONC	CONCRETE	MC	METAL CLADDING
CT	CERAMIC TILE	MR	METAL ROOFING
DR	DOWNPIPE	MP	METAL PERGOLA
EXT	EXISTING	RF	RUBBER FLOORING
FC-1	FIBRE CEMENT FLOORING	RO	RAINWATER OUTLET
FG	FIXED GLASS	SC	STEEL COLUMN
FR	FLOOR	SK	SKYLIGHT
FW	FLOOR WASTE	TD	TIMBER DOOR JOINERY
		TW	TIMBER WINDOW JOINERY

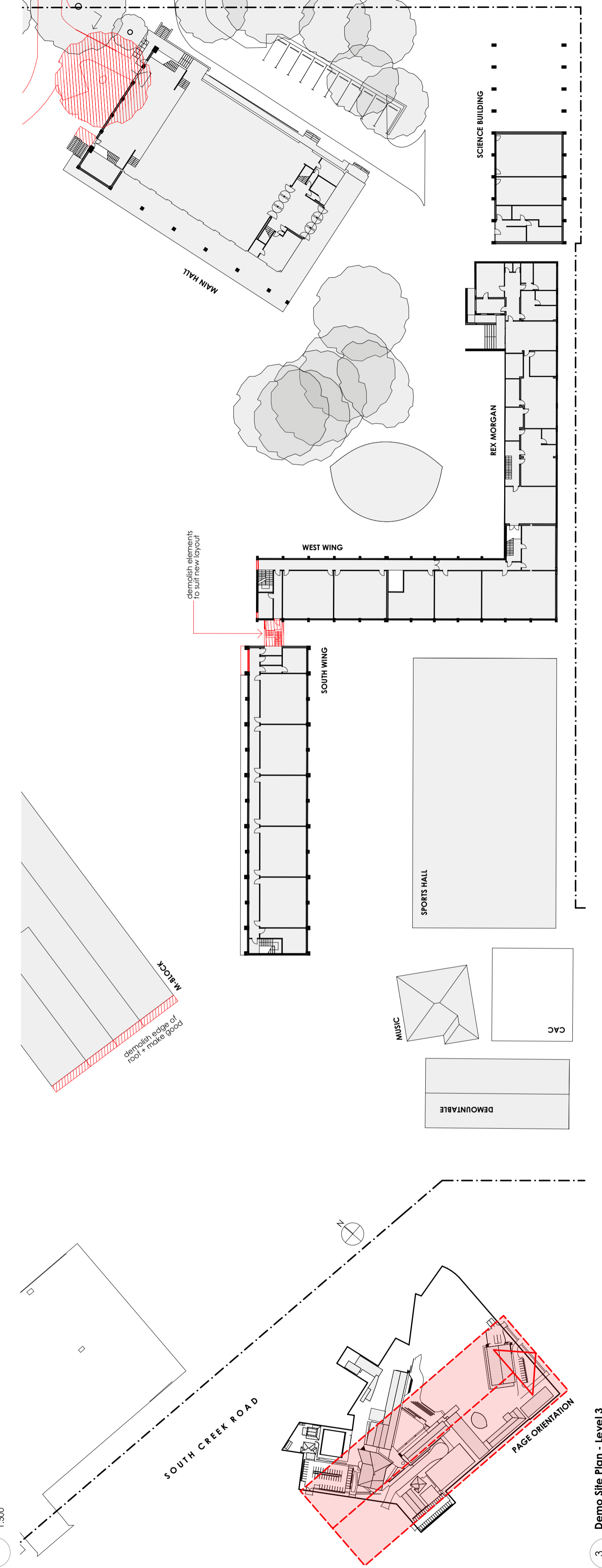
LEGEND

—	EXISTING ELEMENTS TO BE RETAINED
- - -	EXISTING ELEMENTS TO BE DEMOLISHED

1 Demo Site Plan - Level 1
1:500



2 Demo Site Plan - Level 2
1:500



3 Demo Site Plan - Level 3
1:500

ISSUE	DATE	REVISION
01	31/10/19	DA Issue

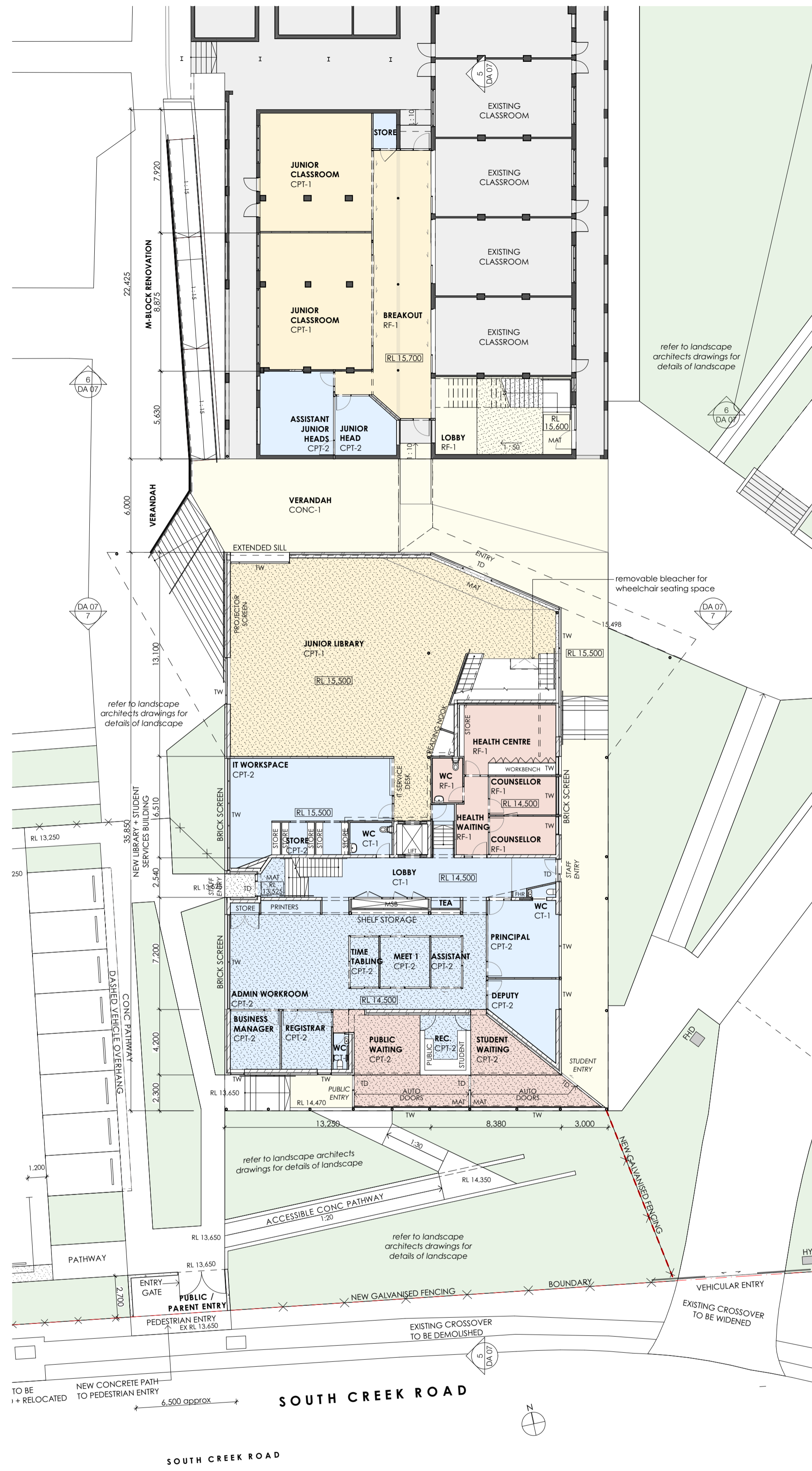
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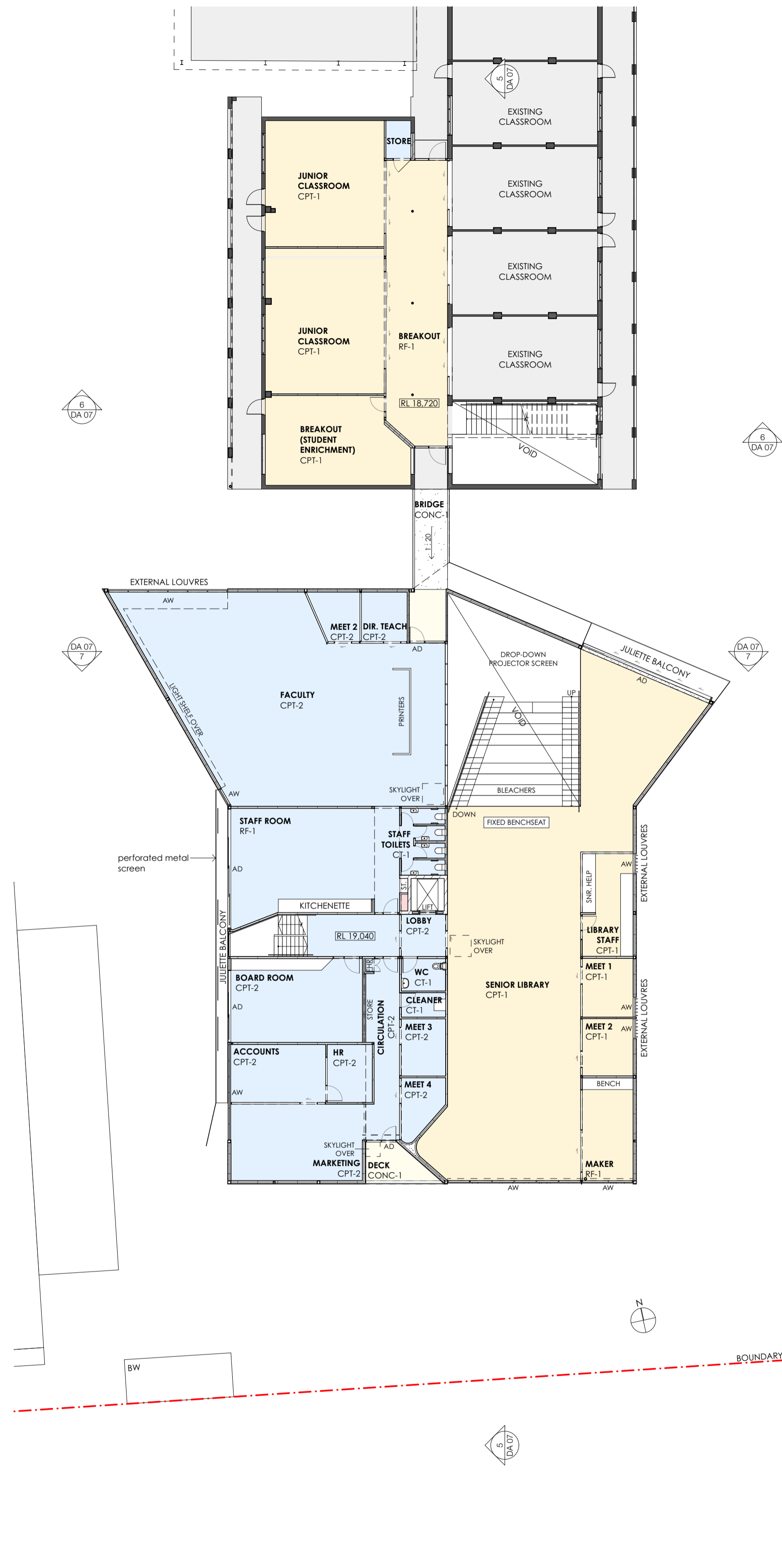
NO	REV	TITLE	PHASE	SCALE	DATE
DA 05	01	DEMOLITION PLANS	DA	1:500, 1:200 @A1	5/2/20

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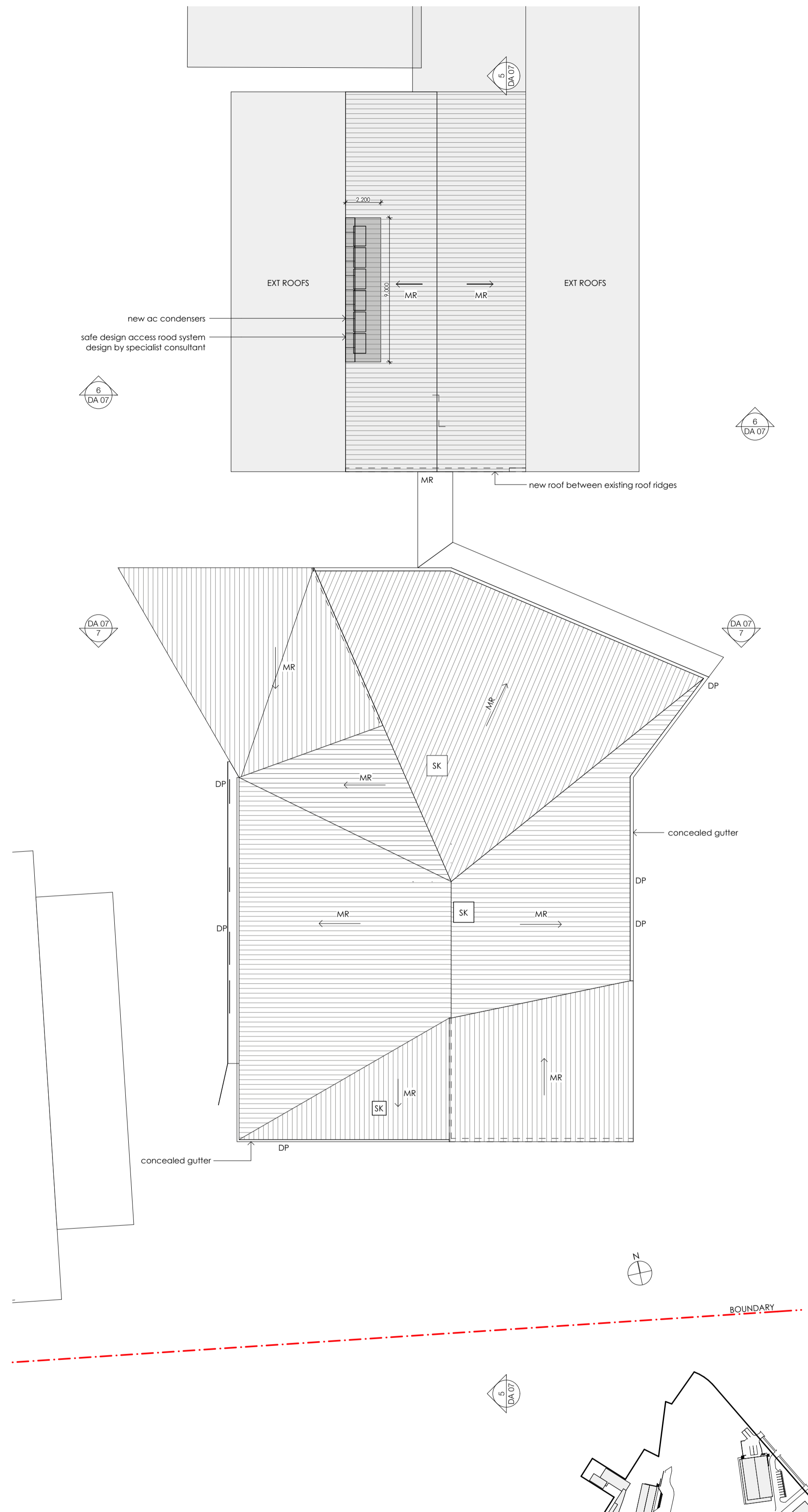
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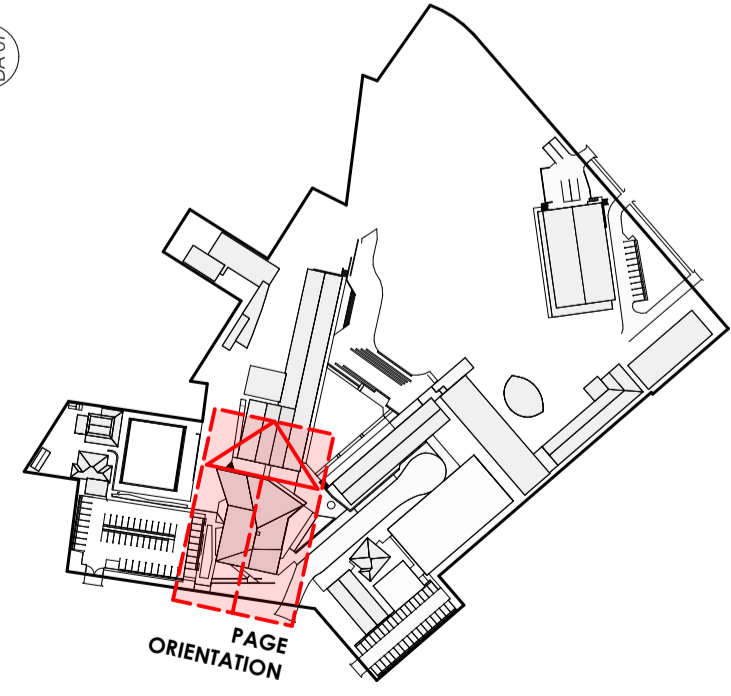
1 GA LEVEL 1
1:200



2 GA LEVEL 2
1:200



3 GA ROOF
1:200



LEGEND

AD	ALUMINIUM DOOR	FBG	GLAZED FACE BRICK
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FG	FIXED GLASS	TD	TIMBER DOOR JOINERY
FR	FRISE	TW	TIMBER WINDOW JOINERY
FW	FLOOR WASTE		

LEGEND

—	EXISTING ELEMENTS TO BE RETAINED
- - -	EXISTING ELEMENTS TO BE DEMOLISHED
—	ADMINISTRATION/STAFF
—	STUDENT LEARNING
—	STUDENT SERVICES
—	EXTERNAL + CIRCULATION

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01	31/10/19	DA Issue

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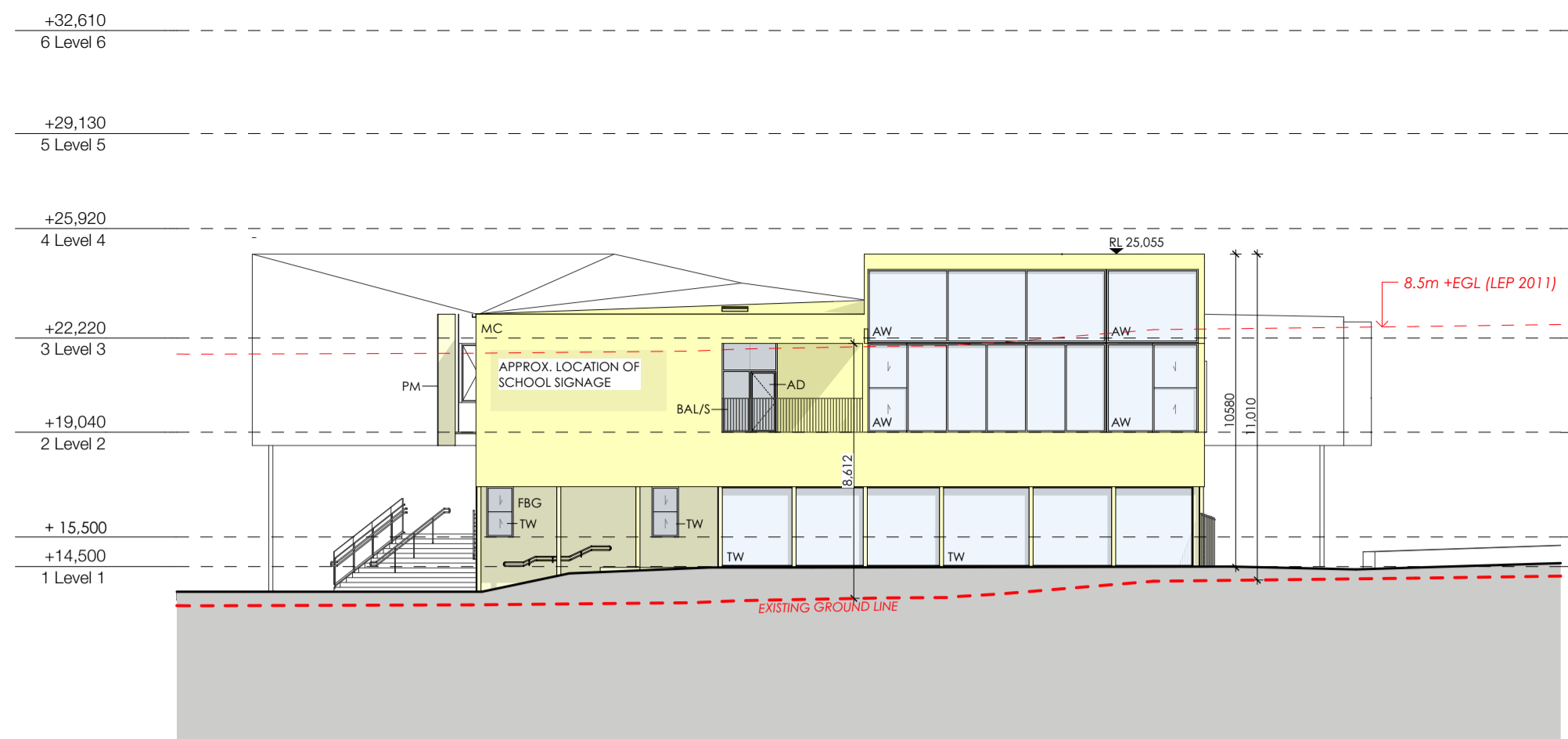
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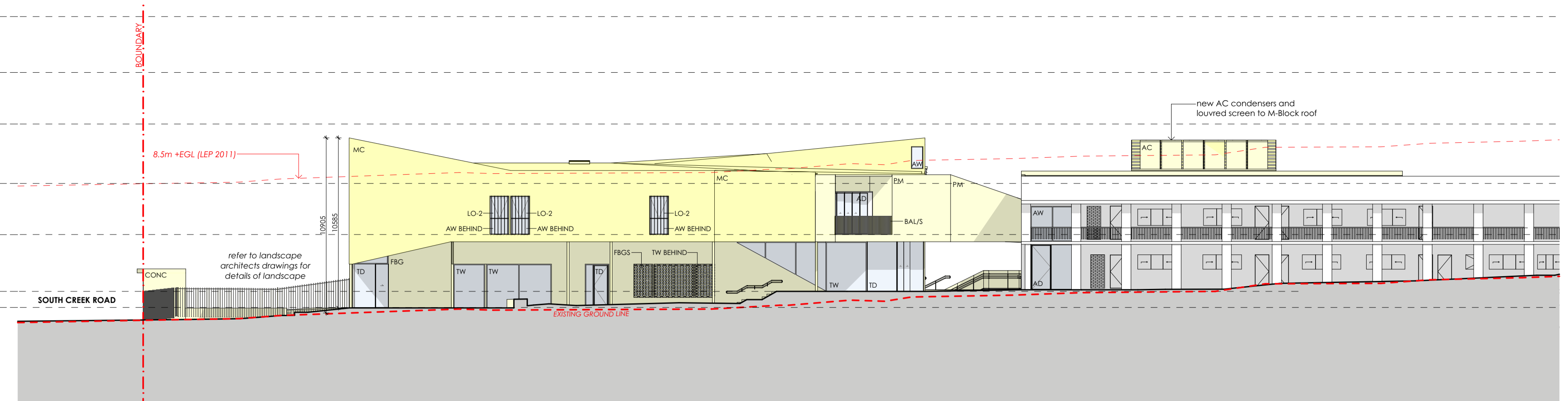
FOR The Pittwater House Schools

NO	REV	TITLE	PHASE	SCALE	DATE
DA 06	01	LIBRARY + STUDENT SERVICES PLANS	DA	1:200 @A1	5/2/20

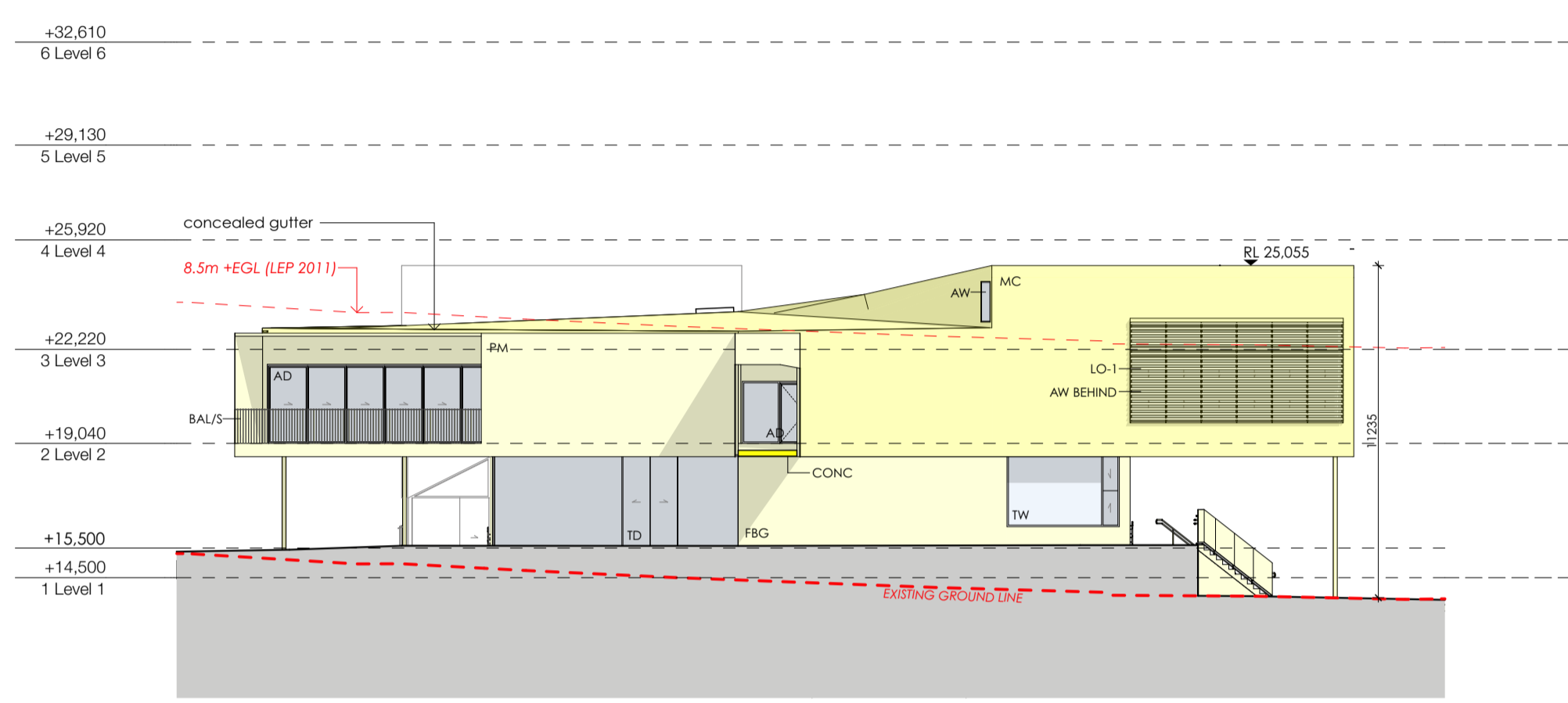
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2 SOUTH ELEVATION
1:200

