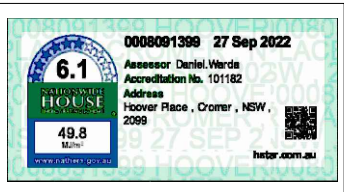


BASIX® commitments

Assessor	Mr. Daniel Warda
Date	22 / 11 / 2022
BASIX Certificate No.	1343318S_02
NatHERS Certificate No.	0008091399



project details

Site Address	Lot 3, 3 Hoover Place, Cromer NSW 2099
Municipality	Northern Beaches
Reference	29915732

thermal comfort

Floors	300mm Waffle Pod Slab as per job number 29915732
Ceiling between Floors	N/A
External Walls	R2.5 HD Insulation to all external walls I Medium
Internal Walls	Same value as external walls applied to Garage internal walls
Ceilings	R5.0 Bulk Insulation to all trussed ceilings above living areas
Roof	Colorbond I Medium
Roof Insulation	R1.3 Anti-Con Blanket
Stegbar Windows (Aluminium Framed - Standard Clear)	U - Value: 6.5 SHGC: 0.65
• To all awning windows excluding any mentioned below	
Stegbar Windows (Aluminium Framed - Standard Clear)	U - Value: 6.2 SHGC: 0.76
• To all fixed windows excluding any mentioned below	
Stegbar Windows (Aluminium Framed - Standard Clear)	U - Value: 6.3 SHGC: 0.73
• To all sliding windows excluding any mentioned below	
Stegbar Doors (Aluminium Framed - Standard Clear)	U - Value: 6.3 SHGC: 0.72
• To all sliding doors excluding any mentioned below	

Note: U-Value may be lower but not higher than the nominated values

Note: SHGC may have a tolerance of +/- 10% of the nominated values in NSW only

Skylights N/A

water

Landscape Area	287m²
W.C's	4 Star
Kitchen Taps	4 Star
Shower Heads	3 Star (>7.5 but <=9L/min)
Basin Taps	4 Star
Alternative Water	5600L Rain Water Tank
Min. Roof Area To Tank	140m²
Alt. Water Uses	W.C, Garden & Laundry

energy

Hot Water System	Gas Instantaneous 6 Star
Cooling System	3-Phase Ducted Air-Con EER 3.0-3.5
Heating System	3-Phase Ducted Air-Con EER 3.0-3.5
Ventilation	As Per Basix Assessment
PV System	N/A
Cooking	Gas Cooktop & Electric Oven
Drying	Outdoor Clothesline
Lighting	As Per BASIX Certificate

swimming pool

Pool / Spa	N/A
Shading / Timer	N/A
Cover	N/A

AREAS

SITE:	560.30 m²
GROUND FLOOR:	153.46 m²
FIRST FLOOR:	177.03 m²
GARAGE:	34.23 m²
PORCH:	4.01 m²
BALCONY:	N/A m²
ALFRESCO:	26.98 m²
	m²
TOTAL:	395.71 m²



0488 203 606

giuseppe@energiassessments.com.au

ABN 77 614 736 284

QUOTE	DATE	QUOTE NUMBER	REV				
KITCHEN			-				
ZURCORP ELECTRICAL			-				
TILES			-				
CARPET			-				
ZURCORP SECURITY			-				
EH1			-	H	25.11.22	UPDATED BASIX	MJ
AIR CONDITIONING			-	G	23.11.22	HYDRAULIC CO - ORDINATED	MJ
STAIRS			-	F	14.11.22	EXTERNAL COLOURS	PG.
LANDSCAPE				E	05.10.22	DA DRAWINGS	PG.
HYDRAULICS				D	19.09.22	PCV 1	PG./JS
ENGINEER				C	27.07.22	CONTRACT DRAWINGS	PG.
PEG OUT				B	28.06.22	RE-TENDER SITING	SB
				A	31.03.22	TENDER SITING	SB

CLIENT'S SIGNATURE: _____ DATE: _____

REV	DATE	AMENDMENTS	BY
-----	------	------------	----

2.5	ELEVATION SHADOWS
2.4	NEIGHBOUR NOTIFICATION PLAN
2.3	SHADOW DIAGRAM
2.2	SITE ANALYSIS PLAN
2.1	CONSTRUCTION MANAGEMENT
10	WET AREA DETAILS
9	WET AREA DETAILS
8	ELECTRICAL LAYOUT
7	SECTION
6	ELEVATIONS
5	ELEVATIONS
4	FIRST FLOOR PLAN
3	GROUND FLOOR PLAN
2	SITE PLAN
1	COVER SHEET
SHEET	DESCRIPTION

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

© ALL RIGHTS RESERVED
This plan is the property of
CLARENDON HOMES (NSW) P/L
Any copying or altering
of the drawing shall not be
undertaken without written
permission from
CLARENDON HOMES (NSW) P/L
ALL DIMENSIONS TO STRUCTURAL
ELEMENTS. DIMENSIONS TO BE READ
IN PREFERENCE TO SCALING.

PRODUCT:

STAMFORD 40
Saville
L/H Garage

Sapphire Specification

Master Issued: 01.03.21 Revision: A

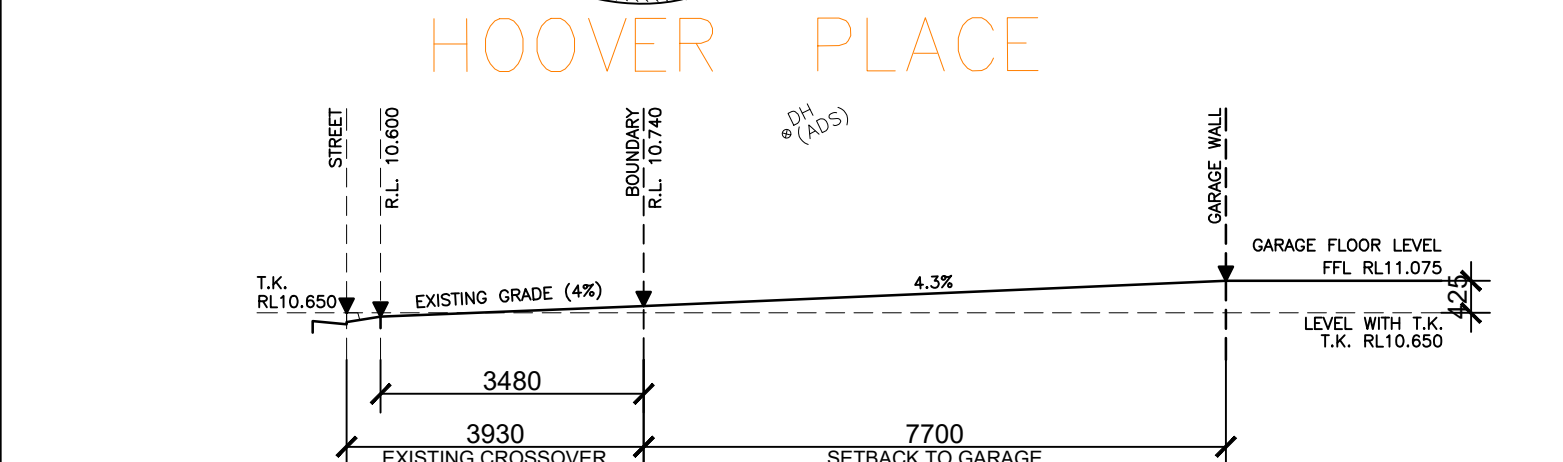
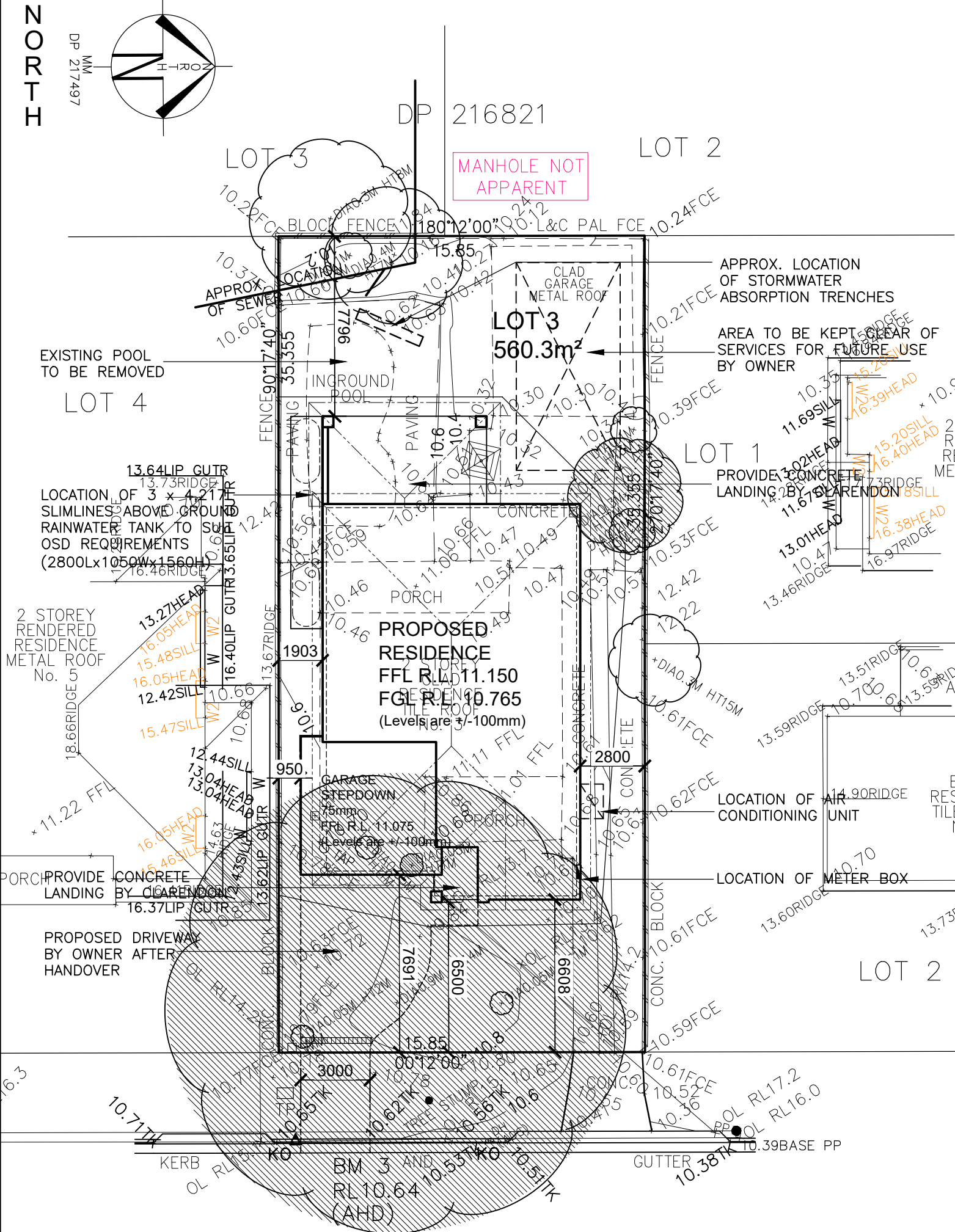
CLIENT:

