



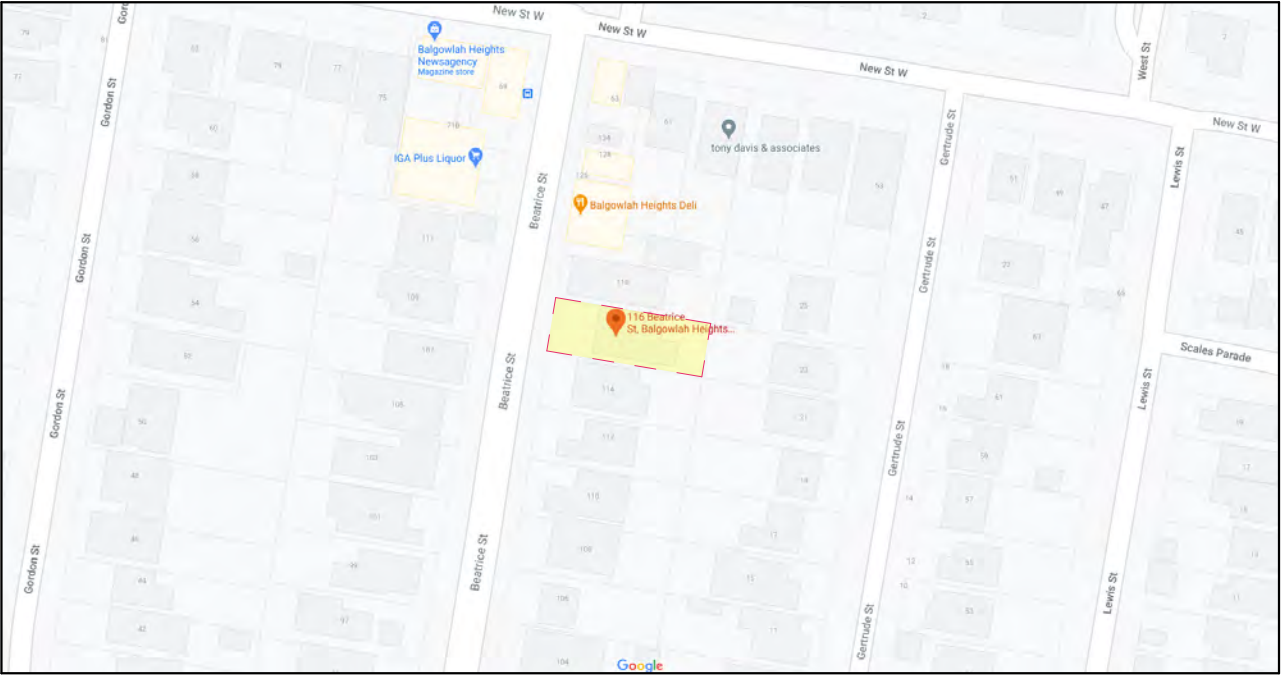
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116 BEATRICE STREET, BALGOWLAH HEIGHTS 2093

DEVELOPMENT APPLICATION

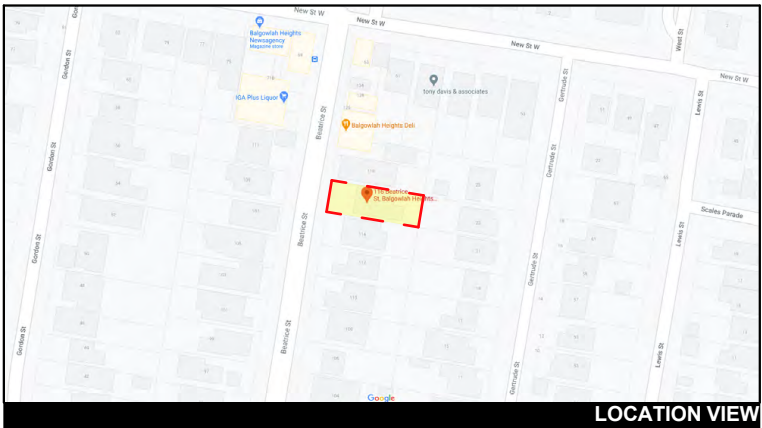
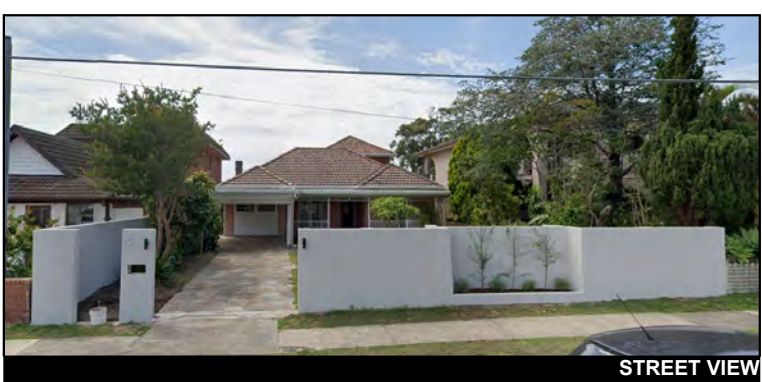
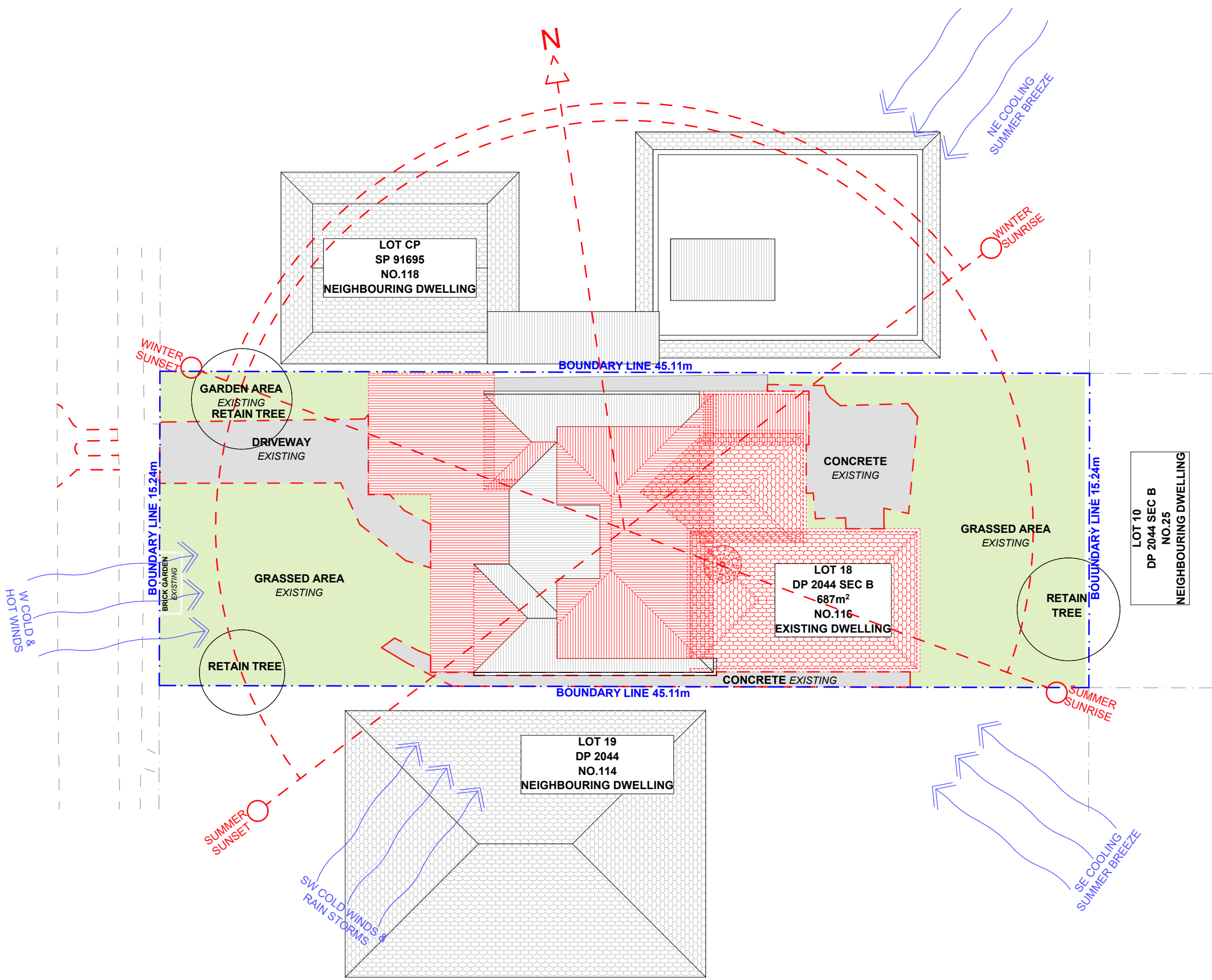
SHEET NUMBER	SHEET NAME	DATE PUBLISHED
DA00	COVER	28/06/2021
DA01	SITE ANALYSIS	28/06/2021
DA02	SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN	28/06/2021
DA03	EXISTING GROUND FLOOR PLAN	28/06/2021
DA04	EXISTING FIRST FLOOR PLAN	28/06/2021
DA05	PROPOSED GROUND FLOOR PLAN	28/06/2021
DA06	PROPOSED FIRST FLOOR PLAN	28/06/2021
DA07	WEST (STREET) / NORTH ELEVATION	28/06/2021
DA08	EAST / SOUTH ELEVATION	28/06/2021
DA09	LONG / CROSS SECTION	28/06/2021
DA10	DRIVEWAY PLAN & LONG SECTION	28/06/2021
DA11	POOL PLAN & LONG SECTION	28/06/2021
DA12	AREA CALCULATIONS	28/06/2021
DA13	SAMPLE BOARD	28/06/2021
DA14	FLOOR SPACE RATIO CALCULATIONS	28/06/2021
DA15	WINTER SOLSTICE 9 AM	28/06/2021
DA16	WINTER SOLSTICE 12 PM	28/06/2021
DA17	WINTER SOLSTICE 3 PM	28/06/2021
DA18	BASIX COMMITMENTS	28/06/2021
DA19	BASIX COMMITMENTS	28/06/2021



NCC & AS COMPLIANCES SPECIFICATIONS

- EARTHWORKS - PART 3.1.1 OF NCC
- EARTH RETAINING STRUCTURES - PART 3.1.2 OF NCC
- DRAINAGE - PART 3.1.3 OF NCC
- TERMITE-RISK MANAGEMENT - PART 3.1.4 OF NCC
- FOOTINGS & SLAB - PART 3.2 OF NCC INCLUDING AS 2870-2011
- MASONRY - PART 3.3 OF NCC INCLUDING AS 3700:2018
- FRAMING - PART 3.4 OF NCC
- SUB FLOOR VENTILATION - PART 3.4.1 OF NCC
- ROOF CLADDING AND WALL-CLADDING - PART 3.5 OF NCC
- GLAZING - PART 3.6 OF NCC INCLUDING AS 1288
- FIRE SAFETY - PART 3.7 OF NCC
- FIRE SEPARATION OF EXTERNAL WALLS - PART 3.7.2 OF NCC
- FIRE PROTECTION OF SEPARATING WALLS AND FLOORS- PART 3.7.3 OF NCC
- SMOKE ALARMS - PART 3.7.5 OF NCC
- WET AREAS AND EXTERNAL WATERPROOFING - PART 3.8.1 OF NCC
- ROOM HEIGHTS - PART 3.8.2 OF NCC
- FACILITIES - PART 3.8.3 OF NCC
- LIGHT - PART 3.8.4 OF NCC
- VENTILATION - PART 3.8.5 OF NCC
- SOUND INSULATION - PART 3.8.6 OF NCC
- STAIRWAYAND RAMP CONSTRUCTION - PART 3.9.1 OF NCC
- BARRIERS AND HANDRAILS - PART 3.9.2 OF NCC
- SWIMMING POOLS - PART 3.10.1 OF NCC
- CONSTRUCTION IN BUSHFIRE PRONE AREAS - PART 3.10.5 OF NCC
- FENCING & OTHER PROVISIONS - REGS & AS1926.1 2012
- DEMOLITION WORKS - AS2601-2001 THE DEMOLITION OF STRUCTURES.
- WATERPROOFING OF WET AREAS TO COMPLY WITH AS 3740-2010
- ALL PLUMBING & DRAINAGE WORK TO COMPLY WITH AS 3500:2018
- ALL PLASTERBOARD WORK TO COMPLY WITH AS 2588:2018
- ALL STRUCTURAL STEEL WORK TO COMPLY WITH AS 4100-1992 & AS 1554
- ALL CONCRETE WORK TO COMPLY WITH AS 3600:2018
- ALL ROOF SHEETING WORK TO COMPLY WITH AS 1562.1-2018
- ALL SKYLIGHTS TO COMPLY WITH AS 4285-2019
- ALL CERAMIC TILING TO COMPLY WITH AS 3958.1-2007 & 3958.2-1992
- ALL GLAZING ASSEMBLIES TO COMPLY WITH AS 2047-2014 & 1288
- ALL TIMBER RETAINING WALLS ARE TO COMPLY WITH AS 1720.1-2010, AS 1720.2-2006, AS 1720.4-2006, AS 1170.1-2002 & AS 1170.4-2007
- ALL RETAINING WALLS ARE TO COMPLY WITH 3700:2018 & AS 3600:2018
- ALL CONSTRUCTION TO COMPLY WITH AS 3959:2018