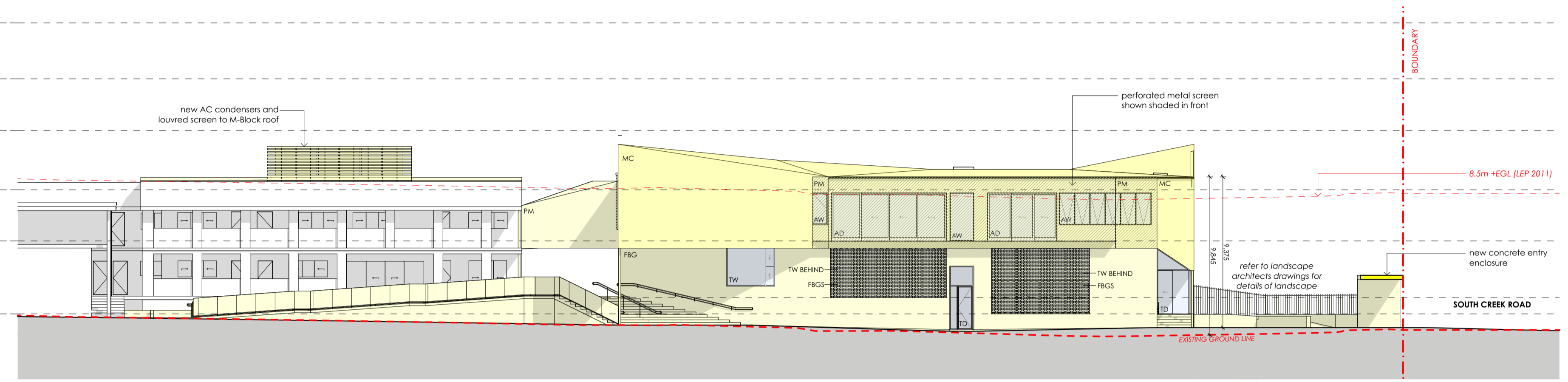


3 EAST ELEVATION
1:200

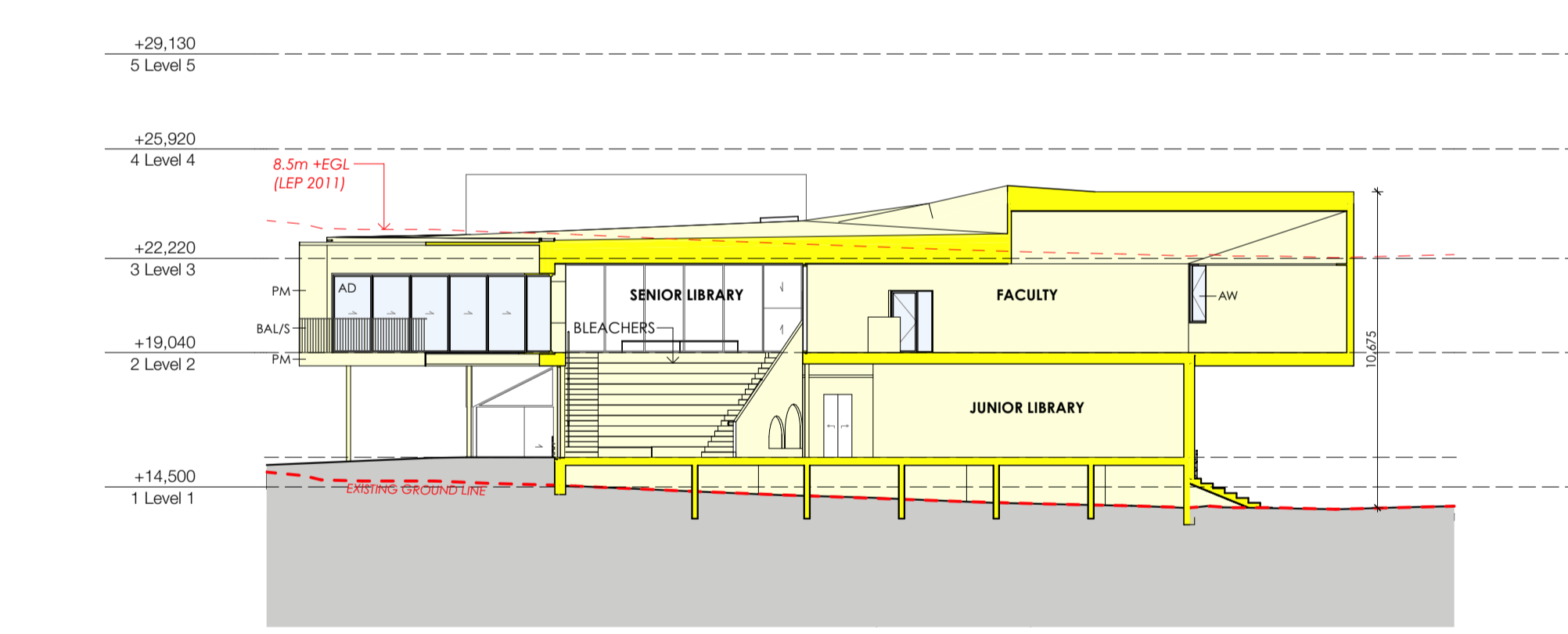


1 NORTH ELEVATION
1:200

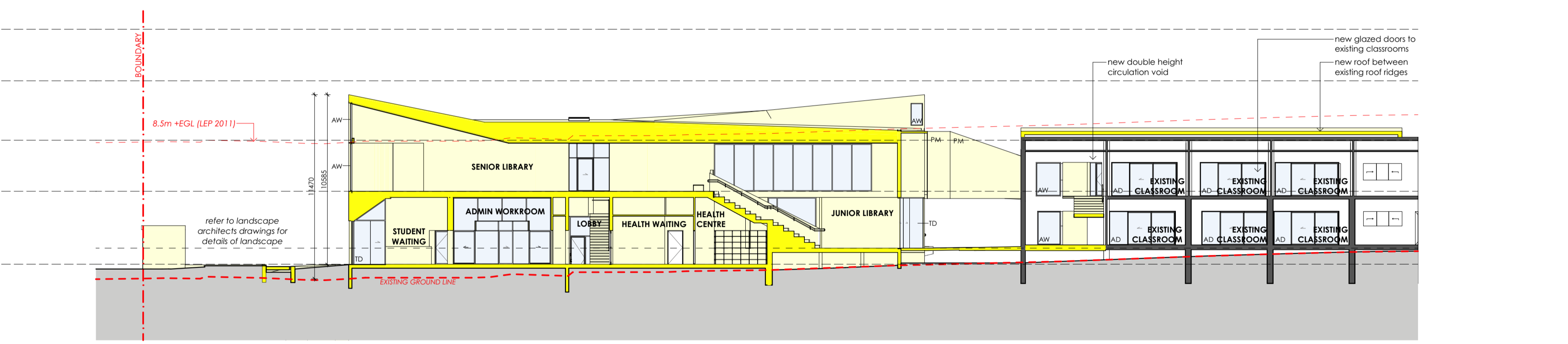
NOTE: VIEW CUTS SECTION THROUGH THE NEW WALKWAY CONNECTION FROM M-BLOCK TO NEW LIBRARY AND STUDENT SERVICES BUILDING



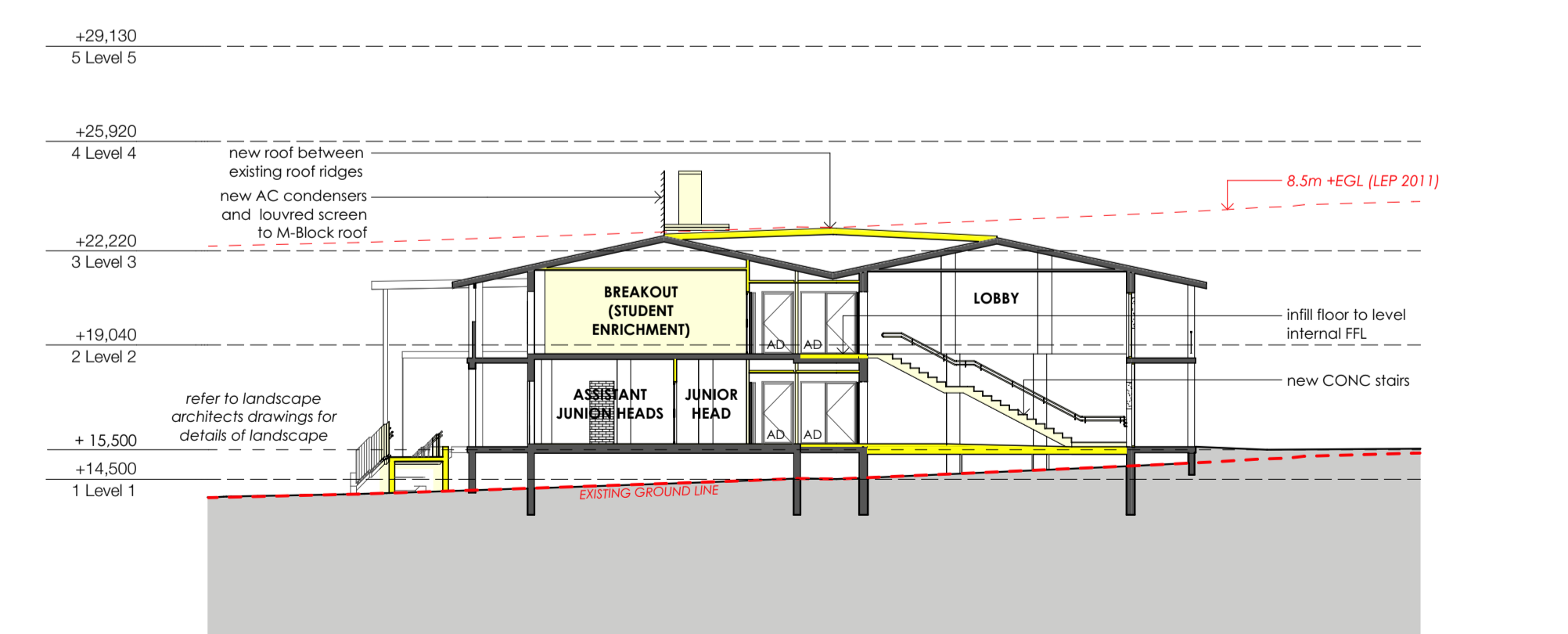
4 WEST ELEVATION
1:200



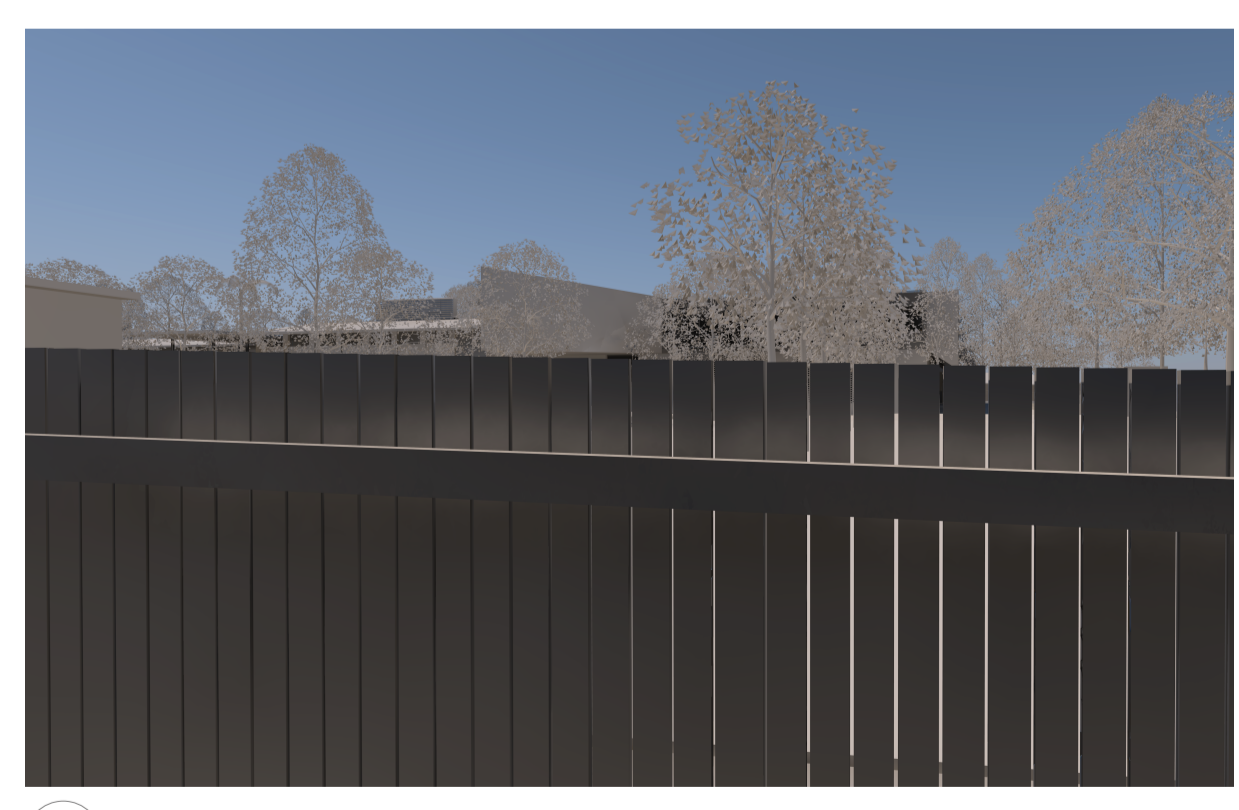
7 SECTION 1
1:200



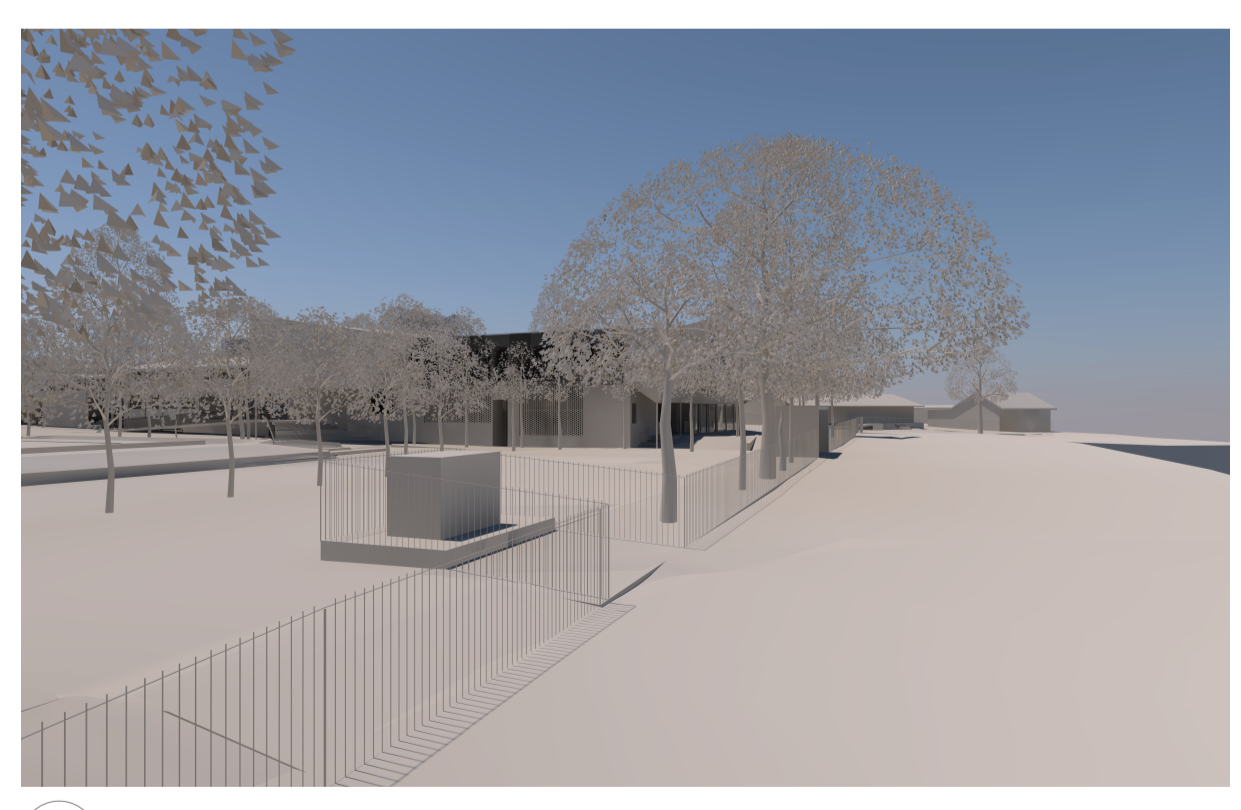
5 SECTION 2
1:200



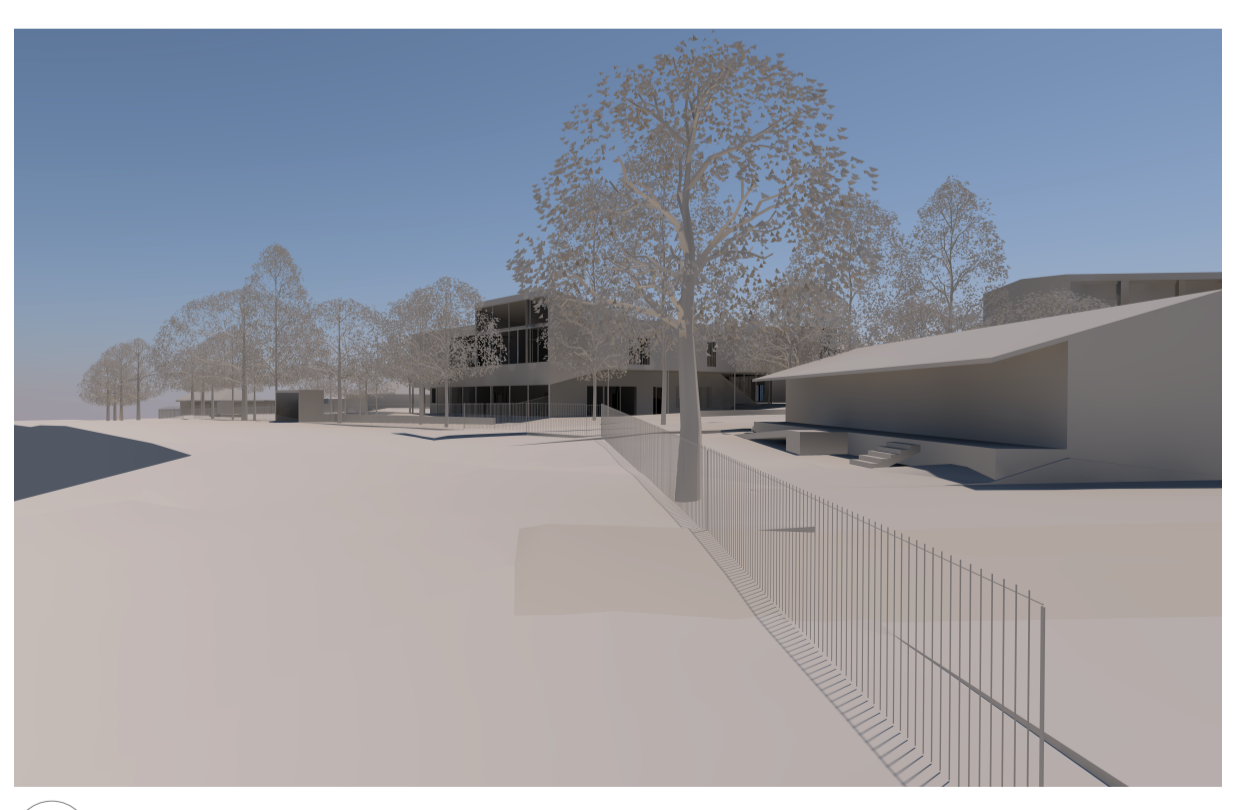
6 SECTION 3
1:200



10 VIEW FROM 74 SOUTH CREEK RD NEIGHBOUR VIEW FROM WINDOW - WEST
NOTE: WINDOW IDENTIFIED THROUGH SURVEY PREPARED BY C.M.S. SURVEYOR. EYE HEIGHT ASSUMED APPROX. 600mm ABOVE WINDOW SILL. REFER ACOUSTIC ENGINEER FOR FENCE SPECIFICATION



8 SOUTH CREEK RD - STREET VIEW - WEST



9 SOUTH CREEK RD - STREET VIEW - EAST

NOTE: TREES REMOVED AND LANDSCAPE SIMPLIFIED FOR CLARITY. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR LAYOUT, SPECIFICATION AND DETAIL

LEGEND

AD	ALUMINIUM DOOR	FBG	GLAZED FACE BRICK
AW	ALUMINIUM WINDOW	FBGS	GLAZED FACE BRICK SCREEN
BG	ROCK GUTTER	JG	JOINERY UNIT
BA	BRICK	LO-1	EXTERNAL LOUVRES - RETRACTABLE
BALUS	STEEL BALUSTRADE	LO-2	EXTERNAL LOUVRES - FIXED, HORIZONTAL
BW	BLOCKWORK	MAT	ENTRY MAT
EXFL	EXISTING FLOORING	MC	METAL CLADDING
CONC	CONCRETE	MR	METAL ROOFING
CPT	CARPET	PM	PERFORATED METAL
CT	CERAMIC TILE	RF	RUBBER FLOORING
DN	DOWNPIPE	RWO	RAINWATER OUTLET
EXT	EXISTING	SC	STEEL COLUMN
FG-1	FIBRE CEMENT FLOORING	SK	SKEWIGHT
FG	FIXED GLASS	TD	TIMBER DOOR JOINERY
FR	FRODOOR	TW	TIMBER WINDOW JOINERY
FW	FLOOR WASTE		

LEGEND

[Grey Box]	EXISTING ELEMENTS TO BE RETAINED
[Red Dashed Line]	EXISTING ELEMENTS TO BE DEMOLISHED
[Yellow Box]	PROPOSED NEW WORKS