Mr .CORREYA
Mrs. CORREYA

SITE ADDRESS:
Lot 3 No 3 DP 217497
Hoover Place
CROMER 2099

DA DRAWINGS

DRAWN: PG.	DATE: 27.07.22	Rev: H
RATIO @ A3: N/A	CHECKED: J.S	
SHEET: 1	JOB No: 29915732	NSW



SITE PLAN DRIVEWAY GRADIENT PROFILE
SCALE 1:200
SCALE - 1:100

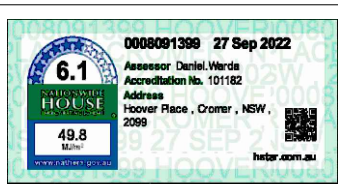
GENERAL NOTES

A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED

B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY

C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION

D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.



LOT 3
D.P: 217497
L.G.A: NORTHERN BEACHES

**SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011**

SITE AREA	560.3 m²
ROOF AREA	248.31 m²
LANDSCAPED AREA	
TOTAL LANDSCAPE AREA:	262.3 m²
(MIN. DIMENSION OF 2.0m)	46.8 %
MIN. REQUIRED BY COUNCIL:	40 %

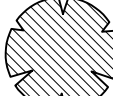
PRIVATE OPEN SPACE	
TOTAL OPEN SPACE AREA:	156.4 m²
(MIN. DIMENSION OF 5.0m)	
MIN. REQUIRED BY COUNCIL:	60 m²

HEIGHT RESTRICTION	
MAXIMUM RIDGE HEIGHT	8.5 m
MAXIMUM CEILING HEIGHT	7.2 m
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS MAY NOT COMPLY WITH REQUIREMENTS)	

BUILDING ENVELOPE	
BUILDING ENVELOPE TO BE PROJECTED AT 45° FROM A HEIGHT OF 4.0m AT BOUNDARY	

SITE COVERAGE	
STORMWATER CALCULATION	
ROOF FOOTPRINT:	248.3m²
DRIVEWAY/ PAVED AREAS:	40.1m²
TOTAL:	288.4m²
MAX SITE COVERAGE FOR OSD:	40%

BASIC LANDSCAPED AREA	
TOTAL LANDSCAPE AREA:	286.5 m²
(EXCLUDING SUBGRADE SURFACES)	51.1 %

 DENOTES TREES TO BE REMOVED BY OWNER PRIOR TO CONSTRUCTION

WIND CLASSIFICATION: "N2"

SLAB CLASSIFICATION: "H1"

NOTE:

ALL GROUND LINES ARE APPROXIMATE. EXTENT OF FILL & BATTER WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED SITE SPECIFIC

RETAINING WALLS TO BE CONSTRUCTED WHOLLY WITHIN PROPERTY BOUNDARY INCLUDING DRAINAGE AND FOOTINGS

NOTE:

OWNER TO DEMOLISH & REMOVE FROM SITE EXISTING HOUSE, INCLUDING FOOTINGS & SERVICES ABOVE & BELOW GROUND, PATHS, DRIVE, TREES & FENCES ETC. PRIOR TO COMMENCEMENT OF CONSTRUCTION.

**STORMWATER TO STREET
VIA ON-SITE DETENTION
AND RAINWATER TANKS**

REFER TO HYDRAULIC DETAILS

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

© ALL RIGHTS RESERVED
This plan is the property of CLARENDON HOMES (NSW) P/L
Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L
ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.

PRODUCT:

STAMFORD 40
Saville
L/H Garage

Sapphire Specification

CLIENT:

**Mr .CORREYA
Mrs. CORREYA**

SITE ADDRESS:

**Lot 3 No 3 DP 217497
Hoover Place
CROMER 2099**

DA DRAWINGS

DRAWN: SB	DATE: 28.06.22	Rev:
RATIO @ A3: 1:200	CHECKED: BG	H
SHEET: 2	JOB No: 29915732	NSW

● AIR CONDITIONING DUCT

Ⓢ SMOKE ALARM

⊗ EXHAUST FAN

SP STEEL POST

TSP TELESCOPIC STEEL POST

DP DOWN PIPE LOCATION

TAP GARDEN TAP LOCATION

LIFT OFF HINGES

ARTICULATION JOINTS TO ENGINEERS DETAILS

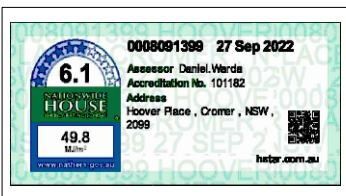
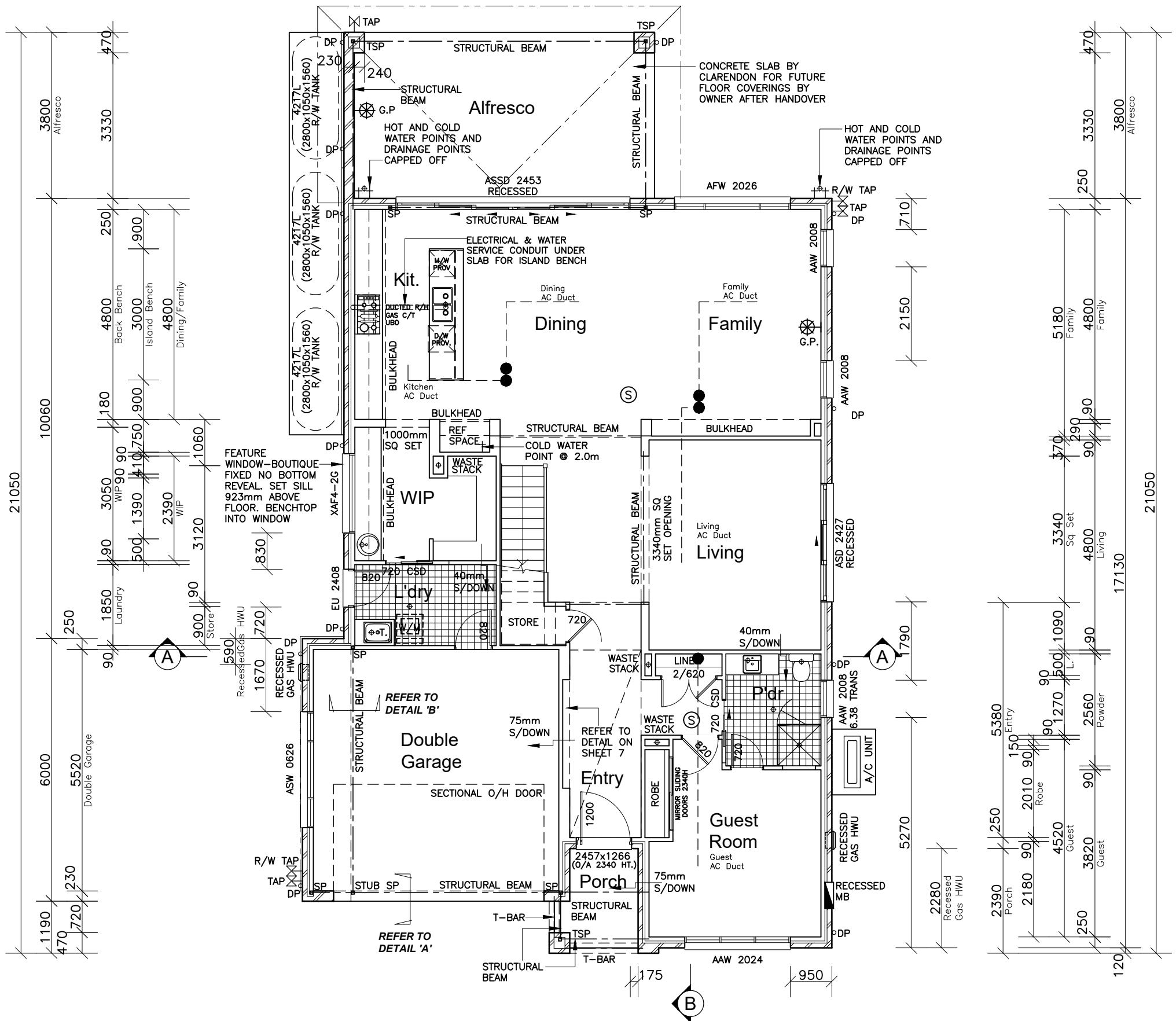
NOTE:
SHOWER NOOK/RECESS REFER TO
CDN 54.260 & SHEET 9 FOR DETAILS