ITEM DETAILS	DEVELOPMENT APPLICATION			
ADDRESS	116 BEATRICE STREET, BALGOWLAH HEIGHTS 2093			
LOT & DP/SP	LOT 18 SEC B DP 2044			
COUNCIL	NORTHERN BEACHS COUNCIL (MANLY)			
SITE AREA	687m²			
FRONTAGE	15.24m			
CONTROLS	PERMISSIBLE / REQUIRED	EXISTING	PROPOSED	COMPLIANCE
	m / m² / %	m / m² / %	m / m² / %	
LEP				
LAND ZONING	R2 – GENERAL RESIDENTIAL	R2	R2	YES
MINIMUM LOT SIZE	500m²	687m²	UNCHANGED	YES
FLOOR SPACE RATIO	0.45: 1 (309.15m²)	0.34: 1 (231.6m²)	0.43: 1 (295.46m²)	YES
MAXIMUM BUILDING HEIGHT	8.5m	8.204m	8.433m	YES
HAZARDS				
DCP				
RESIDENTIAL OPEN SPACE	AREA OS3			
TOTAL OPEN SPACE (TOS)	55% (377.85m²)	53.8% (369.93m²)	57.3% (393.8m²)	YES
LANDSCAPE AREA	35% OF TOS (55%): 132.24m²	76% (287.3m²)	59% (223.08m²)	YES
PRINCIPAL PRIVATE OPEN SPACE	18m²	37.11m²	67.55m²	YES
FRONT SETBACK	PREVAILING BUILDING LINE: 6.392m	10.795m	10.195m	YES
REAR SETBACK	8.0m	8.672m	UNCHANGED	YES
SIDE SETBACKS – GROUND FLOOR	0.9m	N: 0.177m S: 1.174m	N: 0.317m S: UNCHANGED	NO
SIDE SETBACKS – FIRST FLOOR	1/3 OF WALL HEIGHT = N: 2.351m S: 2.3m	N: 8.205m S: 1.197m	N: 2.628m S: 1.182m	YES NO
CAR PARKING SPACES	Required: 1	1	2	YES



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LEGEND
- - - DEMOLISHED
GRASSED AREA
HARD SURFACE

CLIENT
KLARA & DAVE ELLETT

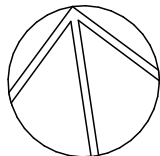
PROJECT ADDRESS
116 BEATRICE STREET,
BALGOWLAH HEIGHTS
2093

DRAWING NO.
DA01

DATE
Monday, 28 June 2021

DRAWING NAME
SITE ANALYSIS

SCALE
1:200 @A3





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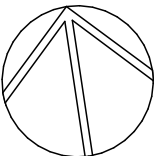
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LEGEND	
METAL ROOFING	GRASSED AREA
TILED ROOFING	HARD SURFACE
TIMBER	POOL SURFACE
EXISTING	
DEMOLISHED	

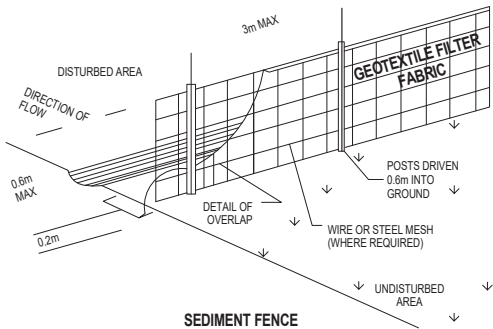
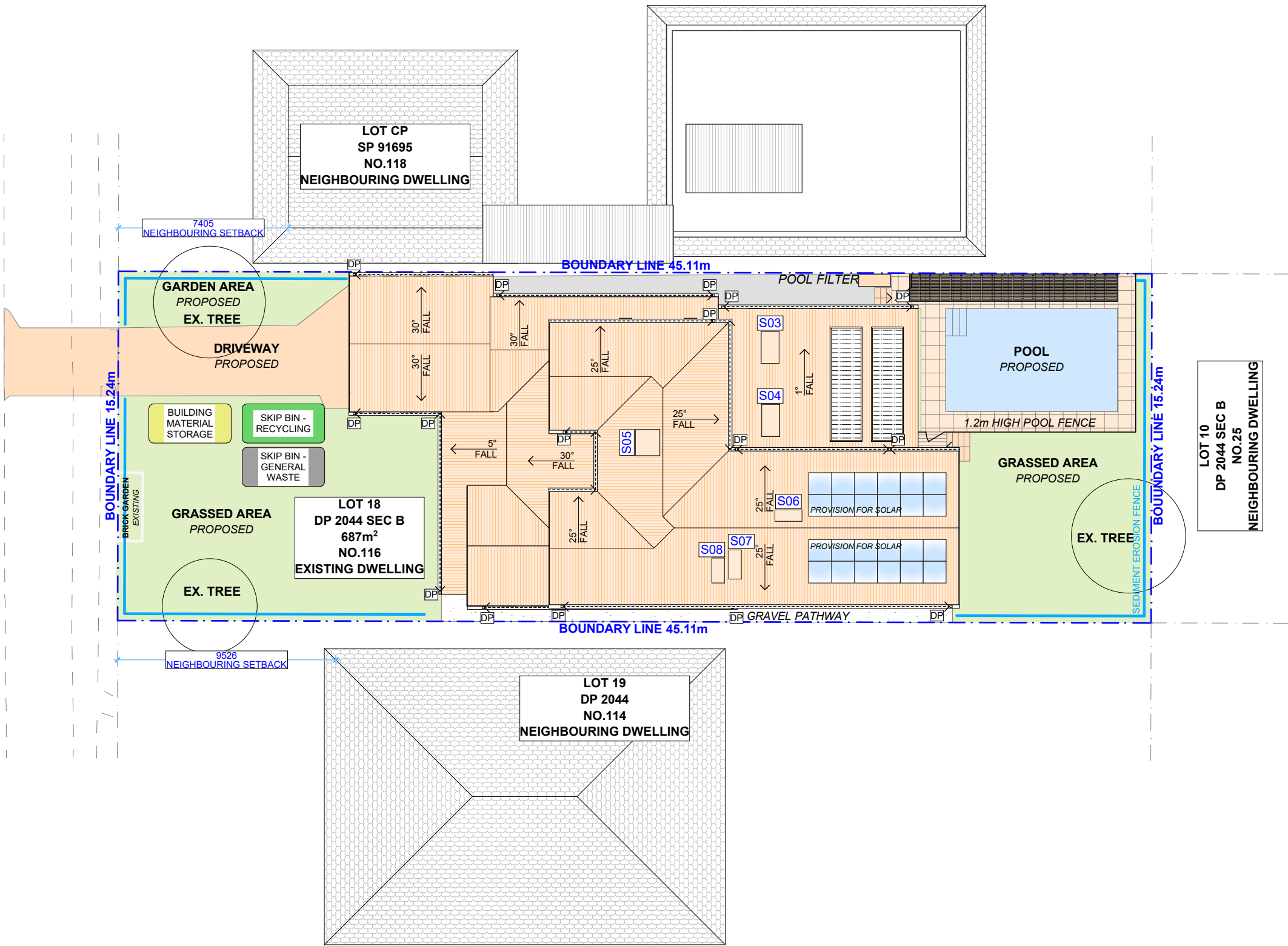
CLIENT
KLARA & DAVE ELLETT
PROJECT ADDRESS
116 BEATRICE STREET, BALGOWLAH HEIGHTS 2093

DRAWING NO.
DA02
DATE
Monday, 28 June 2021

DRAWING NAME
SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN
SCALE
1:200 @A3



SITE PLAN 1:200



NOTE: ALL PROPOSED STORMWATER TO CONNECT WITH EXISTING

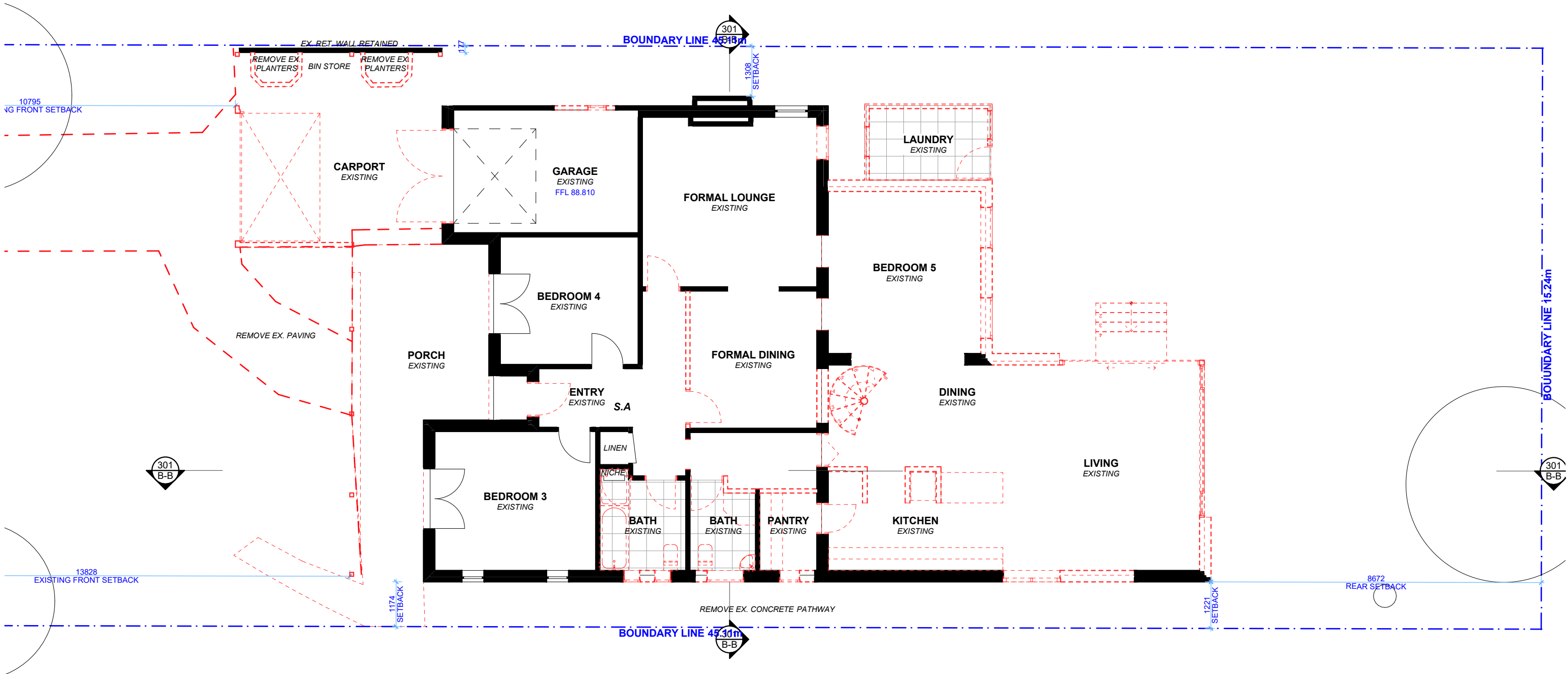
DUST CONTROL :
TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

SEDIMENT NOTE :
1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.
2. MINIMISE DISTURBED AREAS, REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.
3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.
4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS.
5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

STOCKPILES :
ALL STOCKPILES ARE TO BE KEPT ON-SITE WHERE POSSIBLE. ANY MATERIALS PLACED ON THE FOOTPATHS OR NATURE STRIPS REQUIRE COUNCIL'S PERMISSION.
ALL STOCKPILES ARE TO BE PLACED AWAY FROM THE DRAINAGE LINES AND STREET GUTTERS. IT IS BEST TO LOCATE THESE ON THE HIGHEST PART OF THE SITE IF POSSIBLE. PLACE WATERPROOF COVERING OVER STOCKPILES.
IF REQUIRED PROVIDE DIVERSION DRAIN & BANK AROUND STOCKPILES.

GUTTER PROTECTION :
PROVIDE PROTECTION TO DOWNHILL GRATE IN GUTTER BY MEANS OF SAND BAGS OR BLUE METAL WRAPPED IN GEOTEXTILE FABRIC. WHEN SOIL OR SAND BUILDS UP AROUND THIS SEDIMENT BARRIER, THE MATERIAL SHOULD BE RELOCATED BACK TO THE SITE FOR DISPOSAL.