ISSUE	DATE	REVISION
01	31/10/19	DA Issue

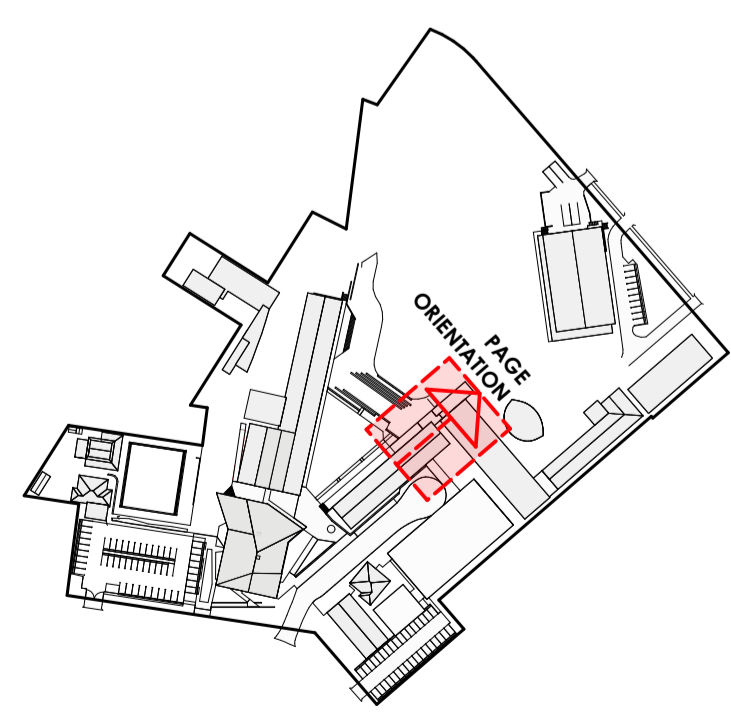
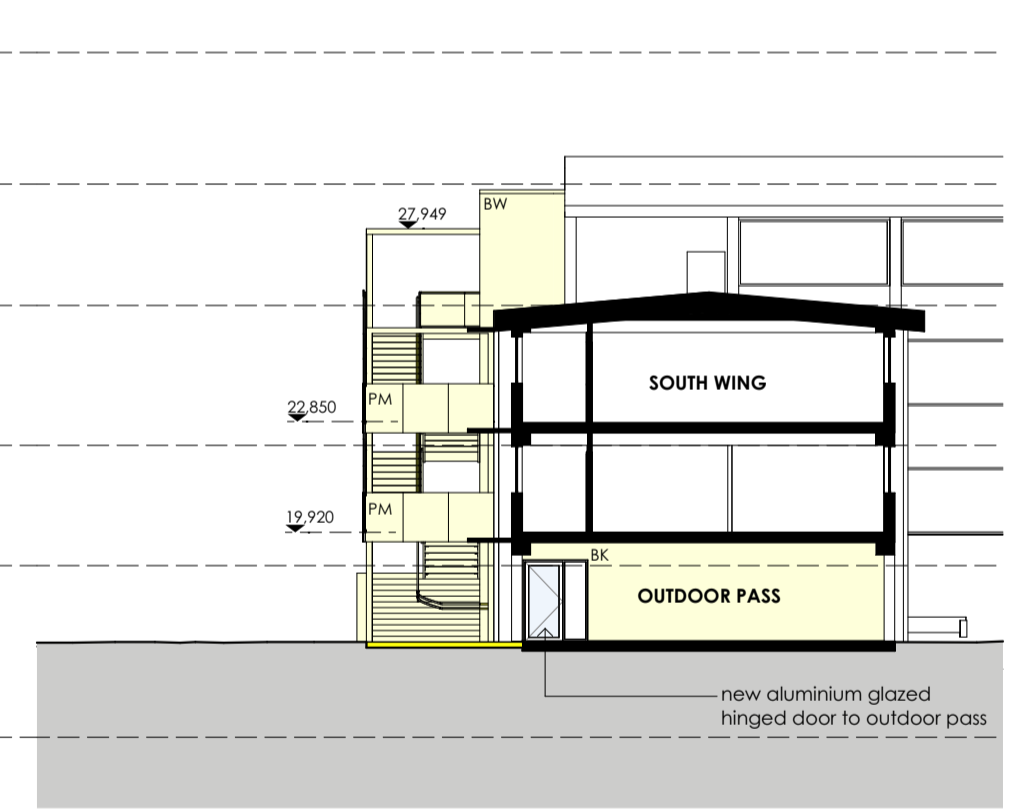
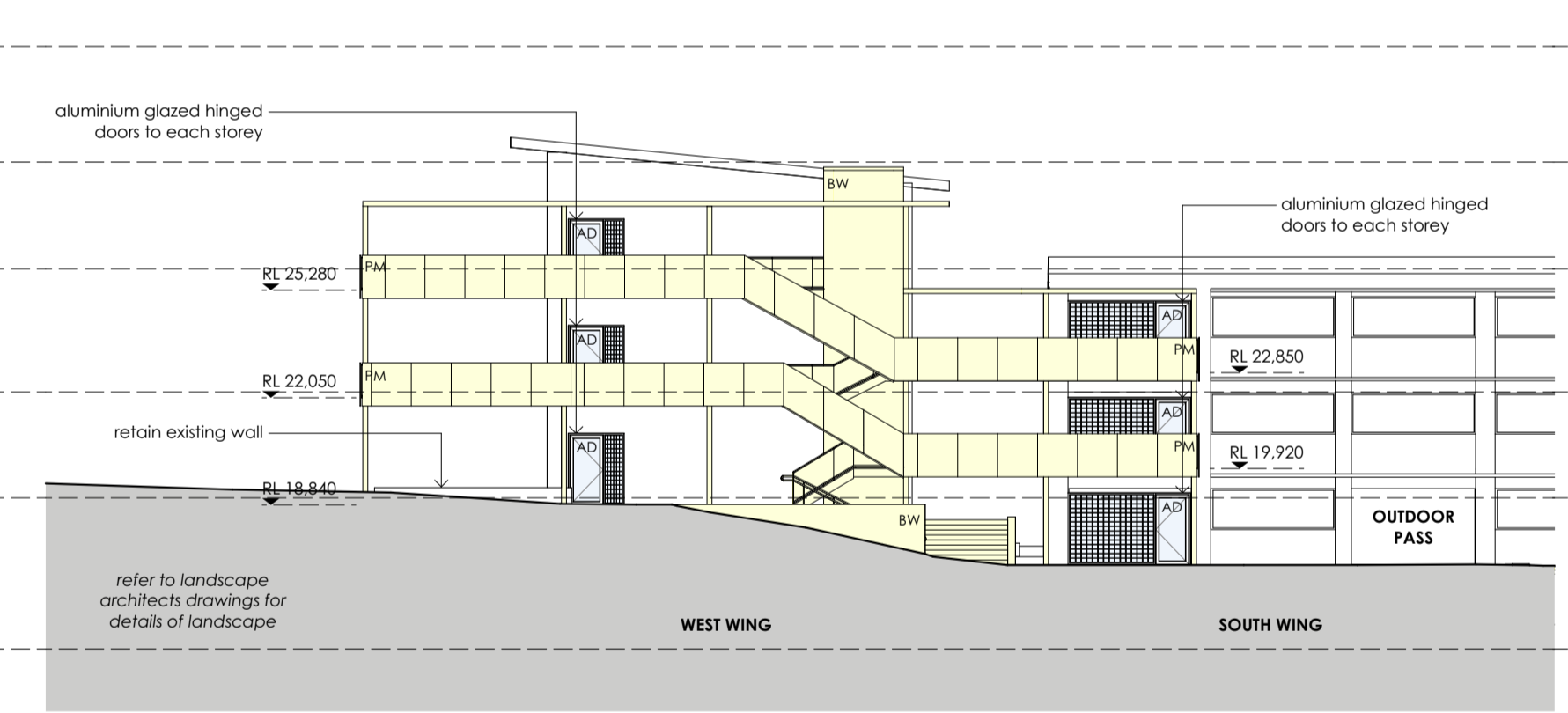
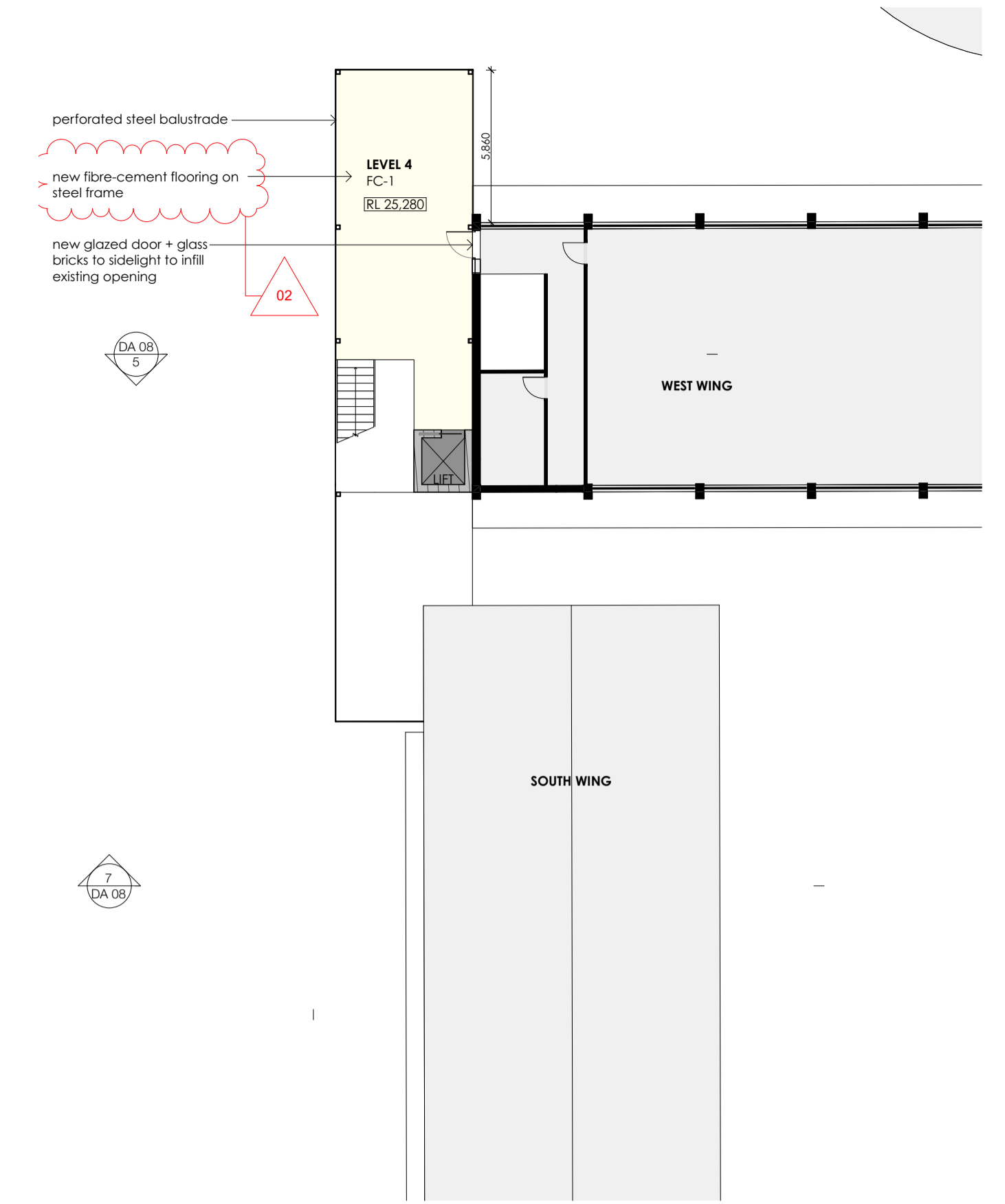
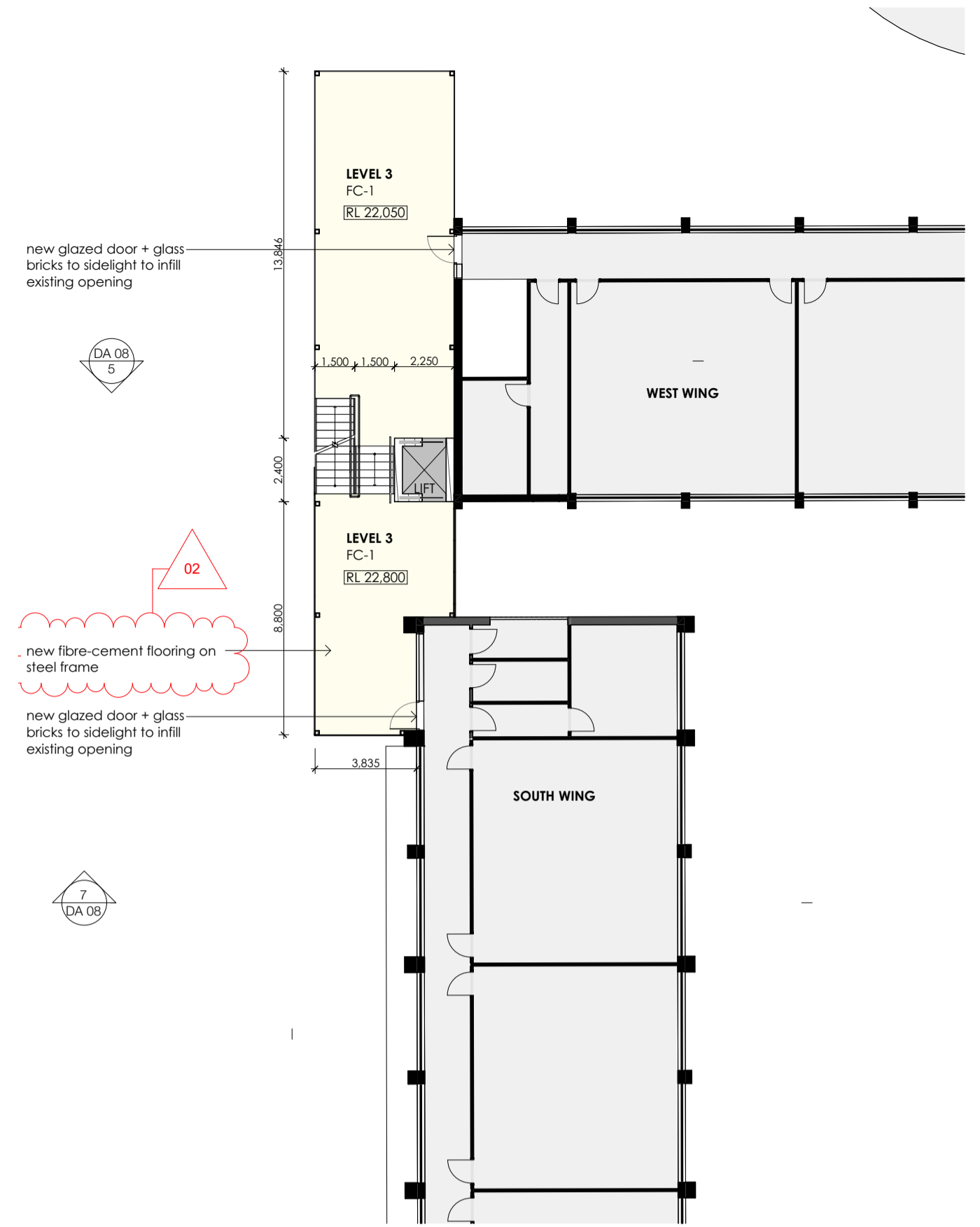
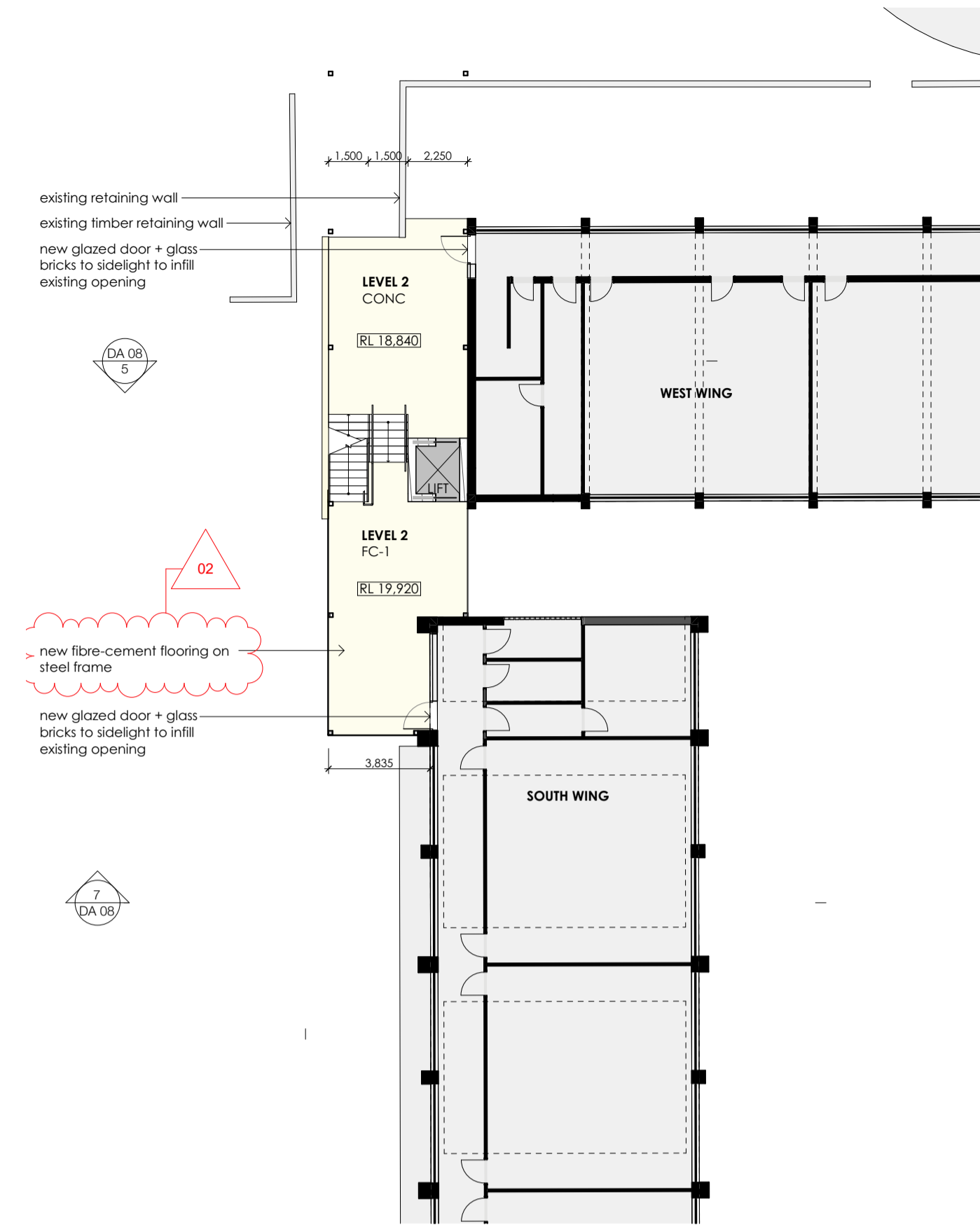
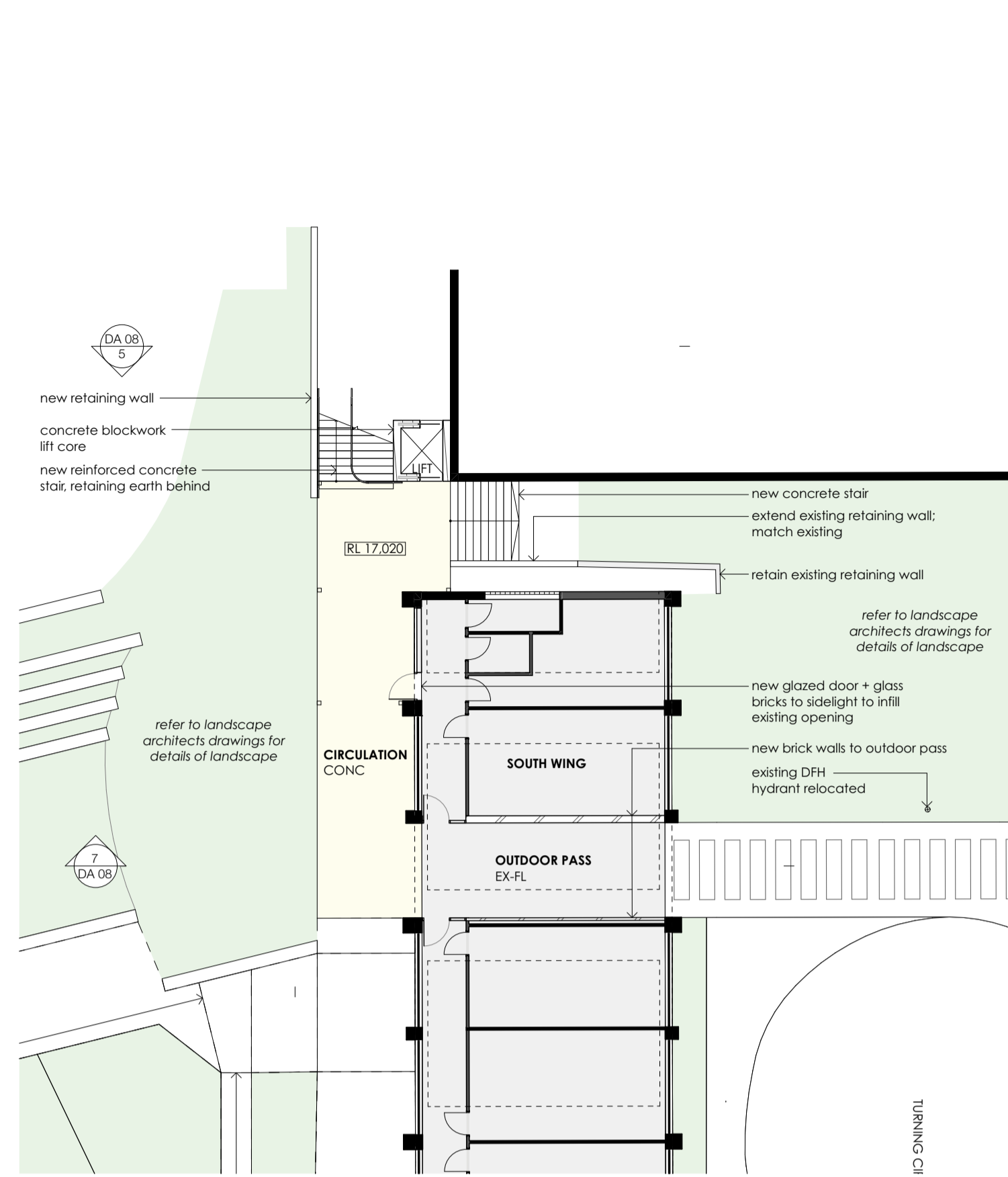
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The Pittwater House Schools
70 South Creek Rd, Collaroy NSW 2097

NEESON MURCUTT + NEILLE
NEESON MURCUTT ARCHITECTS PTY LTD
L1 9 ROSLYN ST POTTS POINT 2011 T: 8203 1870
NOMINATED ARCHITECT: RACHEL NEESON No. 6692

NO	REV	TITLE	PHASE	SCALE	DATE
DA 07	01	LIBRARY + STUDENT SERVICES ELEVATIONS + SECTIONS	DA	1:200 @A1	5/2/20

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LEGEND

AD	ALUMINIUM DOOR	FBG	GLAZED FACE BRICK
AW	ALUMINIUM WINDOW	FGS	GLAZED FACE BRICK SCREEN
BG	ROCK GUTTER	JG	JOINERY UNIT
BAUS	BRICK	LD-1	EXTERNAL LOUVRES - RETRACTABLE
BW	STEEL BALUSTRADE	LD-2	EXTERNAL LOUVRES - FIXED, HORIZONTAL
EX-FL	EXISTING FLOORING	MAT	ENTRY MAT
CONC	CONCRETE	MC	METAL CLADDING
CPT	CARPET	MR	METAL ROOFING
CT	CERAMIC TILE	PM	PERFORATED METAL
DP	DOWNSPIPE	RF	RUBBER FLOORING
EXT	EXISTING	RWD	RAINWATER OUTLET
FC-1	FIBRE CEMENT FLOORING	SC	STEEL COLUMN
FG	FIXED GLASS	SD	SIDELIGHT
FR	FLOOR	TD	TIMBER DOOR JOINERY
FW	FLOOR WASTE	TW	TIMBER WINDOW JOINERY

LEGEND

[Grey Box]	EXISTING ELEMENTS TO BE RETAINED
[Red Box]	EXISTING ELEMENTS TO BE DEMOLISHED
[Yellow Box]	PROPOSED NEW WORKS
[Blue Box]	ADMINISTRATION/STAFF
[Orange Box]	STUDENT LEARNING
[Light Blue Box]	STUDENT SERVICES
[Light Green Box]	EXTERNAL + CIRCULATION

ISSUE DATE REVISION

01	31/10/19	DA Issue
02	5/2/20	DA Revision

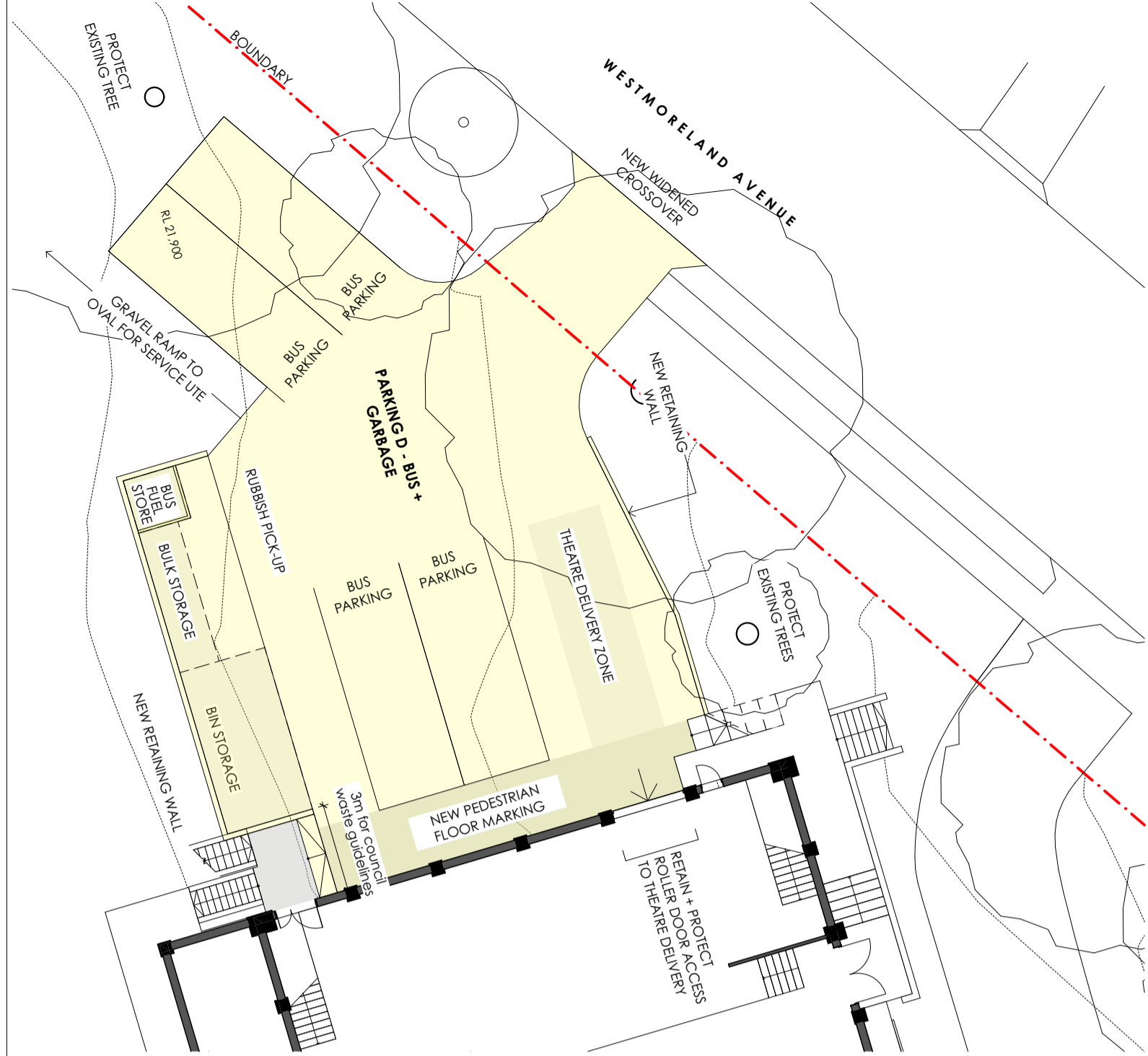
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NOMINATED ARCHITECT - RACHEL NEESON No. 6692

NO	REV	TITLE	PHASE	SCALE	DATE
DA 08	02	SOUTH + WEST WING UNIVERSAL CORE PLANS	DA	1:200 @A1	5/2/20

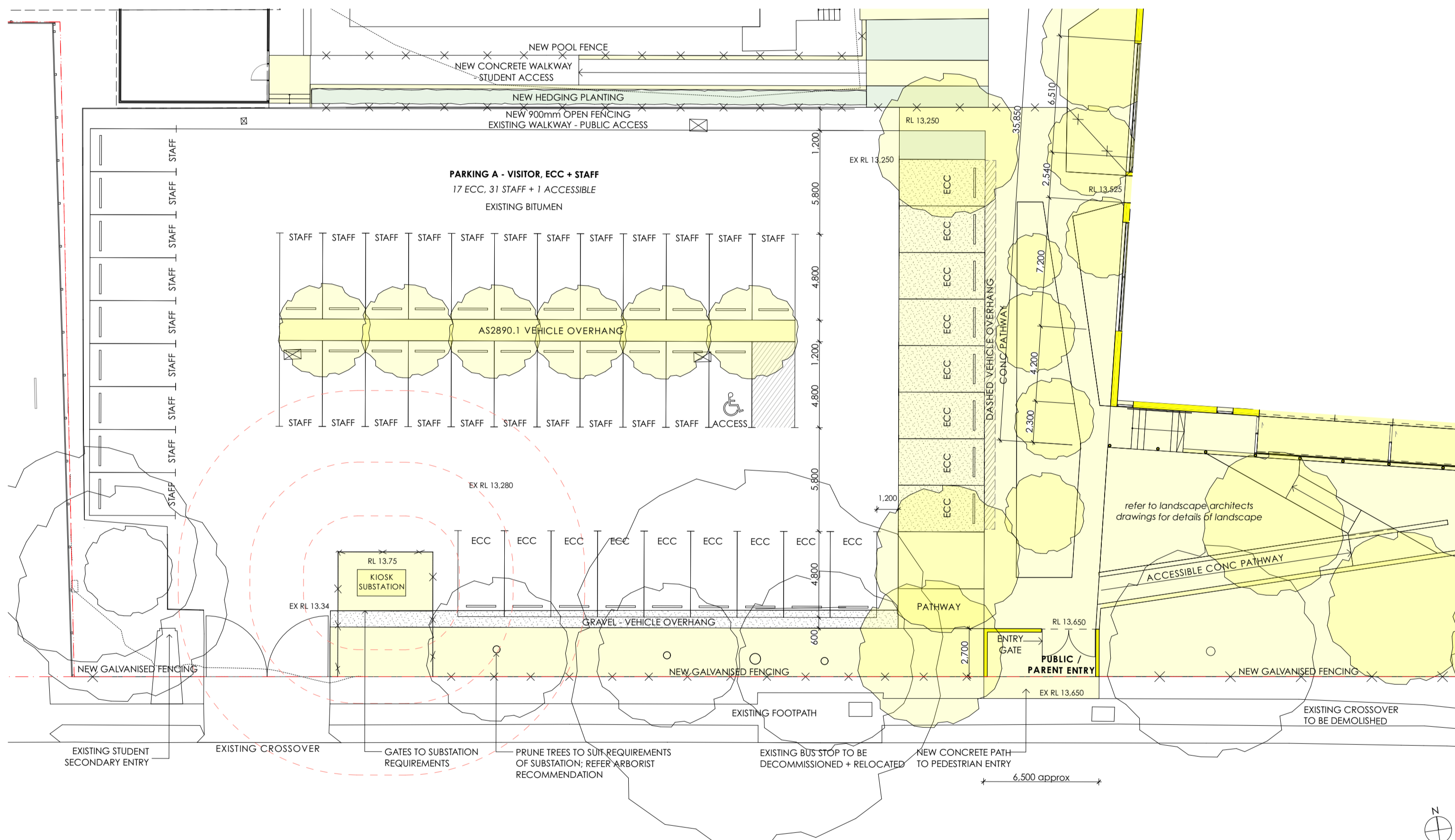
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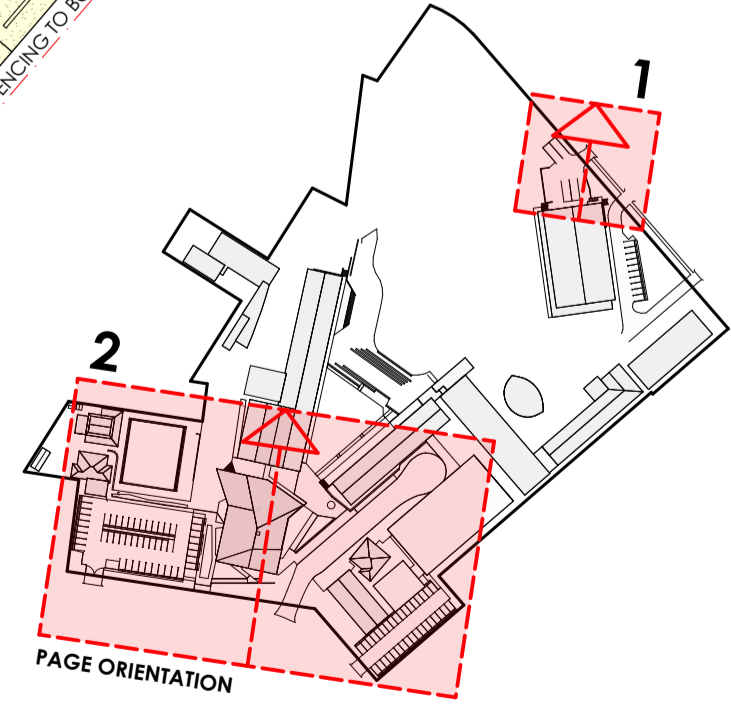
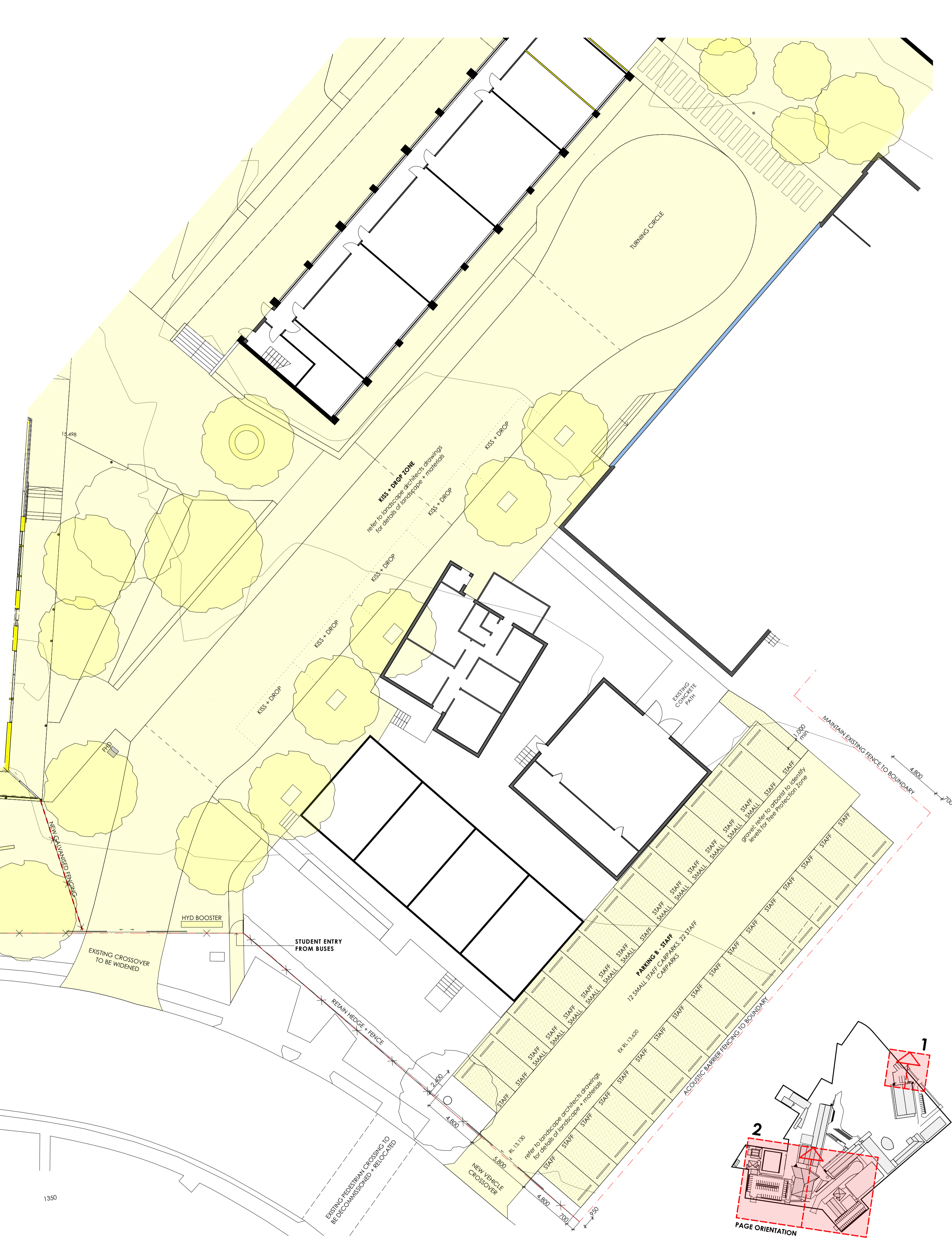
1 PARKING D - BUS + GARBAGE
1:200