NOTE:
PROVIDE GREY EPOXY FLOOR FINISH
TO GARAGE ONLY

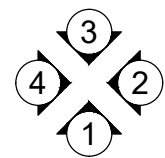
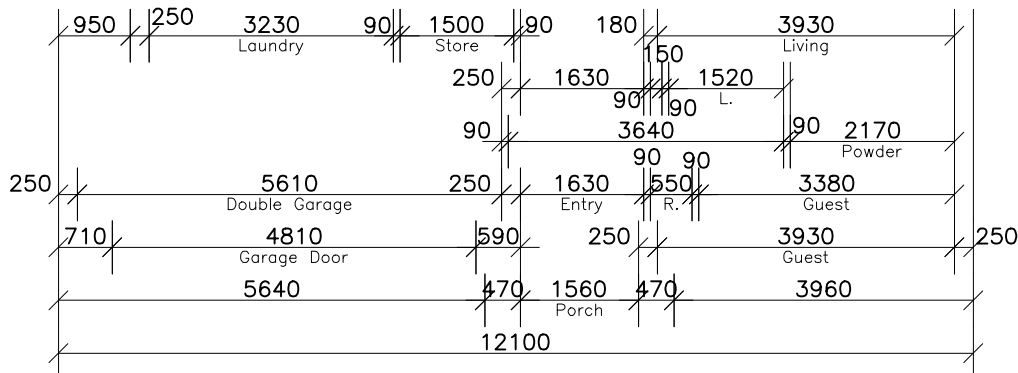
NOTE:
INTERNAL DOOR LEAF HEIGHTS TO
GROUND FLOOR TO BE 2340mm(H)

NOTE:
PROVIDE (x4) 450mm DEEP MELAMINE
SHELVING TO W.I.P

NOTE:
(UNLESS NOTED OTHERWISE)
300 DEEP BULKHEADS & SQ.
SETS. 150 DROPPED CEILINGS



GROUND FLOOR PLAN



CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

© ALL RIGHTS RESERVED
This plan is the property of
CLARENDON HOMES (NSW) P/L
Any copying or altering
of the drawing shall not be
undertaken without written
permission from
CLARENDON HOMES (NSW) P/L
ALL DIMENSIONS TO STRUCTURAL
ELEMENTS. DIMENSIONS TO BE READ
IN PREFERENCE TO SCALING.

PRODUCT:
STAMFORD 40
Saville
L/H Garage
Sapphire Specification

CLIENT:
Mr .CORREYA
Mrs. CORREYA
SITE ADDRESS:
Lot 3 No 3 DP 217497
Hoover Place
CROMER 2099

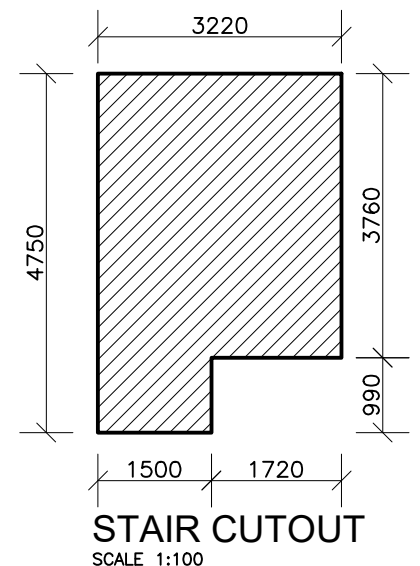
DA DRAWINGS

DRAWN: PG.	DATE: 27.07.22	Rev:
RATIO @ A3: 1:100	CHECKED: J.S	H
SHEET: 3	JOB No: 29915732	NSW

- ## ARTICULATION JOINTS TO ENGINEERS DETAILS

NOTE:
(UNLESS NOTED OTHERWISE)

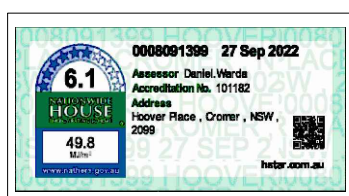
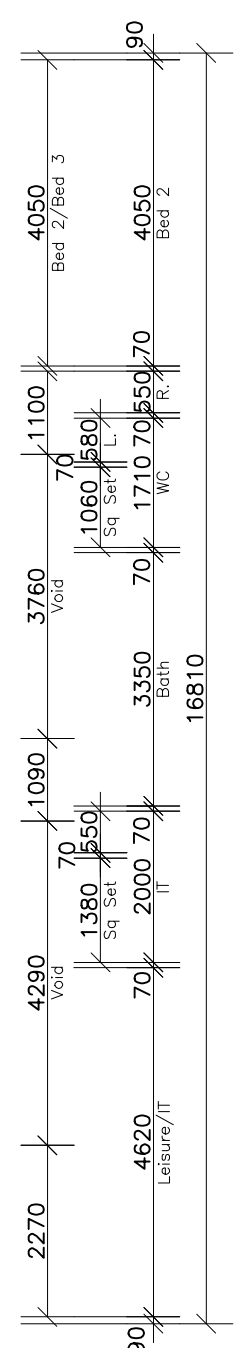
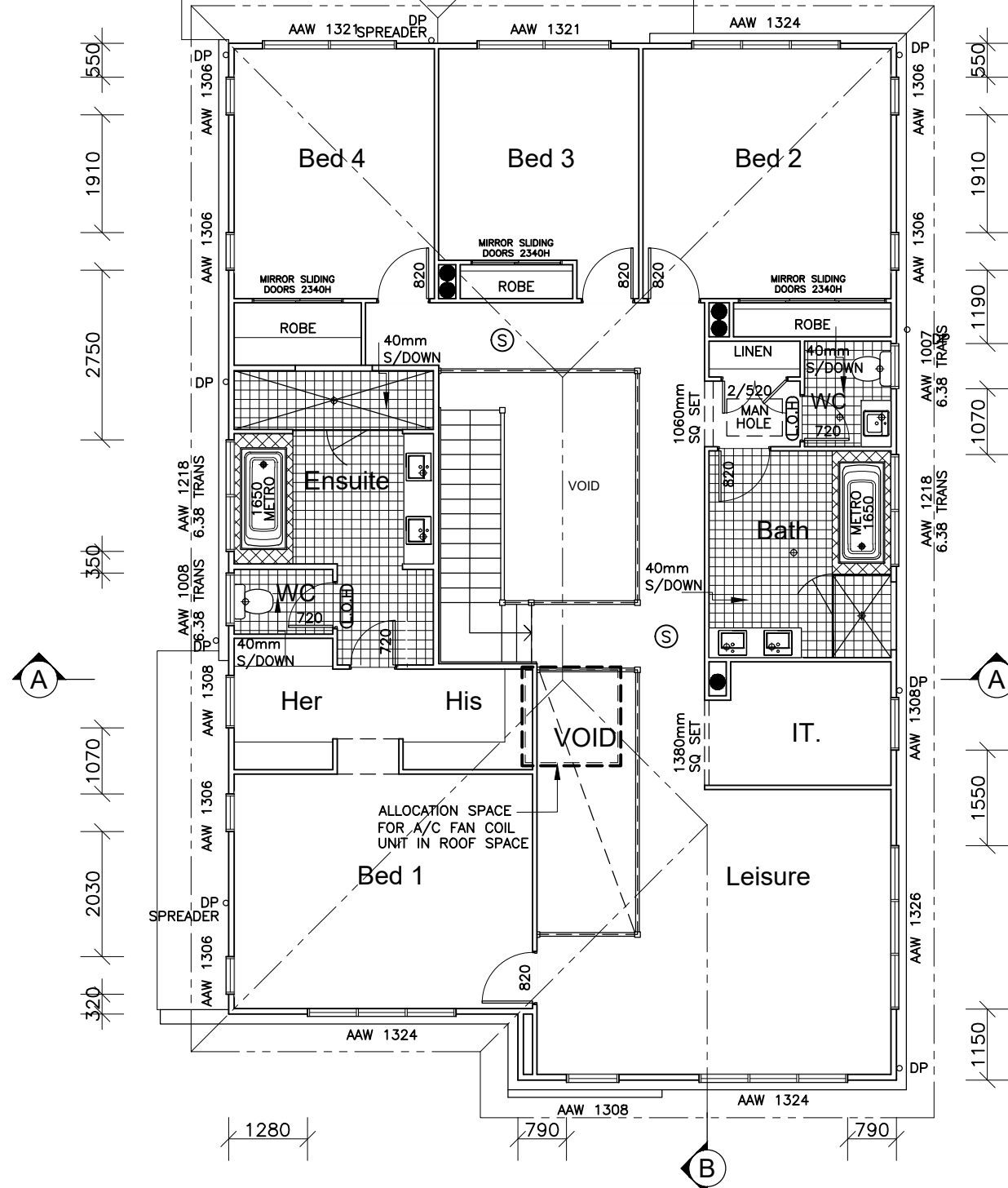
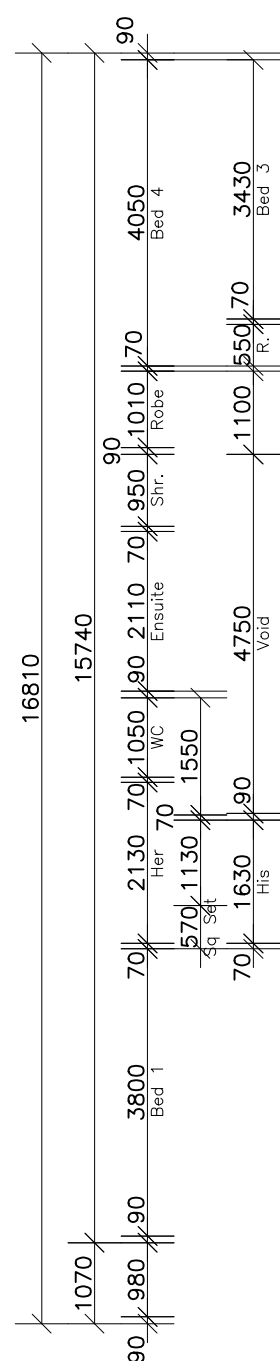
300 DEEP BULKHEADS & SQ.
SETS. 150 DROPPED CEILINGS