NOTES REGARDING BOUNDARY
THE INFORMATION SHOWN ON THIS PLAN IS FOR DESIGN PURPOSES ONLY. THE POSITION OF BOUNDARY LINES HAVE BEEN ESTABLISHED BY A SURVEY TO MEET THE IDENTIFICATION REQUIREMENTS FOR COUNCIL AND NOT FOR REGISTRATION WITH THE LAND REGISTRATION SERVICES NSW NOR MAY THIS PLAN BE USED FOR ANY OTHER PURPOSE. SUBSEQUENT REGISTERED OR OTHER SURVEYS MAY AFFECT THE DEFINED BOUNDARY POSITIONS IN THIS AREA. ANY DIFFERENCES OF THIS NATURE ARE BEYOND THE PURPOSES OF THIS PLAN. THIS PLAN IS FOR THE ABOVE STATED PURPOSES ONLY. RESTRICTIONS ON THE TITLE HAVE NOT BEEN INVESTIGATED. IF FURTHER DEVELOPMENT IS CONTEMPLATED OR CONSTRUCTION INTENDED THEN IT IS IMPORTANT THAT A SURVEY SET OUT IS CARRIED OUT.




1

EXISTING GROUND FLOOR PLAN

1:100

NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001



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
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LEGEND


 METAL ROOFING


 TILED ROOFING


 TIMBER

 EXISTING

 DEMOLISHED

 GRASSED AREA

 HARD SURFACE

 POOL SURFACE

CLIENT

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116 BEATRICE STREET,
BALGOWLAH HEIGHTS
2093

DRAWING NO.

DA03

DATE

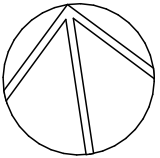
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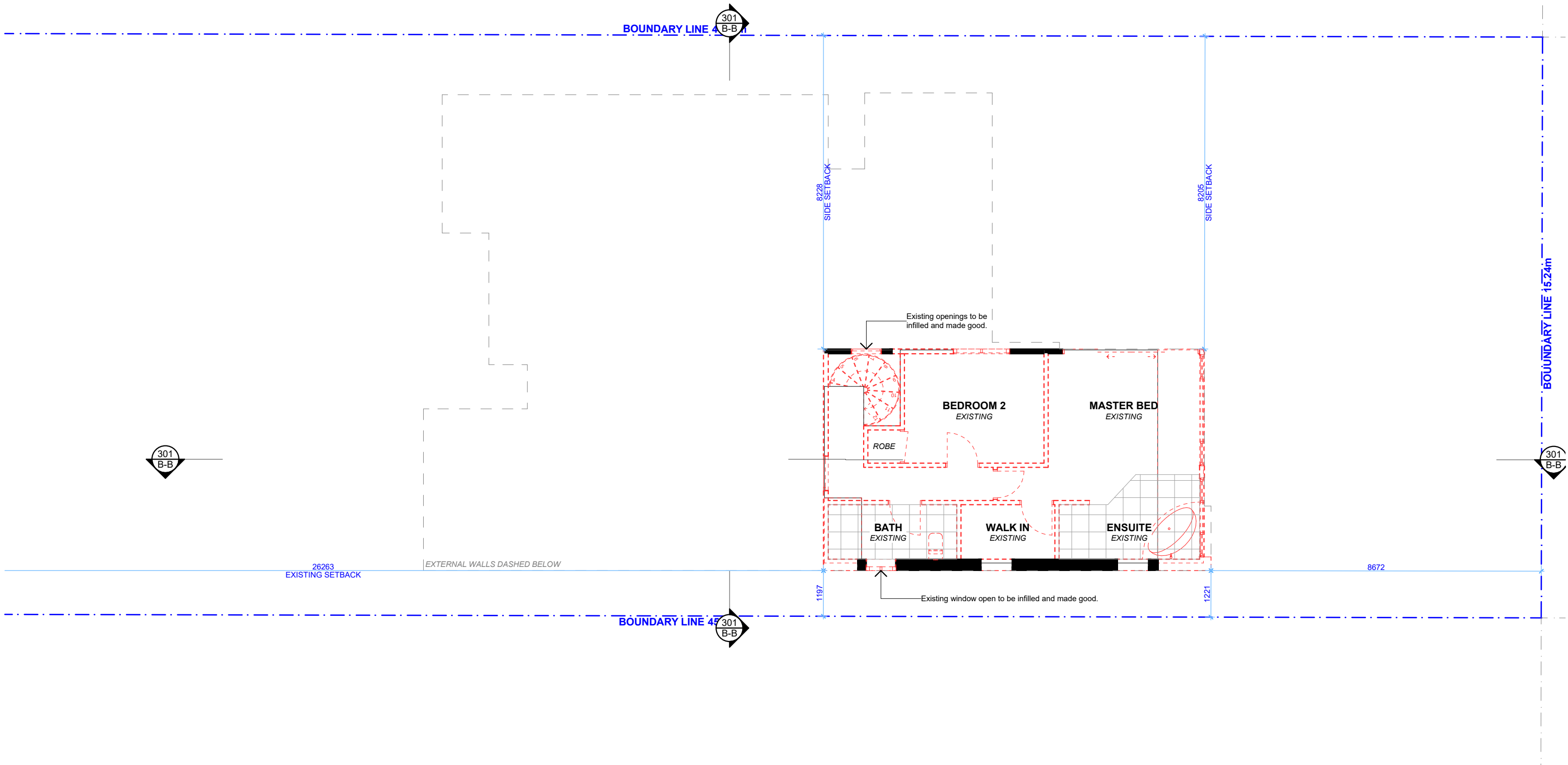
DRAWING NAME

EXISTING GROUND FLOOR PLAN

SCALE

1:100 @A3






1

EXISTING FIRST FLOOR PLAN

1:100

NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001





ACTION PLANS


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LEGEND


 METAL ROOFING


 TILED ROOFING


 TIMBER

 EXISTING

 DEMOLISHED

 GRASSED AREA

 HARD SURFACE

 POOL SURFACE

CLIENT

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BALGOWLAH HEIGHTS
2093

DRAWING NO.

DA04

DATE

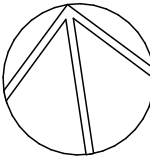
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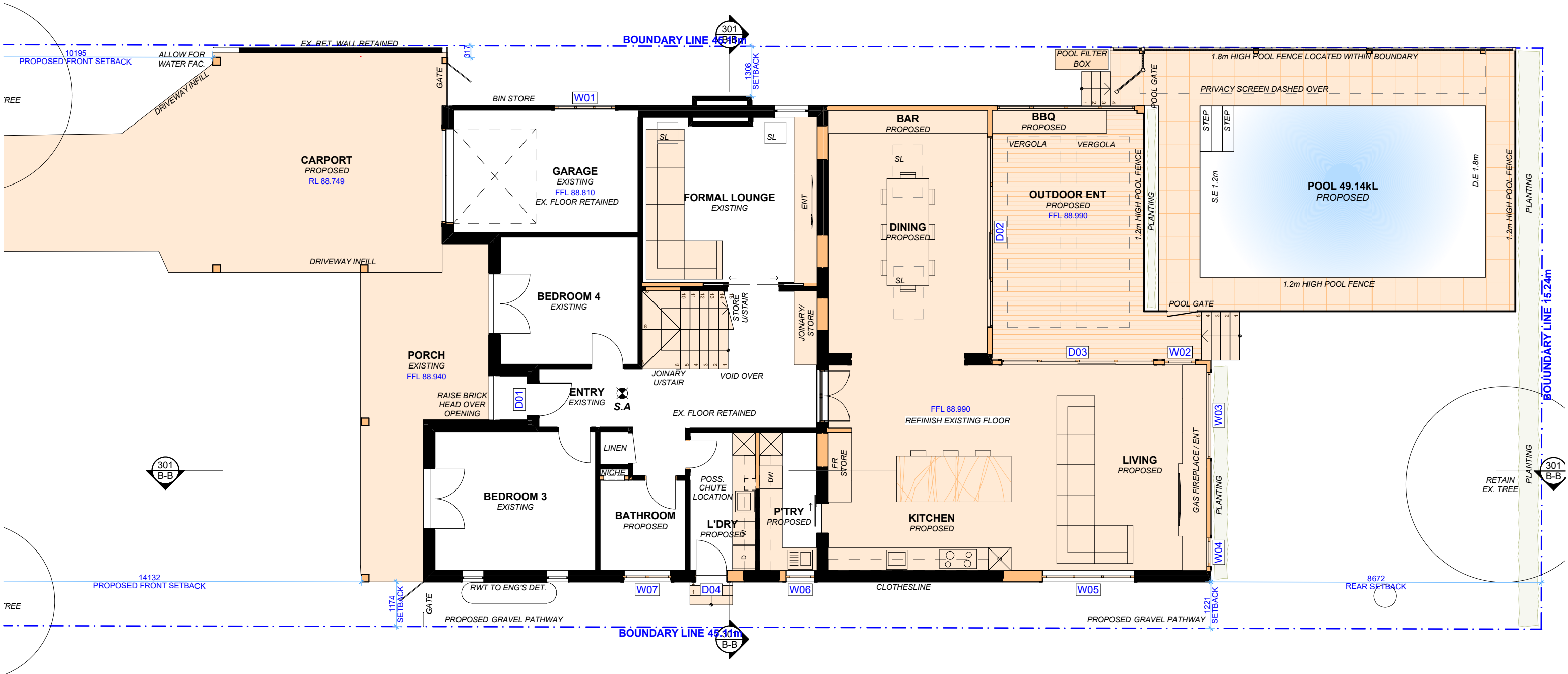
DRAWING NAME

EXISTING FIRST FLOOR PLAN

SCALE

1:100 @A3






1

PROPOSED GROUND FLOOR PLAN


1:100




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METAL ROOFING




TILED ROOFING




TIMBER




EXISTING




DEMOLISHED



GRASSED AREA



HARD SURFACE



POOL SURFACE

CLIENT

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PROJECT ADDRESS

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BALGOWLAH HEIGHTS
2093

DRAWING NO.

DA05

DATE


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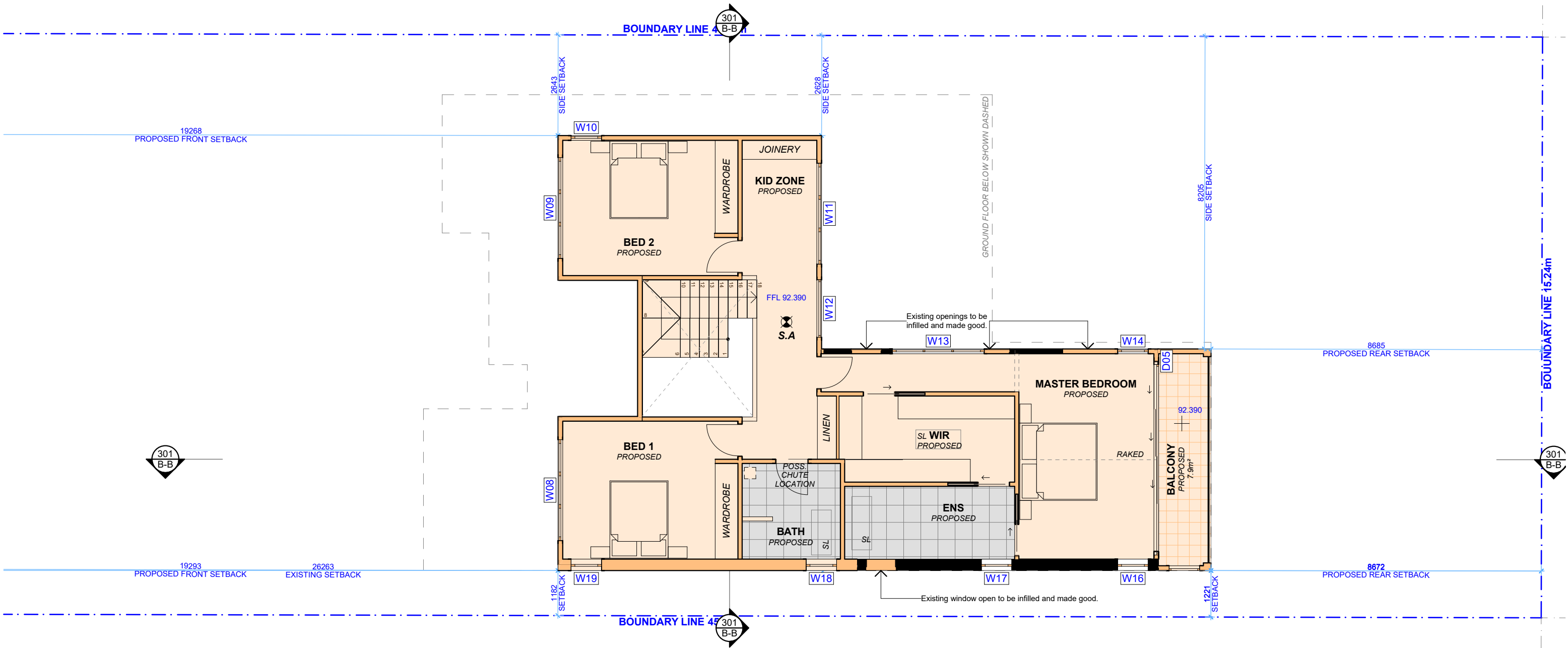
DRAWING NAME

PROPOSED GROUND FLOOR PLAN

SCALE

1:100 @A3






1

PROPOSED FIRST FLOOR PLAN

1:100




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
LEGEND




METAL ROOFING




TILED ROOFING




TIMBER




EXISTING




DEMOLISHED



GRASSED AREA



HARD SURFACE



POOL SURFACE

CLIENT

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116 BEATRICE STREET,
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2093

DRAWING NO.