CARPARKING SUMMARY EXISTING				CARPARKING SUMMARY PROPOSED			
Vehicle	Area	Stage	No.	Vehicle	Area	Stage	No.
BUS PARKING				ACCESS	PARKING A	New	1
	PARKING B	To Be Demolished	4				1
			4	BUS PARKING	PARKING D	New	4
ECC							4
	PARKING A	To Be Demolished	14	ECC	PARKING A	New	17
			14				17
STAFF				KISS + DROP		New	5
	PARKING A	To Be Demolished	35				5
	PARKING C	Existing	10	STAFF	PARKING A	New	31
	PARKING E	Existing	8		PARKING B	New	22
			53		PARKING C	Existing	10
			71		PARKING E	Existing	8
							71
				STAFF SMALL			
					PARKING B	New	12
							12
							110

NOTE
PLEASE REFER TO TRAFFIC ENGINEER REPORT FOR DETAILS
OF TRAFFIC + PARKING PROPOSAL



2 PARKING A, B + KISS & DROP ZONE
1:200



LEGEND	
AD	ALUMINUM DOOR
AW	ALUMINUM WINDOW
BS	ROCK GUTTER
BR	BRICK
BSL	STEEL BALUSTRADE
BWL	BLOCKWORK
EXFL	EXISTING FLOORING
CONC	CONCRETE
CPT	CARPET
CT	CERAMIC TILE
DP	DOWNPIPE
EXT	EXISTING
FCG	FIBRE CEMENT FLOORING
FG	FIXED GLASS
FR	FRODOOR
FW	FLOOR WASTE
FBG	GLAZED FACE BRICK SCREEN
JO	JOINTERY UNIT
LD-1	EXTERNAL LOUVRES - RETRACTABLE
LD-2	EXTERNAL LOUVRES - FIXED, HORIZONTAL
ENT	ENTRY MAT
MC	METAL CLADDING
MR	METAL ROOFING
PER	PERFORATED METAL
RF	RUBBER FLOORING
RWO	RAINWATER OUTLET
SC	STEEL COLUMN
SK	SKYLIGHT
TD	TIMBER DOOR JOINERY
TW	TIMBER WINDOW JOINERY

LEGEND	
[Grey Box]	EXISTING ELEMENTS TO BE RETAINED
[Red Dashed Line]	EXISTING ELEMENTS TO BE DEMOLISHED
[Yellow Box]	PROPOSED NEW WORKS

ISSUE	DATE	REVISION
01	31/10/19	DA Issue

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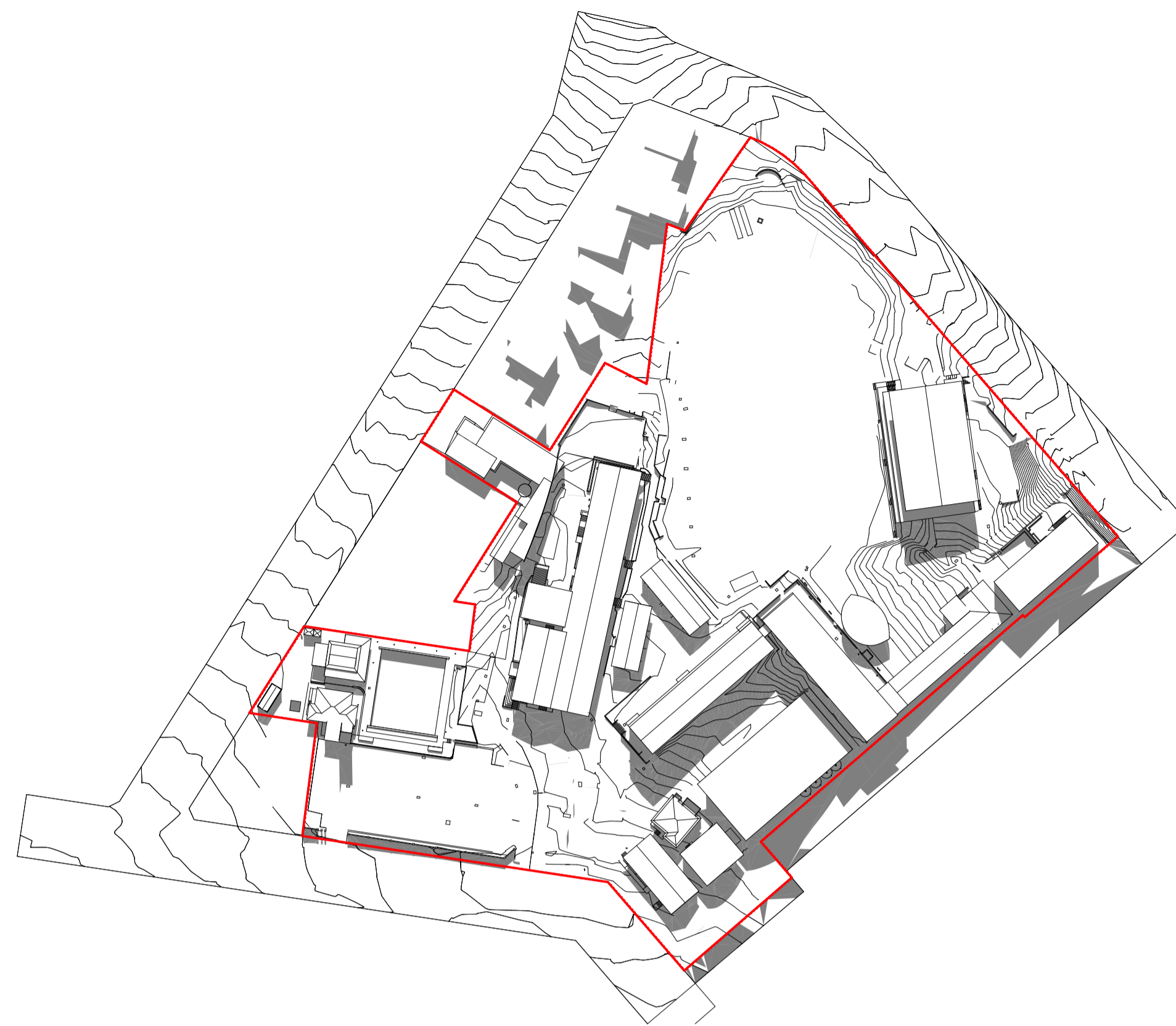
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L1 9 ROSLYN ST POTTS POINT 2011 T: 8203 1870
NOMINATED ARCHITECT: RACHEL NEESON No. 6692

NO	REV	TITLE	PHASE	SCALE	DATE
DA 09 01		TRAFFIC	DA	1:200 @A1	5/2/20

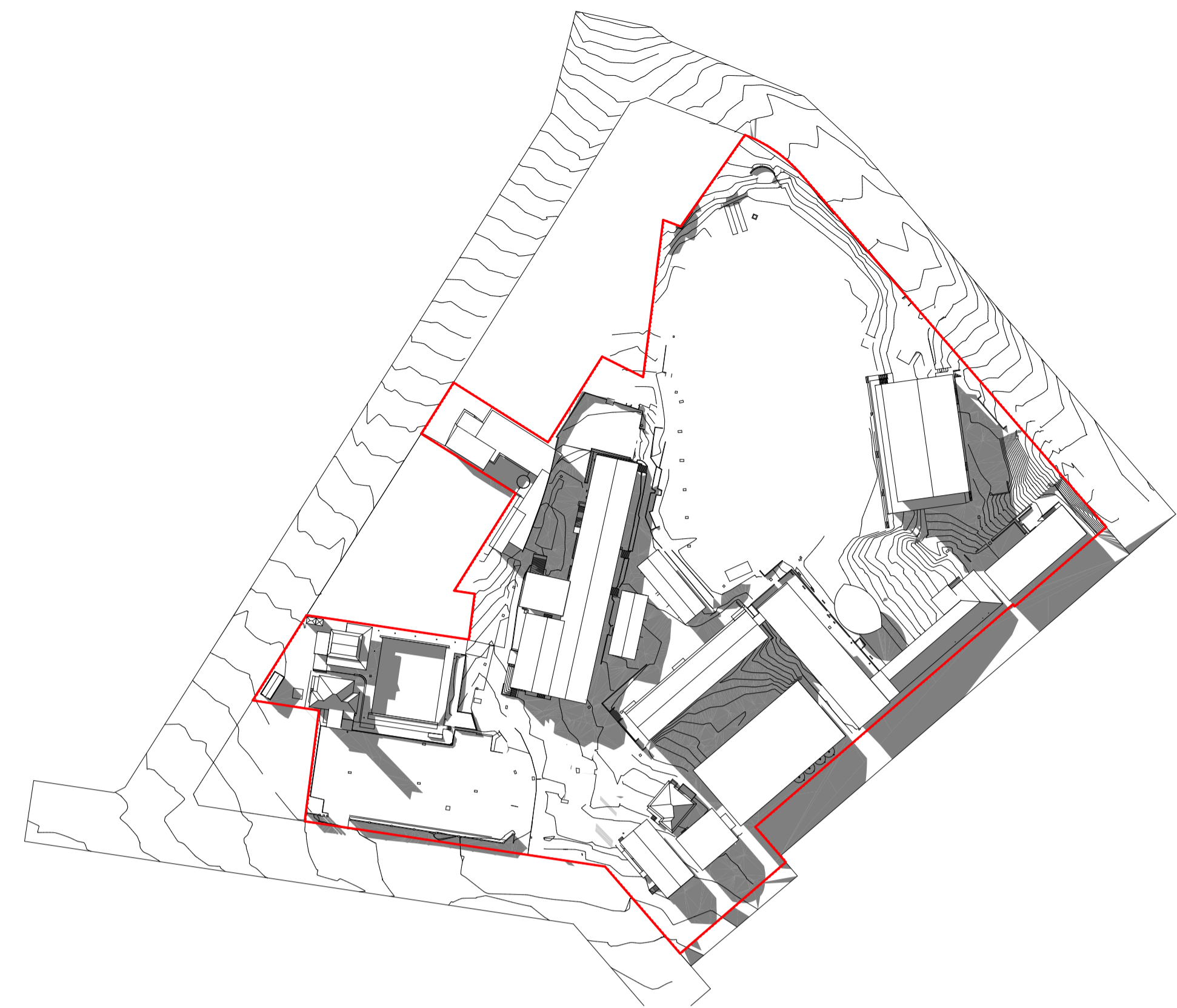
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1 EXISTING - JUNE 21 - 9AM
1:1500



3 EXISTING - JUNE 21 - 12PM
1:1500



5 EXISTING - JUNE 21 - 03PM
1:1500



2 PROPOSED - JUNE 21 - 9AM
1:1500



4 PROPOSED - JUNE 21 - 12PM
1:1500



6 PROPOSED - JUNE 21 - 3PM
1:1500

LEGEND

AD	ALUMINIUM DOOR	FBG	GLAZED FACE BRICK
AW	ALUMINIUM WINDOW	FGS	GLAZED FACE BRICK SCREEN
BG	ROOF GUTTER	JJ	JOINERY JOINT
BR	BRICK	LD-1	EXTERNAL LOUVRES - RETRACTABLE
BALUS	STEEL BALUSTRADE	LD-2	EXTERNAL LOUVRES - FIXED, HORIZONTAL
BW	BLOCKWORK	MA	ENTRY MAT
EXFL	EXISTING FLOORING	MC	METAL CLADDING
CONC	CONCRETE	MR	METAL ROOFING
CT	CERAMIC TILE	MA	METAL ROOFING
CRP	CARPET	PR	PERFORATED METAL
CT	CERAMIC TILE	RF	RUBBER FLOORING
DN	DOWNPIPE	RWD	RAINWATER OUTLET
EXT	EXISTING	SC	STEEL COLUMN
FG-1	FIBRE CEMENT FLOORING	SK	SKYLIGHT
FG	FIXED GLASS	TD	TIMBER DOOR JOINERY
FR	FRODO	TW	TIMBER WINDOW JOINERY
FW	FLOOR WASTE		

LEGEND

	EXISTING ELEMENTS TO BE RETAINED
	EXISTING ELEMENTS TO BE DEMOLISHED

ISSUE	DATE	REVISION
01	31/10/19	DA Issue

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L1 9 ROSLYN ST POTTS POINT 2011 T: 8203 1870
NOMINATED ARCHITECT - RACHEL NEESON No. 6692

NO	REV	TITLE	PHASE	SCALE	DATE
DA 10	01	SHADOW DIAGRAMS	DA	1:1500 @A1	5/2/20

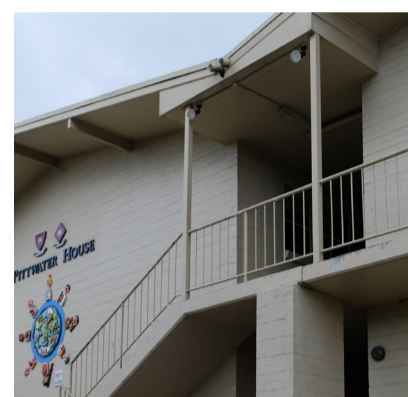
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EXISTING

M-BLOCK



Painted brick walls
Surfmist corrugated metal roof



PROPOSED

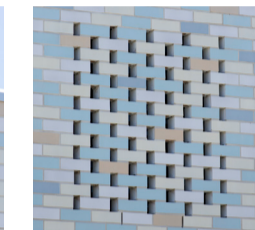
LIBRARY + STUDENT SERVICES BUILDING



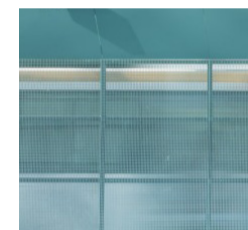
MR
MC
Metal Deck Roofing / Cladding
White



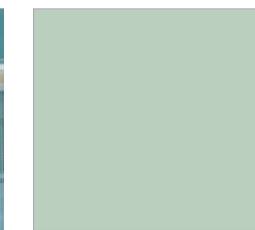
FBG
Face Glazed Brick



FBGS
Face Glazed Brick Screen



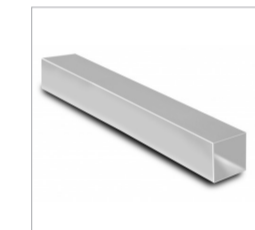
PM
Perforated Metal Screen
Powdercoat/ Paint finish



TD
TW
Timber Doors & Windows
Accoya, clear finish



Glazing
Clear



AD
AW
Aluminium Doors & Windows
Clear finished, anodised

Glazing
Clear



LO-1
External Louvres - Adjustable
Powdercoat White



LO-2
External Louvres - Fixed
Powdercoat White

EXISTING

SOUTH + WEST WING



Face brick walls
Painted concrete

PROPOSED

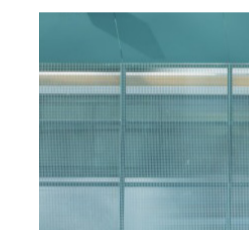
SOUTH + WEST WING UNIVERSAL CORE



Exposed Steel Frame Structure
Powdercoat/ Paint finish



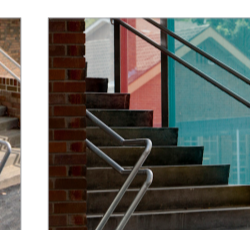
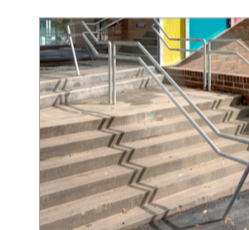
FC-1
Fibre Cement Flooring



PM
Perforated Metal Screen Balustrade
Powdercoat/ Paint finish



BW
Blockwork
Render + Paint Finish



Concrete stairs

NOTE:
REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR LANDSCAPE MATERIALS AND FINISHES

LEGEND

AD ALUMINIUM DOOR
AW ALUMINIUM WINDOW
BG ROOF GUTTER
BR BRICK
BS STEEL BALUSTRADE
BW BLOCKWORK
EXFL EXISTING FLOORING
CONC CONCRETE
CTT CARPET
CT CERAMIC TILE
DN DOWNPIPE
EXT EXISTING
FC-1 FIBRE CEMENT FLOORING
FG FIXED GLASS
FR FLOOR
FW FLOOR WASTE

FBG GLAZED FACE BRICK
FBGS GLAZED FACE BRICK SCREEN
JO JOINERY UNIT
LO-1 EXTERNAL LOUVRES - RETRACTABLE
LO-2 EXTERNAL LOUVRES - FIXED, HORIZONTAL
ENT ENTRY MAT
MC METAL CLADDING
MR METAL ROOFING
PM PERFORATED METAL
RF RUBBER FLOORING
RWO RAINWATER OUTLET
SC STEEL COLUMN
SK SKYLIGHT
TD TIMBER DOOR JOINERY
TW TIMBER WINDOW JOINERY

LEGEND

EXISTING ELEMENTS TO BE RETAINED
EXISTING ELEMENTS TO BE DEMOLISHED

ISSUE DATE REVISION

01 31/10/19 DA Issue

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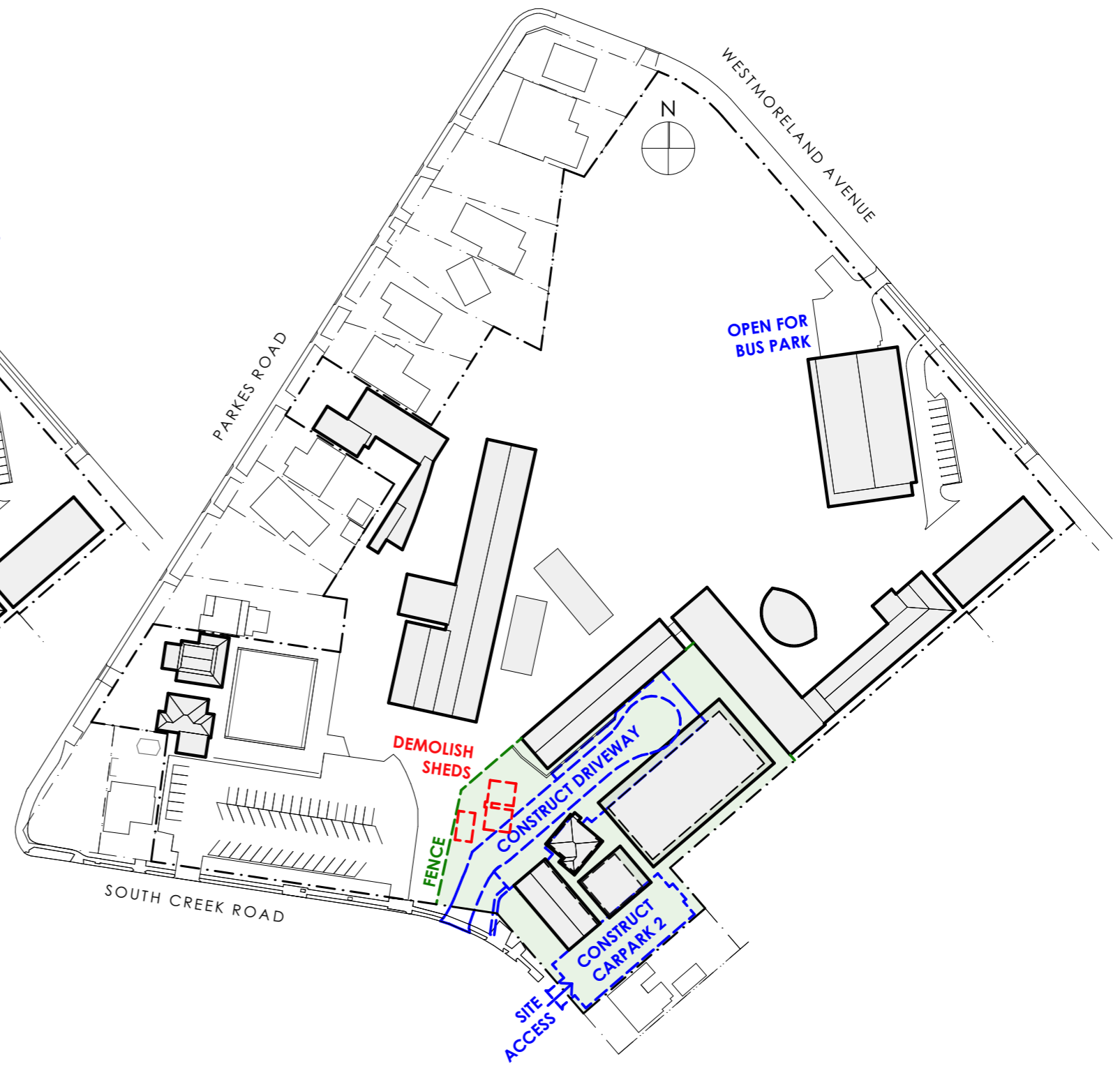
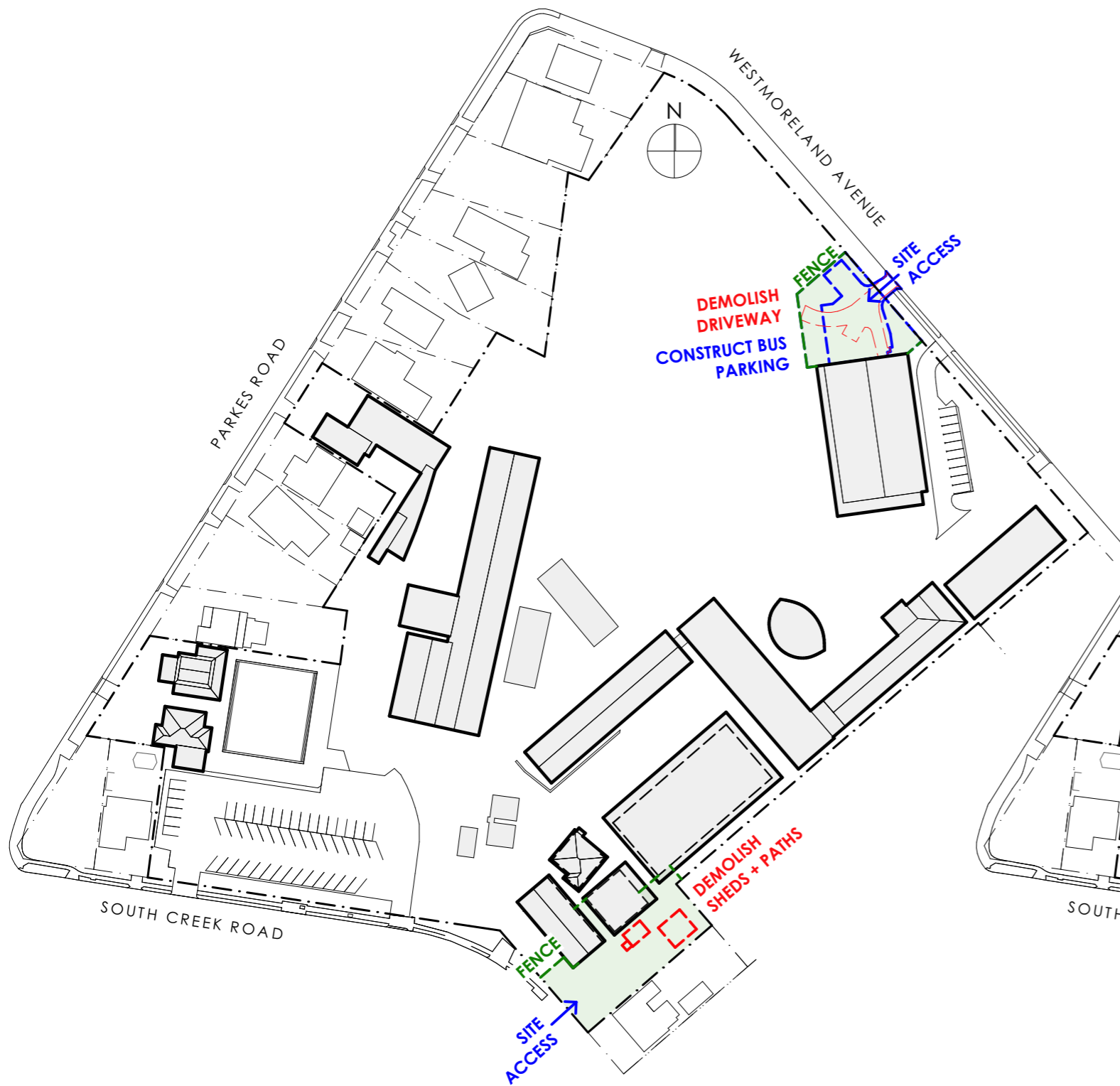
NEESON MURCUTT + NELLE
NEESON MURCUTT ARCHITECTS PTY LTD
L1 9 ROSLIN ST POTTS POINT 2011 T: 8203 1870
NOMINATED ARCHITECT : RACHEL NEESON No. 6692

NO	REV	TITLE	PHASE	SCALE	DATE
DA 11	01	SCHEDULE OF COLOURS AND MATERIALS	DA	@A1	5/2/20

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- COMPLY WITH RELEVANT AUTHORITIES REQUIREMENTS
- COMPLY WITH THE BUILDING CODE OF AUSTRALIA
- COMPLY WITH ALL RELEVANT AUSTRALIAN STANDARDS
- DIMENSIONS IN MILLIMETRES
- USE FIGURES DIMENSIONS ONLY
- DO NOT SCALE
- IF DISCREPANCY EXISTS NOTIFY ARCHITECT
- COS - CONFIRM ON SITE
- IF IN DOUBT ASK



1 Construction Methodology Plan 1
1:1500



2 Construction Methodology Plan 2
1:1500

- COMPLY WITH RELEVANT AUTHORITIES REQUIREMENTS
- COMPLY WITH THE BUILDING CODE OF AUSTRALIA
- COMPLY WITH ALL RELEVANT AUSTRALIAN STANDARDS
- DIMENSIONS IN MILLIMETRES
- USE FIGURES DIMENSIONS ONLY
- DO NOT SCALE
- IF DISCREPANCY EXISTS NOTIFY ARCHITECT
- COS - CONFIRM ON SITE
- IF IN DOUBT ASK

LEGEND

AD ALUMINIUM DOOR	FG FIXED GLASS	RWO RAINWATER OUTLET
AW ALUMINIUM WINDOW	FR FRIDGE	SC STEEL COLUMN
BG BOX GUTTER	FW FLOOR WASTE	TD TIMBER DOOR JOINERY
BK BRICK	GBK GLAZED BRICK	TW TIMBER WINDOW JOINERY
BT STEEL BALLUSTRADE	GBS GLAZED BRICK SCREEN	
BW BLOCKWORK	JU JOINERY UNIT	
EX-FL EXISTING FLOORING	LO EXTERNAL LOUVRES - RETRACTABLE	
CONC CONCRETE	MAT ENTRY MAT	
CPT CARPET	MC METAL CLADDING	
CT CERAMIC TILE	MR METAL ROOFING	
DP DOWNPIPE	PM PERFORATED METAL	
EXT EXISTING	RF RUBBER FLOORING	