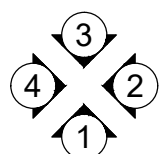
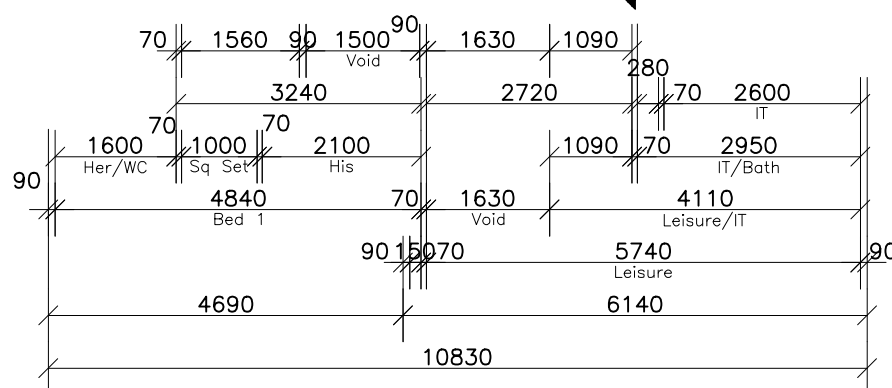
NOTE:
ALL FIRST FLOOR BEDROOM & LIVING
WINDOWS TO BE FITTED WITH A
RESTRICTING DEVICE COMPLIANT
WITH PART 3.9.2.5 OF THE B.C.A -
PROTECTION OF OPENABLE WINDOWS

NOTE:
SHOWER NOOK/RECESS REFER TO
CDN 54.260 & SHEET 10 FOR DETAILS

NOTE:
INTERNAL DOOR LEAF HEIGHTS TO
FIRST FLOOR TO BE 2340mm(H)



FIRST FLOOR PLAN



CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

© ALL RIGHTS RESERVED
This plan is the property of
CLARENDON HOMES (NSW) P/L
Any copying or altering
of the drawing shall not be
undertaken without written
permission from
CLARENDON HOMES (NSW) P/L
ALL DIMENSIONS TO STRUCTURAL
ELEMENTS. DIMENSIONS TO BE READ
IN PREFERENCE TO SCALING.

PRODUCT:
STAMFORD 40
Saville
L/H Garage

Sapphire Specification

CLIENT:
Mr .CORREYA
Mrs. CORREYA

SITE ADDRESS:
Lot 3 No 3 DP 217497
Hoover Place
CROMER 2099

DA DRAWINGS

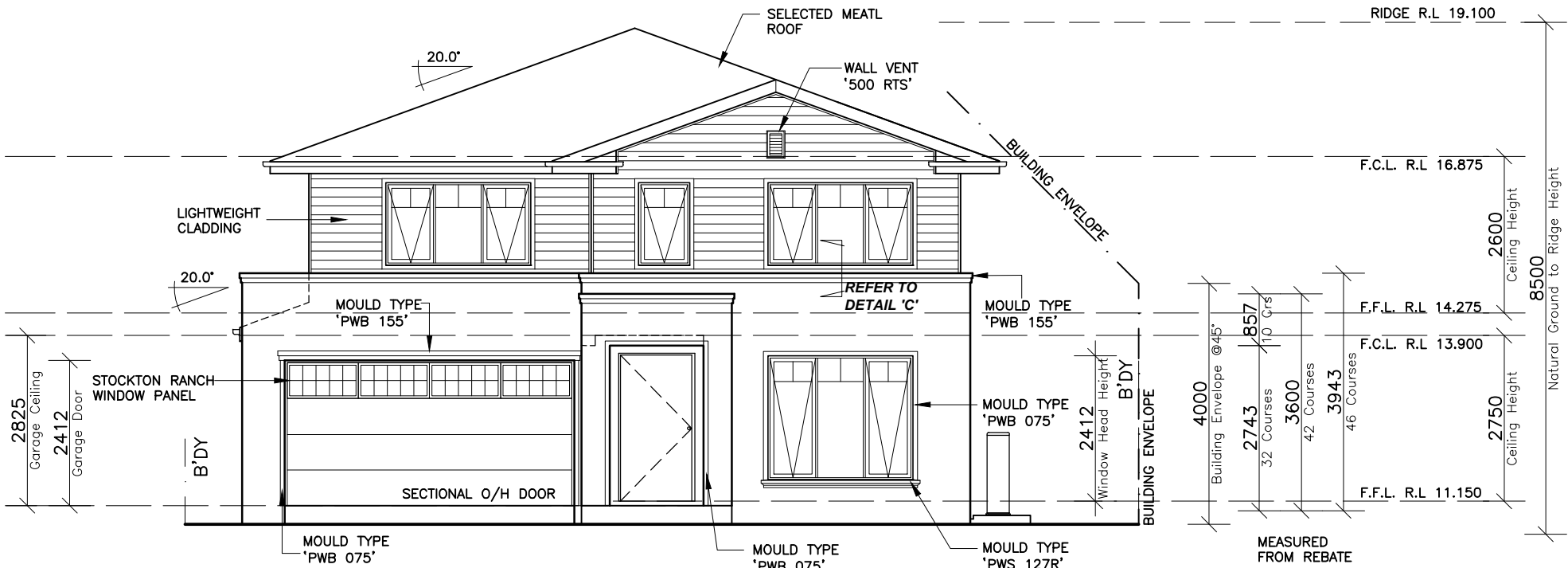
DRAWN: PG.	DATE: 27.07.22	Rev: H
RATIO @ A3: 1:100	CHECKED: J.S	
SHEET: 4	JOB No: 29915732	