DA06

DATE

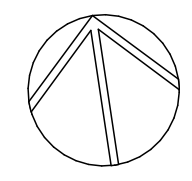
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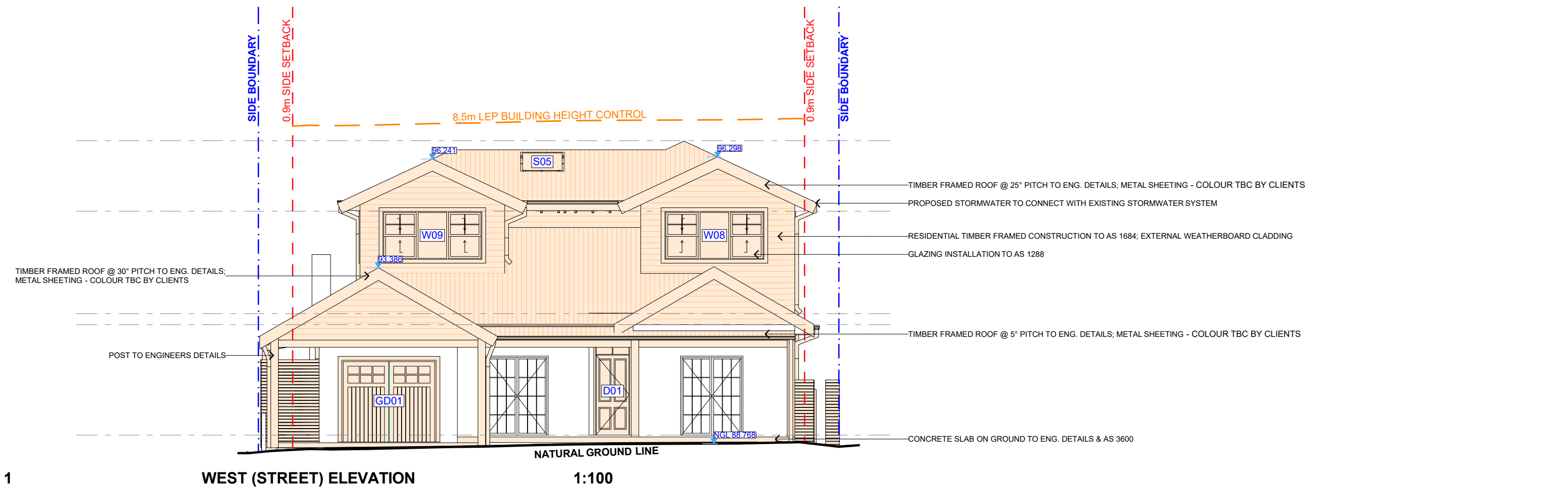
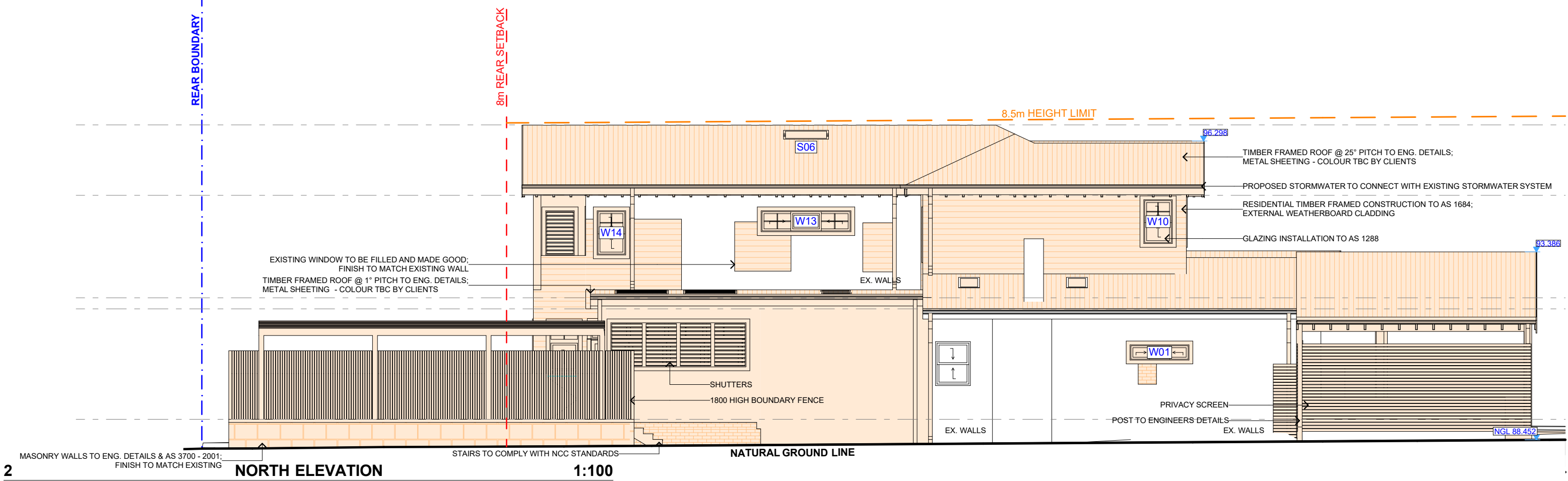
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PROPOSED FIRST FLOOR PLAN

SCALE

1:100 @A3







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LEGEND

- METAL ROOFING
- TILED ROOFING
- TIMBER
- EXISTING
- DEMOLISHED

CLIENT
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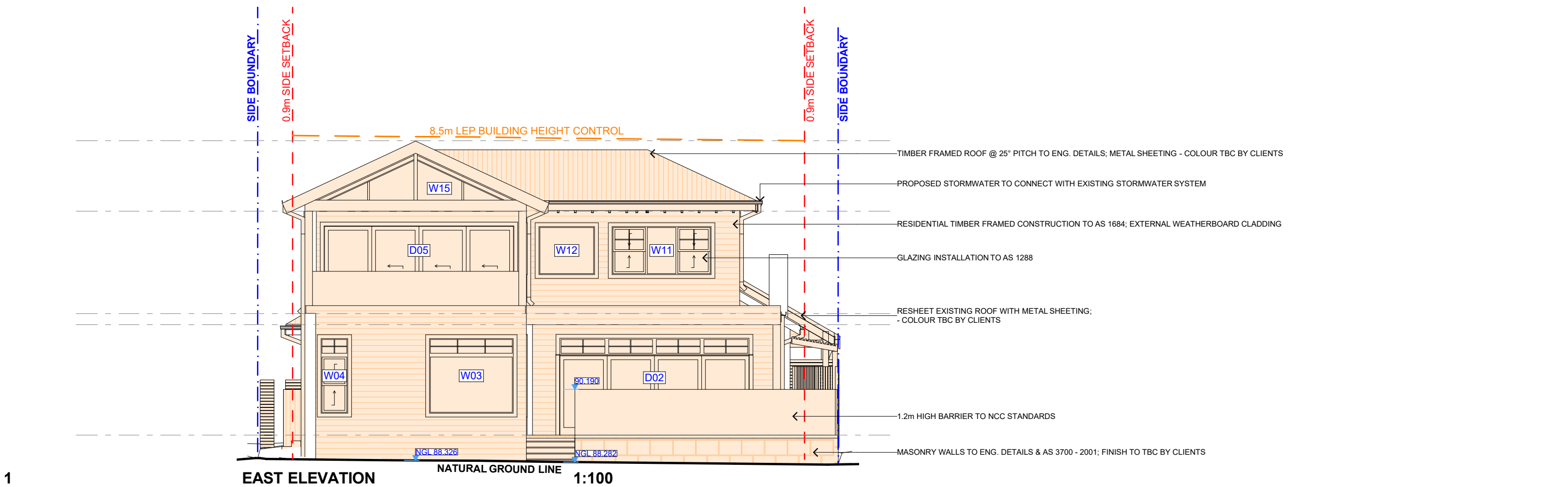
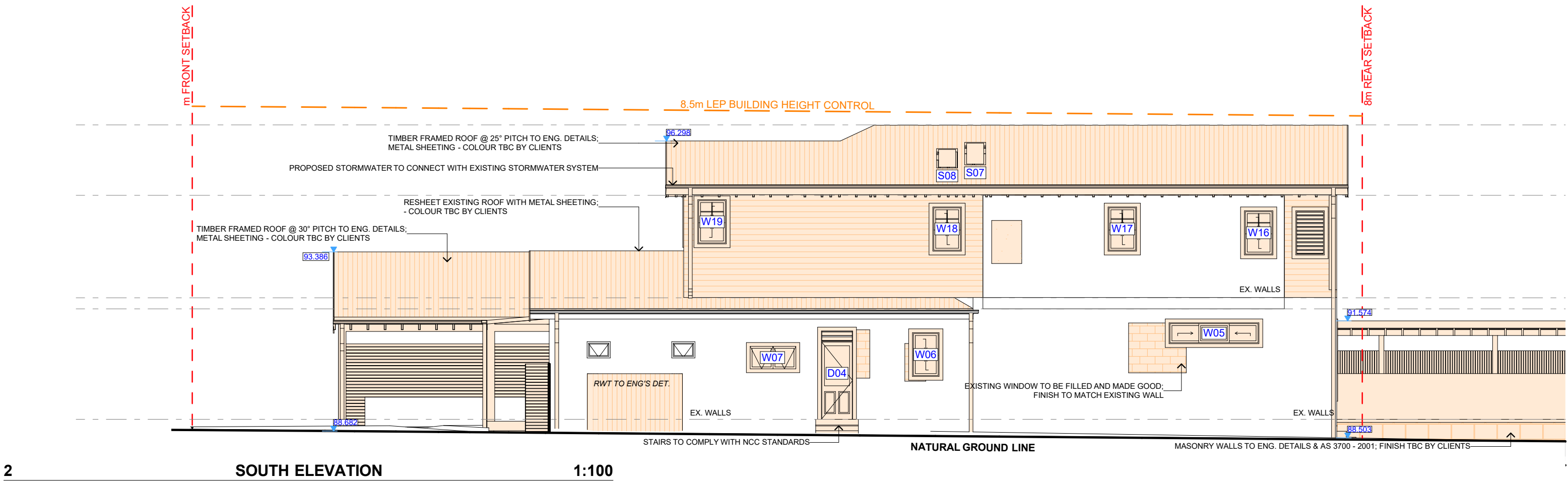
PROJECT ADDRESS
116 BEATRICE STREET,
BALGOWLAH HEIGHTS
2093


