

29 July 2009

General Manager
Pittwater Council
PO Box 882
MONA VALE NSW 1660

Dear Sir/Madam

Development Application No N0498/08
31 Argyle Street, Bilgola Plateau

For Council's information, please find enclosed Construction Certificate No 2009/3373 issued for alterations & additions to an existing dwelling at the above address, accompanied by

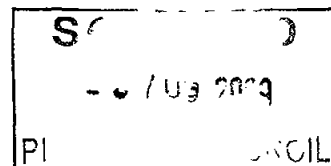
- Copy Construction Certificate application form
- Notice of Commencement of Work and Appointment of Principal Certifying Authority
- Builder's Home Warranty Insurance
- Cheque for \$30 00 being the prescribed fee to receive the above certificate

NB Please forward receipt for the above fee to **Insight Building Certifiers Pty Ltd, PO Box 326, Mona Vale 1660**

Yours faithfully



Tom Bowden
Insight Building Certifiers Pty Ltd



R 262743

~~\$\$\$~~

\$30.00

30/7/09

Construction Certificate Determination

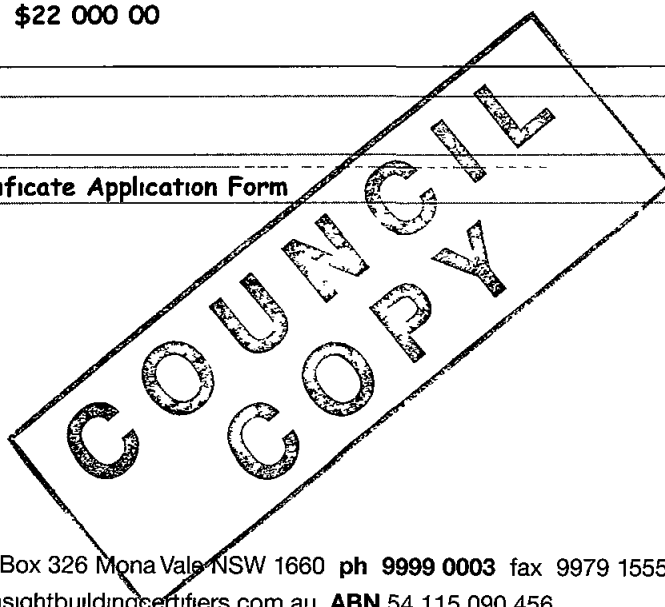
issued under the Environmental
Planning and Assessment Act 1979
Section 109C (1) (b) 81A (2) and 81A (4)

Certificate No 2009/3373

Council	Pittwater
Determination date of issue	Approved 28 July 2009
Subject land Address Lot No, DP No	31 Argyle Street Bilgola Plateau Lot 272 DP 16327
Applicant Name Address Contact No	Mrs Ellisa Miller 31 Argyle Street Bilgola Plateau NSW 2107 9918 9635 / 0403 957 525
Owner Name Address Contact No	Mr Ben & Mrs Ellisa Miller 31 Argyle Street Bilgola Plateau NSW 2107 9918 9635 / 0403 957 525
Description of Development Type of Work	Alterations & additions to an existing dwelling
Builder or Owner/Builder Name Contractor Licence No/Permit	Ben Miller Owner Builder Permit No 366832P
Value of Work Building	\$22 000 00

Attachments

- Copy of completed Construction Certificate Application Form



Plans & Specifications certified

The development is to be carried out in compliance with the following plans and documentation listed below and endorsed with *Insight Building Certifiers* stamp

- Architectural Plans & Construction Specification reference no 1108 drawing nos 1, 2 3 4 & 5 prepared by J D Evans & Co Pty Ltd dated 6 August 2008
- Structural Details reference no 090701 drawing nos S1 0 S2 0 S3 0 & S4 0 prepared & endorsed by Barrenjoey Consulting Engineers Pty Ltd dated July 2009
- Sydney Water Approval dated 24 April 2009

Certificate

I hereby certify that the above Plans documents or Certificates satisfy

- The relevant provisions of the Building Code of Australia
- The relevant conditions of this Development Consent

and that work completed in accordance with the documentation accompanying the application for this Certificate (and any modifications as verified by me and shown on that documentation) will comply with the requirements of the Environmental Planning & Assessment Regulation referred to in Section 81A(5) of the Environmental Planning & Assessment Act 1979

Signed



Date of endorsement
Certificate No

28 JUL 2009
2009/3373

Certifying Authority

Name of Accredited Certifier
Accreditation No
Accreditation Authority
Contact No
Address

Tom Bowden
BPB 0042
Building Professionals Board
(02) 9999 0003
13/90 Mona Vale Road Mona Vale NSW 2103

Development Consent

Development Application No
Date of Determination

N0498/08
30 January 2009

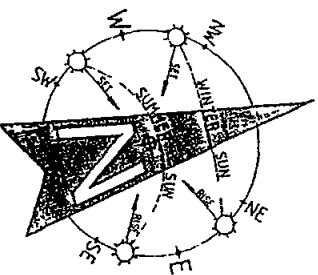
BCA Classification

1a

SYDNEY WATER APPROVED

- Position of structure in relation to Sydney Water assets is satisfactory
- Connections to Sydney Water sewer/water services may only be made following the issue of a permit to a licensed plumber/drafter. It is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's sewer
- Any plumbing and/or drainage work to be carried out in accordance with the Sydney Water Act 1994 AS 3500 and the NSW Code of Practice
- Gullies, Inspection Shafts and Boundary Traps shall not be placed under any Roof Balcony, Floor or other cover unless otherwise approved by Sydney Water
- Property No 3397469
Reece Mona Vale
Quick Check Agent on behalf of
SYDNEY WATER