LEGEND

 EXISTING ELEMENTS TO BE RETAINED
 EXISTING ELEMENTS TO BE DEMOLISHED

CAD File: 1801_PIT_STAGE 01

ISSUE	DATE	REVISION
01	31/10/19	DA Issue

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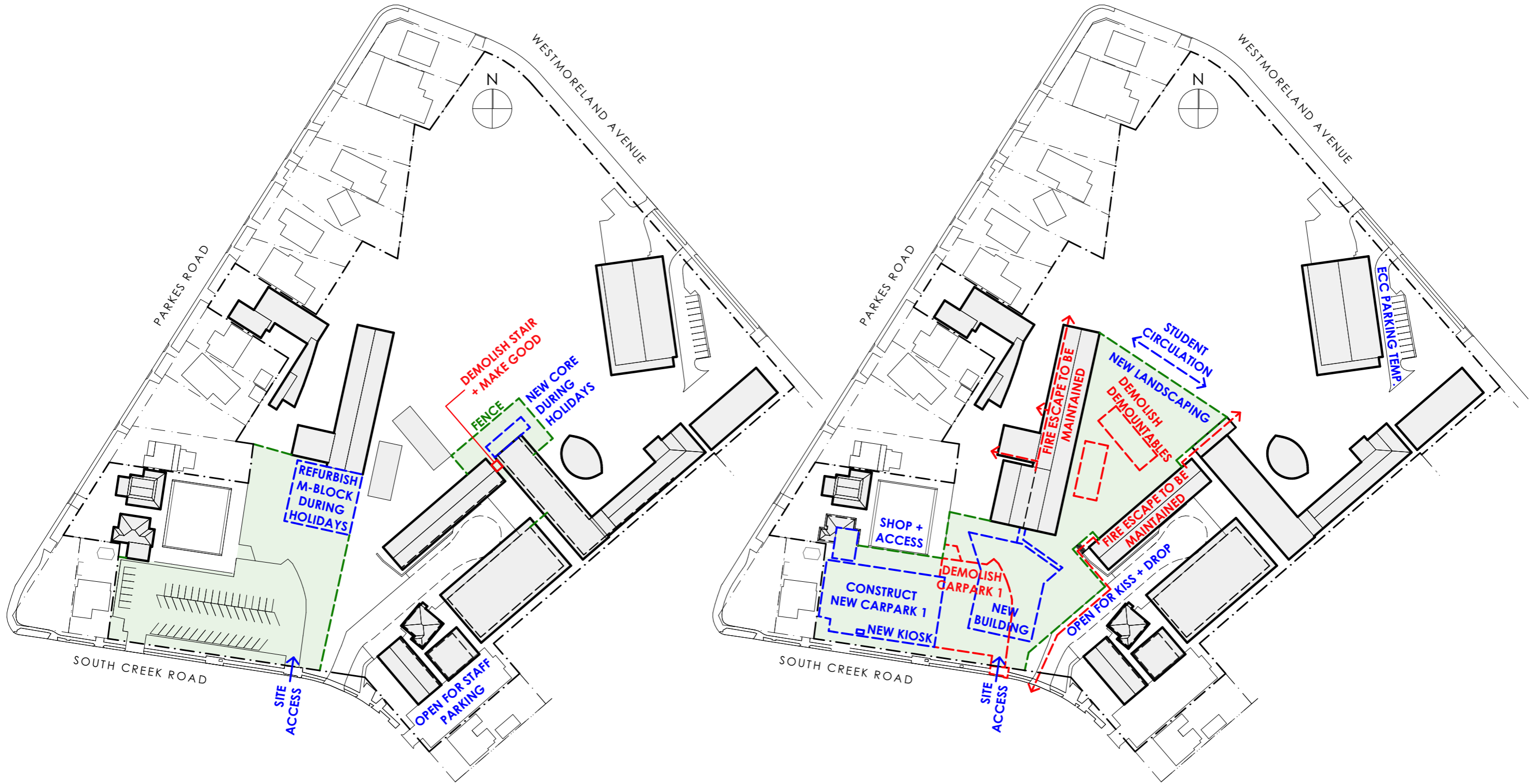
The Pittwater House Schools
70 South Creek Rd, Collaroy NSW 2097
FOR **The Pittwater House Schools**

NEESON MURCUTT ARCHITECTS PTY LTD
L2 9 ROSLYN ST. POTTS POINT 2011 T. 8297 3590 F. 8297 3510
NOMINATED ARCHITECT: RACHEL NEESON No. 6692

NO	REV	TITLE	PHASE	SCALE	DATE
DA 13.1	01	CONSTRUCTION METHODOLOGY	DA	1:1500 @A3	5/2/20

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SCHOOL HOLIDAY WORKS



1 Construction Methodology Plan 3
1:1500

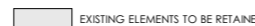

2 Construction Methodology Plan 4
1:1500

- COMPLY WITH RELEVANT AUTHORITIES REQUIREMENTS
- COMPLY WITH THE BUILDING CODE OF AUSTRALIA
- COMPLY WITH ALL RELEVANT AUSTRALIAN STANDARDS
- DIMENSIONS IN MILLIMETRES
- USE FIGURES DIMENSIONS ONLY
- DO NOT SCALE
- IF DISCREPANCY EXISTS NOTIFY ARCHITECT
- COS - CONFIRM ON SITE
- IF IN DOUBT ASK

LEGEND

AD ALUMINIUM DOOR	FG FIXED GLASS	RWO RAINWATER OUTLET
AW ALUMINIUM WINDOW	FR FRIDGE	SC STEEL COLUMN
BG BOX GUTTER	FW FLOOR WASTE	TD TIMBER DOOR JOINERY
BK BRICK	GBK GLAZED BRICK	TW TIMBER WINDOW JOINERY
BT STEEL BALLUSTRADE	GBS GLAZED BRICK SCREEN	
BW BLOCKWORK	JU JOINERY UNIT	
EX-FL EXISTING FLOORING	LO EXTERNAL LOUVRES - RETRACTABLE	
CONC CONCRETE	MAT ENTRY MAT	
CPT CARPET	MC METAL CLADDING	
CT CERAMIC TILE	MR METAL ROOFING	
DP DOWNPIPE	PM PERFORATED METAL	
EXT EXISTING	RF RUBBER FLOORING	

LEGEND

 EXISTING ELEMENTS TO BE RETAINED
 EXISTING ELEMENTS TO BE DEMOLISHED

CAD File: 1801_PIT_STAGE 01

ISSUE	DATE	REVISION
01	31/10/19	DA Issue

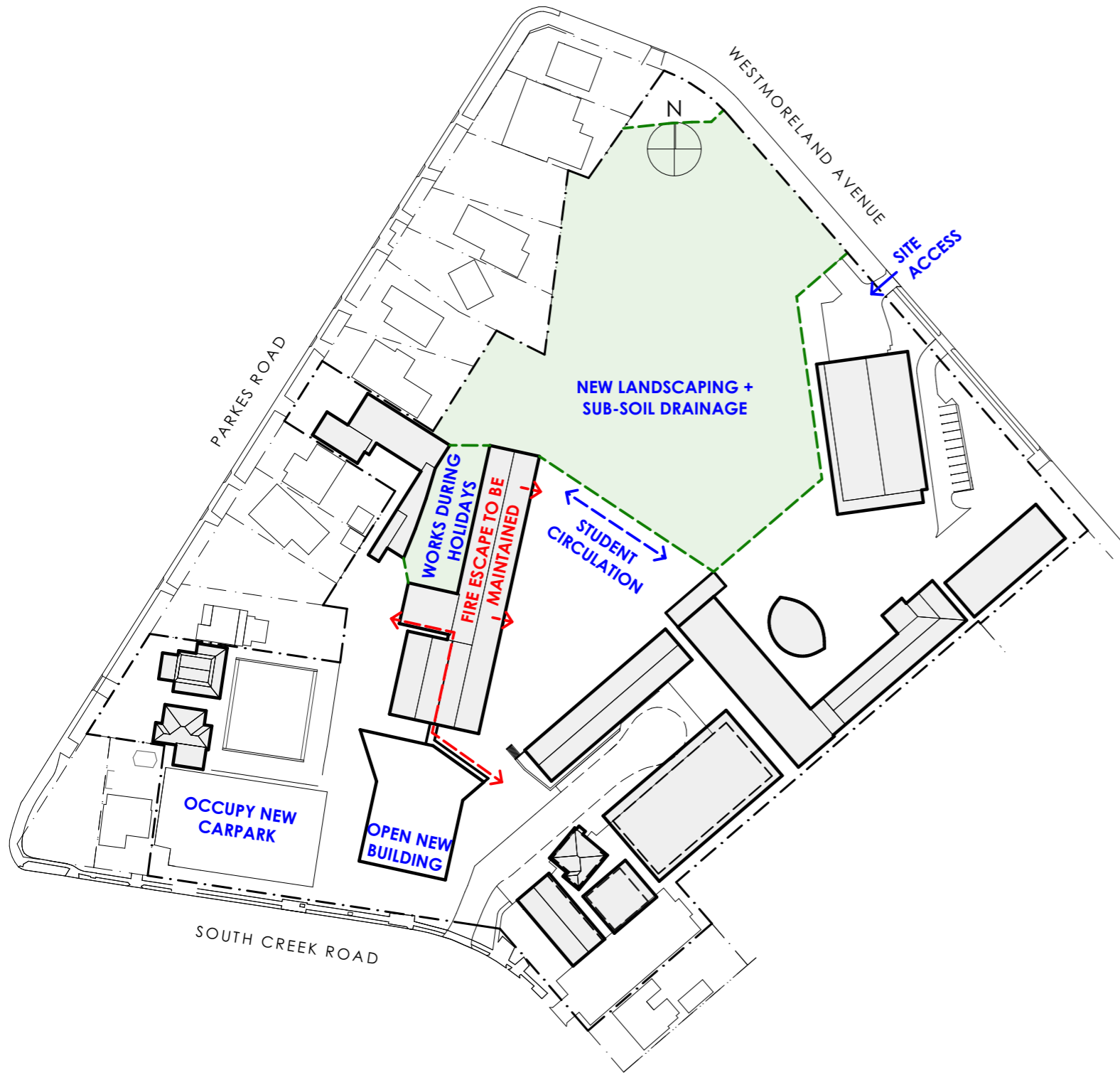
DRAWN BY KH CHECKED BY KH
IF ISSUE IS INITIALED AS CHECKED DRAWING CAN BE CONSIDERED APPROVED UNDER NMA QUALITY MANAGEMENT SYSTEM.

The Pittwater House Schools
70 South Creek Rd, Collaroy NSW 2097
FOR **The Pittwater House Schools**

NEESON MURCUTT ARCHITECTS PTY LTD
L2 9 ROSLYN ST. POTTS POINT 2011 T. 8297 3590 F. 8297 3510
NOMINATED ARCHITECT: RACHEL NEESON No. 6692

NO	REV	TITLE	PHASE	SCALE	DATE
DA 13.2	01	CONSTRUCTION METHODOLOGY	DA	1:1500 @A3	5/2/20

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1 Construction Methodology Plan 5
1:1500

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LEGEND

 EXISTING ELEMENTS TO BE RETAINED
 EXISTING ELEMENTS TO BE DEMOLISHED

CAD File: 1801_PITL_STAGE 01

ISSUE	DATE	REVISION
01	31/10/19	DA Issue

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FOR The Pittwater House Schools

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DA 13.3	01	CONSTRUCTION METHODOLOGY	DA	1:1500 @A3	5/2/20

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Pittwater House SCHOOLS

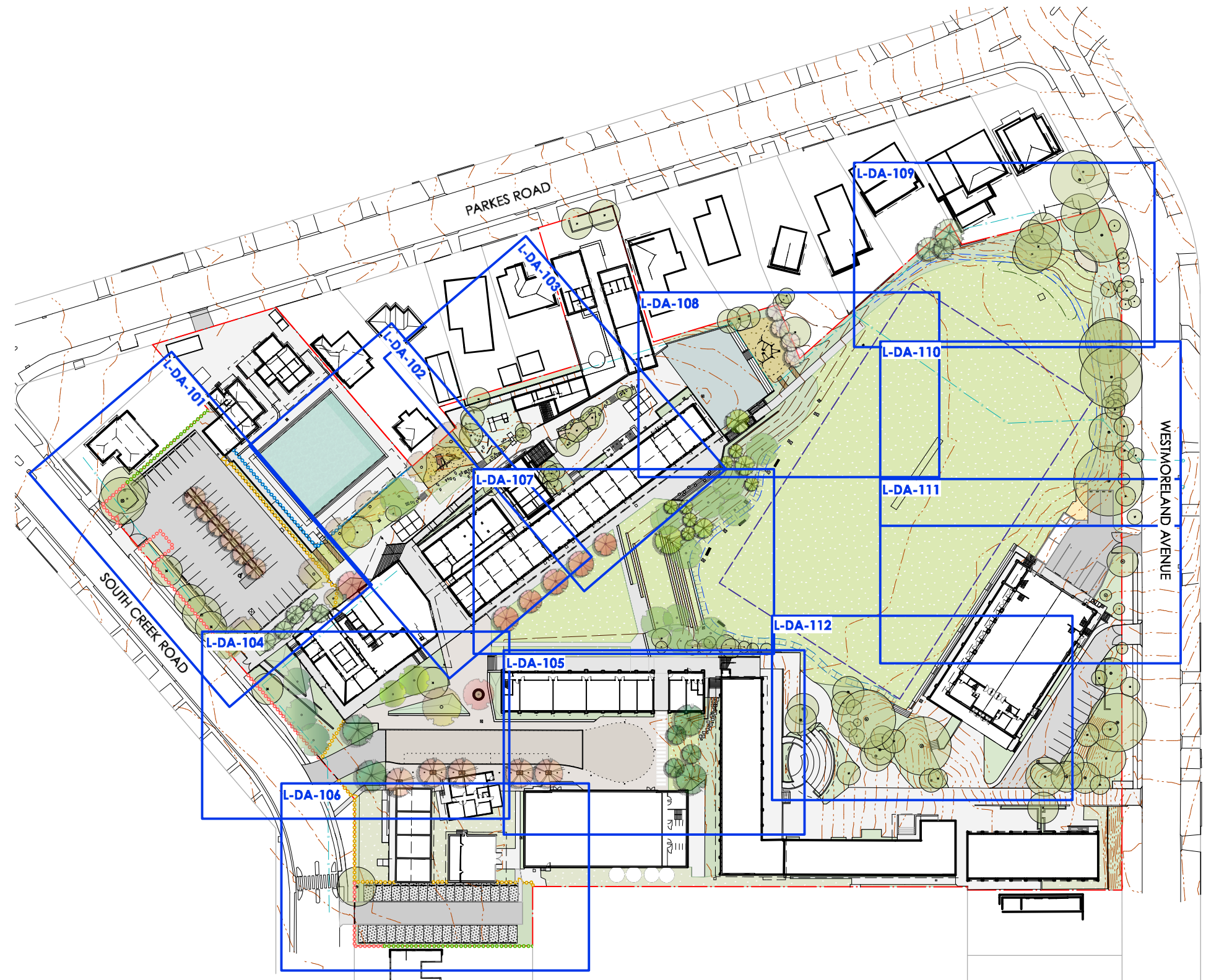
Development Application

LANDSCAPE

Prepared for Pittwater House by
Jane Irwin Landscape Architecture

DRAWING SHEETS:

L-DA-000	COVERSHEET
L-DA-001	LEGEND AND SCHEDULE
L-DA-002	LEGEND AND PLANT SCHEDULE
L-DA-003	LANDSCAPE MASTERPLAN
L-DA-011	PRECEDENT 01
L-DA-012	PRECEDENT 02
L-DA-013	PRECEDENT 03
L-DA-101	LANDSCAPE DETAIL PLAN 01
L-DA-102	LANDSCAPE DETAIL PLAN 02
L-DA-103	LANDSCAPE DETAIL PLAN 03
L-DA-104	LANDSCAPE DETAIL PLAN 04
L-DA-105	LANDSCAPE DETAIL PLAN 05
L-DA-106	LANDSCAPE DETAIL PLAN 06
L-DA-107	LANDSCAPE DETAIL PLAN 07
L-DA-108	LANDSCAPE DETAIL PLAN 08
L-DA-109	LANDSCAPE DETAIL PLAN 09
L-DA-110	LANDSCAPE DETAIL PLAN 10
L-DA-111	LANDSCAPE DETAIL PLAN 11
L-DA-112	LANDSCAPE DETAIL PLAN 12
L-DA-500	SECTION LOCATION PLAN
L-DA-501	LANDSCAPE SECTIONS 01
L-DA-502	LANDSCAPE SECTIONS / ELEVATION 02
L-DA-503	LANDSCAPE SECTIONS / ELEVATION 03
L-DA-504	LANDSCAPE SECTIONS 04
L-DA-505	LANDSCAPE SECTIONS 05
L-DA-506	LANDSCAPE SECTIONS 06
L-DA-507	LANDSCAPE SECTIONS 07



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LANDSCAPE ARCHITECT

jane irwin landscape architecture
Studio 203, Level 2, 61 Marlborough Street
Surry Hills NSW 2010
Telephone **61 2 9212 6957**
Email info@jila.net.au
Web www.jila.net.au



CLIENT

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PROJECT TITLE

Pittwater House Schools - Stage 1

70 South Creek
Road, Collaroy
NSW 2097

DRAWING TITLE
Coversheet

Scale @ A3
1:1200

Job No
190601

Drawing Status
Development Application

Drawing No
L-DA-000

Issue
A

LEGEND

REFERENCE	CODE	DESCRIPTION
GENERAL		
		SITE BOUNDARY
		EXISTING CONTOUR
		PROPOSED CONTOUR
		EXISTING SPOT LEVEL
		PROPOSED SPOT LEVEL
		EXISTING TREES RETAINED (Refer arborist report)
		EXISTING TREES TO BE REMOVED (Refer arborist report)
		DEMOLISH SURFACE
		OVAL BOUNDARY
		EXISTING POOL FENCE
		SWALE
		BERM AROUND OVAL 500-800mm above existing ground level, refer Hydraulic Engineer's drawing
		EXISTING PAVED SURFACE to be retained
		EXISTING BITUMEN SURFACE to be retained
		EXISTING GRAVEL SURFACE to be retained
		EXISTING DECKING to be retained
		EXISTING PLANTED AREA to be retained
		EXISTING DRY CREEK to be retained
		EXISTING NATURE SURFACE to be retained

REFERENCE	CODE	DESCRIPTION
GENERAL		
		SUBSTATION Refer Electrical Engineer's drawings
		NEW FIRE HYDRANT BOOSTER L:3500 x W:500mm, Refer Hydraulic Engineer's drawing
		NEW DUAL HEAD FIRE HYDRANT 700x700mm, Refer Hydraulic Engineer's drawing
WALLS, FENCES AND EDGES		
	W1	WALL TYPE 1 - CONCRETE TERRACE/SEATING WALLS Precast concrete plain colour
	W2	WALL TYPE 2 - SANDSTONE RETAINING WALL Using sandstone "landscape logs", quality grade 1
	FT1	FENCE TYPE 1 - METAL PALISADE FENCE 1200mm high metal palisade pool fence to A.S 1926.1-2012
	FT2	FENCE TYPE 2 - GALVANISED FENCE 1800mm high galvanised school fence
	FT3	FENCE TYPE 3 - GALVANISED PALISADE FENCE 1200mm high galvanised palisade school fence
	FT4	FENCE TYPE 4 - PALING FENCE 1800mm high noise barrier to comply with acoustic req.
	SE	EDGE TYPE 1 - STEEL

REFERENCE	CODE	DESCRIPTION
CARPARK/SURFACE FINISHES		
	R1	CARPARK SURFACE - BITUMEN
PAVING/SURFACE FINISHES		
	P1	PAVING TYPE 1 - INSITU CONCRETE Broom finish, plain colour
	P2	PAVING TYPE 2 - INSITU CONCRETE FLUSH KERB/EDGE Broom finish, plain colour
	P3	PAVING TYPE 3 - POROUS PAVING (CARPARK) Grasscrete with gravel infill
	P4	PAVING TYPE 4 - CONCRETE UNIT PAVER Pebblecrete PPX540:35D - 400x600x60mm
	P5	PAVING TYPE 5 - CONCRETE UNIT PAVER (TRAFFICABLE) Pebblecrete PPX540:35D - 200x600x80mm

REFERENCE	CODE	DESCRIPTION
PAVING/SURFACE FINISHES		
	P6	PAVING TYPE 6 - GRAVEL Recycled crushed sandstone
	P7	PAVING TYPE 7 - MIXED USE COURT Synthetic surface with multiple lineworking for multi-funition play
	P8	PAVING TYPE 8 - SYNTHETIC GRASS "Astroturf" or similar, natural green colour
	P9	PAVING TYPE 9 - MULCH (PLAYGROUND) Cedar mulch to depths required for full zones
OTHER		
	TD	HARDWOOD TIMBER DECKING bridges
	TB	TIMBER BENCH SEAT
	WS	WHEEL STOPS
	BO	BOLLARD
	NP	NATURE PLAY ITEMS

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LANDSCAPE ARCHITECT

jane irwin landscape architecture

Studio 203, Level 2, 61 Marlborough Street
Surry Hills NSW 2010
Telephone **61 2 9212 6957**
Email info@jila.net.au
Web www.jila.net.au

CLIENT

Neeson Murcutt Architects PTY LTD

PROJECT TITLE

Pittwater House Schools - Stage 1

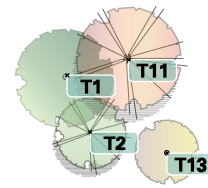
70 South Creek Road, Collaroy NSW 2097

DRAWING TITLE	
Legend and Schedule	
Scale @ A3	
N/A	
Job No	Drawing Status
190601	Development Application
Drawing No	Issue
L-DA-001	A

LEGEND

REFERENCE CODE DESCRIPTION

PLANTING



PROPOSED TREES - VARIOUS
Refer plant schedule



TURF



SCREENING - TALL SHRUBS AND SMALL TREES
Refer plant schedule



LOW TO MEDIUM NATIVE SHRUBS
Refer plant schedule



GROUNDCOVER AND GRASSY MIX - BANK
Refer plant schedule



ENTRY GARDEN
Refer plant schedule



SWALE / DRY CREEK BEDS
Refer plant schedule

PRELIMINARY PLANT SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT (m)	LOCALLY OCCURRING
	Trees			
T1	<i>Angophora costata</i>	Rough Barked Apple	20+	x
T2	<i>Callicoma serratifolia</i>	Black Wattle	7-10	x
T3	<i>Calodendrum capense</i>	Cape Chestnut	10	
T4	<i>Corymbia citriodora</i>	Lemon Scented Gum	20+	
T5	<i>Corymbia maculata</i>	Spotted Gum	20+	x
T6	<i>Eucalyptus haemastoma</i>	Scribbly Gum	15	
T7	<i>Eucalyptus punctata</i>	Grey Gum	20+	x
T8	<i>Lagerstroemia indica</i> (Indian Summer range)	Crepe Myrtle	8-9	
T9	<i>Magnolia grandiflora</i>	Bull Bay Magnolia	25	
T10	<i>Melaleuca ericifolia</i>	Swamp Paperbark	8	x
T11	<i>Nyssa sylvatica</i>	Tupelo	11	
T12	<i>Sapium sebiferum</i>	Chinese Tallowood	8	
T13	<i>Tristaniopsis laurina</i>	Water Gum	12	x
	GD1 Screening - tall shrubs and small trees			
	<i>Acacia terminalis</i>	Sunshine Wattle	5-6	x
	<i>Banksia robur</i>	Swamp Banksia	3	x
	<i>Bursaria spinosa</i>	Austral Blackthorn	5-10	x
	<i>Ceratopetalum gummiferum</i>	NSW Christmas Bush	3-5	x
	<i>Dodonaea viscosa subsp. cuneata</i>	Hop Bush	3	x
	<i>Persoonia levis</i>	Broad Leaved Geebung	4-5	x
	GD2 Low to medium native shrubs			
	<i>Banksia spinulosa</i>	Hairpin Banksia	1-3	x
	<i>Grevillea buxifolia</i>	Grey Spider Flower	1-2.5	x
	<i>Grevillea sericea</i>	Pink Spider Flower	1-2	x
	<i>Lomatia myricoides</i>	River Lomatia	2.5	x
	<i>Melaleuca thymifolia</i>	Thyme Honey Myrtle	1.2	x
	<i>Philothea myoporoides</i>	Long Leaf Waxflower	1.5-2	
	<i>Prostanthera denticulata</i>	Rough Mint Bush	1	x
	GD3 Groundcover and grassy mix - banks			
	<i>Banksia 'Pygmy Possum'</i>	Dwarf Banksia	0.3	
	<i>Dianella caerulea</i>	Blue Flax Lily	0.7	x
	<i>Eremophila 'Kalbarri Carpet'</i>	Prostrate Emu Bush	0.1-0.2	
	<i>Geranium solanderi</i>	Native Geranium	0.2	x
	<i>Goodenia heterophylla</i>	Variable Leaved Goodenia	0.4	x
	<i>Grevillea lanigera</i>	Woolly Grevillea	0.5-1	
	<i>Lomandra longifolia</i>	Mat Rush	0.5-0.8	x
	<i>Scaevola albida</i>	White Fan-flower	Prostrate	x
	<i>Scaevola ramosissima</i>	Purple Fan Flower	0.4	x
	<i>Thryptomene baeckeacea 'Prostrate'</i>	Ground Cover Thryptomene	Prostrate	
	GD4 Entry garden			
	<i>Anigozanthos spp.</i>	Kangaroo Paws mixed colour	0.6-1	
	<i>Lomandra multiflora</i>	Many Flowered Mat Rush	0.6-0.9	x
	<i>Lomandra confertifolia 'Wingarra'</i>	Mat Rush	0.3	
	<i>Xanthorrhoea arborea</i>	Broad Leaf Grass Tree	2	x
	GD5 Swale/dry creek bed			
	<i>Ficinia nodosa</i>	Knobby Club Rush	0.5-0.6	x
	<i>Gahnia aspera</i>	Rough Saw Sedge	0.6-0.8	x
	<i>Lepidosperma laterale</i>	Variable Sword Sedge	0.6-1.2	x

CALCULATION OF LANDSCAPE OPEN SPACE

CALCULATED AREA IN TOTAL (m2) : 16837.17m2

PAVED OPEN SPACE

IMPERVIOUS SURFACE: 4732.03 m2

PERVIOUS SURFACE: 709.59 m2

LANDSCAPE OPEN SPACE

SOFTSCAPE: 11395.55 m2

NOTE: Planted and grassed deep soil area, excludes swimming pool

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jane irwin landscape architecture
Studio 203, Level 2, 61 Marlborough Street
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Telephone 61 2 9212 6957
Email info@jila.net.au
Web www.jila.net.au



CLIENT

Neeson Murcutt Architects PTY LTD

PROJECT TITLE

Pittwater House Schools - Stage 1

70 South Creek Road, Collaroy NSW 2097

DRAWING TITLE

Legend and Plant Schedule

Scale @ A3
N/A

Job No 190601 Drawing Status Development Application

Drawing No L-DA-002 Issue A

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PROJECT TITLE

Pittwater House Schools - Stage 1

70 South Creek Road, Collaroy NSW 2097

DRAWING TITLE

Landscape Masterplan

Scale @ A3
 1:800

Job No
 190601

Drawing Status
 Development Application

Drawing No
 L-DA-003

Issue
 A

DROP OFF/PICK UP AREA



Share way to allow for use as paved open space outside of pickup and drop off hours.