DRAWING NO.
DA07

DATE
Monday, 28 June 2021

DRAWING NAME
WEST (STREET) / NORTH
ELEVATION

SCALE
1:100 @A3





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LEGEND

- METAL ROOFING
- TILED ROOFING
- TIMBER
- EXISTING
- DEMOLISHED

CLIENT
KLARA & DAVE ELLETT

PROJECT ADDRESS
116 BEATRICE STREET,
BALGOWLAH HEIGHTS
2093

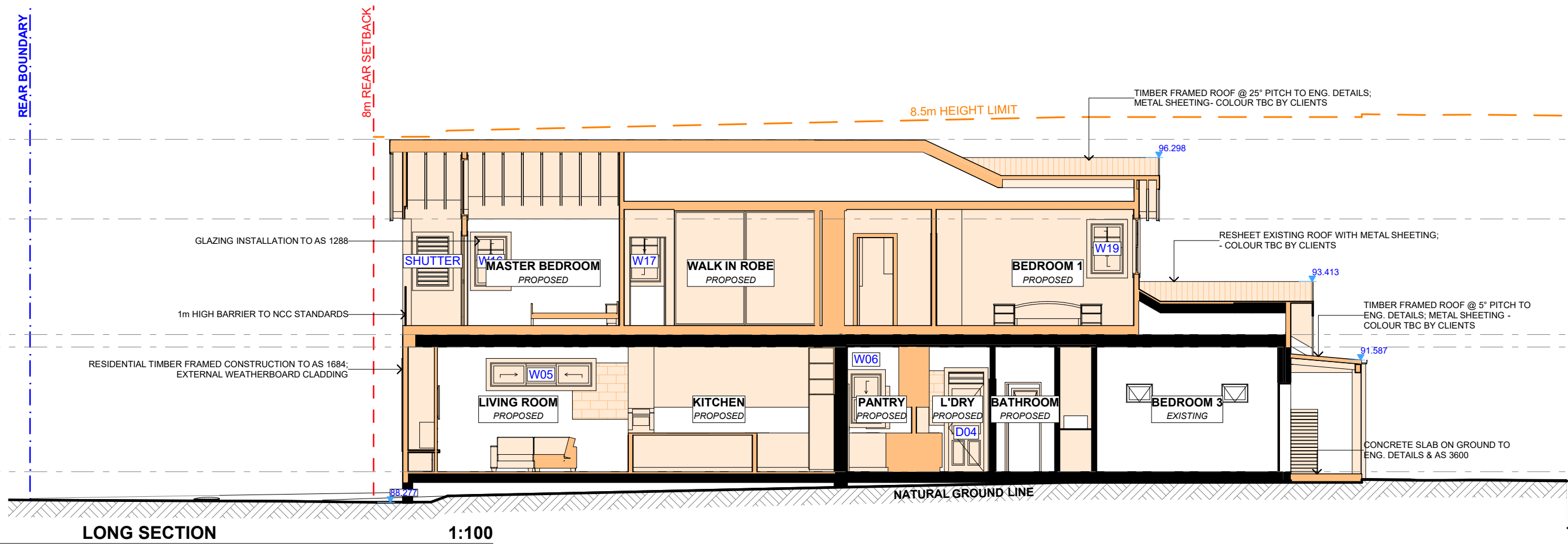
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DATE
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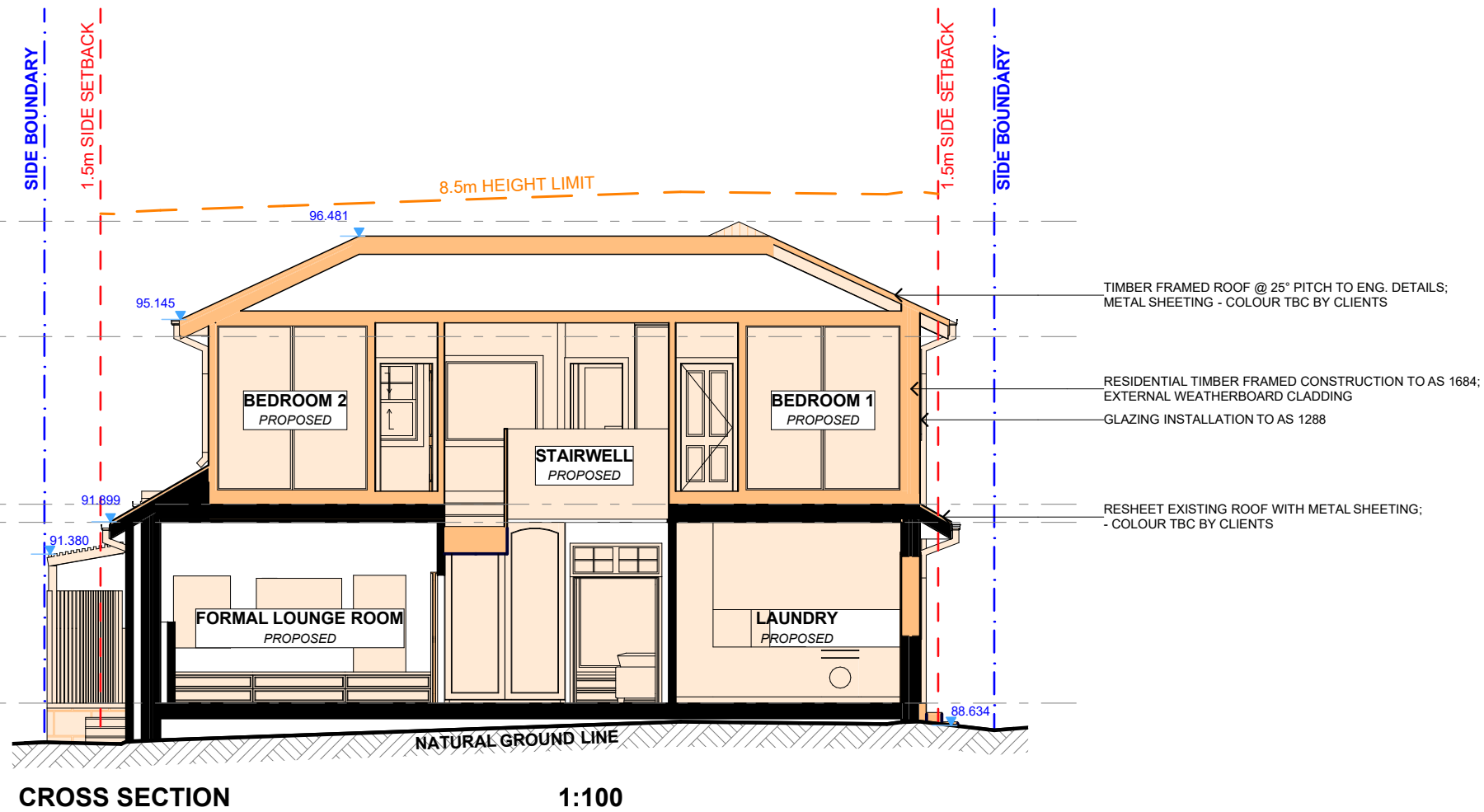
DRAWING NAME
EAST / SOUTH ELEVATION

SCALE
1:100 @A3

2



1



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REV.	DATE	COMMENTS	DRWN
A	23.06.2021	DA	DLR

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LEGEND	
	METAL ROOFING
	TILED ROOFING
	TIMBER
	EXISTING
	DEMOLISHED

CLIENT

KLARA & DAVE ELLETT

PROJECT ADDRESS

116 BEATRICE STREET,
BALGOWLAH HEIGHTS
2093

DRAWING NO.