For RECE 24/4/09



- NOTES**
- THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING
 - SHOULD ANY DEVELOPMENT OR CONSTRUCTION OCCUR ON OR NEAR BOUNDARIES THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE BY THE REGISTERED LAND SURVEYORS

Builder is to check and confirm all dimensions, elevations and levels on site prior to construction. Do not scale the drawing. Use additional dimensions to confirm dimensions of building and site. All dimensions are to be taken to the face of the building unless otherwise stated. All dimensions are to be taken to the face of the building unless otherwise stated. All dimensions are to be taken to the face of the building unless otherwise stated.

COPYRIGHT DRAWINGS ARE SUBJECT OF COPYRIGHT AND ANY REUSE OR REPRODUCTION WITHOUT THE WRITTEN PERMISSION OF THE AUTHOR IS PROHIBITED. ALL RIGHTS ARE RESERVED.

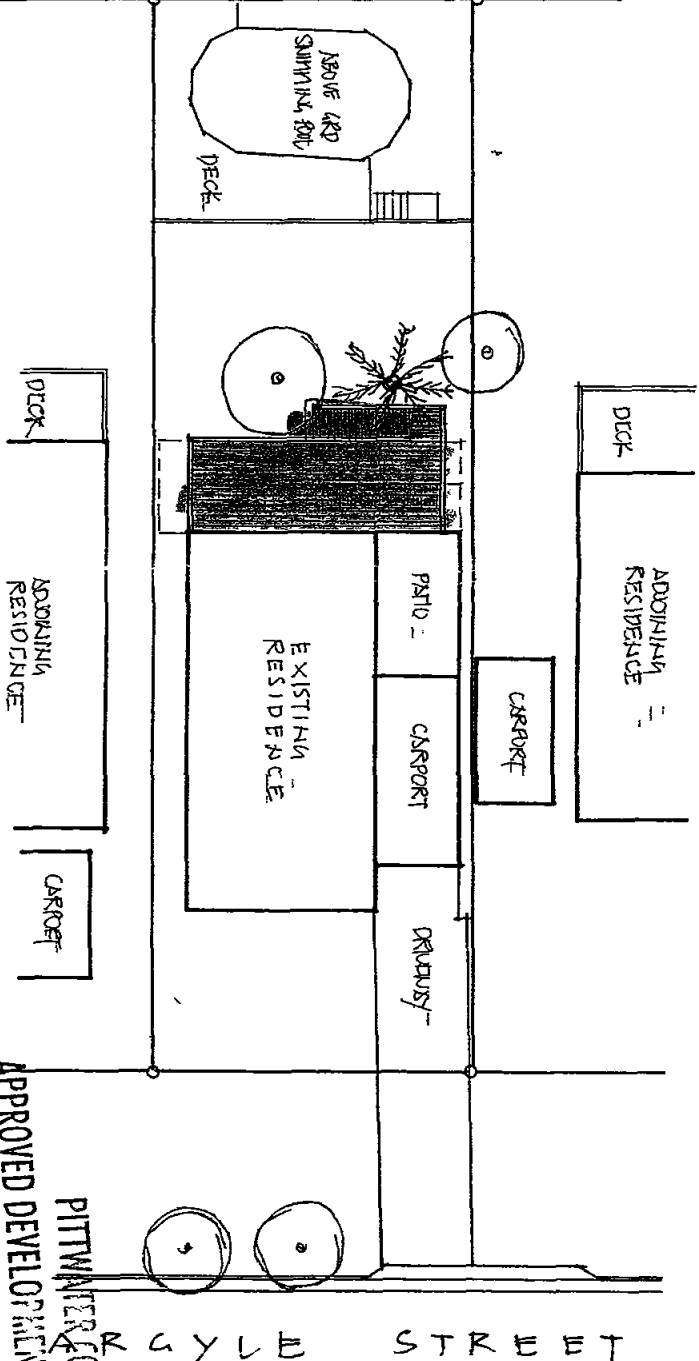
NO.	REVISION	DATE

ID EVANS and COMPANY PTY LTD
14 RIVERVIEW DRIVE, COVINGTON BEACH 2107
PH: (02) 9918 9200 F: (02) 9912 2454
WWW.IDEVANS.COM.AU

PROJECT
PROPOSED VERANDAH AT
NO 31 ARGOYLE STREET
BILGOLA PLATEAU N S W 2107
CLIENT
BEN & ELIISA MILLER

DATE	5/8/2008	SCALE	1:100 1:200
DRAWN BY	JOE	CHECKED	
DATE	11/08-1	SIGN	

SITE PLAN LOT 27 IN DP 16327



GOOGLE
NOTE THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT
PITTWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS



APPLICATION FOR A CONSTRUCTION CERTIFICATE

1. Applicant's details

It is important that we are able to contact you if we need more information. Please give us as much details as possible

Mr ☐ Mrs ☒ Ms ☐ Dr ☐ Other

Given Names (or ACN)

Family Name (or Company)

Elisa

Miller

Postal Address (we will post all mail to this address)

31 Argyle St

Bilgola Plateau

Post Code

2107

Daytime telephone

Alternate no.

Mobile no.