NSW

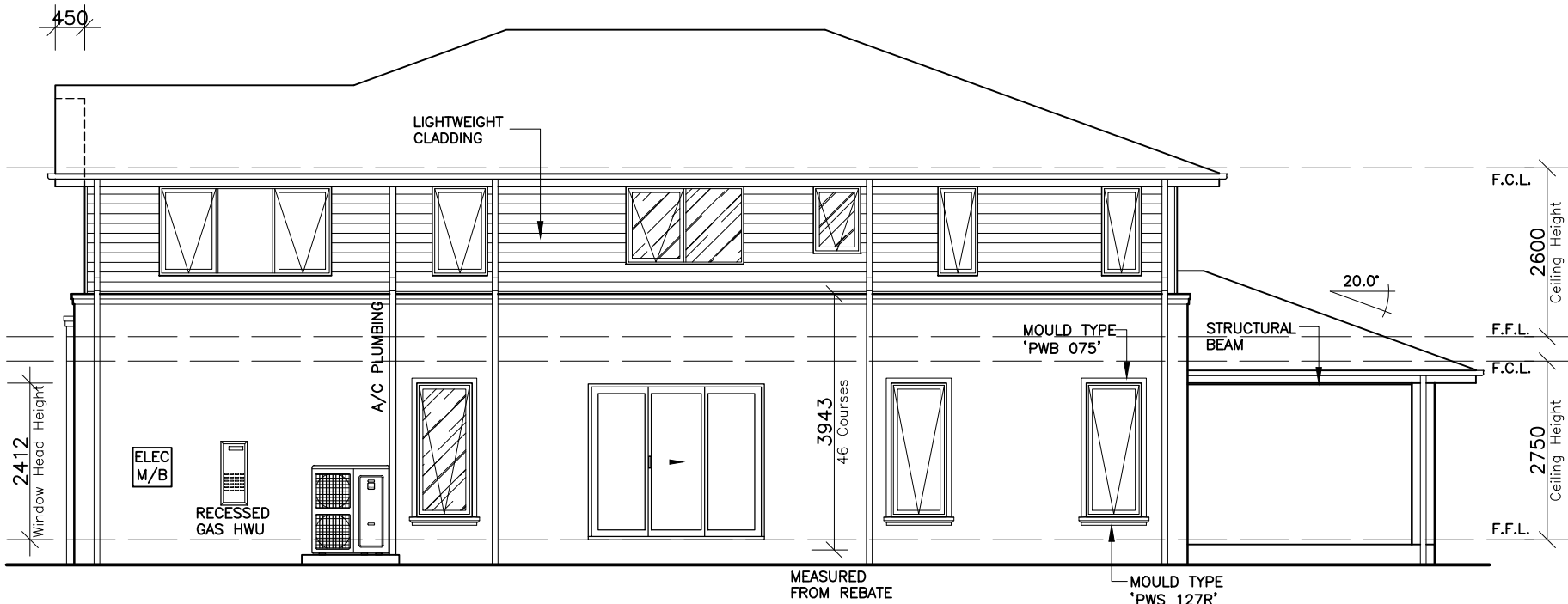
HEBEL FLOORING
CONSTRUCTION

DENOTES WINDOWS WITH
6.38MM TRANSLUCENT
GLAZING

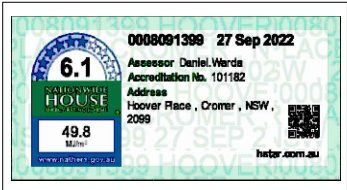
NOTES:
FOR DROP-OFF's REFER
TO FRAMING DETAILS
CDN 21.010-21.080



ELEVATION 1
-EAST-



ELEVATION 2
-NORTH-



CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

© ALL RIGHTS RESERVED
This plan is the property of
CLARENDON HOMES (NSW) P/L
Any copying or altering
of the drawing shall not be
undertaken without written
permission from
CLARENDON HOMES (NSW) P/L
ALL DIMENSIONS TO STRUCTURAL
ELEMENTS. DIMENSIONS TO BE READ
IN PREFERENCE TO SCALING.

PRODUCT:
STAMFORD 40
Saville
L/H Garage

Sapphire Specification

CLIENT:
Mr .CORREYA
Mrs. CORREYA
SITE ADDRESS:
Lot 3 No 3 DP 217497
Hoover Place
CROMER 2099

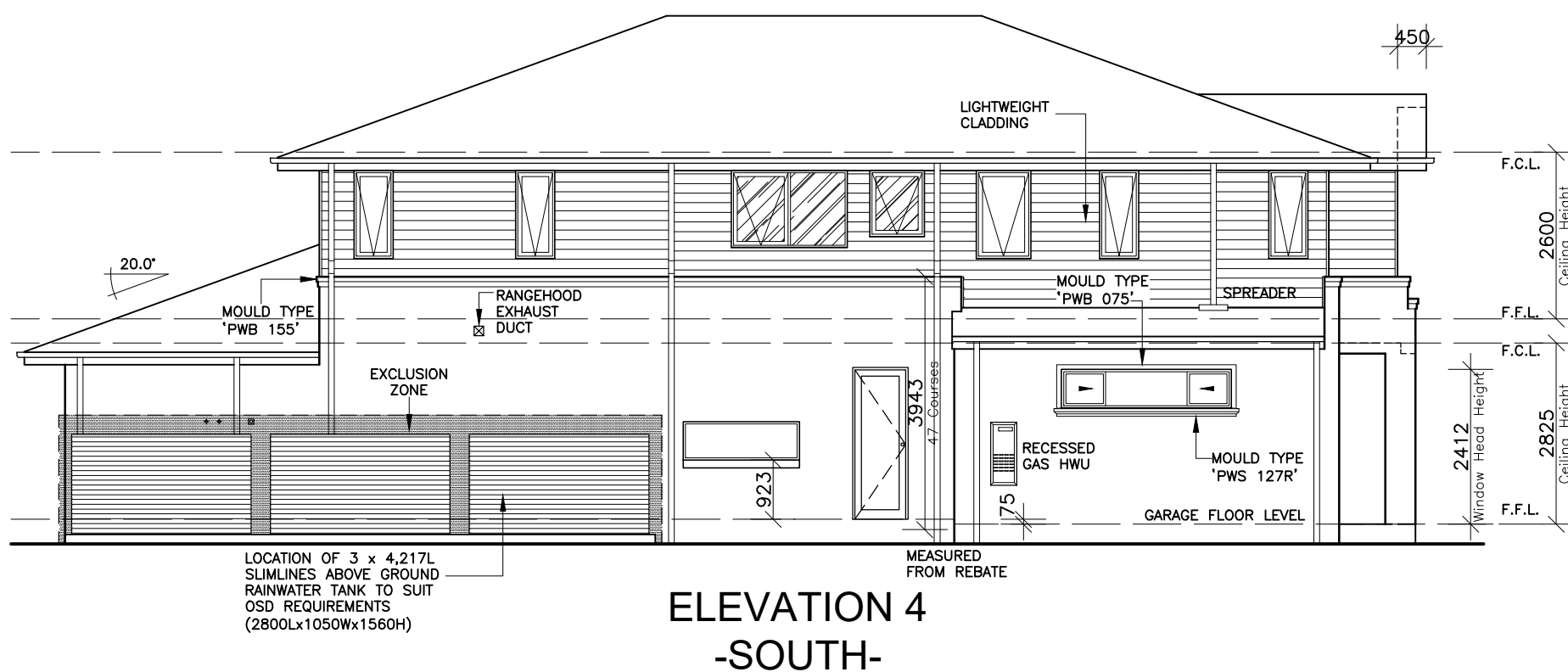
DA DRAWINGS

DRAWN: PG.	DATE: 27.07.22	Rev: H
RATIO @ A3: 1:100	CHECKED: J.S	
SHEET: 5	JOB No: 29915732	NSW

 DENOTES WINDOWS WITH 6.38MM TRANSLUCENT GLAZING

Architectural elevation drawing of the West Elevation of a building. The drawing includes the following details:

- Roof:** A gabled roof with a 20.0° pitch. The main roof is labeled "SELECTED MEATL ROOF". A smaller gabled section on the right is labeled "SPREADER".
- Walls:** The upper story is labeled "LIGHTWEIGHT CLADDING". The lower story features a large window unit labeled "MOULD TYPE 'PWS 127R'".
- Windows:** The upper story has three windows labeled "MOULD TYPE 'PWB 075'". The lower story has a large window unit.
- Dimensions:**
 - Total height: 4000
 - Window head height: 2412
 - Total width: 3943 (46 Courses)
 - Building Envelope B'DY: 4000
 - Building Envelope @45°: 4000
 - Window Head Height: 2412
 - 3943 (46 Courses)
 - MEASURED FROM REBATE
 - MOULD TYPE 'PWB 075'
 - MOULD TYPE 'PWS 127R'
 - 20.0°
 - 20.0°
 - 2600 Ceiling Height
 - 2750 Ceiling Height
 - B'DY
- Elevation Levels:**
 - F.C.L. R.L 16.875
 - F.F.L. R.L 14.275
 - F.C.L. R.L 13.900
 - F.F.L. R.L 11.150
- Other Labels:** "BUILDING ENVELOPE", "BUILDING ENVELOPE @45°", "ELEVATION 3 -WEST-", "STRUCTURAL BEAM".



BL No. 2298C
ABN 18 003 892 706

© ALL RIGHTS RESERVED
This plan is the property of
CLARENDON HOMES (NSW) P/L
Any copying or altering
of the drawing shall not be
undertaken without written
permission from
CLARENDON HOMES (NSW) P/L
**# ALL DIMENSIONS TO STRUCTURAL
ELEMENTS. DIMENSIONS TO BE READ
IN PREFERENCE TO SCALING.**