DA09

DATE

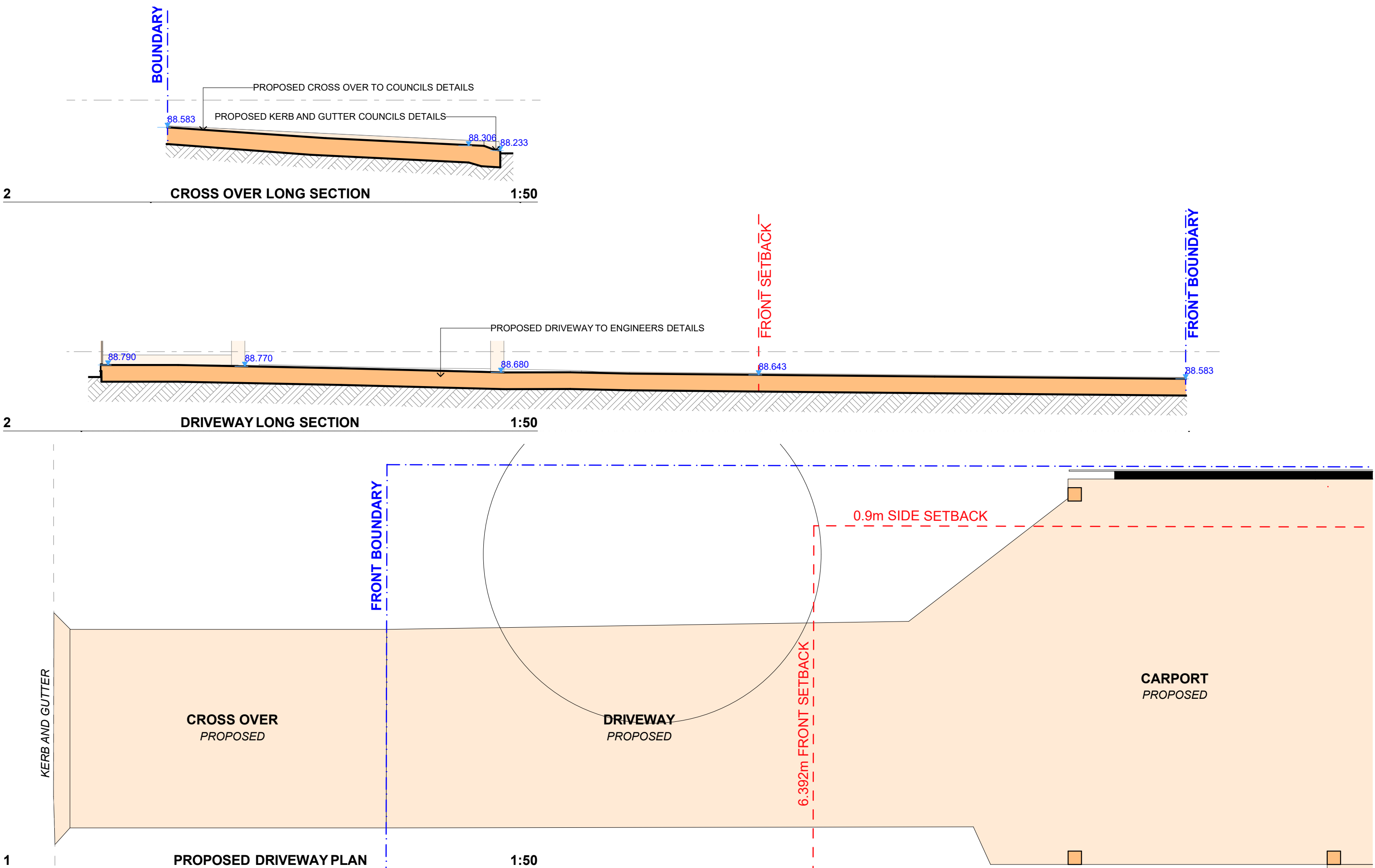
Monday, 28 June 2021


DRAWING NAME

LONG / CROSS SECTION

SCALE

1:100 @A3







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LEGEND


 METAL ROOFING


 TIMBER


 EXISTING


 DEMOLISHED

 GRASSED AREA

 HARD SURFACE

 POOL SURFACE

 METAL ROOFING

 TILED ROOFING

CLIENT
KLARA & DAVE ELLETT

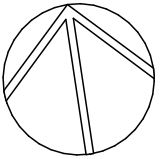
PROJECT ADDRESS
116 BEATRICE STREET,
BALGOWLAH HEIGHTS
2093

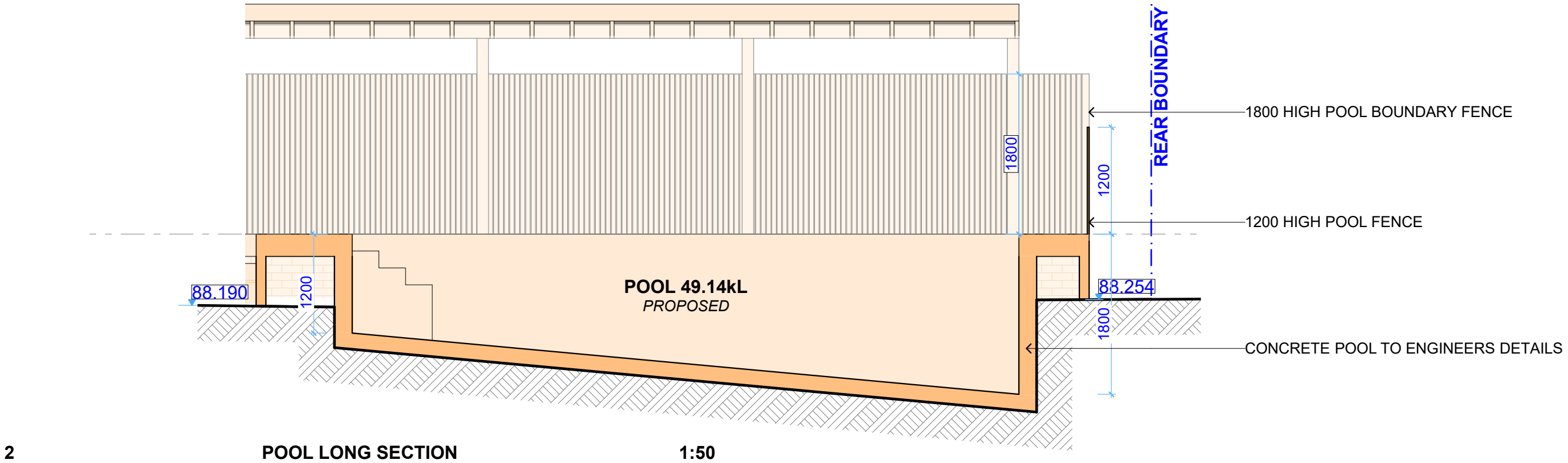
DRAWING NO.
DA10

DATE
Monday, 28 June 2021

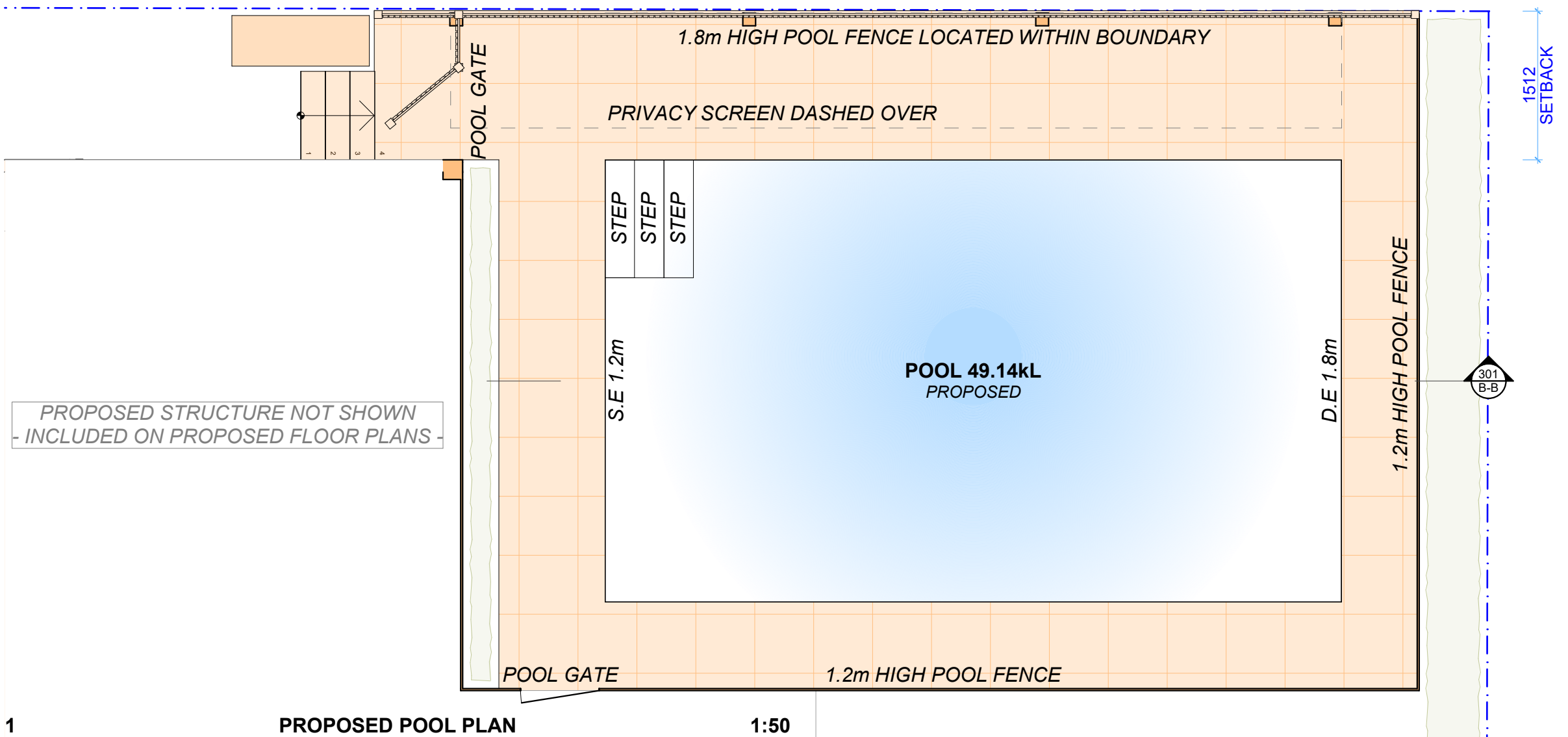
DRAWING NAME
DRIVEWAY PLAN & LONG SECTION

SCALE
1:50 @A3






2 POOL LONG SECTION 1:50



1 PROPOSED POOL PLAN 1:50



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LEGEND

CLIENT
KLARA & DAVE ELLETT

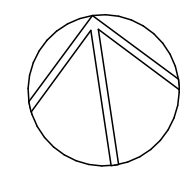
PROJECT ADDRESS
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DRAWING NO.
DA11

DATE
Monday, 28 June 2021

DRAWING NAME
POOL PLAN & LONG SECTION

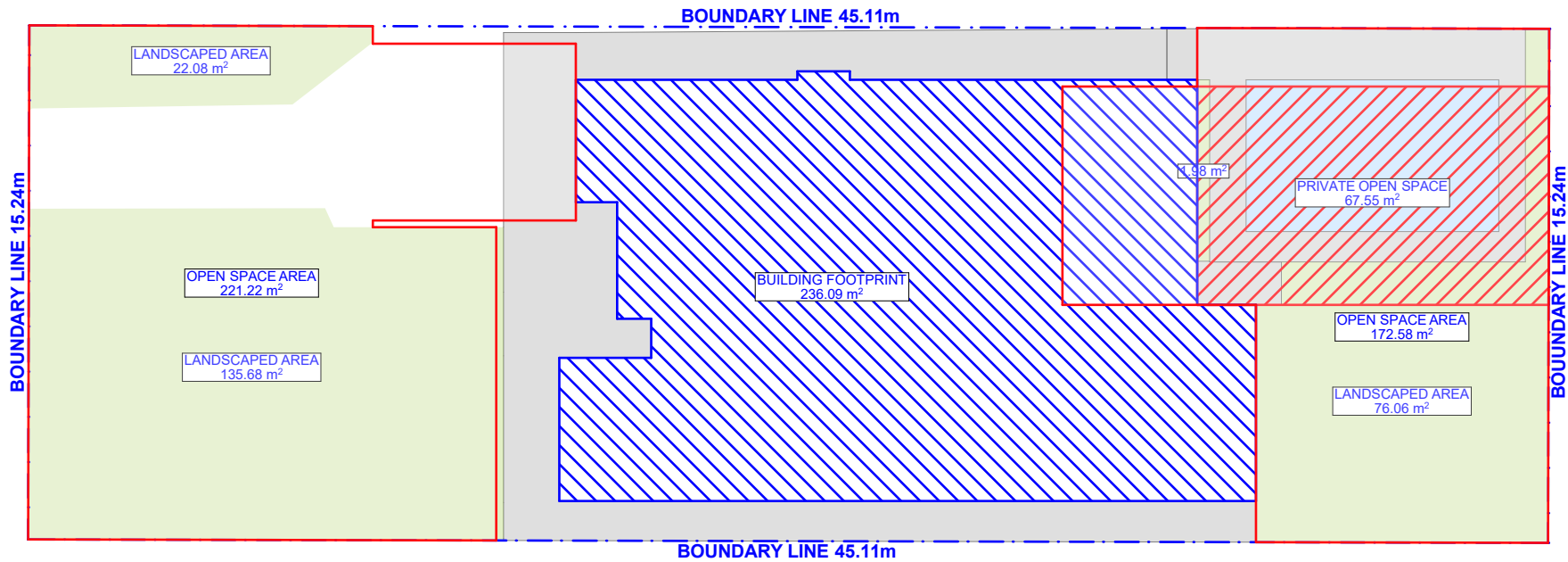
SCALE
1:50 @A3



2

PROPOSED AREA CALCULATIONS

1:200

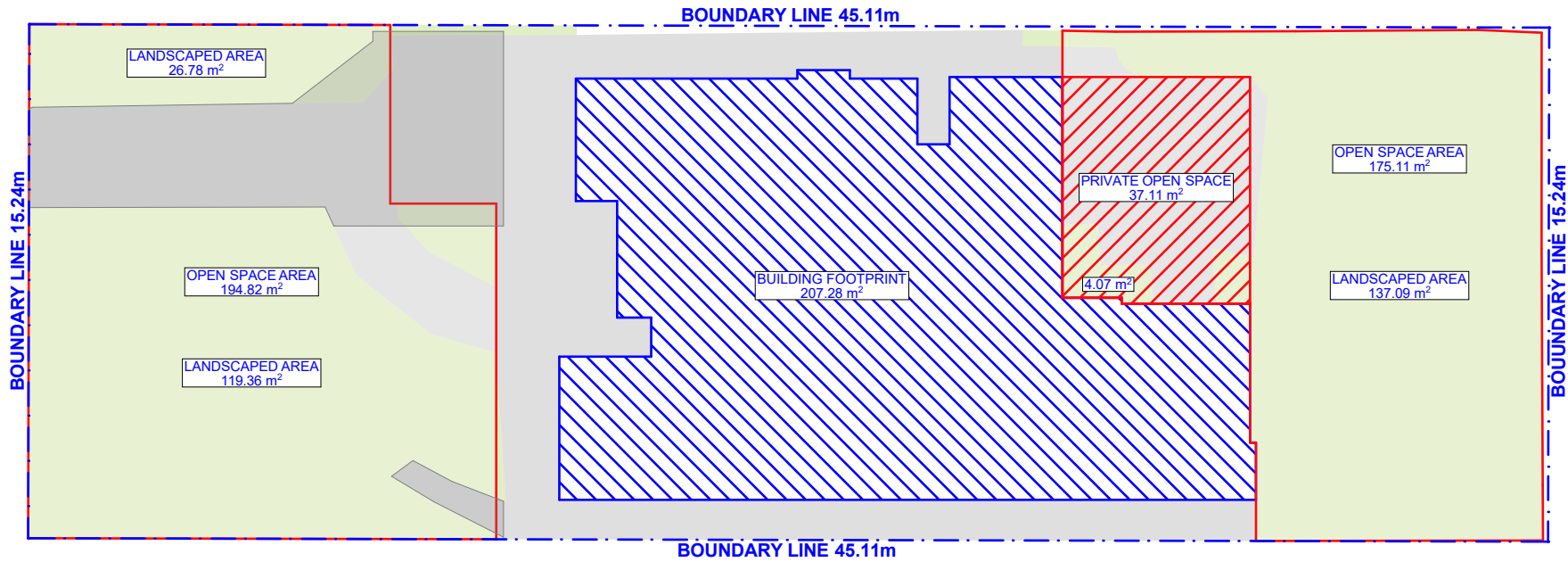


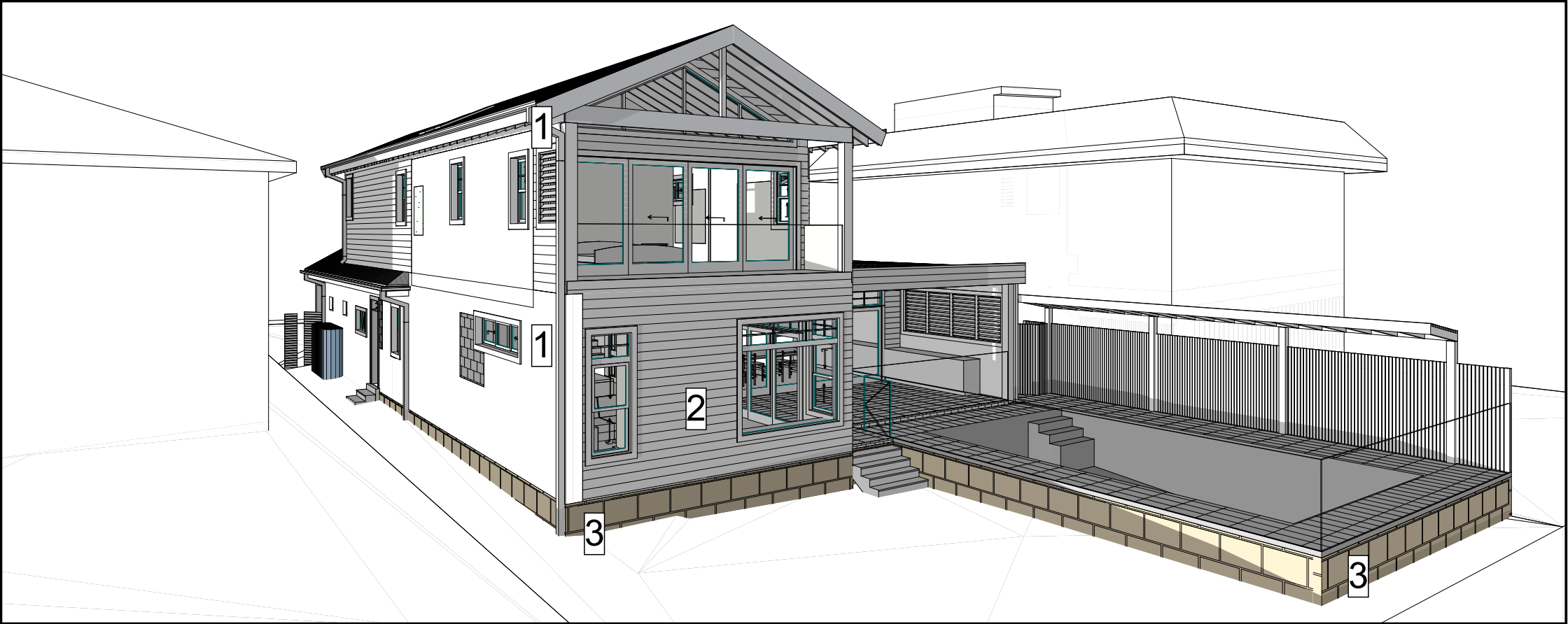
CONTROL TABLE		
SITE AREA 687m ²		
	REQUIRED	PROPOSED
PRIVATE OPEN SPACE	18m ²	67.55m ²
TOTAL OPEN SPACE	55% (377.85m ²)	57.3% (393.8m ²)
LANDSCAPED AREA	35% (132.24m ²)	59% (223.08m ²)