029918 9635

0403957525

2. Owner's consent

Every owner of the land must sign this form. If the owner is a company the form must be signed by an authorized director and the common seal must be stamped on this form. If the property is a unit under the strata title or a lot in a community title, then in addition to the owner's signature, the common seal of the body corporate must be stamped on this form over the signature of the owner and signed by the Chairman or Secretary of the Body Corporate or the appointed managing agent.

Owner(s)

Elisa + Ben Miller

Address

31 Argyle St

Bilgola Plateau NSW 2107

As owner(s) of the land to which this application relates, I/We consent to this application. I/We also consent for the Principal Certifying Authority and/or Accredited Certifier to enter the land to carry out inspections relating to this application.

Signature(s)

*

Without the owner's consent we will not accept the application. This is a very strict requirement for all applications. If you are signing on the owner's behalf as the owner's legal representative, you must state the nature of your legal authority and attach documentary evidence (eg, power of attorney, executor, trustee, company director, etc).

3. Location of property

Unit/Street no.

31

Street name

Argyle St

Suburb

Bilgola Plateau

Post code

2107

Legal Property Description (these details are shown on your rate notices, property deeds, etc)

Lot no.

272

DP no.

16027

COUNCIL

4. Description of work

What type of work do you propose to carry out?

Please describe briefly everything that you want approved.

Putting a deck on house

5. Estimated cost of work

The estimated cost of the development or contract price may be subject to review

Estimated cost of work

\$ 22,000.00

6. Development Consent

Council Consent no.

N0498/08

Date of Determination

30/1/2009

7. Building Code of Australia classification

This can be found on the development consent

BCA Classification

1a

8. Builder's details

If known, to be completed in the case of residential building work

Name

Ben Miller

License no.

Owner/builder permit no.

366832P

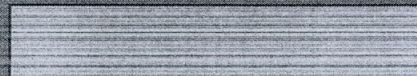
9. Applicant's declaration

I apply for a Construction Certificate to carry out building works as described in this application. I declare that all the information in this application and checklist is, to the best of my knowledge, true and correct.

Signature



Date



SUBMISSION REQUIREMENTS

A. GENERAL

Are the plans submitted with the Construction Certificate Application in accordance with the Development Consent?

Yes ☒

No ☐

already given to you

Have all the conditions of Development Consent relating to the issue of the Construction Certificate been fully complied with?

Yes ☒

No ☐

If you have answered NO to either of the above questions, then you will need to speak with the Accredited Certifier BEFORE LODGING YOUR APPLICATION.

B. ALL PROPOSALS (has the following required information been submitted?)

Yes	No	Not Applicable
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In the case of an application for a Construction Certificate for building work:

Three (3) copies of detailed architectural plans and specifications

The plan for the building must consist of a general plan drawn to a scale not less than 1:100 and a site plan drawn to a scale not less than 1:200. The general plan of the building is to:

- show a plan of each floor section
- show a plan of each elevation of the building
- show the levels of the lowest floor and of any yard or unbuilt on area belonging to that floor and the levels of the adjacent ground
- indicate the height, design, and full construction details
- indicate the provision for fire safety and fire resistance (if any)

Where the proposed building work involves any alteration or addition to, or rebuilding of, an existing building, all copies of the general plan are to be coloured or otherwise marked to the satisfaction of the Council to adequately distinguish the proposed alteration, addition or rebuilding with a separate letter listing the proposed changes being submitted.

3 copies of a specification:

- to describe the construction and materials of which the building is to be built and the method of drainage, sewerage and water supply
- state whether the materials proposed to be used are new or second hand and give particular

Where the proposed building work involves a modification to previously approved plans and specifications the general plans must be coloured or otherwise marked to the satisfaction of the Accredited Certifier to adequately distinguish the modification.

If the proposed building work involves a modification to previously approved plans and specification which were subject of a Development Consent, has the original Development Consent been modified by Council?

Except in the case of an application for, or in respect of domestic building work:

- a list of any fire safety measures that are proposed to be implemented in the building or on the land on which the building is situated, and
- if the application relates to a proposal to carry out any alteration or rebuilding of, or addition to, an existing building, a separate list of such of those measures as are currently implemented in the building or on the land on which the building is situated. This list must specify the standard of design of each of those fire safety measures to which they were originally installed.
- This list must describe the extent, capability and basis of design of each of the measures concerned.

Copy of BASIX Certificate & Report.

All other documentation to satisfy conditions of Development Consent.

HOME BUILDING ACT 1989 (as amended) OWNER/BUILDER REQUIREMENTS

Applicants for work at a residential property with a value of work over \$12,000 require insurance as specified in the Home Building Act 1989.

Owner Builders require Property Owner Builder's Permit issued by the Department of Fair Trading for all projects over \$5,000. In addition to this permit all projects valued in excess of \$12,000 may also require a contract of insurance under the provisions of the Home Building Act 1989 as amended. This requirement will take effect should the property owner offer the property for sale in the ensuing period of 7 years.

Enquiries on any matters relevant to this section should be taken up with the Department of Fair Trading at Level 21, Astra House, 227 Elizabeth Street, Sydney (ph: 133220).

LONG SERVICE LEVY (applies to all classes of buildings)

A Long Service Levy at 0.35% of the cost of works is payable on projects valued \$25,000 or more. This sum can be paid directly to the Long Service Payments Corporation or to Council acting as an agent to the Corporation. Partial exemption from the levy may be granted to non profit organizations, churches and to owner/builders. The levy may also be paid in instalments. Application forms for these exemptions are available from Council but all enquiries in this regard should be address to the Long Service Payments Corporation.