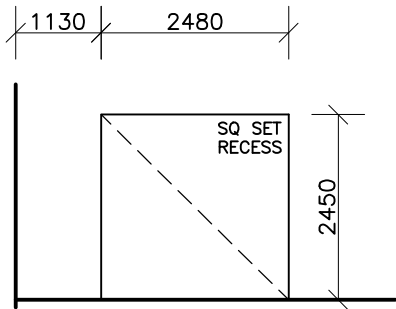
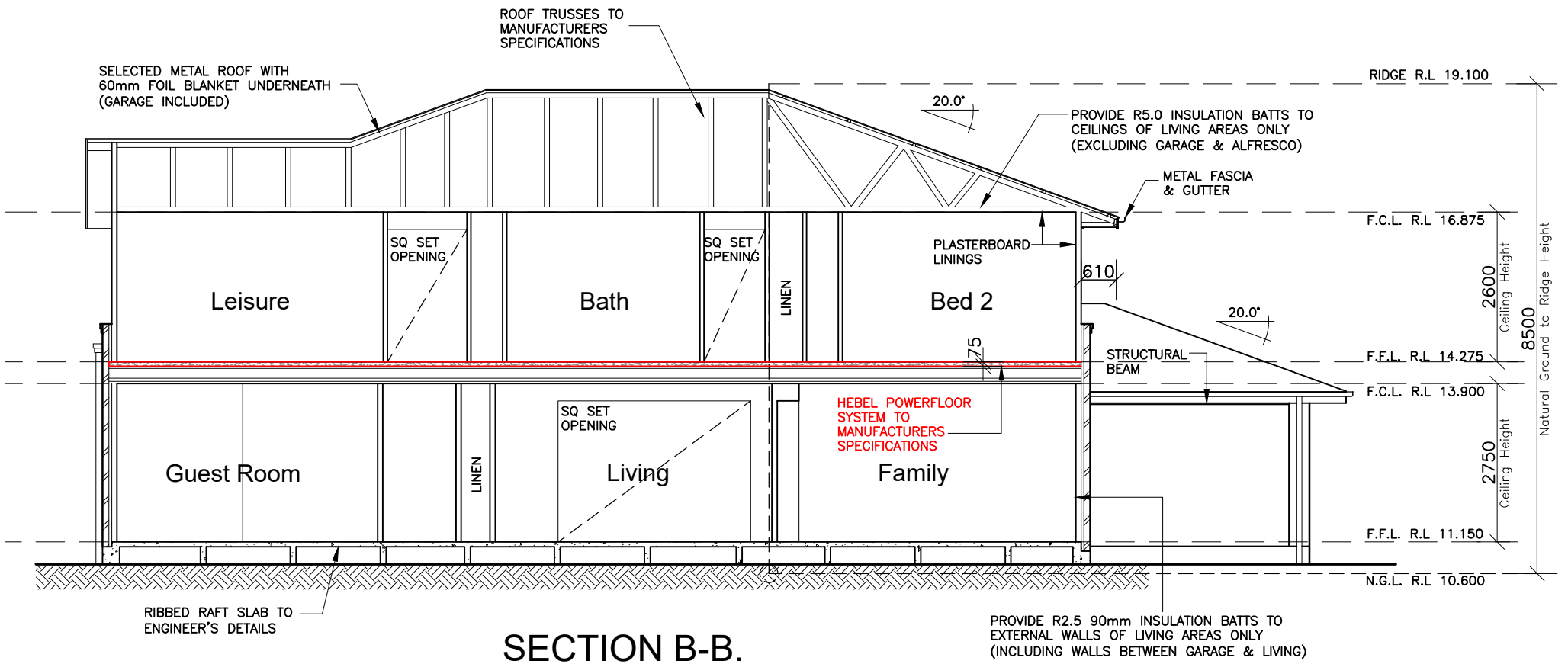
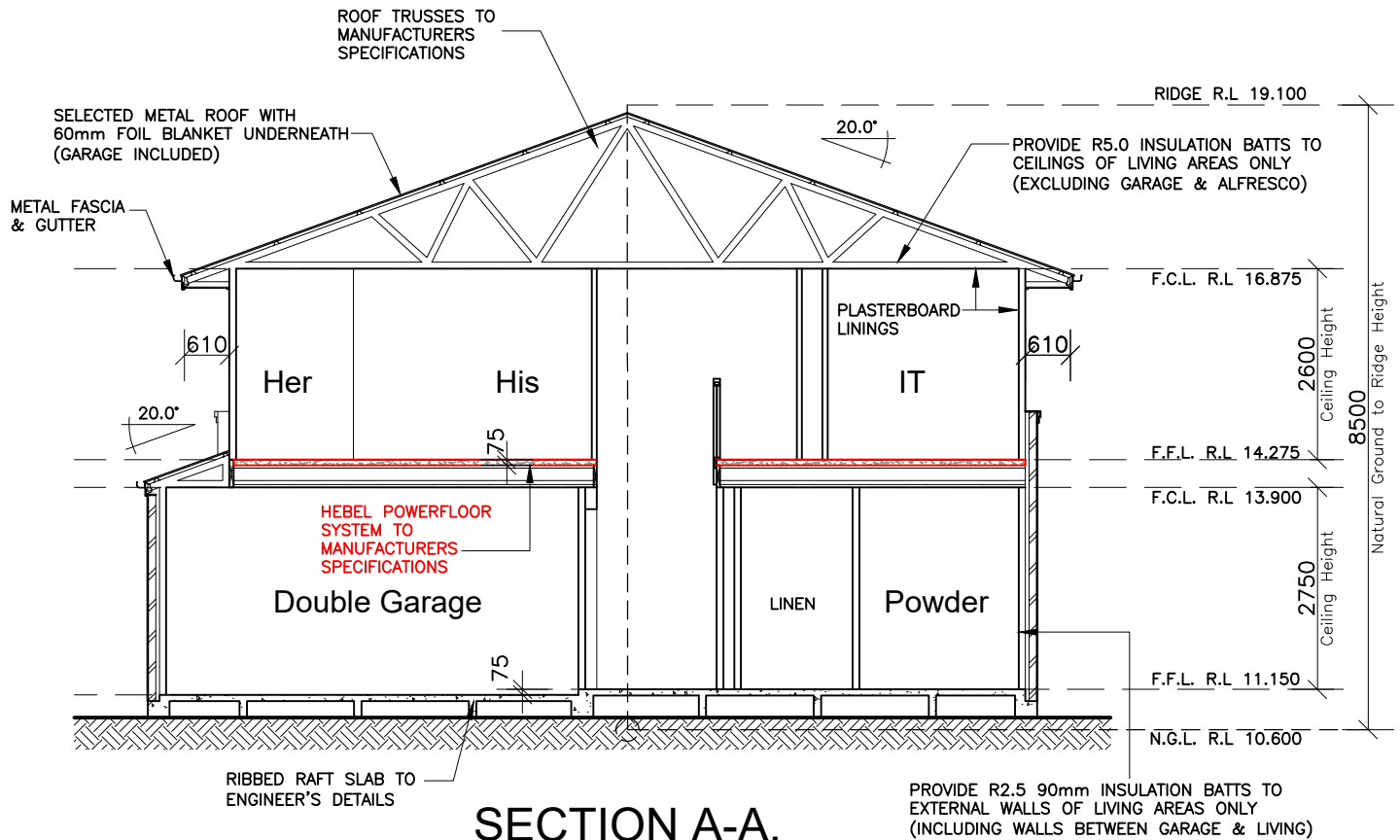
CLIENT: Mr .CORREYA Mrs. CORREYA
SITE ADDRESS: Lot 3 No 3 DP 217497 Hoover Place CROMER 2099

DRAWN: PG.	DATE: 27.07.22	Rev: H
RATIO @ A3: 1:100	CHECKED: J.S	
SHEET: 6	JOB No: 29915732	NSW

NOTE:
INTERNAL DOOR LEAF HEIGHTS TO
GROUND AND FIRST FLOOR
TO BE 2340mm(H)

HEBEL FLOORING
CONSTRUCTION

NOTE -
CLIENT TO INSTALL CEILING FANS TO FAMILY,
LIVING & LEISURE AFTER HANDOVER TO
COMPLY WITH BASIX REQUIREMENTS
O.C WON'T BE ISSUED UNTIL CEILING FANS
INSTALLED



ENTRY HALLWAY
DETAIL

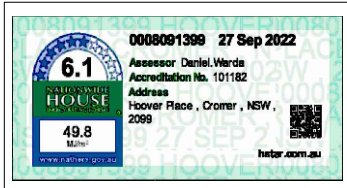
VIEWED FROM ENTRY

'PWB 075'
SCALE 1:10

'PWB 155'
SCALE 1:10

'PWS 127R'
SCALE 1:10

HAMPTONS MOULDING PROFILES



CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes
BL No. 2298C
ABN 18 003 892 706
Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

© ALL RIGHTS RESERVED
This plan is the property of
CLARENDON HOMES (NSW) P/L
Any copying or altering
of the drawing shall not be
undertaken without written
permission from
CLARENDON HOMES (NSW) P/L
ALL DIMENSIONS TO STRUCTURAL
ELEMENTS. DIMENSIONS TO BE READ
IN PREFERENCE TO SCALING.

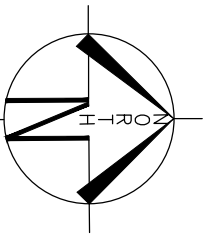
PRODUCT:
STAMFORD 40
Saville
L/H Garage
Sapphire Specification

CLIENT:
Mr .CORREYA
Mrs. CORREYA
SITE ADDRESS:
Lot 3 No 3 DP 217497
Hoover Place
CROMER 2099

DA DRAWINGS		
DRAWN: PG.	DATE: 27.07.22	Rev: H
RATIO @ A3: 1:100	CHECKED: J.S	
SHEET: 7	JOB No: 29915732	NSW

NORTH

DP 217497



LOT 3
D.P: 217497
L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011

DP 216821

LOT 2

MANHOLE NOT
APPARENT

LOT 4

LOT 3
560.3m²

LOT 1

2 STOREY
RENDERED
RESIDENCE
METAL ROOF

PROPOSED
RESIDENCE
FFL R.L. 11.150
FGL R.L. 10.765
(Levels are +/-100mm)

GARAGE
STEPPDOWN
75mm
FFL R.L. 11.075
(Levels are +/-100mm)

BRICK
RESIDENCE
TILE ROOF
No. 1

2 STOREY
RENDERED
RESIDENCE
METAL ROOF
No. 5

PORCH

APPROXIMATE LOCATION
OF SEDIMENT FENCE

ALL WEATHER
ACCESS POSITION

SEDIMENT FENCE AROUND
WASTE MATERIALS

PP
10.84BASE PP

KERB

KO

BM 3

AND

KO

GUTTER

PP
10.39BASE PP

RL10.64 PORTABLE TOILET
(AHD)

HOOVER PLACE

DH
(ADS)

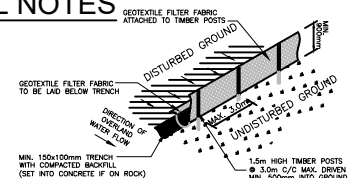
NOTE:
TEMPORARY SECURITY FENCING TO
THE PERIMETER OF THE BOUNDARY
WHERE REQUIRED TO PREVENT
PUBLIC ACCESS ONTO THE SITE

NOTE:
GROUND LINES ARE APPROXIMATE.
EXTENT OF CUT AND FILL BATTERS
WILL BE DETERMINED ON SITE.
SEDIMENT BARRIERS ARE
CUSTOMISED TO SITE CONDITIONS

CONSTRUCTION MANAGEMENT PLAN EROSION AND SEDIMENT CONTROL PLAN

SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 80% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEPED DAILY.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
8. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.