Concrete cobble as robust and durable natural stone alternative

Flush kerbs and paved surface to prioritise pedestrian movement across the space

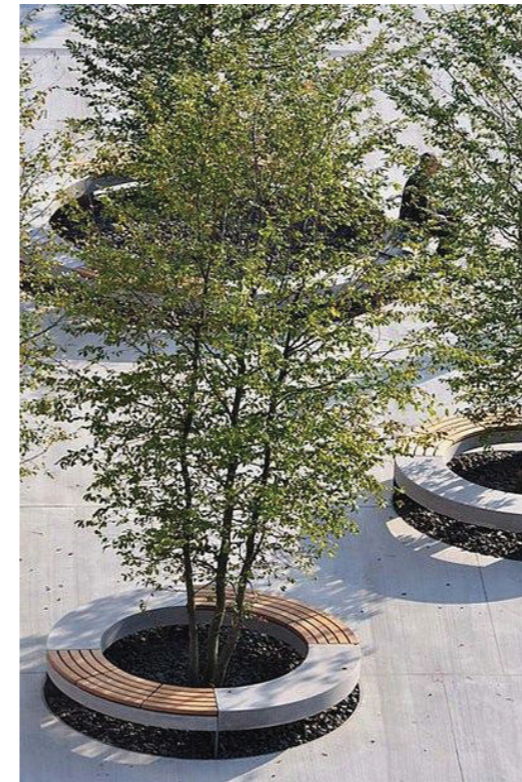
Mix of paving sizes and types

NEW CAR PARK



Permeable paving grasscrete for carpark

MEMORIAL TREE



Circular seating with tree as memorial

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jane irwin landscape architecture
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 Email info@jila.net.au
 Web www.jila.net.au



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PROJECT TITLE

Pittwater House Schools - Stage 1

70 South Creek Road, Collaroy NSW 2097

DRAWING TITLE
Precedent 01

Scale @ A3
N/A

Job No 190601	Drawing Status Development Application
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Drawing No L-DA-011	Issue A
------------------------	------------

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Issue	Description	Date	By
A	ISSUED FOR DA	30/09/19	AH

AMPHITHEATRE



Gentle grassed amphitheatre terraces

OVAL AND SWALE



Grass seating mound around school oval

Vegetated swale with some stones at the base to slow down the water

Reeds and grasses to fill out swale

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jane irwin landscape architecture

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PROJECT TITLE

Pittwater House Schools - Stage 1

70 South Creek Road, Collaroy NSW 2097

DRAWING TITLE	
Precedent 02	
Scale @ A3	
N/A	
Job No	Drawing Status
190601	Development Application
Drawing No	Issue
L-DA-012	A

MIXED USE COURT



Mixed use court allowing for multiple different uses

MIXED USE COURT




Taking advantage of level change and topography for casual and dynamic seating

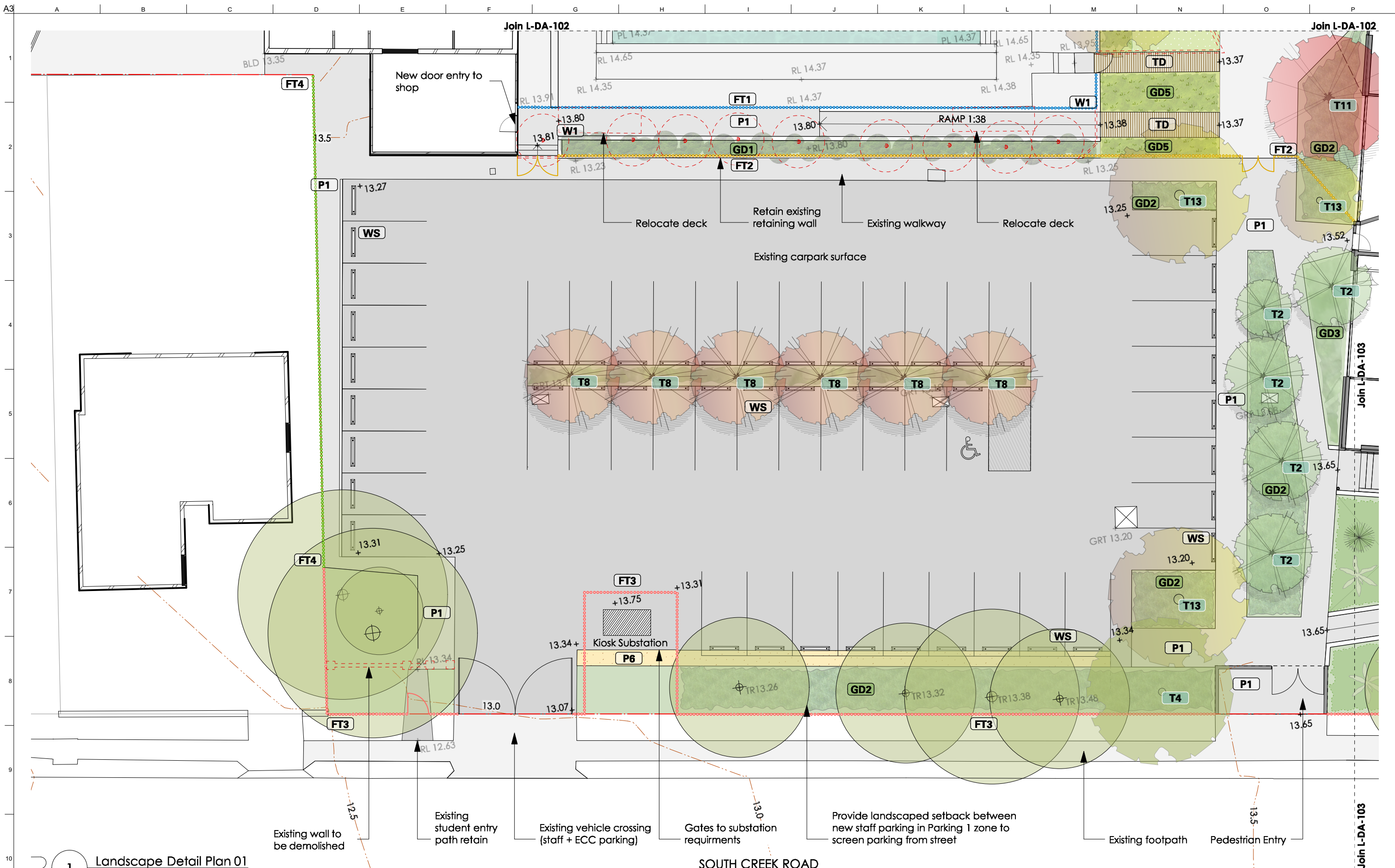
NATURE PLAY



Extended ECC playground provide nature play equipment

NOT FOR CONSTRUCTION

		<ul style="list-style-type: none"> - Dimension in millimetres. - Confirm all dimensions and levels on site prior to commencing work. - Use figured dimensions only. - Do not scale. - Comply with relevant authorities requirements, the Building Code of Australia and all relevant Australian Standards when executing works described in this drawing. 		<p>LANDSCAPE ARCHITECT</p> <p>jane irwin landscape architecture Studio 203, Level 2, 61 Marlborough Street Surry Hills NSW 2010 Telephone 61 2 9212 6957 Email info@jila.net.au Web www.jila.net.au</p> 		<p>CLIENT</p> <p>Neeson Murcutt Architects PTY LTD</p>		<p>PROJECT TITLE</p> <p>Pittwater House Schools - Stage 1</p> <p>70 South Creek Road, Collaroy NSW 2097</p>		<p>DRAWING TITLE</p> <p>Precedent 03</p> <p>Scale @ A3 N/A</p> <p>Job No 190601 Drawing Status Development Application</p> <p>Drawing No L-DA-013 Issue A</p>	
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Issue	Description	Date	By								



1 Landscape Detail Plan 01
Scale: 1:200

SOUTH CREEK ROAD

NOT FOR CONSTRUCTION

<p>Issue Description Date By</p> <p>A ISSUED FOR DA 24/10/19 AH</p>		<p>Dimension in millimetres. - Confirm all dimensions and levels on site prior to commencing work. - Use figured dimensions only. - Don't scale. - Comply with relevant authorities requirements, the Building Code of Australia and all relevant Australian Standards when executing works described in this drawing.</p>	<p>LANDSCAPE ARCHITECT</p> <p>jane irwin landscape architecture Studio 203, Level 2, 61 Marlborough Street Sunny Hills NSW 2010 Telephone 61 2 9212 6957 Email info@jila.net.au Web www.jila.net.au</p> <p>jila</p>	<p>CLIENT</p> <p>Neeson Murcutt Architects PTY LTD</p>	<p>PROJECT TITLE</p> <p>Pittwater House Schools - Stage 1 70 South Creek Road, Collaroy NSW 2097</p>	<p>DRAWING TITLE</p> <p>Landscape Detail Plan 01</p> <p>Scale @ A3 1:200</p> <p>Job No 190601</p> <p>Drawing Status Development Application</p> <p>Drawing No L-DA-101</p> <p>Issue A</p>
---	--	--	---	--	--	---



2 Landscape Detail Plan 02
Scale: 1:200

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Join L-DA-102
3 Landscape Detail Plan 03
 Scale: 1:200

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A	ISSUED FOR DA
Issue	Description
24/10/19	AH
Date	By

LANDSCAPE ARCHITECT

jane irwin landscape architecture

Studio 203, Level 2, 61 Marlborough Street
 Surry Hills NSW 2010
 Telephone 61 2 9212 6957
 Email info@jila.net.au
 Web www.jila.net.au

jila

CLIENT
Neeson Murcutt Architects PTY LTD

PROJECT TITLE
Pittwater House Schools - Stage 1
 70 South Creek Road, Collaroy NSW 2097

DRAWING TITLE Landscape Detail Plan 03	
Scale @ A3 1:200	
Job No 190601	Drawing Status Development Application
Drawing No L-DA-103	Issue A



4 Landscape Detail Plan 04
Scale: 1:200

NOT FOR CONSTRUCTION

<ul style="list-style-type: none"> - Dimension in millimetres. - Confirm all dimensions and levels on site prior to commencing work. - Use figured dimensions only. - Do not scale. - Comply with relevant authorities requirements, the Building Code of Australia and all relevant Australian Standards when executing works described in this drawing. 			
A	ISSUED FOR DA	24/10/19	AH
Issue	Description	Date	By

LANDSCAPE ARCHITECT

jane irwin landscape architecture

Studio 203, Level 2, 61 Marlborough Street
Sunny Hills NSW 2010
Telephone 61 2 9212 6957
Email info@jila.net.au
Web www.jila.net.au

CLIENT

Neeson Murcutt Architects PTY LTD

PROJECT TITLE

Pittwater House Schools - Stage 1

70 South Creek Road, Collaroy NSW 2097

DRAWING TITLE

Landscape Detail Plan 04

Scale @ A3
1:200

Job No
190601

Drawing Status
Development Application

Drawing No
L-DA-104

Issue
A



5 LANDSCAPE DETAIL PLAN 05
Scale: 1:200

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<table border="1"> <thead> <tr> <th>Issue</th> <th>Description</th> <th>Date</th> <th>By</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>ISSUED FOR DA</td> <td>24/10/19</td> <td>AH</td> </tr> </tbody> </table>	Issue	Description	Date	By	A	ISSUED FOR DA	24/10/19	AH	Copyright in all documents and drawings prepared by JILA and in any work executed from those documents and drawings shall remain the property of JILA or on creation vest in JILA.
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jane irwin landscape architecture

Studio 203, Level 2, 61 Marlborough Street
Sunny Hills NSW 2010
Telephone 61 2 9212 6957
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CLIENT

Neeson Murcutt Architects PTY LTD

PROJECT TITLE

Pittwater House Schools - Stage 1

70 South Creek Road, Collaroy NSW 2097

DRAWING TITLE

Landscape Detail Plan 05

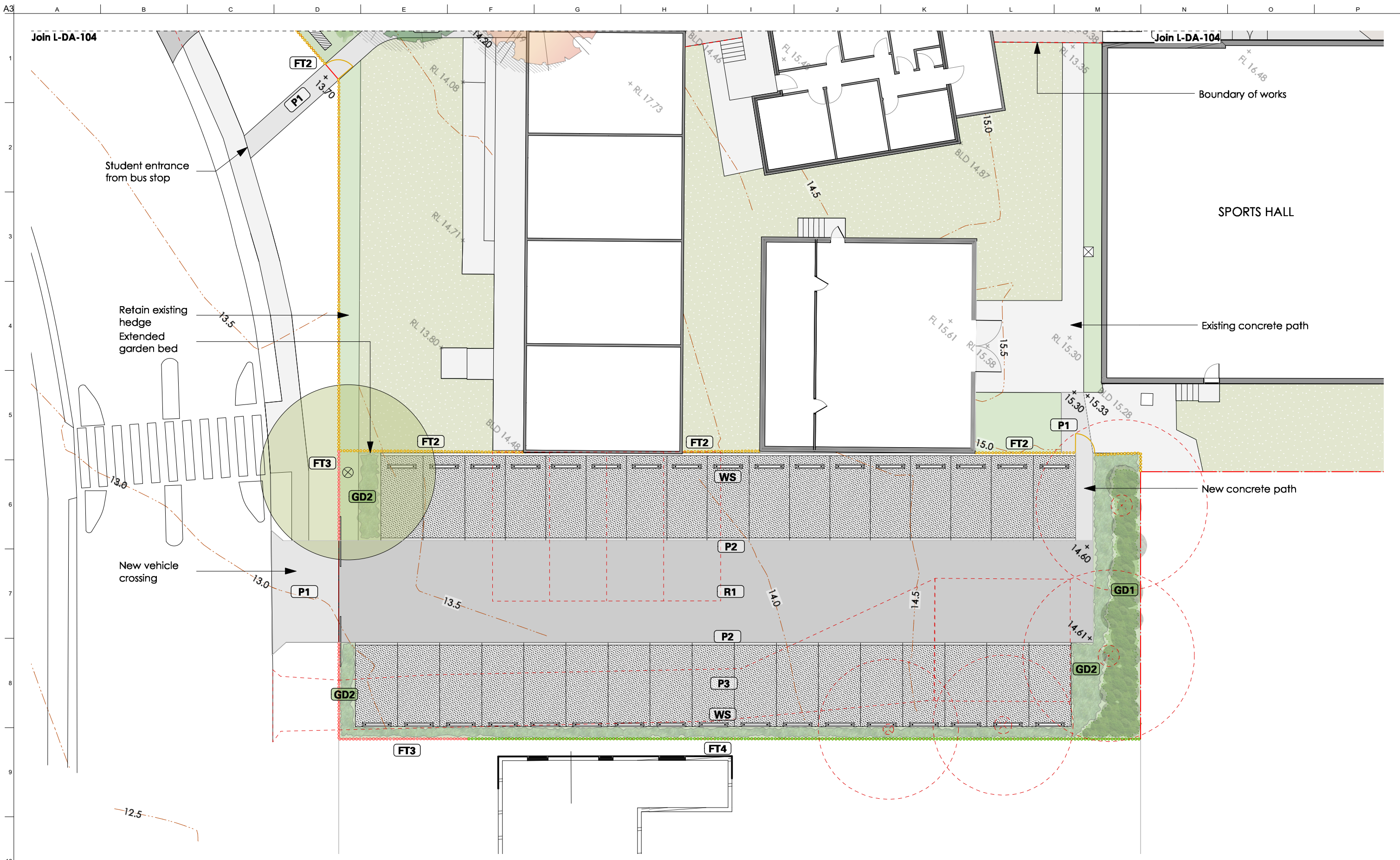
Scale @ A3
1:200

Job No
190601

Drawing Status
Development Application

Drawing No
L-DA-105

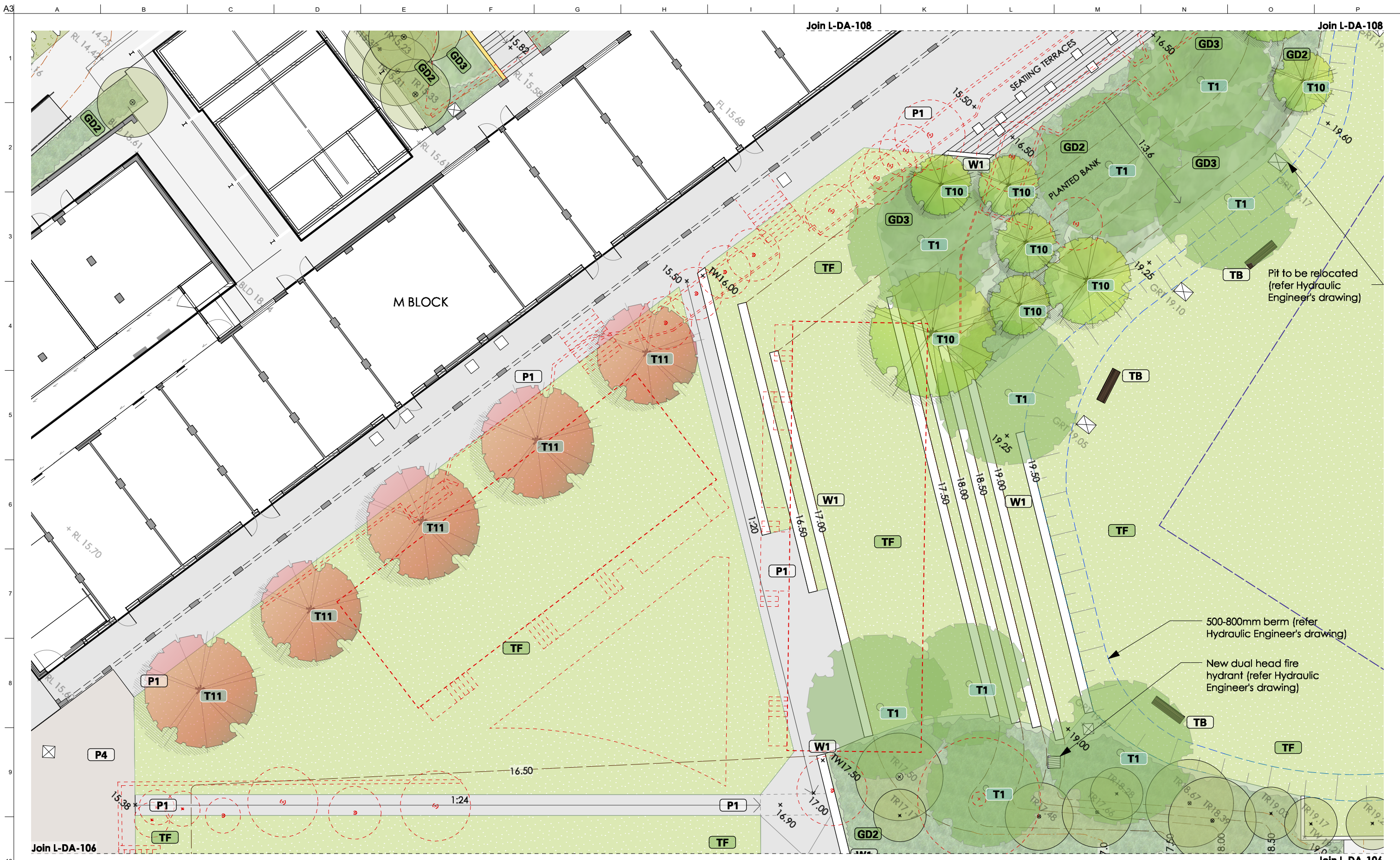
Issue
A



6 Landscape Detail Plan 06
Scale: 1:200

NOT FOR CONSTRUCTION

<p>Dimension in millimetres. - Confirm all dimensions and levels on site prior to commencing work. - Use figured dimensions only. - Do not scale. - Comply with relevant authorities requirements, the Building Code of Australia and all relevant Australian Standards when executing works described in this drawing.</p>		<p>LANDSCAPE ARCHITECT</p> <p>jane irwin landscape architecture Studio 203, Level 2, 61 Marlborough Street Sunny Hills NSW 2010 Telephone 61 2 9212 6957 Email info@jila.net.au Web www.jila.net.au</p> 		<p>CLIENT</p> <p>Neeson Murcutt Architects PTY LTD</p>		<p>PROJECT TITLE</p> <p>Pittwater House Schools - Stage 1 70 South Creek Road, Collaroy NSW 2097</p>		<p>DRAWING TITLE</p> <p>Landscape Detail Plan 06</p> <p>Scale @ A3 1:200</p> <p>Job No 190601</p> <p>Drawing Status Development Application</p> <p>Drawing No L-DA-106</p> <p>Issue A</p>	
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<p>ISSUED FOR DA</p>		<p>24/10/19</p>		<p>AH</p>					
<p>Issue Description</p>		<p>Date</p>		<p>By</p>					



7 LANDSCAPE DETAIL PLAN 07
Scale: 1:200

NOT FOR CONSTRUCTION

<ul style="list-style-type: none"> - Dimension in millimetres. - Confirm all dimensions and levels on site prior to commencing work. - Use figured dimensions only. - Do not scale. - Comply with relevant authorities requirements, the Building Code of Australia and all relevant Australian Standards when executing works described in this drawing. 								
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LANDSCAPE ARCHITECT

jane irwin landscape architecture

Studio 203, Level 2, 61 Marlborough Street
Sunny Hills NSW 2010
Telephone 61 2 9212 6957
Email info@jila.net.au
Web www.jila.net.au

CLIENT

Neeson Murcutt Architects PTY LTD

PROJECT TITLE

Pittwater House Schools - Stage 1

70 South Creek Road, Collaroy NSW 2097

DRAWING TITLE

Landscape Detail Plan 07

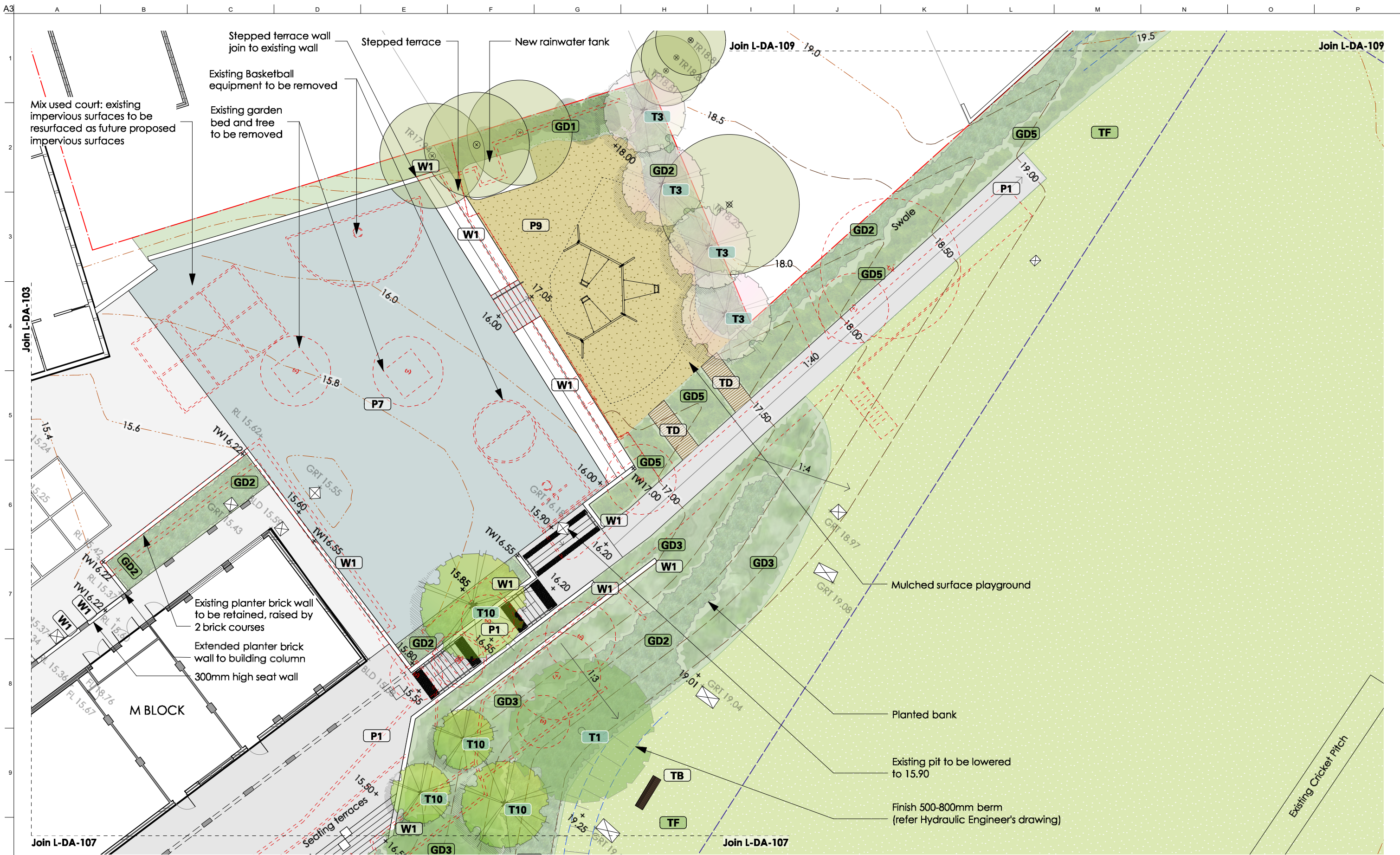
Scale @ A3
1:200

Job No
190601

Drawing Status
Development Application

Drawing No
L-DA-107

Issue
A



8 LANDSCAPE DETAIL PLAN 08
Scale: 1:200

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A	ISSUED FOR DA	28/10/19	AH
Issue	Description	Date	By

LANDSCAPE ARCHITECT

jane irwin landscape architecture

Studio 203, Level 2, 61 Marlborough Street
Sunny Hills NSW 2010
Telephone 61 2 9212 6957
Email info@jila.net.au
Web www.jila.net.au

CLIENT

Neeson Murcutt Architects PTY LTD

PROJECT TITLE

Pittwater House Schools - Stage 1

70 South Creek Road, Collaroy NSW 2097

DRAWING TITLE

Landscape Detail Plan 08

Scale @ A3
1:200

Job No
190601

Drawing Status
Development Application

Drawing No
L-DA-108

Issue
A



9 LANDSCAPE DETAIL PLAN 09
Scale: 1:200

NOT FOR CONSTRUCTION

Issue	Description	Date	By
A	ISSUED FOR DA	24/10/19	AH

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jane irwin landscape architecture

Studio 203, Level 2, 61 Marlborough Street
Sunny Hills NSW 2010
Telephone 61 2 9212 6957
Email info@jila.net.au
Web www.jila.net.au



CLIENT

Neeson Murcutt Architects PTY LTD

PROJECT TITLE

Pittwater House Schools - Stage 1

70 South Creek Road, Collaroy NSW 2097

DRAWING TITLE

Landscape Detail Plan 09


Scale @ A3
1:200

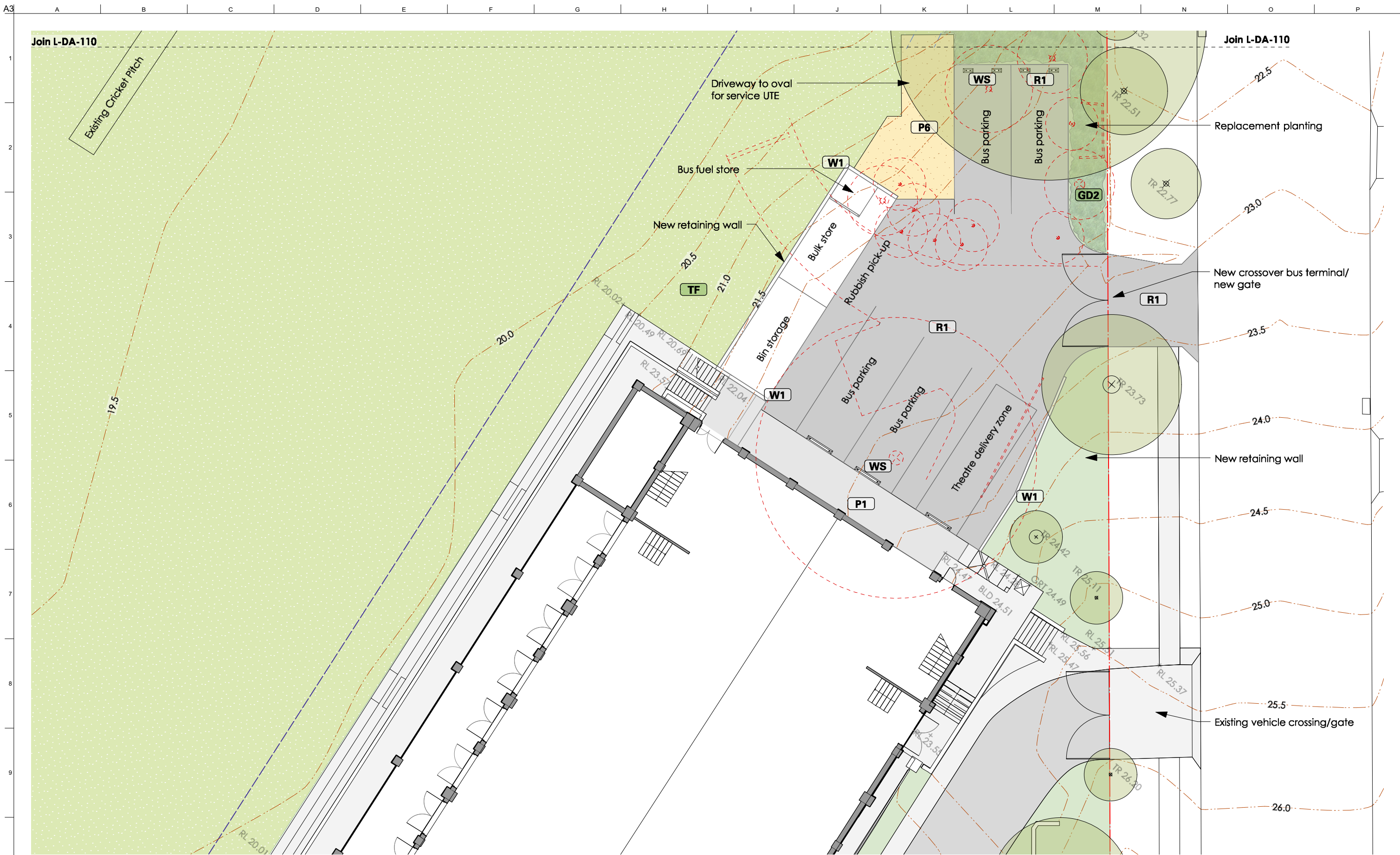
Job No
190601

Drawing Status
Development Application

Drawing No
L-DA-109

Issue
A





11 LANDSCAPE DETAIL PLAN 11
Scale: 1:200

NOT FOR CONSTRUCTION

Issue	Description	Date	By
A	ISSUED FOR DA	24/10/19	AH

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jane irwin landscape architecture