THE CONSTRUCTION CERTIFICATION CANNOT BE ISSUED UNLESS THE LONG SERVICE LEVY AND HOME BUILDING ACT 1989 INSURANCE (APPLICABLE TO RESIDENTIAL PROPERTIES) HAVE BEEN PAID, OR EVIDENCE OF THE EXEMPTION PROVIDED TO COUNCIL.

PARTICULARS OF THE PROPOSAL

What is the area of the land (m ²)? <i>Unknown</i>	Gross floor area of building (m ²) as proposed: <i>Unknown</i>
What are the current uses of all or parts of the building(s)/land? <i>Residential</i>	Location: <i>81 Angell Street Sydney NSW</i> Use: <i>Residential</i>
Does the site contain a dual occupancy? <i>No</i>	What is the gross floor area of the proposed addition or new building (sq metres)? <i>Unknown</i>
What are the proposed uses of all parts of the building(s) land? <i>Residential</i>	Number of pre-existing dwellings: <i>1</i>
Number of dwellings to be demolished: <i>None</i>	How many dwellings proposed? <i>1</i>
How many storeys will the building consist of? <i>2</i>	Will the new building be attached to the existing building? <i>Yes</i>
	Will the new building be attached to any new building? <i>Yes</i>

MATERIALS TO BE USED

The following information must be supplied for the Australian Bureau of Statistics:

Place a tick (✓) in the box which best describes the materials the new work will be constructed of:

WALLS	FLOOR	ROOF	FRAME
Brick veneer ☐	Concrete ☐	Aluminium ☒	Timber ☒
Full brick ☐	Timber ☒	Concrete ☐	Steel ☐
Single brick ☐	Other ☐	Concrete tile ☐	Other ☐
Concrete block ☐	Unknown ☐	Fibrous cement ☐	Unknown ☐
Concrete/masonry ☐		Fibreglass ☐	
Concrete ☐		Masonry/terracotta shingle ☐	
Steel ☐		Tiles ☐	
Fibrous cement ☐		Slate ☐	
Hardiplank ☐		Steel ☐	
Timber/weatherboard ☒		Terracotta tile ☐	
Cladding-aluminium ☐		Other ☒	
Curtain glass ☐		Unknown ☐	
Other ☐		<i>Colorbond</i>	
Unknown ☐			

GENERAL NOTES

GENERAL

- G1 - These drawings are to be read in conjunction with all architectural and other consultants drawings and specifications. Any discrepancies are to be referred to all parties and rectified before proceeding with the works.
- G2 - Dimensions shall not be obtained by scaling from these drawings.
- G3 - During construction the structure shall be kept in a stable condition and no part shall be over stressed.
- G4 - All materials and workmanship are to be in accordance with the current Australian Standards, OH&S requirements, and the by-laws and ordinances of any relevant statutory authority.

FOUNDATIONS

- F1 - The foundation material is to be **WEATHERD ROCK** of min 500KPa bearing capacity.
- F2 -The foundation material is to be **inspected, verified and approved** by a **Geotechnical Consultant** as being in accordance with the above assumption and that it is sound and consistent with minimal possibility of differential settlement across the development.
- F3 - Should variable foundation materials be encountered the engineer is to be contacted and it is likely all foundations are to be piered to similar material of the greatest bearing capacity and that additional detailing of the foundation reinforcement will be required.
- F4 - Any excavation works are to include measures to ensure the temporary and long term stability of any existing structure within its vicinity.
- F5 - All foundations shall be a minimum 300mm into the approved material unless otherwise noted.
- F6 - Foundation depth dimensions are a minimum only and final depth will be dependent on the adequacy of the bearing material.
- F7 - All organic matter and top soil shall be removed from the underside of all slabs and foundations.
- F8 - Any soft or questionable excavated areas are to be brought to the attention of the Geotechnical Consultant and may require controlled filling.
- F9 - Any filling shall be to the approval of the Geotechnical Consultant and will generally be granular material compacted in not more than 150mm layers to a minimum dry density ratio of 98%.

CONCRETE

- C1 - All workmanship and materials shall be in accordance with AS3600.
- C2 - Concrete quality shall be verified by tests.
- C3 - All concrete shall have a slump of 80mm and maximum aggregate size of 20mm.
- C4 - Concrete strength and cover shall be as detailed on the plans.
- C5 - Size of concrete members do not include thickness of applied finishes.
- C6 - Beam depths are written first and include slab thickness if any.
- C7 - No penetrations are to be made to the concrete members without the written approval of the engineer.
- C8 - No water is to be added to the concrete prior to placement.
- C9 - All construction joints shall be located to the approval of the engineer.
- C10 - Fire rating requirements and adequacy is to be reviewed and specified by others.
- C11 - All concrete members are to be cured by keeping the surfaces continuously wet for a period of 3 days followed by the prevention of loss of moisture for a further 7 days.

- C12 - All concrete elements shall be compacted to form a dense homogenous mass using mechanical vibrators.
- C13 - All formwork shall be installed and stripped in accordance with AS3610.
- C14 - All formwork is to be free of debris prior to pouring of concrete.