1

EXISTING AREA CALCULATONS

1:200





1

TIMBER/WINDOW TRIMS
& RENDER

2

WEATHERBOARD
180mm SCYON LINEA

3

SANDSTONE CLADDING

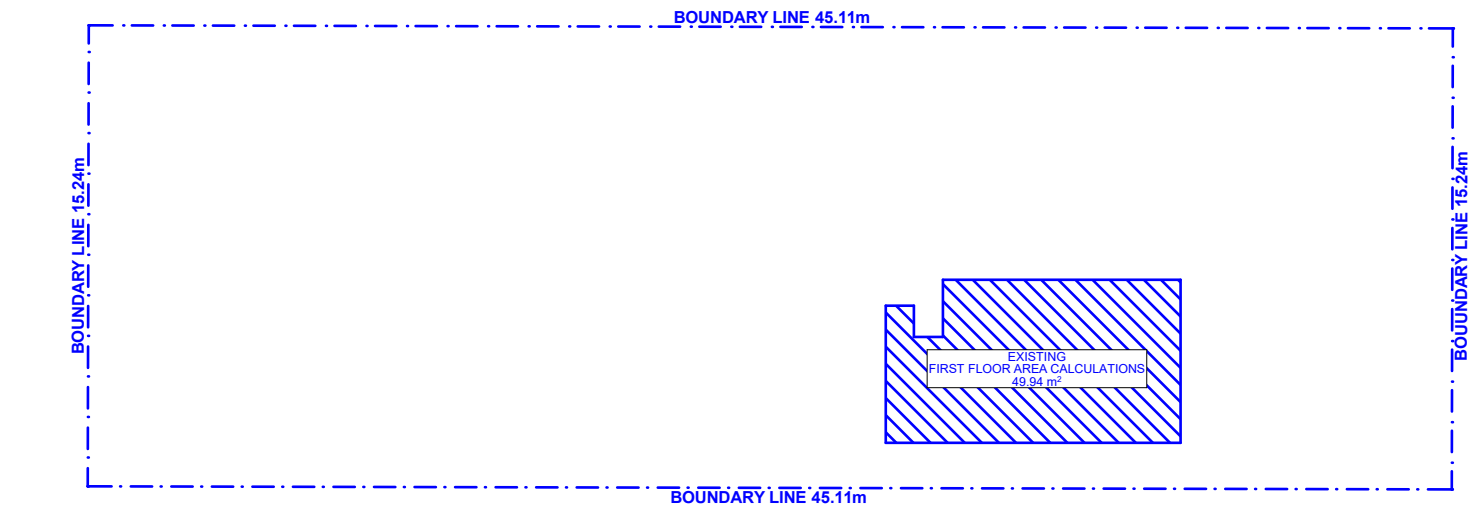
4

ROOF MONUMENT

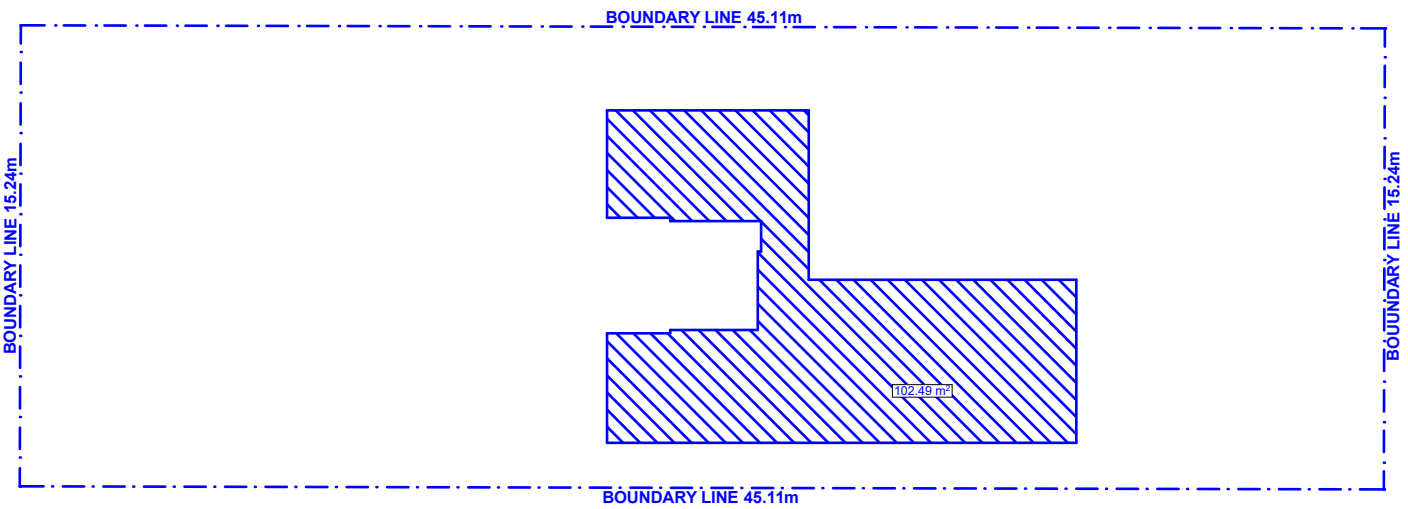
MATERIALS ARE TO BE CONFIRMED BY
CLIENT AT CONSTRUCTION



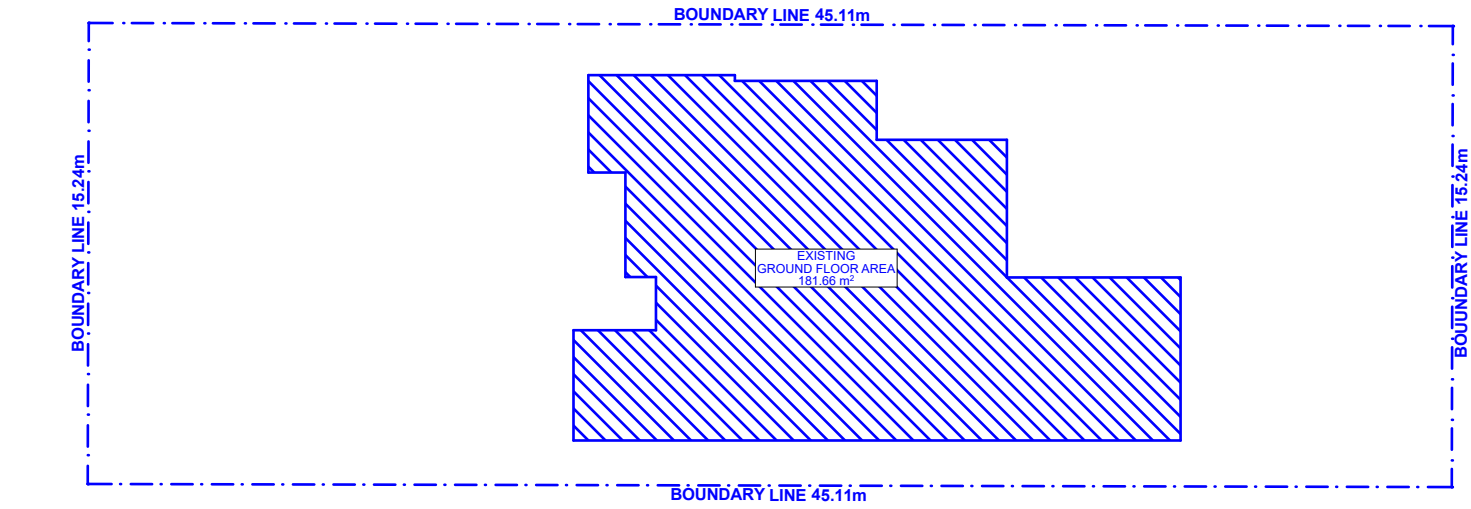
CONTROL TABLE		
SITE AREA 687m ²		
	REQUIRED	PROPOSED
FSR	0.45:1 (309.15m ²)	0.43:1 (295.45m ²)



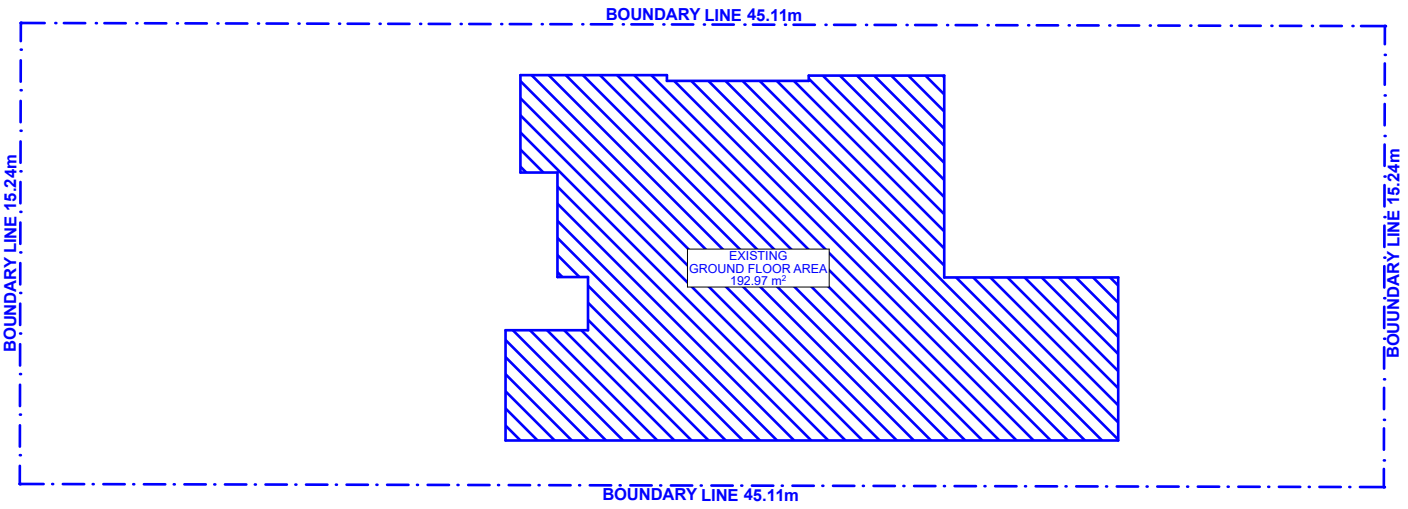
2 EXISTING FIRST FLOOR FSR CALCULATIONS 1:250



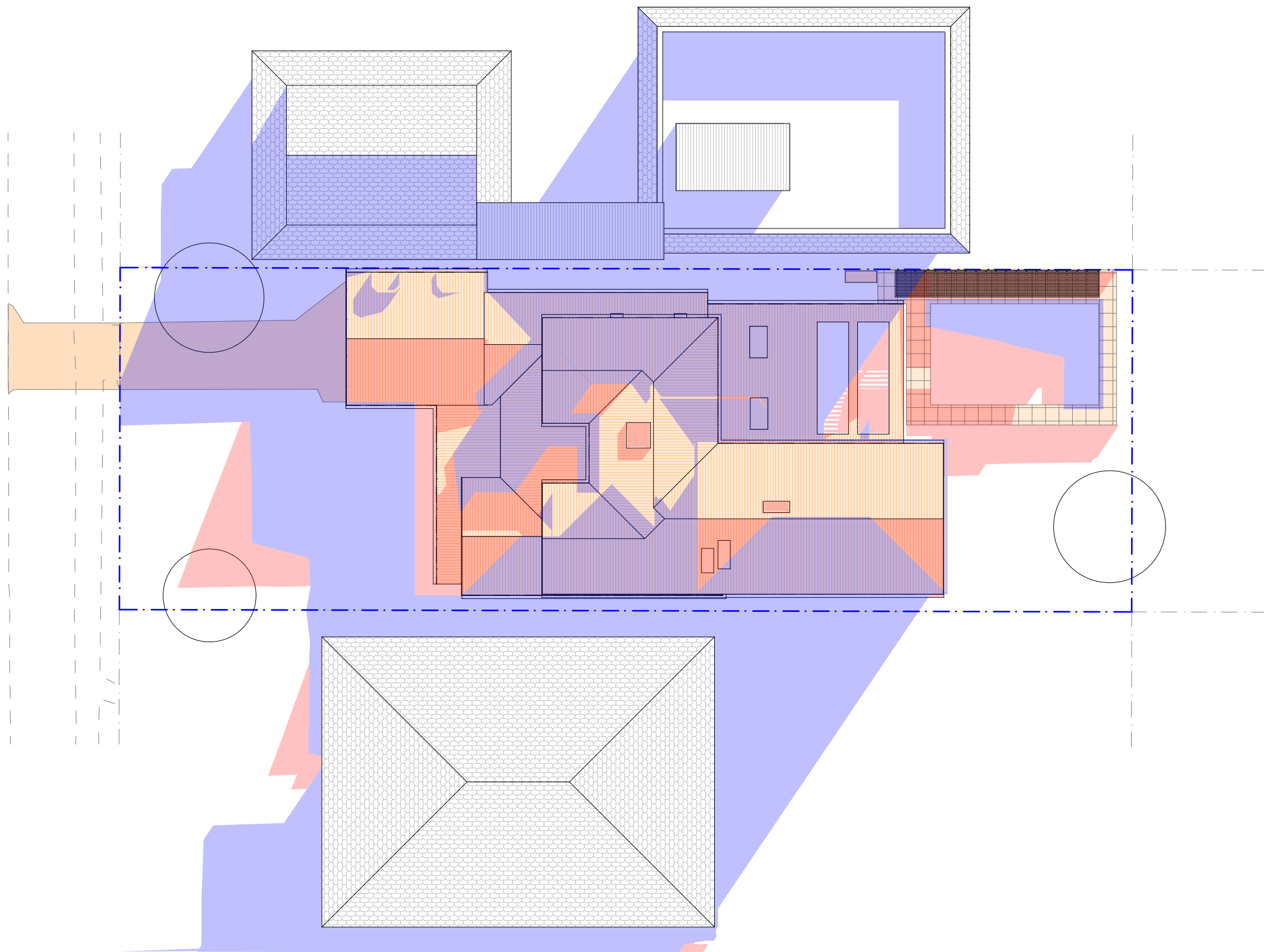
4 PROPOSED FIRST FLOOR FSR CALCULATIONS 1:250