Studio 203, Level 2, 61 Marlborough Street
Sunny Hills NSW 2010
Telephone 61 2 9212 6957
Email info@jila.net.au
Web www.jila.net.au

jila

CLIENT

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PROJECT TITLE

Pittwater House Schools - Stage 1

70 South Creek Road, Collaroy NSW 2097

DRAWING TITLE

Landscape Detail Plan 11

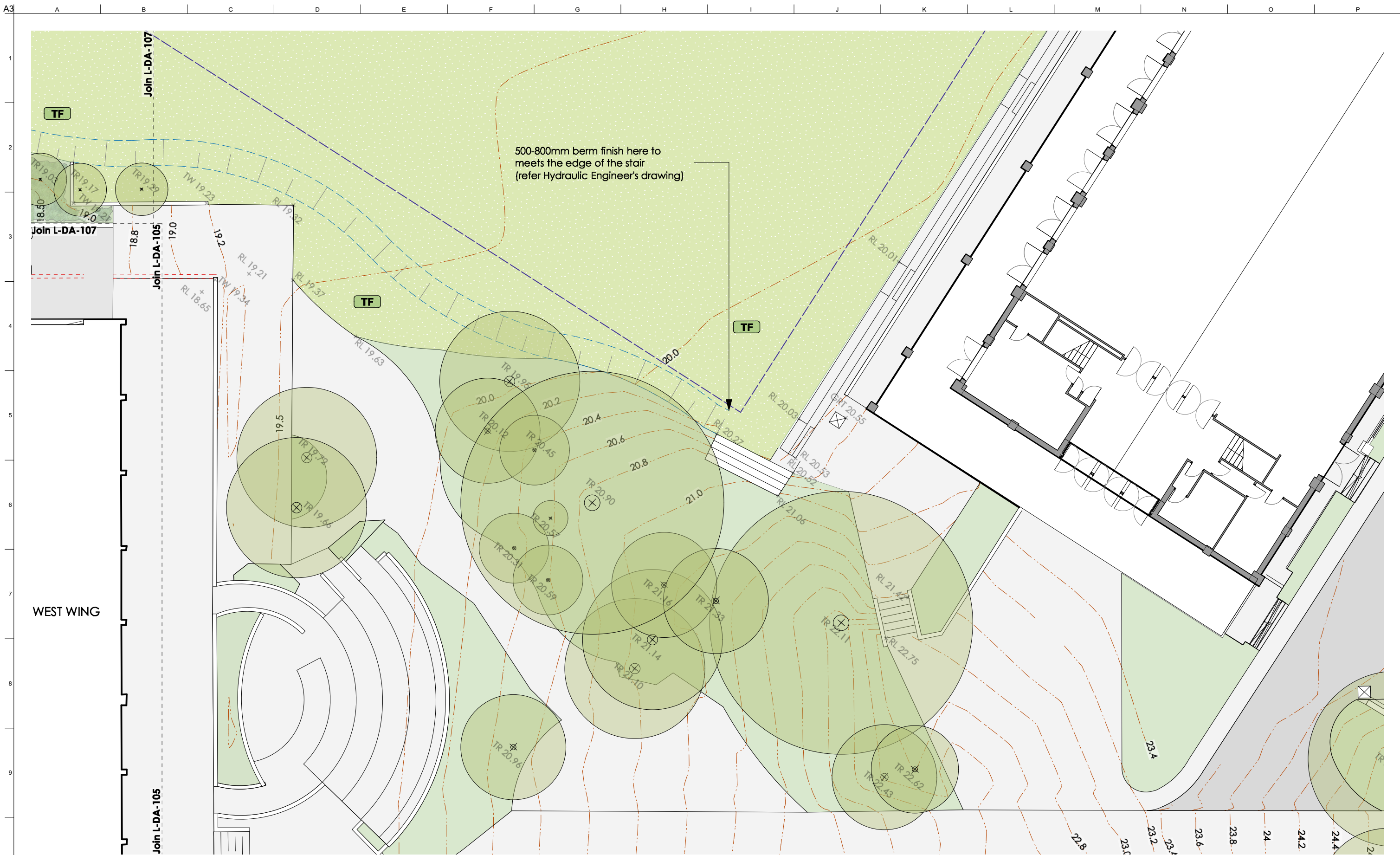
Scale @ A3
1:200

Job No
190601

Drawing Status
Development Application

Drawing No
L-DA-111

Issue
A



12 LANDSCAPE DETAIL PLAN 12
Scale: 1:200

NOT FOR CONSTRUCTION

Issue	Description	Date	By
A	ISSUED FOR DA	24/10/19	AH

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jane irwin landscape architecture

Studio 203, Level 2, 61 Marlborough Street
 Sunny Hills NSW 2010
 Telephone 61 2 9212 6957
 Email info@jila.net.au
 Web www.jila.net.au



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PROJECT TITLE

Pittwater House Schools - Stage 1

70 South Creek Road, Collaroy NSW 2097

DRAWING TITLE

Landscape Detail Plan 12


Scale @ A3
1:200

Job No
190601

Drawing Status
Development Application

Drawing No
L-DA-112

Issue
A





NOT FOR CONSTRUCTION

Issue	Description	Date	By
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jane irwin landscape architecture

Studio 203, Level 2, 61 Marlborough Street
 Surry Hills NSW 2010
 Telephone 61 2 9212 6957
 Email info@jila.net.au
 Web www.jila.net.au

jila

CLIENT

Neeson Murcutt Architects PTY LTD

PROJECT TITLE

Pittwater House Schools - Stage 1

70 South Creek Road, Collaroy NSW 2097

DRAWING TITLE

Section Location Plan

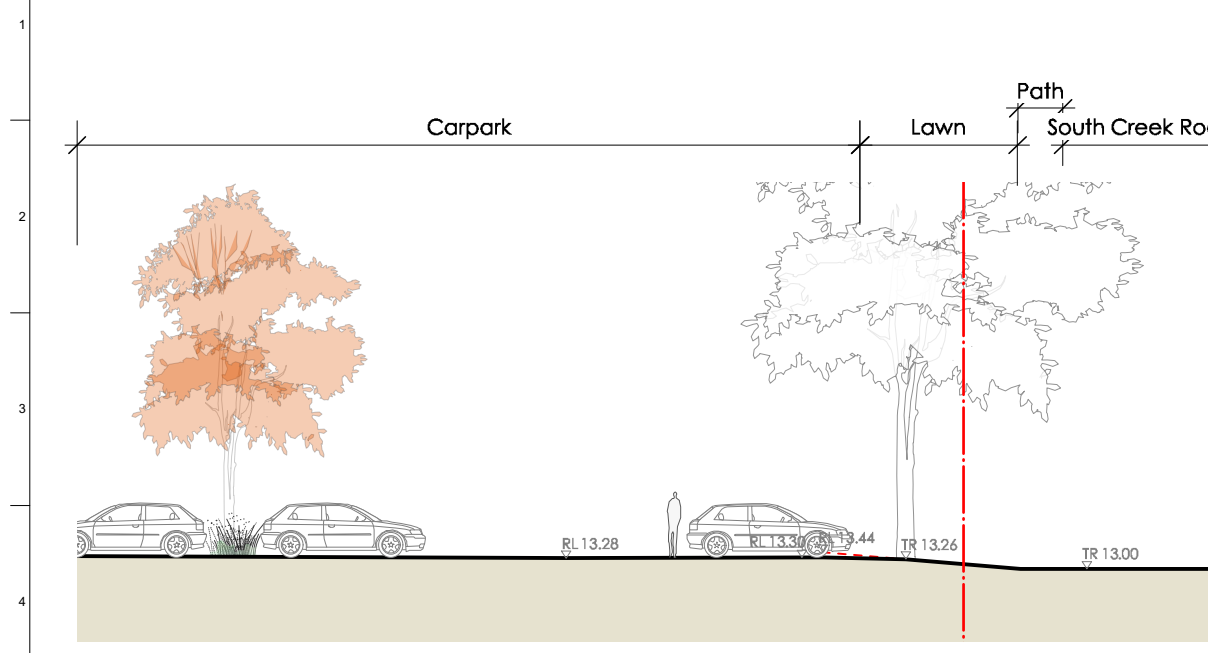
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 1:800

Job No
 190601

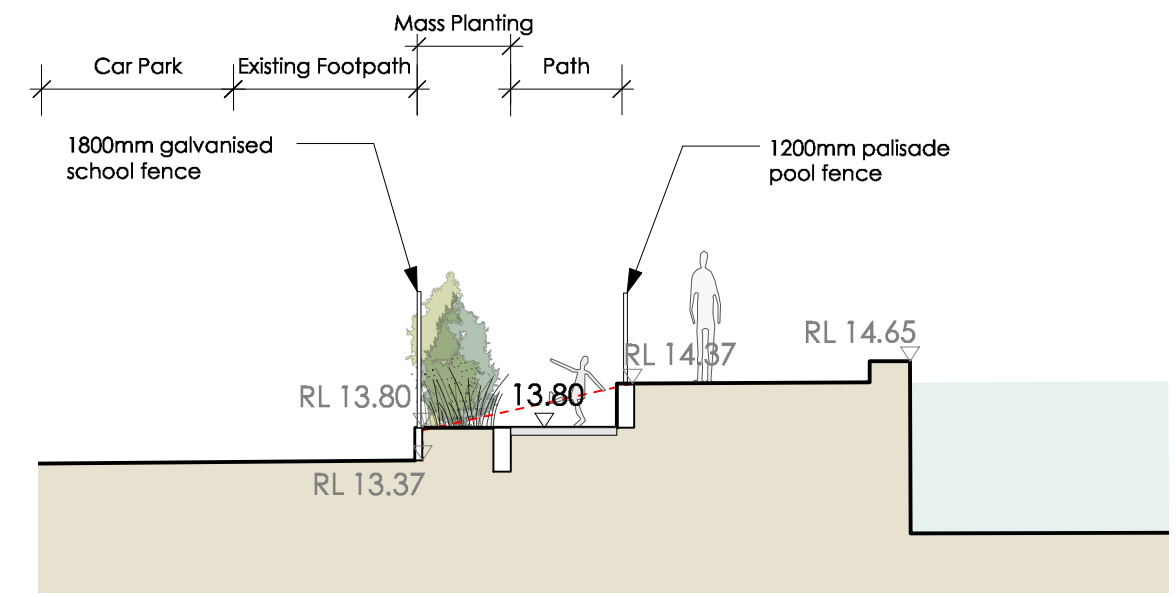
Drawing Status
 Development Application

Drawing No
 L-DA-500

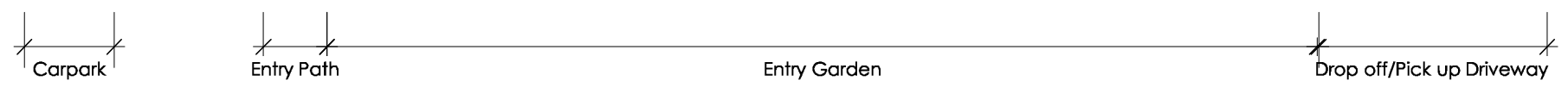
Issue
 A



1 ECC CARPARK & PUBLIC DOMAIN
Scale: 1:200



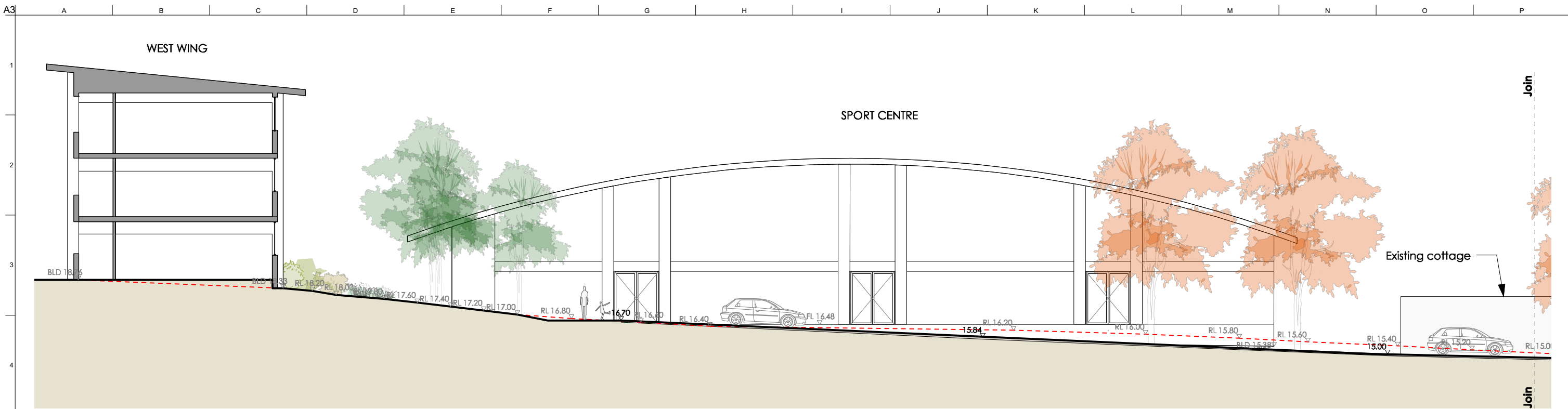
2 SWIMMING POOL FENCE
Scale: 1:100



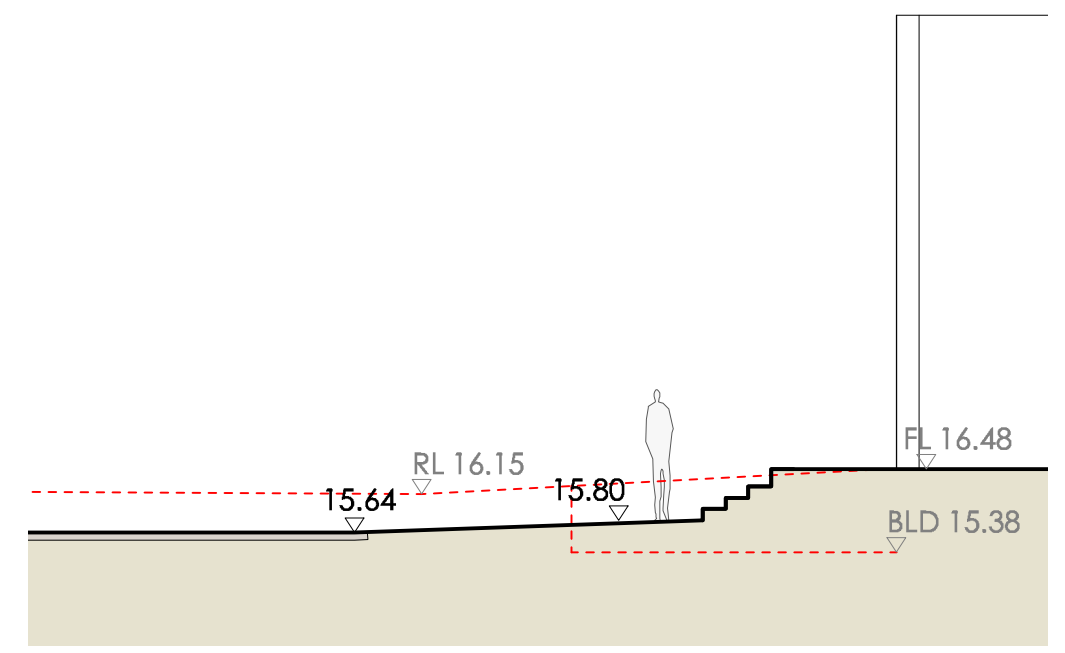
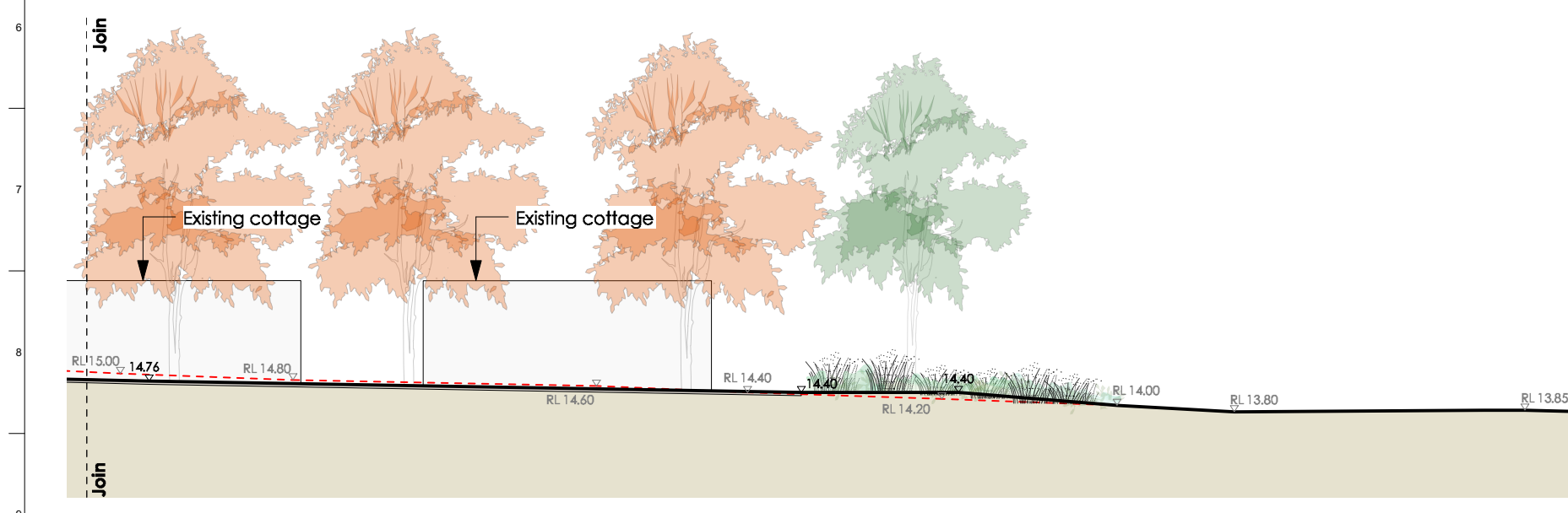
3 ENTRY GARDEN
Scale: 1:200

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4 DROP OFF/PICK UP SECTION ELEVATION
Scale: 1:200



5 TERRACE - SPORT CENTRE ENTRY
Scale: 1:100

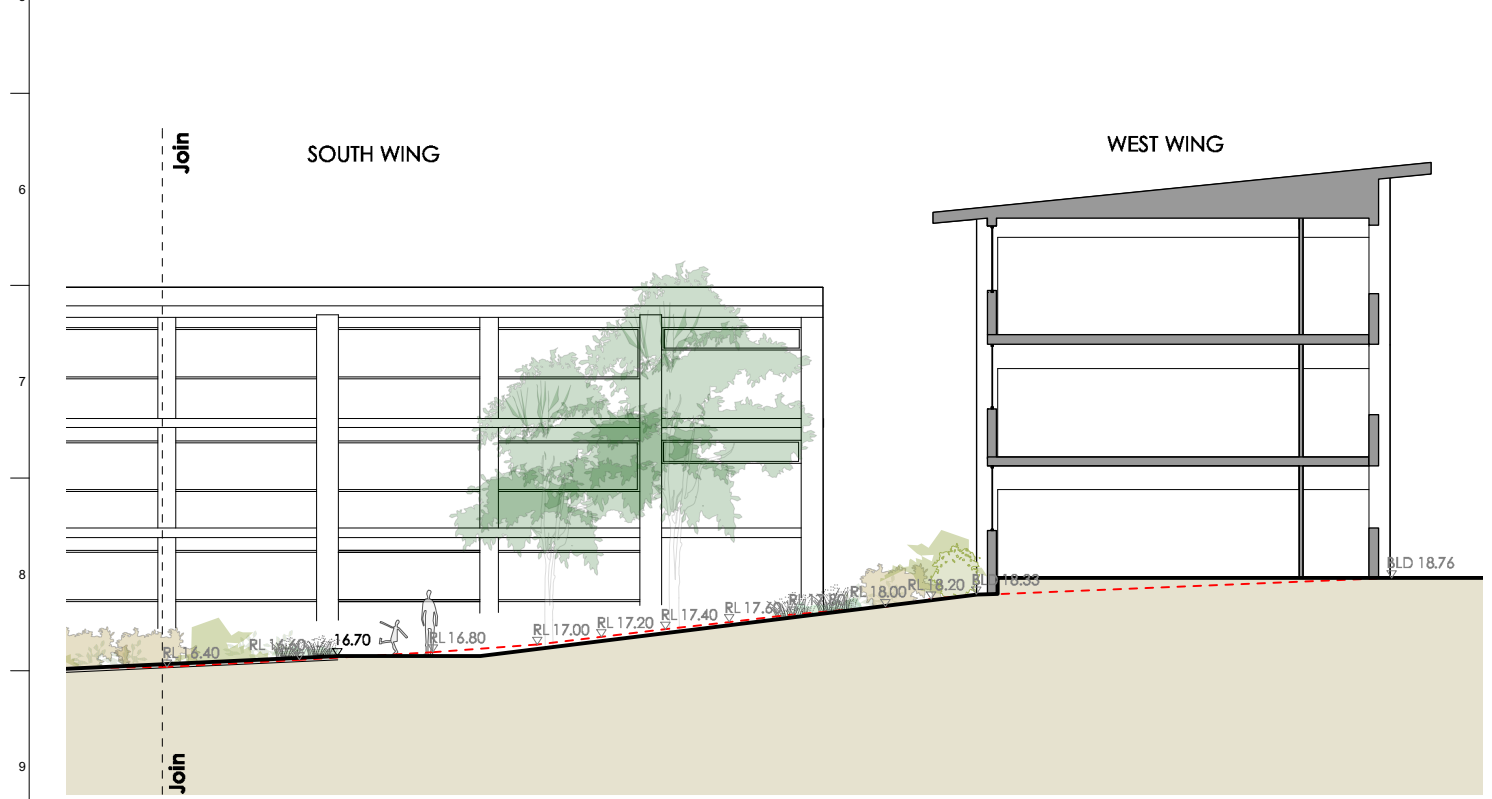
NOT FOR CONSTRUCTION

<ul style="list-style-type: none"> - Dimension in millimetres. - Confirm all dimensions and levels on site prior to commencing work. - Use figured dimensions only. - Do not scale. - Comply with relevant authorities requirements, the Building Code of Australia and all relevant Australian Standards when executing works described in this drawing. 				<p>LANDSCAPE ARCHITECT</p> <p>jane irwin landscape architecture</p> <p>Studio 203, Level 2, 61 Marlborough Street Surry Hills NSW 2010 Telephone 61 2 9212 6957 Email info@jila.net.au Web www.jila.net.au</p> 		<p>CLIENT</p> <p>Neeson Murcutt Architects PTY LTD</p>		<p>PROJECT TITLE</p> <p>Pittwater House Schools - Stage 1</p> <p>70 South Creek Road, Collaroy NSW 2097</p>		<p>DRAWING TITLE</p> <p>Landscape Section/Elevation 02</p> <p>Scale @ A3 Varies</p> <p>Job No 190601 Drawing Status Development Application</p> <p>Drawing No L-DA-502 Issue A</p>	
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Issue	Description	Date	By								

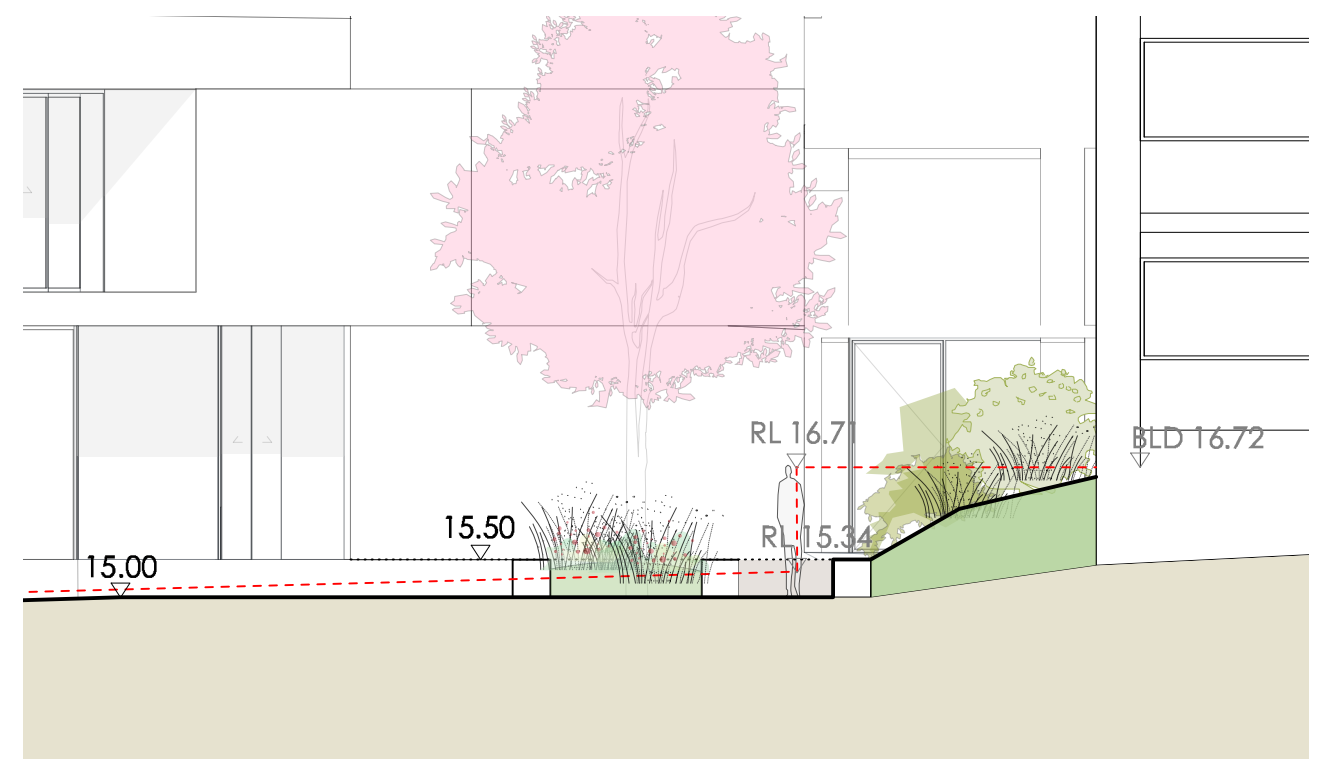


Drop off/pick up driveway

6 DROP OFF/PICK UP SECTION ELEVATION
Scale: 1:200




Drop off/pick up driveway Bypass Path Turf and planting

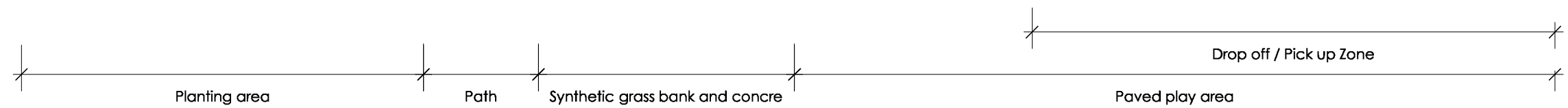
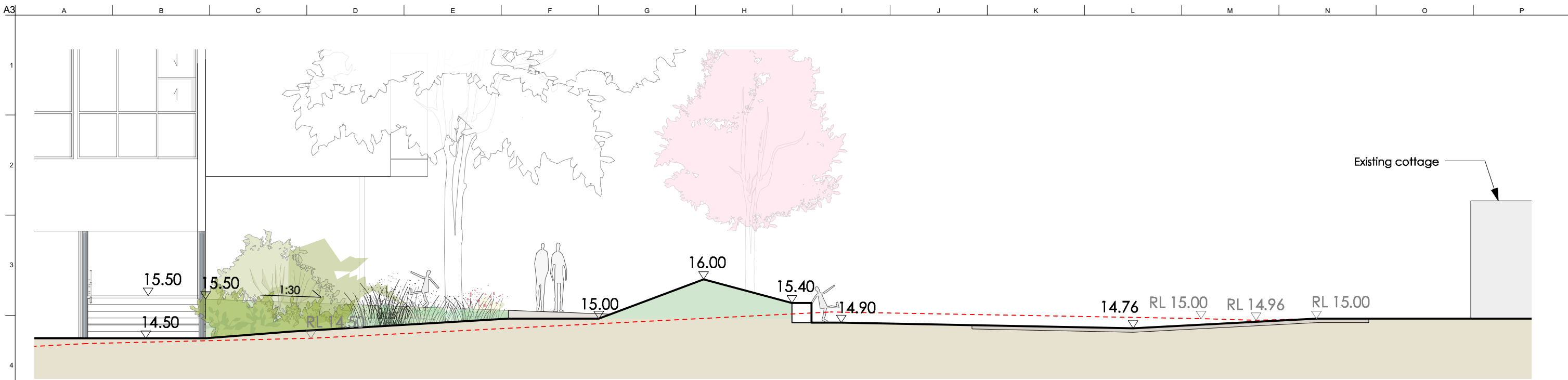