REINFORCEMENT

- R1 - All reinforcement shall be Grade D500.
- R2 - Top reinforcement is to be continuous over supporting elements and lapped between supporting elements only.
- R3 - Bottom reinforcement is to be continuous between supporting elements and lapped at supporting elements only.
- R4 - Reinforcement is represented diagrammatically only and is not necessarily shown in its true projection.
- R5 - Welding of reinforcement is not permitted.
- R6 - All reinforcement shall be supported on bar chairs at max 750mm spacing.
- R7 - Reinforcement shall be tied at alternate intersections.
- R8 - Reinforcement bars are to lap a minimum length equal to 40 times the bar diameter (ie min 480mm for N12 bars, 640mm for N16 bars).
- R9 - Reinforcement fabric is to lap 1 complete square plus 25mm.

MASONRY

- M1 - All workmanship and materials shall be in accordance with AS3700.
- M2 - An approved slip joint material is to be placed over all load bearing masonry supporting a concrete slab and laid on smooth brick work or a trowed mortar finish, this material may constitute two layers of greased metal.
- M3 - Masonry shall be constructed on suspended concrete structures only after all propping has been removed and the concrete has achieved its specified strength.
- M4 - Control joints are to be placed in all walls at a maximum of 8m centres or closer as deemed necessary by the engineer. The joints are to be 10mm wide and sealed with an approved flexible sealant, with ties at 600mm centres vertical.
- M5 - Concrete blocks shall have a minimum compressive strength of 15 MPa.
- M6 - Core filling shall be 20 MPa concrete with 10mm aggregate, 230mm slump and compacted adequately.
- M7 - Concrete blocks used in retaining wall construction are to be Double Web H blocks.
- M8 - Maximum pour height for unrestrained blockwork is 1.8m.
- M9 - All masonry components are to be tied at not more than 600mm centres to adjacent steel or concrete columns.

STEEL

- S1 - All workmanship and materials shall be in accordance with AS4100.
- S2 - Hot rolled plates shall comply with AS 3678.
- S3 - Hot rolled sections shall comply with AS3679.
- S4 - Cold formed sections shall comply with AS4600.
- S5 - Welded and seamless hollow sections shall comply with AS1163.
- S6 - Unless noted otherwise all welds shall be 6mm continuous fillet from E4xx electrodes, unless noted otherwise.
- S7 - Unless noted otherwise all bolts shall be M16 high strength structural bolts grade 8.8, snug tightened, uno.
- S8 - Unless noted otherwise all connections shall be 3M16 bolts, 10mm plate and 6mm continuous weld.
- S9 - All structural steel work shall have the following level of corrosion protection (coatings listed below by *ORICA Australia p/l* maybe substituted with a certified equivalent) All coatings/finishes shall be applied in accordance with the manufacturers specifications and recommendations including surface preparation.

PROJECT:

PROPOSED VERANDAH
31 ARGYLE STREET
BILGOLA PLT
for ~ MILLER FAMILY

DRAWING :

GENERAL NOTES

Job No : Drawing No :

090701 S1.0

Document Certification

Barrenjoey Consulting Engineers Pty Ltd

Stormwater Structural Civil
PO Box 672
Avalon NSW 2107
P: 9918 6264 F: 9918 5841
M: 0418 620 330
E: lucasbce@bigpond.com
ABN: 13124694917
ACN: 124694917

per Lucas Molloy MIEA CPEng NPFR Director

DESIGN LIFE OF THE STRUCTURE

- D1 - The design life of all elements as specified within these documents correspond to that required by the Building Code of Australia and the relevant Australian Standard.
- D2 - The Design Life of elements relevant to slope stability maybe extended to that required by Pittwater Councils Interim Risk Management Policy by the implementation of a rigorous maintenance and inspection schedule.
- D3 - To meet the requirements of Pittwater Councils Interim Risk Management Policy (if required) the works are to be regularly maintained by the occupant/home owner, inspected by an Engineer 12months after completion, by a licensed builder every 10 years and by a qualified Engineer every 25 yrs.