1 EXISTING GROUND FLOOR FSR CALCULATIONS 1:250



3 PROPOSED GROUND FLOOR FSR CALCULATIONS 1:250



1

WINTER SOLSTICE - 0900



1:200



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LEGEND
 EXISTING SHADOWS
 PROPOSED SHADOWS

CLIENT
KLARA & DAVE ELLETT

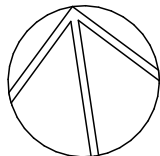
PROJECT ADDRESS
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2093

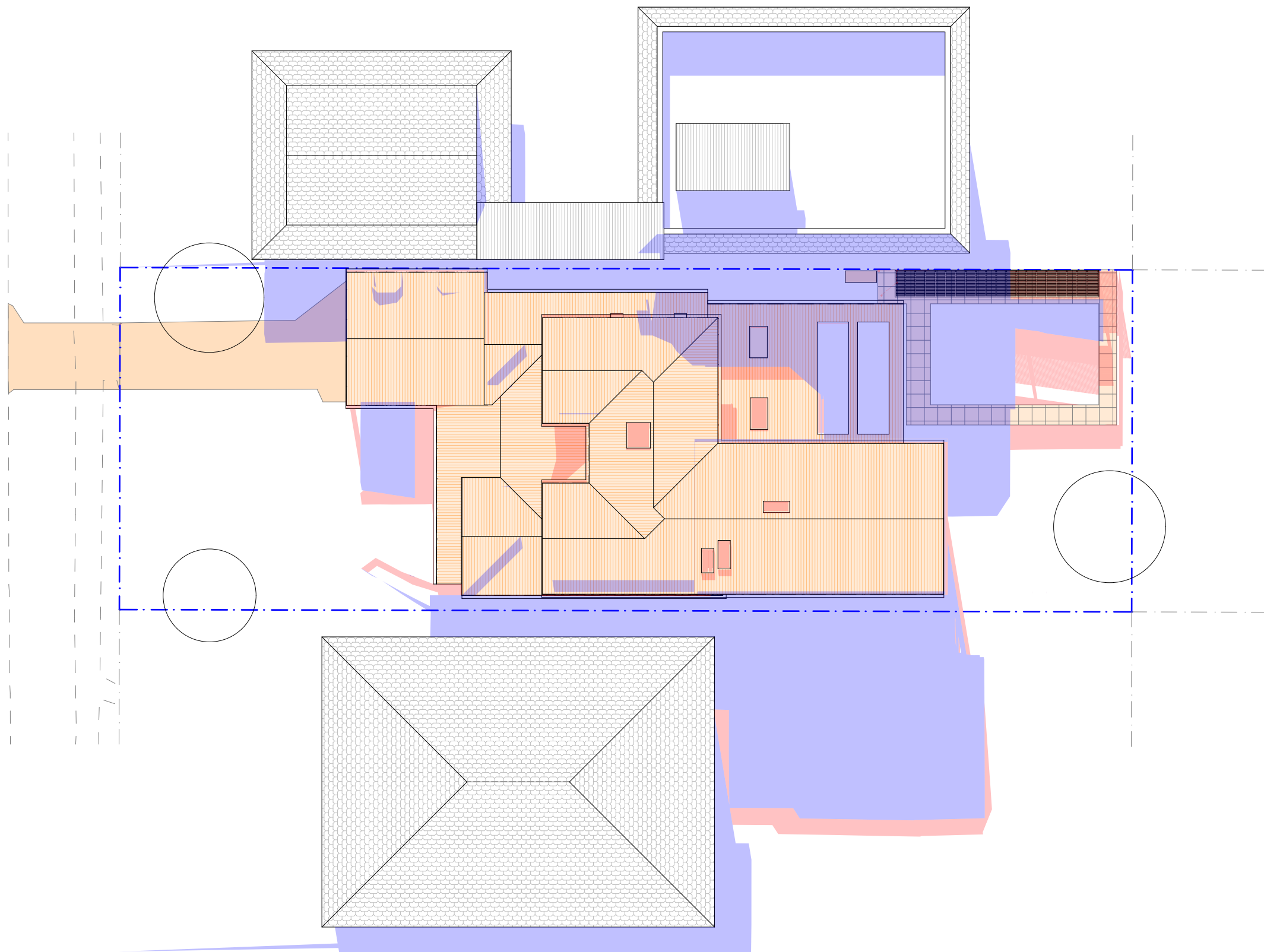
DRAWING NO.
DA15

DATE
Monday, 28 June 2021

DRAWING NAME
WINTER SOLSTICE 9 AM

SCALE
1:200 @A3





1

WINTER SOLSTICE - 1200



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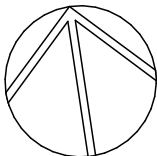
LEGEND
 EXISTING SHADOWS
 PROPOSED SHADOWS

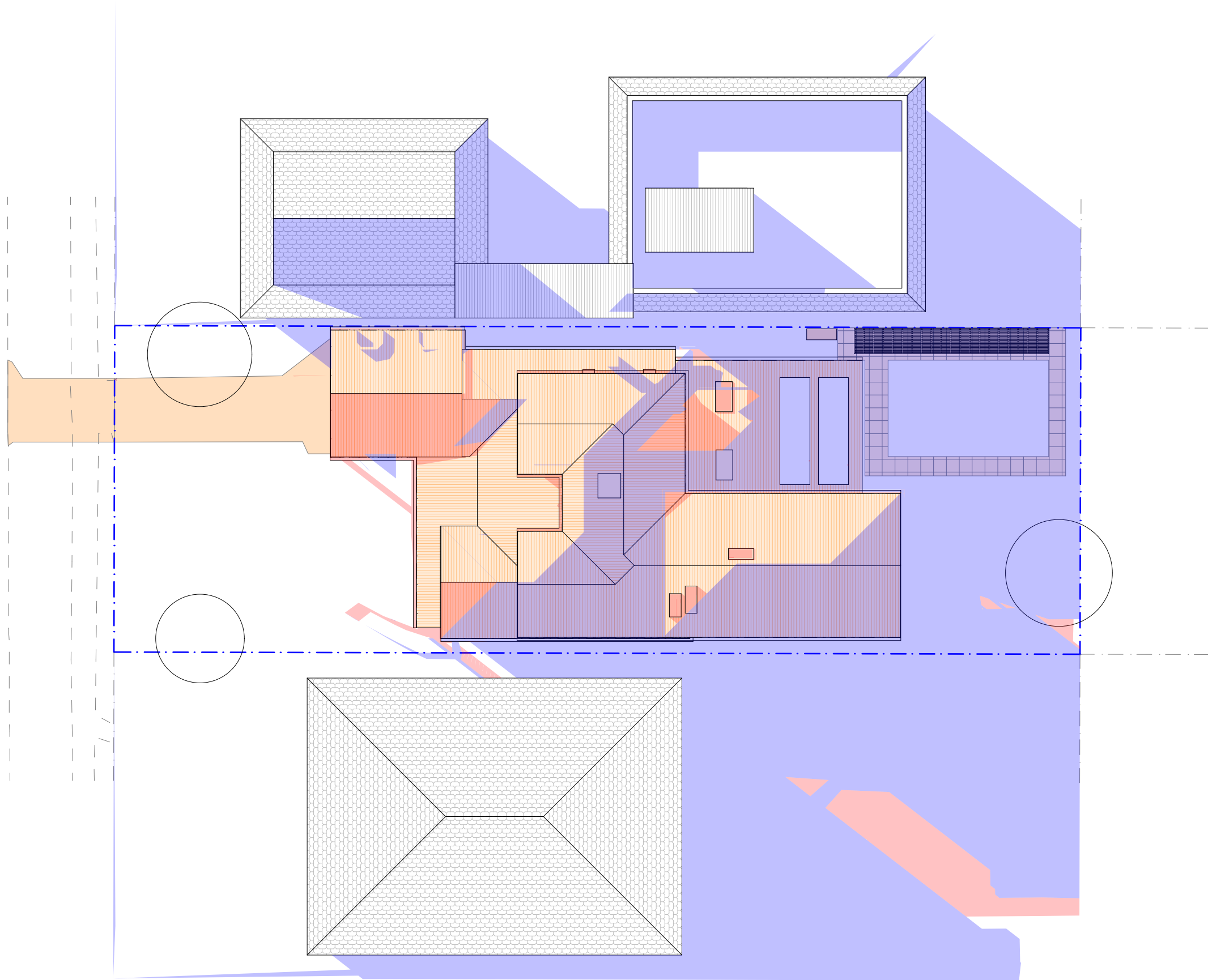
CLIENT
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PROJECT ADDRESS
116 BEATRICE STREET,
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2093

DRAWING NO.
DA16
DATE
Monday, 28 June 2021

DRAWING NAME
WINTER SOLSTICE 12 PM
SCALE
1:200 @A3





1

WINTER SOLSTICE - 1500

1:200





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LEGEND
 EXISTING SHADOWS
 PROPOSED SHADOWS

CLIENT
KLARA & DAVE ELLETT

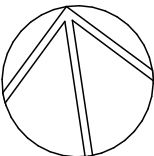
PROJECT ADDRESS
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2093

DRAWING NO.
DA17

DATE
Monday, 28 June 2021

DRAWING NAME
WINTER SOLSTICE 3 PM

SCALE
1:200 @A3



Alterations and Additions

Certificate number: A413009_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Thursday, 24, June 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	0768_116 BEATRICE ST, BALGOWLAH HEIG_02
Street address	116 BEATRICE Street BALGOWLAH HEIGHTS 2093
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 2044
Lot number	18
Section number	B
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: Action Plans
ABN (if applicable): 17118297587

Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements					
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications			
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)				
suspended floor above garage: framed (R0.7).	nil				
floor above existing dwelling or building.	nil				
external wall: brick veneer	R1.16 (or R1.70 including construction)				
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)			
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)			

Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Rainwater tank			
The applicant must install a rainwater tank of at least 1711 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rainwater runoff from at least 128.09 square metres of roof area.		✓	✓
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.		✓	✓
Outdoor swimming pool			
The swimming pool must be outdoors.	✓	✓	✓
The swimming pool must not have a capacity greater than 49.14 kilolitres.	✓	✓	✓
The applicant must install a pool pump timer for the swimming pool.		✓	✓
The applicant must not incorporate any heating system for the swimming pool that is part of this development.		✓	✓

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Glazing requirements			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check	
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.			✓	✓	✓	
The following requirements must also be satisfied in relation to each window and glazed door:				✓	✓	
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.				✓	✓	
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.				✓	✓	
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.			✓	✓	✓	
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.				✓	✓	
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.				✓	✓	
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m) Distance (m)		Shading device	Frame and glass type
W01	N	0.72	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W02	N	1.61	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W03	E	4.52	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)



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All errors and omissions are to be verified by the Builder/Contractor and referred to the designer prior to the commencement of works.
All window & door dimensions, orientation, glazing materials, opening types, frame types are to be confirmed by a suitably qualified person prior to the ordering of any such materials are to take place.
U value takes precedence over glazing type/colour in all cases.
all new glazing must meet the BASIX specified frame and glass type, **OR** meet the ecified U value and SHGC value.

CLIENT
KLARA & DAVE ELLETT

PROJECT ADDRESS
116 BEATRICE STREET,
BALGOWLAH HEIGHTS
2093

DRAWING NO.

DA18

DATE

Monday, 28 June 2021

DRAWING NAME


BASIX COMMITMENTS

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type		
			Height (m)	Distance (m)				
W04	E	1.51	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)		
W05	S	1.45	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W06	S	0.9	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W07	S	0.8	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W08	W	3.46	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W09	W	3.46	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W10	N	0.96	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)		
W11	E	3.47	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)		
W12	E	1.98	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)		
W13	N	1.45	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)		
W14	N	0.97	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)		
W15	E	6.67	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)		
W16	S	0.97	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type		
			Height (m)	Distance (m)				
W17	S	0.97	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W18	S	0.97	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W19	S	0.97	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
D01	W	0.4	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
D02	E	12.8	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
D03	N	10.24	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
D04	S	0.25	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
D05	E	10.5	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
Skylights								
The applicant must install the skylights in accordance with the specifications listed in the table below.						✓	✓	✓
The following requirements must also be satisfied in relation to each skylight:							✓	✓
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.							✓	✓
Skylights glazing requirements								

Glazing requirements				Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type			
S01/S02	0.605	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)			
S03/S04	2.184	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
S05	1.345	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
S06	0.649	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
S07/S08	1.54	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.



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REV.	DATE	COMMENTS	DRWN	NOTES
A	23.06.2021	DA	DLR	This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans. Do not scale measure from drawings. Figured dimensions are to be used only. The Builder/Contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components. All errors and omissions are to be verified by the Builder/Contractor and referred to the designer prior to the commencement of works. All window & door dimensions, orientation, glazing materials, opening types, frame types are to be confirmed by a suitably qualified person prior to the ordering of any such materials are to take place. U value takes precedence over glazing type/colour in all cases. all new glazing must meet the BASIX specified frame and glass type, <i>OR</i> meet the ecified U value and SHGC value.

CLIENT
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DRAWING NO.
DA19

DATE
Monday, 28 June 2021

DRAWING NAME
BASIX COMMITMENTS