Path Bench Seating Path New Planted bank

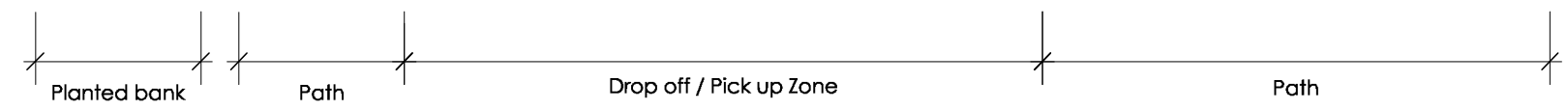
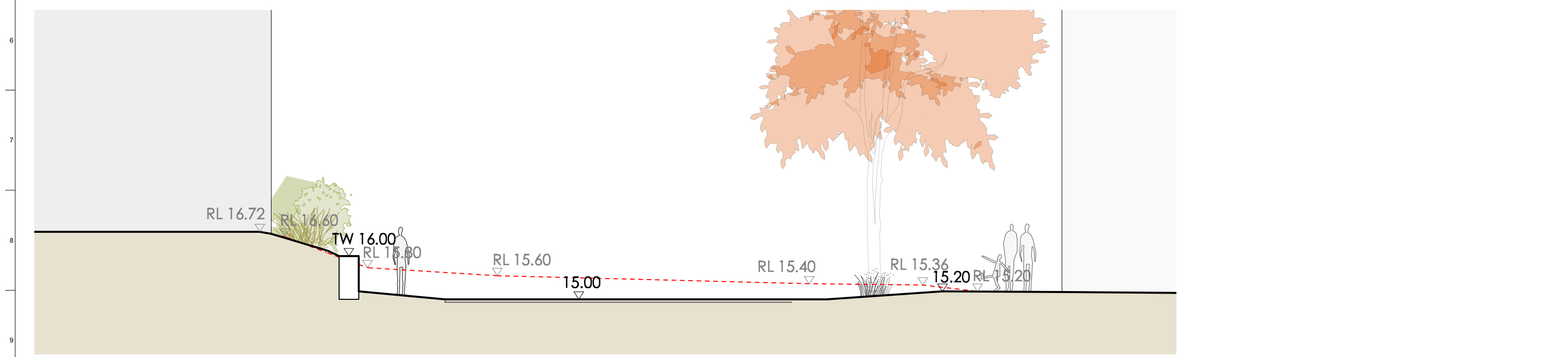
7 MEMORIAL TREE
Scale: 1:100

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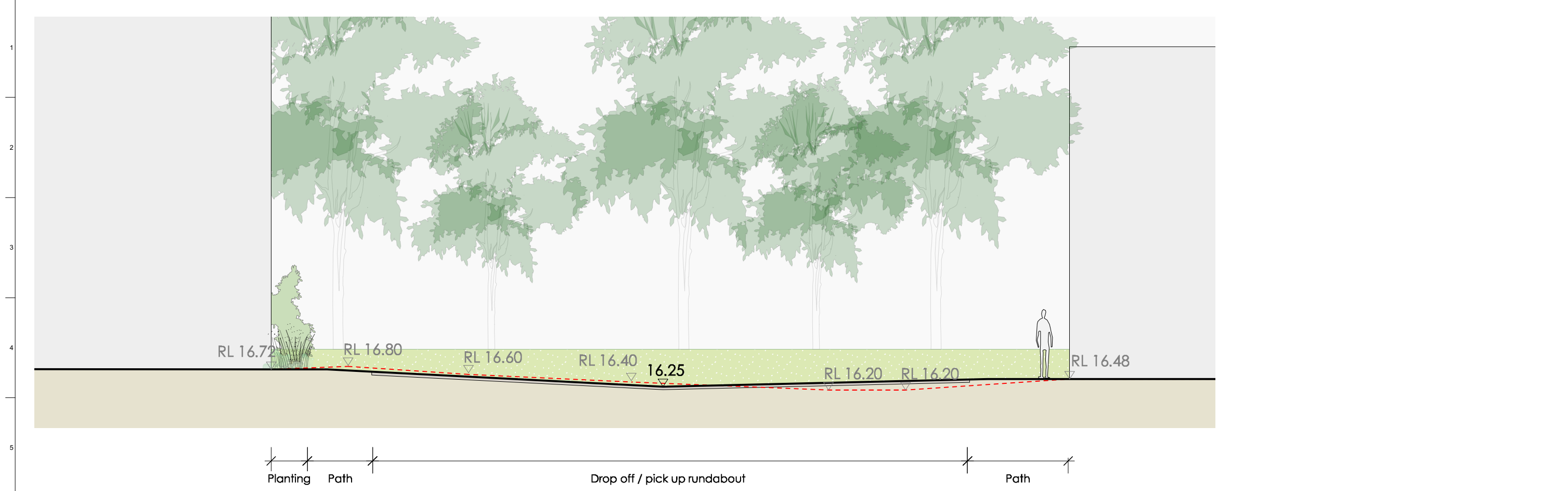
8 DROP OFF/PICK UP SECTION
Scale: 1:100



9 DROP OFF/PICK UP SECTION
Scale: 1:100

NOT FOR CONSTRUCTION

<p>Dimension in millimetres. - Confirm all dimensions and levels on site prior to commencing work. - Use figured dimensions only. - Do not scale. - Comply with relevant authorities requirements, the Building Code of Australia and all relevant Australian Standards when executing works described in this drawing.</p>		<p>LANDSCAPE ARCHITECT</p> <p>jane irwin landscape architecture Studio 203, Level 2, 61 Marlborough Street Surry Hills NSW 2010 Telephone 61 2 9212 6957 Email info@jila.net.au Web www.jila.net.au</p> 		<p>CLIENT</p> <p>Neeson Murcutt Architects PTY LTD</p>		<p>PROJECT TITLE</p> <p>Pittwater House Schools - Stage 1 70 South Creek Road, Collaroy NSW 2097</p>		<p>DRAWING TITLE</p> <p>Landscape Sections 04</p> <p>Scale @ A3 1:100</p> <p>Job No 190601</p> <p>Drawing Status Development Application</p> <p>Drawing No L-DA-504</p> <p>Issue A</p>	
A	ISSUED FOR DA	24/10/19	AH	Copyright in all documents and drawings prepared by JILA and in any work executed from those documents and drawings shall remain the property of JILA or on creation vest in JILA.					
Issue	Description	Date	By						



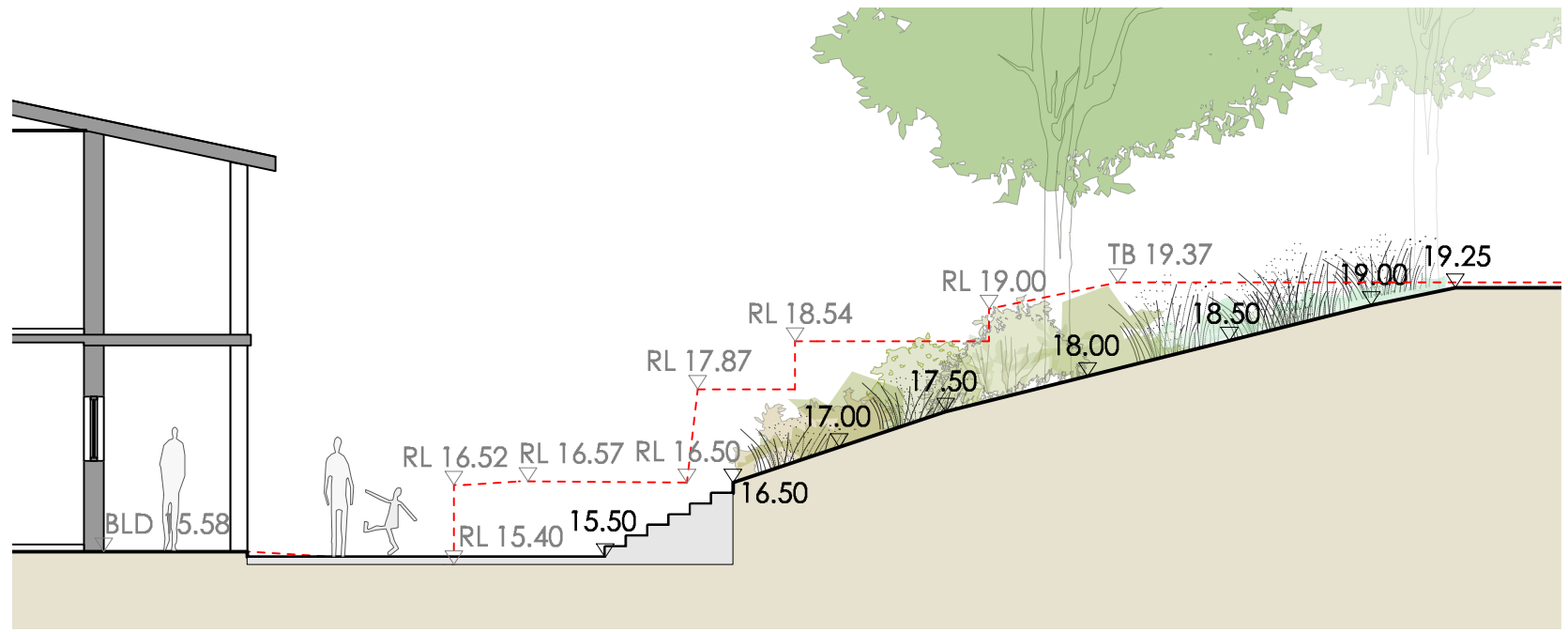
10 DROP OFF/PICK UP SECTION
Scale: 1:100



11 AMPHITHEATRE LANDSCAPE SECTION
Scale: 1:200

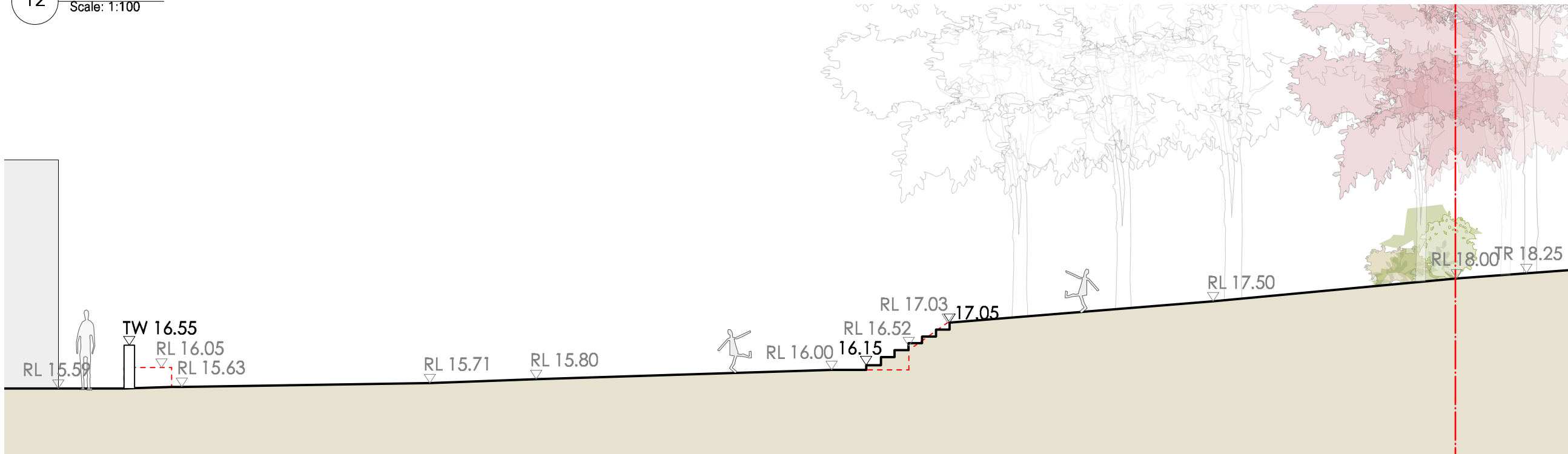
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<p>Issue Description Date By</p>				<p>Issue Description Date By</p>		<p>Issue Description Date By</p>		<p>Drawing No L-DA-505</p>		<p>Issue A</p>	



Seating Terraces
Planted Bank

12 KINDY AREA
Scale: 1:100



1500
Mixed Use Court
Stepped Terrace
Mulched Surface Playground
Resident Area

13 MIXED USED COURT & PLAYGROUND
Scale: 1:100

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LANDSCAPE ARCHITECT
jane irwin landscape architecture
Studio 203, Level 2, 61 Marlborough Street
Surry Hills NSW 2010
Telephone 61 2 9212 6957
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Web www.jila.net.au

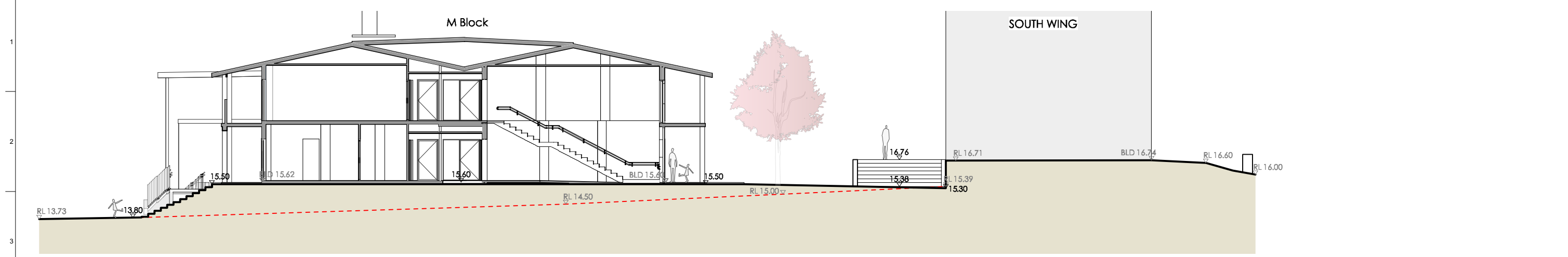


CLIENT
Neeson Murcutt Architects PTY LTD

PROJECT TITLE
Pittwater House Schools
70 South Creek Road, Collaroy NSW 2097

DRAWING TITLE Landscape Sections 06	
Scale @ A3 1:100	
Job No 190601	Drawing Status Development Application
Drawing No L-DA-506	Issue A

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Dry Creek Playground Amphitheatre Path

14 NEW BUILDING & M BLOCK PASS
Scale: 1:200



Oval Low Mound Swale Existing Trees Planting Area Resident Area

15 NORTHERN OVAL - SWALE & LOW MOUND
Scale: 1:100

NOT FOR CONSTRUCTION

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<p>Issue</p>				<p>Date</p>		<p>By</p>		<p>Drawing No L-DA-507</p>		<p>Issue A</p>	

GENERAL REQUIREMENTS

THE FOLLOWING EROSION AND SEDIMENT CONTROL PLAN (ESCP) HAS BEEN DEVELOPED IN GENERAL ACCORDANCE WITH LANDCOM (2004) – MANAGING URBAN STORMWATER: SOILS AND CONSTRUCTION, OTHERWISE KNOWN AS "THE BLUE BOOK". THIS PLAN SHOULD ALSO BE READ IN CONJUNCTION WITH MANAGING URBAN STORMWATER – SOILS AND CONSTRUCTION (VOLUME 2A INSTALLATION OF SERVICES).

SITE ESTABLISHMENT

PRIOR TO THE COMMENCEMENT OF EARTHWORKS ON THE SITE THE FOLLOWING SHALL BE UNDERTAKEN AS A MINIMUM:

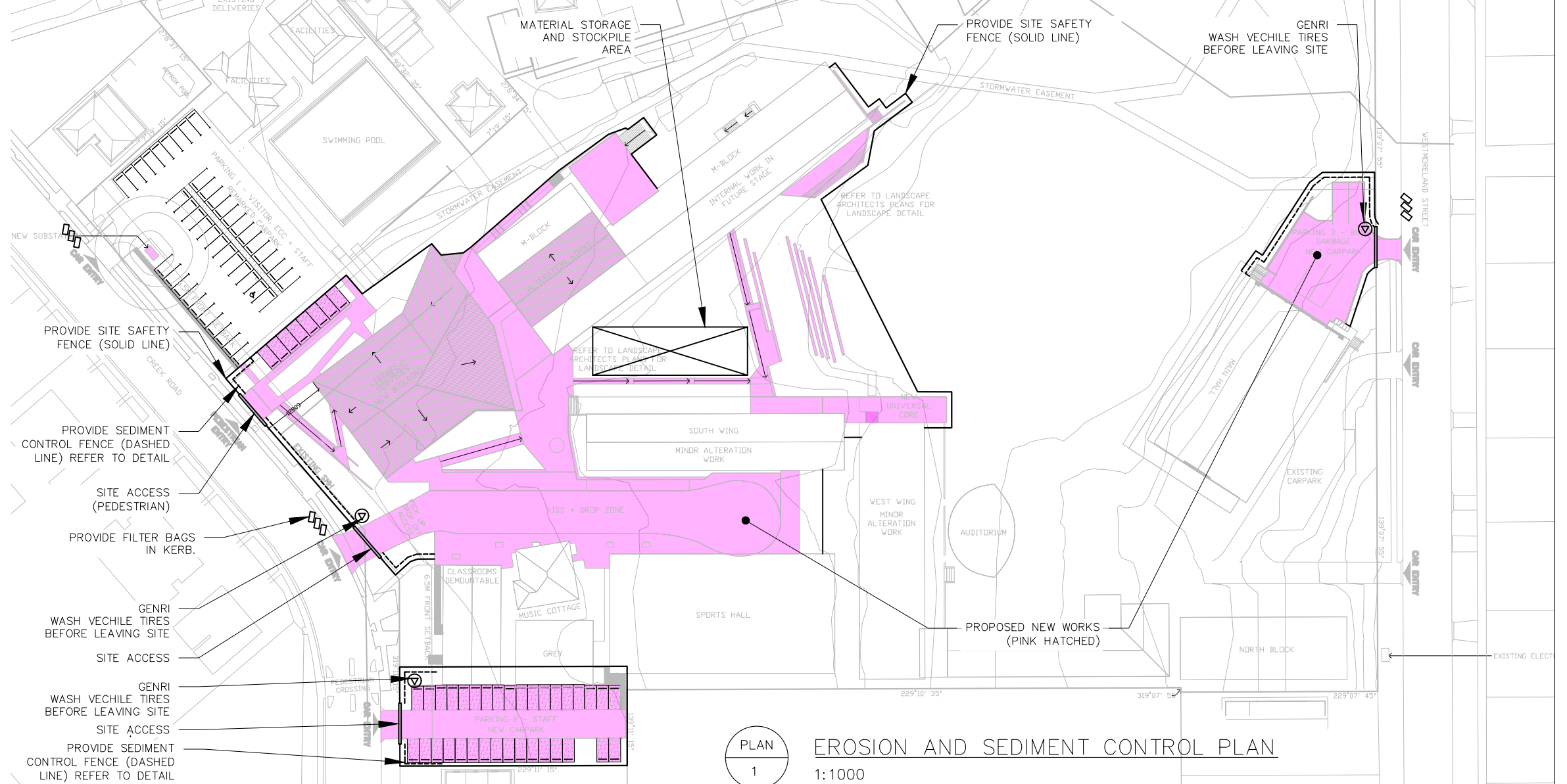
1. ERECT SAFETY FENCING WITH SIGNAGE CLEARLY INDICATING THAT THE SITE IS A CONSTRUCTION ZONE AND ACCESS IS RESTRICTED AS DEEMED NECESSARY.
2. ERECT CLEARLY VISIBLE BARRIER FENCING AT LOCATIONS SHOWN OR IF NOT SHOWN AT THE DISCRETION OF THE SITE SUPERINTENDENT TO ENSURE TRAFFIC IS CONTROLLED AND TO PROHIBIT UNNECESSARY SITE DISTURBANCE.
3. WHERE REQUIRED AT THE DISCRETION OF THE SITE SUPERINTENDENT, INSTALL STABILISED SITE ACCESS AT SITE ACCESS POINT TO PREVENT CONSTRUCTION EQUIPMENT FROM CARRYING SEDIMENT OFF THE SITE ONTO SURROUNDING ROADS.
4. PROVIDE GENRI PRESSURE CLEANER AT SITE EXIT POINT FOR TYRE WASH DOWN AT THE DISCRETION OF THE SITE SUPERINTENDENT.
5. INSTALL SEDIMENT AND EROSION CONTROL DEVICES IN ACCORDANCE WITH THE CONSTRUCTION DETAILS SPECIFIED IN THIS DRAWING SET AND/OR THE REQUIREMENTS OF THE 'BLUE BOOK'.

CONSTRUCTION

6. THE SITE WILL REMAIN PREDOMINANTLY CONCRETE & BRICKWORK (EXISTING FOUNDATIONS TO BE LEFT IN-SITU). THEREFORE EROSION AND SEDIMENT CONTROLS WILL NEED TO BE ADJUSTED AS EXCAVATION OCCURS.
7. USE SANDBAGS, HAY BALES AND/OR GRAVEL FILLED GEOTEXTILE SOCKS TO FILTER AND CONVEY STORMWATER RUNOFF WITHIN THE SITE.
8. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
9. INLET FILTERS SHALL BE INSTALLED WHERE SHOWN TO PREVENT WATER FROM DIRECTLY ENTERING THE PERMANENT DRAINAGE SYSTEM UNLESS IT IS RELATIVELY SEDIMENT FREE. IF THE LOCATION OF INLET FILTERS ARE NOT SHOWN ON THE PLAN THEIR LOCATION SHALL BE AT THE DISCRETION OF THE SUPERINTENDENT.
10. STAGE WORK AND PROGRAMMING OF CONSTRUCTION ACTIVITIES TO MINIMISE THE EXTENT AND DURATION OF OPEN EXCAVATION. AVOID OPENING TRENCHES WHENEVER THE RISKS OF STORMS ARE HIGH.
11. DIVERT SURFACE WATER AWAY FROM EXCAVATION AREAS WITH SANDBAGS OR EQUIVALENT.
12. FOR DEWATERING OF EXCAVATION AREAS SET UP TEMPORARY DEWATERING PUMP OUT SYSTEM AS REQUIRED AND ENSURE FLOCCULATION IS USED IF WATER IS NOT CLEAR (i.e. SEDIMENT > 50mg/L). FOR RATES AND AGENTS REFER APPENDIX E NSW DEPARTMENT OF HOUSING "MANAGING URBAN STORMWATER SOILS & CONSTRUCTION". DISCHARGE SHALL BE DIRECTLY TO COUNCIL'S PIPED DRAINAGE SYSTEM WHERE POSSIBLE.
13. STOCKPILES SHALL BE LOCATED NO CLOSER THAN 2m (PREFERABLY 5m) FROM CONCENTRATED WATER FLOW, ROADS AND HAZARD AREAS. PROTECT STOCKPILES FROM EROSION BY RAIN AND SURFACE FLOWS.
14. ENSURE CHEMICAL AND FUELS ARE STORED WITHIN BUNDED AREAS AND ELEVATED ABOVE POTENTIAL FLOW PATHS.

MAINTENANCE

15. ALL DEDICATED SEDIMENT STORAGE ZONES WITHIN TRAPS SHALL BE CLEANED WHEN A MAXIMUM OF 60% FULL OF SOLID MATERIALS AND DISPOSED OF IN A MANNER THAT PREVENTS FURTHER POLLUTION OF THE SITE.
16. TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES WILL BE RETAINED UNTIL EARTHWORK ACTIVITIES ARE COMPLETED AND THE SITE IS STABILISED.
17. THE CONTRACTOR SHALL INSPECT THE SITE AT LEAST WEEKLY AND AFTER ANY STORM EVENT AND WILL:
 - 17.1. ENSURE THAT DRAINS OPERATE PROPERLY AND TO EFFECT ANY NECESSARY REPAIRS;
 - 17.2. REMOVE SPILLED SAND OR OTHER MATERIALS FROM AREAS OF LIKELY CONCENTRATED OR HIGH VELOCITY FLOWS (ESPECIALLY DRAINS AND TEMPORARY FLOW PATHS)
 - 17.3. REMOVE TRAPPED SEDIMENT WHENEVER LESS THAN DESIGN CAPACITY REMAINS WITHIN THE STRUCTURE;
 - 17.4. CONSTRUCT ADDITIONAL EROSION AND/OR SEDIMENT CONTROL WORKS AS REQUIRED;
 - 17.5. MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES IN A FULLY FUNCTIONING CONDITION UNTIL ALL EARTHWORK ACTIVITIES ARE COMPLETED AND THE SITE IS STABILISED; AND
 - 17.6. REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL STRUCTURES AS THE LAST ACTIVITY IN THE CONSTRUCTION PROGRAM.



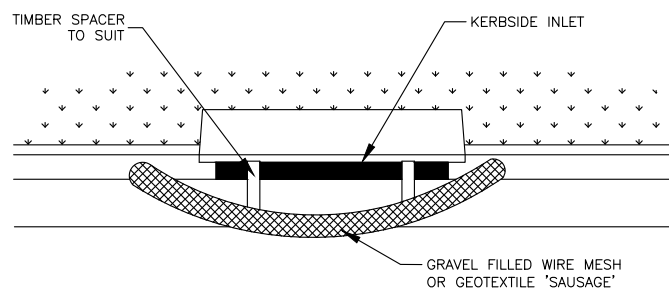
PLAN
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EROSION AND SEDIMENT CONTROL PLAN

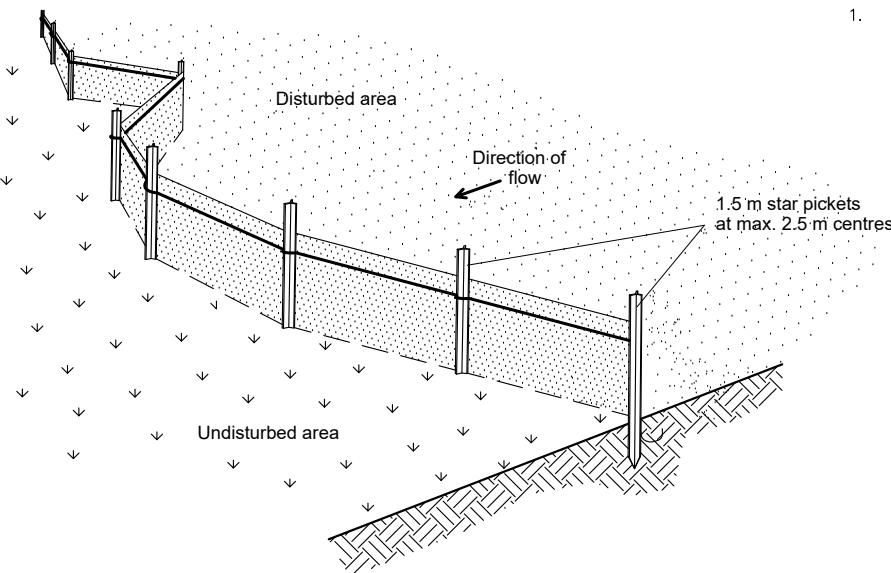
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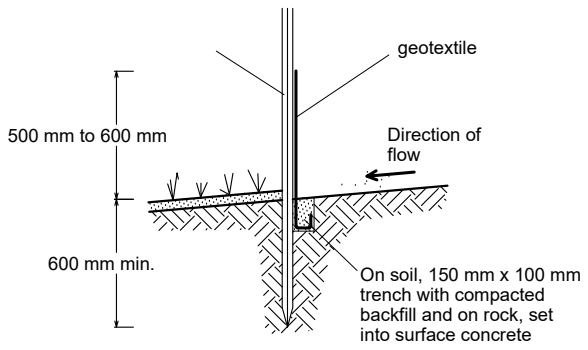
1. ALL PITS ON-SITE DURING CONSTRUCTION ARE TO HAVE A FILTER ROLL AROUND THEM. REFER TO DETAIL.



FILTER ROLL DETAIL
NTS



SEDIMENT FENCE
NTS



SECTION DETAIL

This drawing is confidential and shall only be used for the purposes of this project.				
REVISIONS	No.	BY	DATE	DESCRIPTION
	0	SSD	25.10.2019	ISSUE FOR DA

Scale
1:1000
DO NOT SCALE. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SPECIFIED

THE SIGNING OF THIS TITLE BLOCK CONFIRMS THE DESIGN AND DRAFTING OF THIS PROJECT HAVE BEEN PREPARED AND CHECKED IN ACCORDANCE WITH THE STELLEN QUALITY ASSURANCE SYSTEM			
DESIGNED	SSD	CHECKED	LES
DRAWN	SSD	CHECKED	LES
APPROVED	LES	DATE	25.10.2019

Stellen Consulting ABN 61 149 095 189

THE PITTWATER HOUSE SCHOOL			
EROSION & SEDIMENT CONTROL PLAN			
Size A3	Status ISSUE FOR DA	Dwg No. ES-101	Rev. 0