DRAWING SCHEDULE

S1.0 - GENERAL NOTES

S2.0 - VERANDAH FOUNDATION PLAN

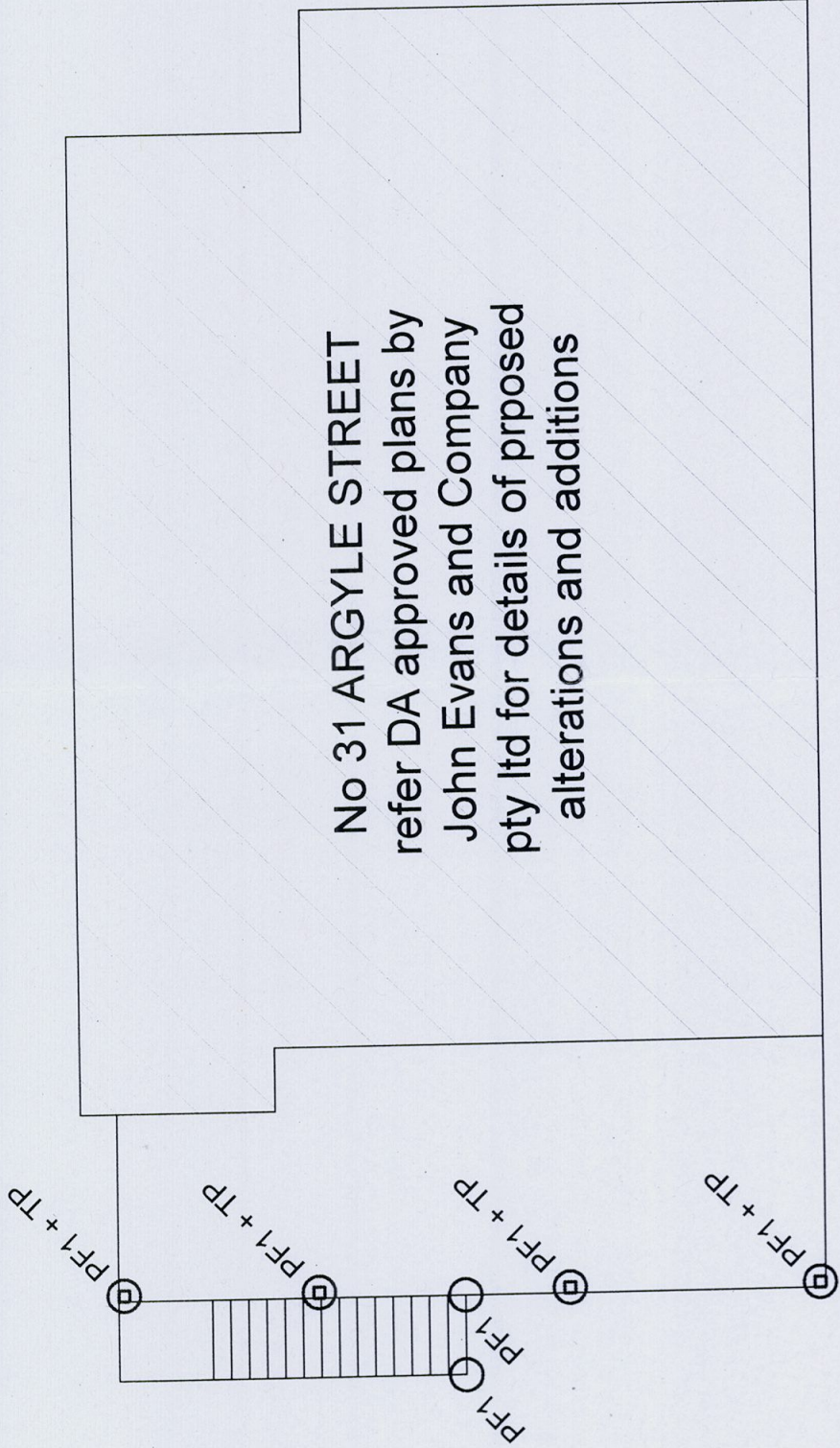
S3.0 - VERANDAH FLOOR FRAMING PLAN

S4.0 - VERANDAH ROOF FRAMING PLAN

WARNING

The stamping of this plan by Insight Building Certifiers Pty Ltd does not relieve:

- The applicant's responsibility to obtain approval from Sydney Water or other utilities.
- The Structural Engineer of their responsibility to ensure the structural adequacy of this project.
- The Applicant, Structural Engineer or other Professional of their responsibility to ensure these stamped details are consistent with the issued Construction Certificate Architectural Details.