SEDIMENT FENCE
NOT TO SCALE

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

© ALL RIGHTS RESERVED
This plan is the property of
CLARENDON HOMES (NSW) P/L
Any copying or altering
of the drawing shall not be
undertaken without written
permission from
CLARENDON HOMES (NSW) P/L
ALL DIMENSIONS TO STRUCTURAL
ELEMENTS. DIMENSIONS TO BE READ
IN PREFERENCE TO SCALING.

PRODUCT:
STAMFORD 40
Saville
L/H Garage

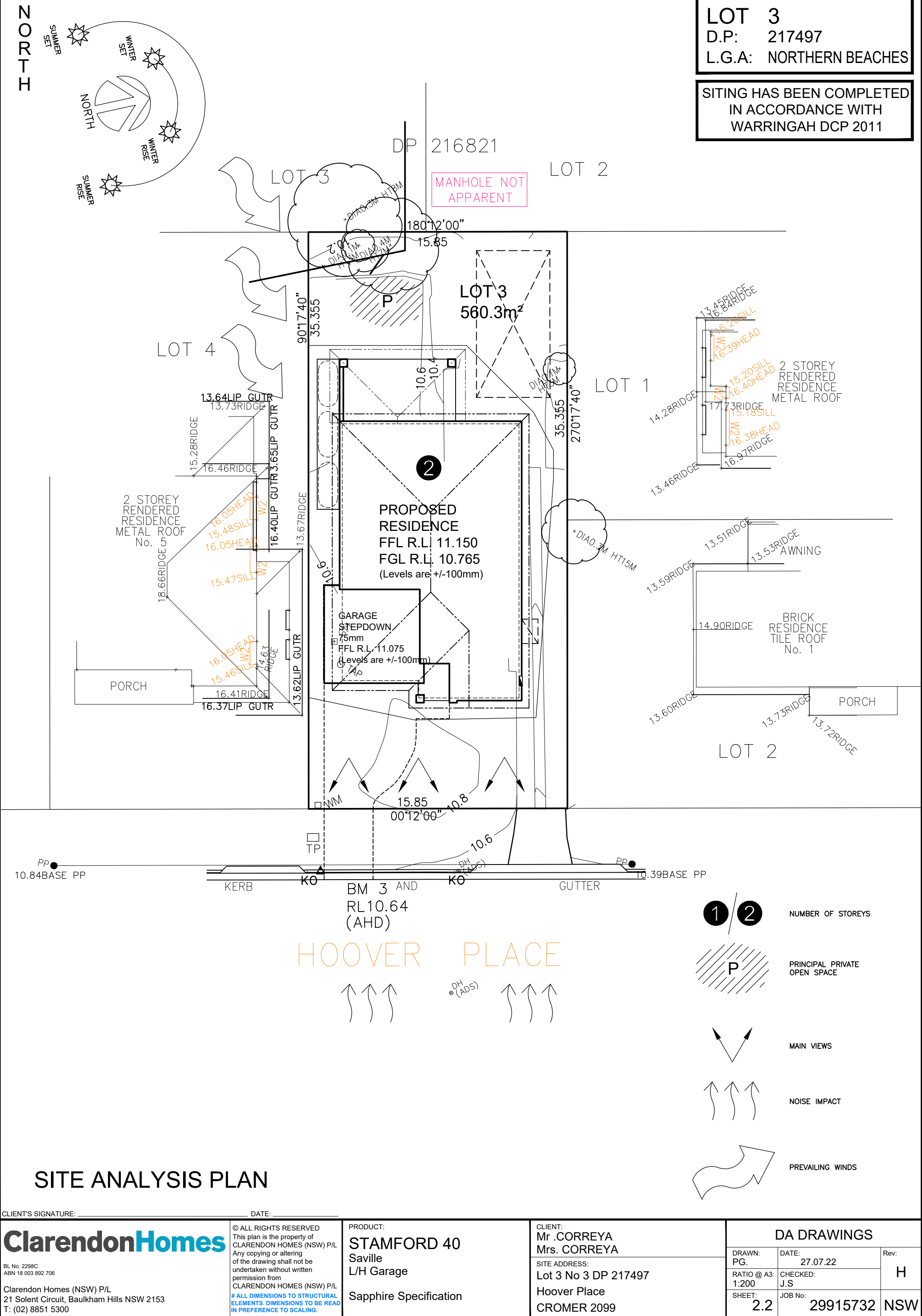
Sapphire Specification

CLIENT:
Mr .CORREYA
Mrs. CORREYA

SITE ADDRESS:
Lot 3 No 3 DP 217497
Hoover Place
CROMER 2099

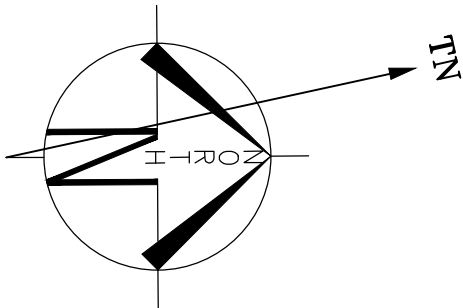
DA DRAWINGS

DRAWN: PG.	DATE: 27.07.22	Rev:
RATIO @ A3: 1:200	CHECKED: J.S	H
SHEET: 2.1	JOB No: 29915732	NSW



NORTH

DP 217497



LOT 3

D.P: 217497

L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011

LOT 3

DP 216821

LOT 2

MANHOLE NOT
APPARENT

Shadow outline for JUN21-9.00am

LOT 3
560.3m²

LOT 4

LOT 1

2 STOREY
RENDERED
RESIDENCE
METAL ROOF
No. 5

2 STOREY
RENDERED
RESIDENCE
METAL ROOF

BRICK
RESIDENCE
TILE ROOF
No. 1

PORCH

PORCH

LOT 2

Shadow outline for JUN21-12.00pm

PP
10.84BASE PP

KERB

TP

BM 3 AND
RL10.64
(AHD)

GUTTER

PP
10.39BASE PP

Shadow outline for JUN21-3.00pm

HOOVER PLACE

DH
(ADS)

SHADOW DIAGRAM @ 21st JUNE

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

© ALL RIGHTS RESERVED
This plan is the property of
CLARENDON HOMES (NSW) P/L
Any copying or altering
of the drawing shall not be
undertaken without written
permission from
CLARENDON HOMES (NSW) P/L
ALL DIMENSIONS TO STRUCTURAL
ELEMENTS. DIMENSIONS TO BE READ
IN PREFERENCE TO SCALING.

PRODUCT:
STAMFORD 40
Saville
L/H Garage

Sapphire Specification

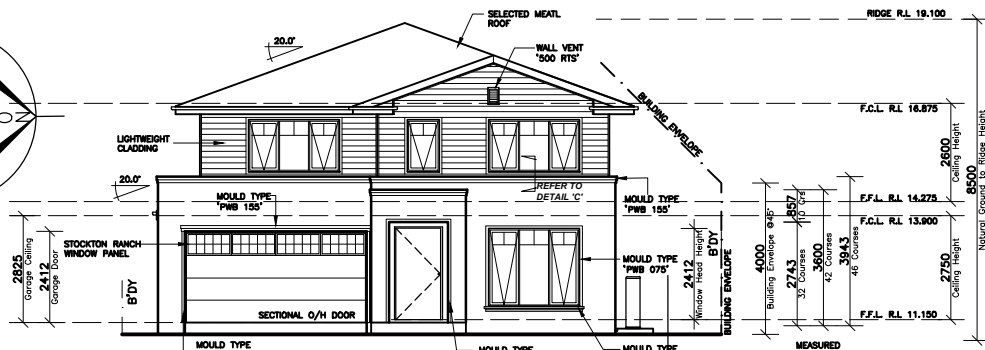
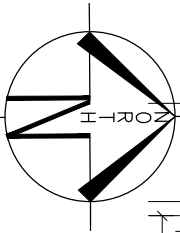
CLIENT:
Mr .CORREYA
Mrs. CORREYA
SITE ADDRESS:
Lot 3 No 3 DP 217497
Hoover Place
CROMER 2099