VERANDAH FOUNDATION PLAN

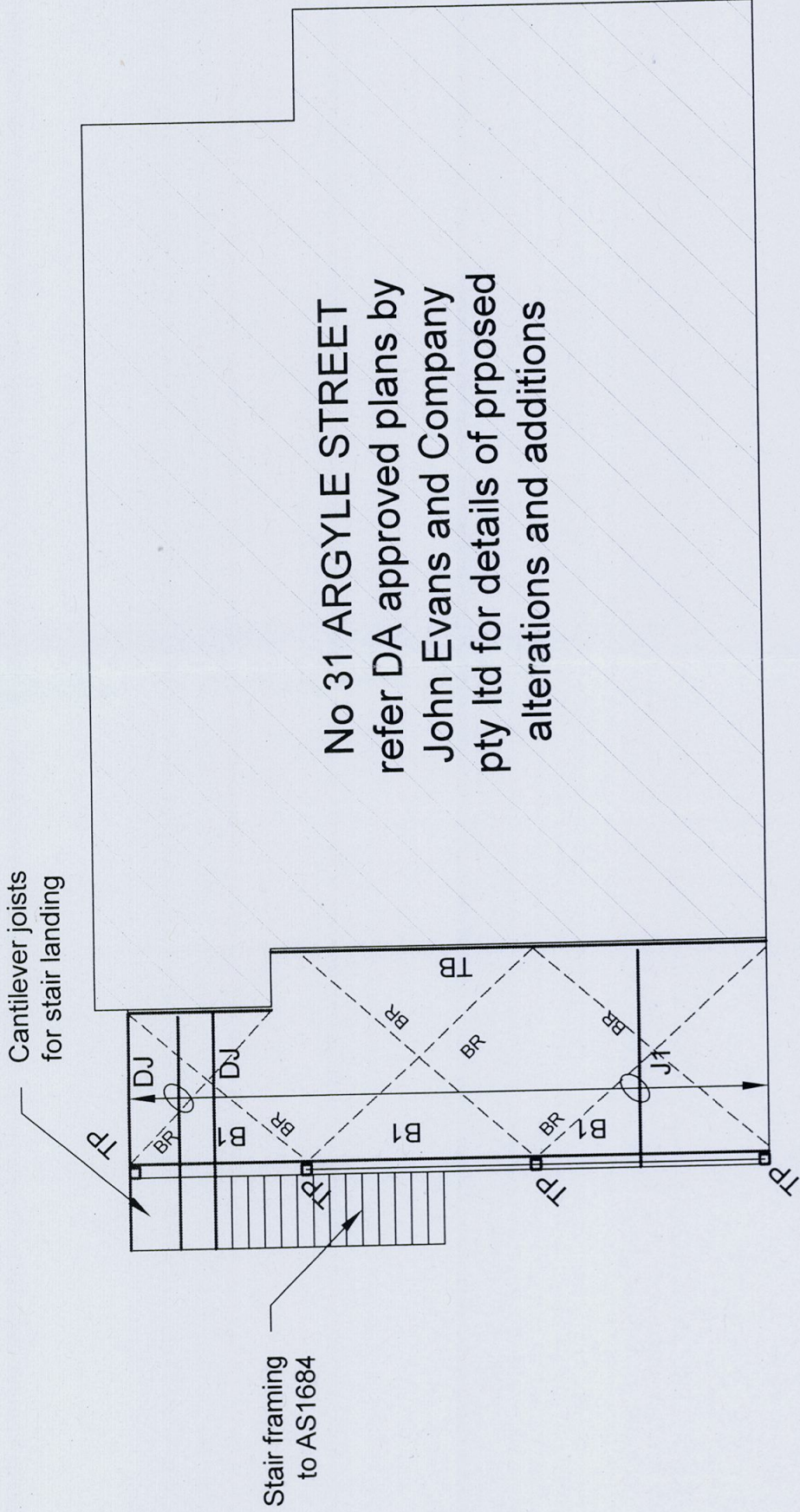
1:100

MEMBERS

- PF1 - 450mm dia pier to weatherd rock
- TP - 150x150 F7 H3 Post



Barrenjoey Consulting Engineers Pty Ltd Stomwater Structural Civil PO Box 672 Avalon NSW 2107 P: 9918 6264 F: 9918 5841 M: 0418 620 330 E: lucasbce@bigpond.com ABN: 13124694917 ACN: 124694917		PROJECT: PROPOSED VERANDAH 31 ARGYLE STREET BILGOLA PLT for ~ MILLER FAMILY		DRAWING : VERANDAH FOUNDATION PLAN		Job No : 090701	Drawing No : S2.0
				Document Certification Barrenjoey Consulting Engineers Pty Ltd per Lucas Molloy MIEA CPEng NPER Director			



VERANDAH FLOOR FRAMING PLAN

1:100

MEMBERS

- | | |
|----|--|
| TP | - 150x150 F7 H3 Post |
| J1 | - 190x45 F7 H3 or 140 x 45 F17 KD Joists @ 450 cts |
| DJ | - Double Joists |
| B1 | - 2x240x45 F7 H3 or 2x190x45 F17 KD Bearer |
| TB | - 190x45 F7 H3 or 140 x 45 F17 KD Nailing PI |
| BR | - 70x35 F7 H3 Horizontal brace to u/s joists |



Barrenjoey Consulting Engineers pty ltd
Stormwater Structural Civil
PO Box 672
Avalon NSW 2107
P: 9918 6264 F: 9918 5841
M: 0418 620330
E: lucasbce@bigpond.com
ABN: 13124694917
ACN: 124694917

PROJECT:

PROPOSED VERANDAH
31 ARGYLE STREET
BILGOLA PLT
for ~ MILLER FAMILY

DRAWING :

VERANDAH FLOOR FRAMING
PLAN

Job No :

090701

Drawing No :