DA DRAWINGS

DRAWN: PG.	DATE: 27.07.22	Rev:
RATIO @ A3: 1:200	CHECKED: J.S	H
SHEET: 2.3	JOB No: 29915732	NSW

NORTH

DP 217497



ELEVATION 1
-EAST-

DP 216821

MANHOLE NOT
APPARENT



ELEVATION 3
-WEST-

LOT 4

LOT 3
560.3m²

LOT 1

LOT 2

2 STOREY
RENDERED
RESIDENCE
METAL ROOF
No. 5

PROPOSED
RESIDENCE
FFL R.L. 11.150
FGL R.L. 10.765
(Levels are +/-100mm)

GARAGE
STEPDOWN
75mm
FFL R.L. 11.075
(Levels are +/-100mm)

BRICK
RESIDENCE
TILE ROOF
No. 1

PORCH

PORCH

PP
10.84BASE PP

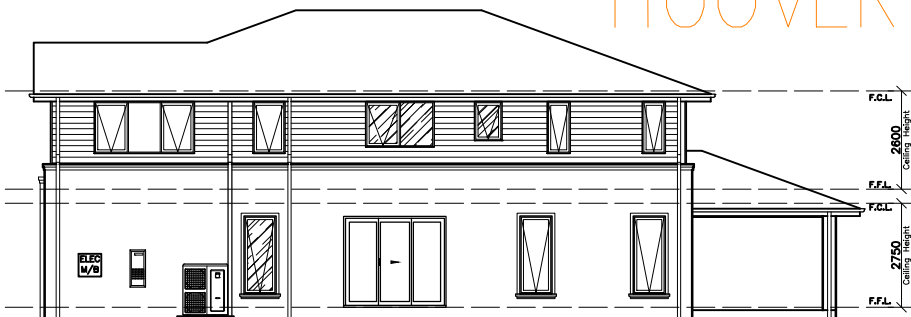
KERB

BM 3 AND
RL10.64
(AHD)

GUTTER

PP
10.39BASE PP

HOOVER PLACE



ELEVATION 2
-NORTH-



ELEVATION 4
-SOUTH-

NEIGHBOUR NOTIFICATION PLAN

CLIENT'S SIGNATURE: _____

DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

© ALL RIGHTS RESERVED
This plan is the property of
CLARENDON HOMES (NSW) P/L
Any copying or altering
of the drawing shall not be
undertaken without written
permission from
CLARENDON HOMES (NSW) P/L
ALL DIMENSIONS TO STRUCTURAL
ELEMENTS. DIMENSIONS TO BE READ
IN PREFERENCE TO SCALING.

PRODUCT:
STAMFORD 40
Saville
L/H Garage

Sapphire Specification

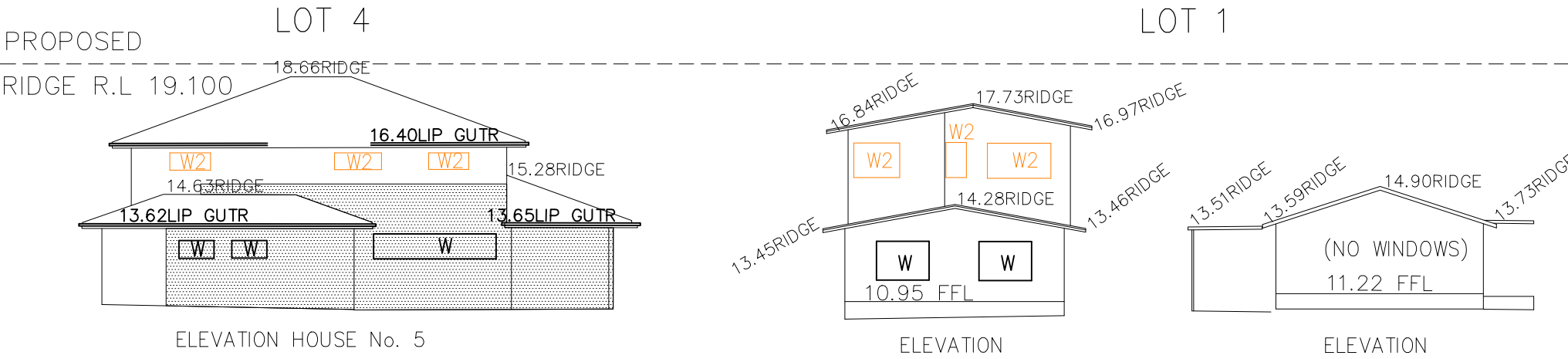
CLIENT:
Mr .CORREYA
Mrs. CORREYA
SITE ADDRESS:
Lot 3 No 3 DP 217497
Hoover Place
CROMER 2099

DA DRAWINGS

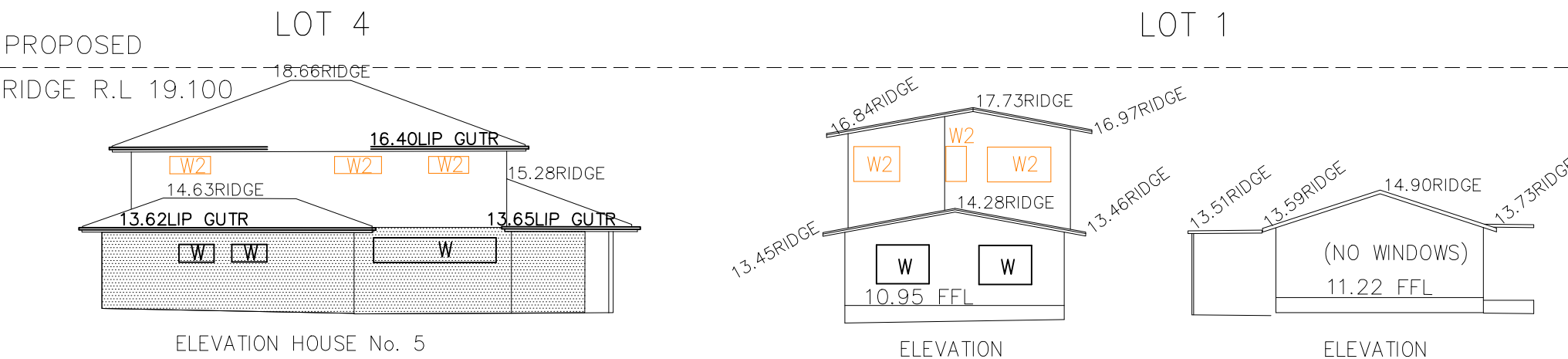
DRAWN: PG.	DATE: 27.07.22	Rev:
RATIO @ A3: 1:200	CHECKED: J.S	H
SHEET: 2.4	JOB No: 29915732	NSW

LOT 3
D.P: 217497
L.G.A: NORTHERN BEACHES

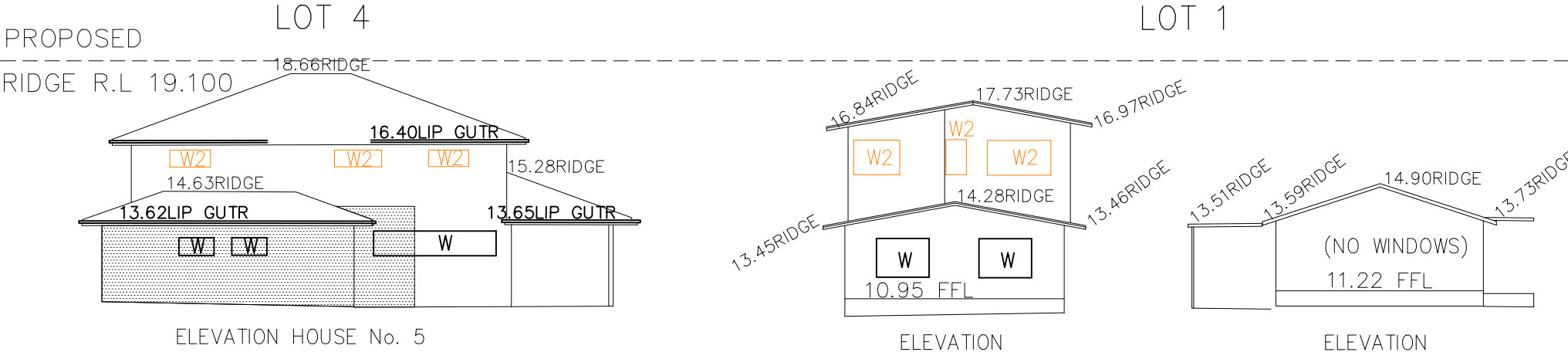
SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
WARRINGAH DCP 2011



Shadow outline for JUN21-9.00am



Shadow outline for JUN21-12.00pm



Shadow outline for JUN21-3.00pm

ELEVATIONAL SHADOWS @ 21st JUNE

CLIENT'S SIGNATURE: _____		DATE: _____			
ClarendonHomes BL No. 2298C ABN 18 003 892 706 Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300	© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.	PRODUCT: STAMFORD 40 Saville L/H Garage Sapphire Specification	CLIENT: Mr .CORREYA Mrs. CORREYA		
			SITE ADDRESS: Lot 3 No 3 DP 217497 Hoover Place CROMER 2099		
			DA DRAWINGS		
			DRAWN: PG.	DATE: 27.07.22	Rev: H
RATIO @ A3: 1:200			CHECKED: J.S		
SHEET: 2.5			JOB No: 29915732	NSW	