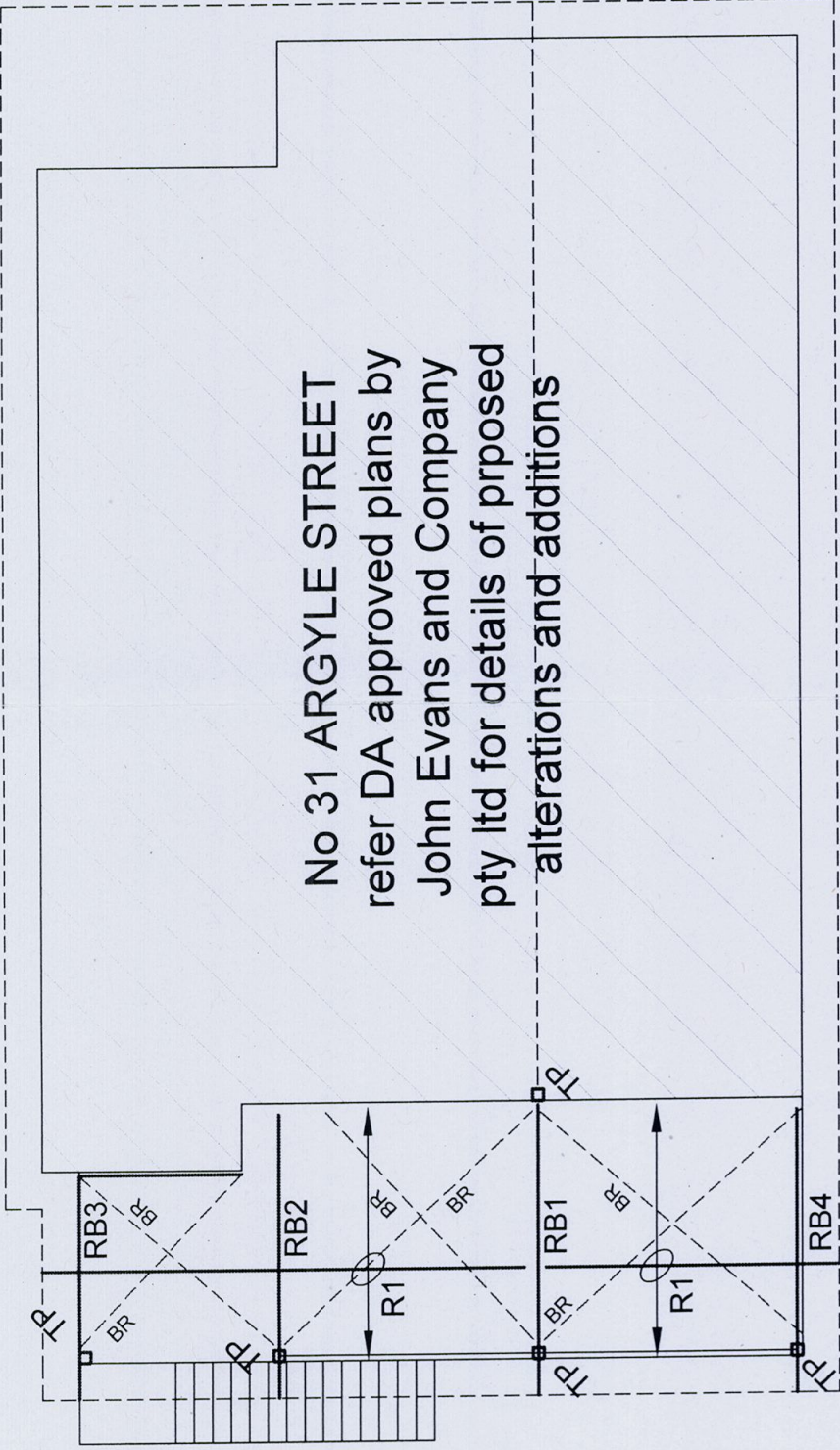
S3.0

Document Certification

Barrenjoey Consulting Engineers pty ltd

per

Lucas Molloy MIEA CPEng NPER Director



VERANDAH ROOF FRAMING PLAN

1:100

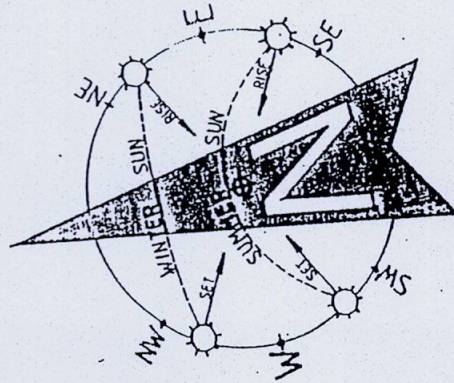
MEMBERS

- TP - 150x150 F7 H3 Post
- R1 - 190x45 F7 H3 or 140 x 45 F17 KD Rrafters @ 900 cts
- RB1 & RB2 - 2x240x35 F7 H3 or 2x190x35 F17 KD Roof Beam
- RB3 & RB4 - 2x190x35 F7 H3 or 2x140x35 F17 KD Roof Beam
- BR - Galv strap bracing



Barrenjoey Consulting Engineers Pty Ltd Stomwater Structural PO Box 672 Avalon NSW 2107 P: 9918 6264 F: 9918 5841 M: 0418 620330 E: lucasbce@bigpond.com ABN: 13124694917 ACN: 124694917	PROJECT: PROPOSED VERANDAH 31 ARGYLE STREET BILGOLA PLT for ~ MILLER FAMILY	DRAWING : VERANDAH ROOF FRAMING PLAN	Job No : 090701	Drawing No : S4.0
			Document Certification Barrenjoey Consulting Engineers Pty Ltd	per Lucas Molloy MIEA CP Eng NPER Director
				

NOTE: 1.7M HIGH PRIVACY SCREEN REQUIRED TO NORTHERN SIDE OF PROPOSED DECK



- NOTES:
1. THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING.
 2. SHOULD ANY DEVELOPMENT OR CONSTRUCTION OCCUR ON OR NEAR BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE BY THE REGISTERED LAND SURVEYORS.

1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
2. All dimensions that relate to site boundaries and easements are subject to verification by a site survey.
3. All work to be in accordance with BUILDING CODE OF AUSTRALIA & is to the satisfaction of local council requirements & other authorities.
4. All timber construction to be in accordance with the "TIMBER FRAMING" code.
5. Any detailing in addition to what is supplied and be reviewed between the owner and the builder to the owner's approval, except for any structural details or design which it to be supplied by a Structural Engineer.
6. Flood water & sea-level drawings to be prepared of the approved master or as directed by local council inspectors.
7. Easement holder's power & right of access to be determined by owner.
8. Make good and restore on existing (unless otherwise specified) by new work. Remove existing materials where possible.

COPYRIGHT
ALL PLANS AND DRAWINGS ARE SUBJECT OF
COPYRIGHT AND ANY ATTEMPT OR ACTUAL
INFRINGEMENT BY USING, REPRODUCING OR
COPYING THESE PLANS WITHOUT THE
WRITTEN PERMISSION OF J.D. EVANS AND
COMPANY PTY. LTD. WILL BE PROSECUTED
IN THE COURTS OF AUSTRALIA.

NO.	AMENDMENT	DATE



J.D. EVANS and COMPANY PTY. LTD.
BUILDING DESIGN CONSULTANTS
74 RIVIERA AVE, AVALON BEACH, 2107
Phone (02) 9914 9206 Fax (02) 9973 2454
Mobile 040 976 596



BUILDING INDUSTRY ASSOCIATION OF AUSTRALIA

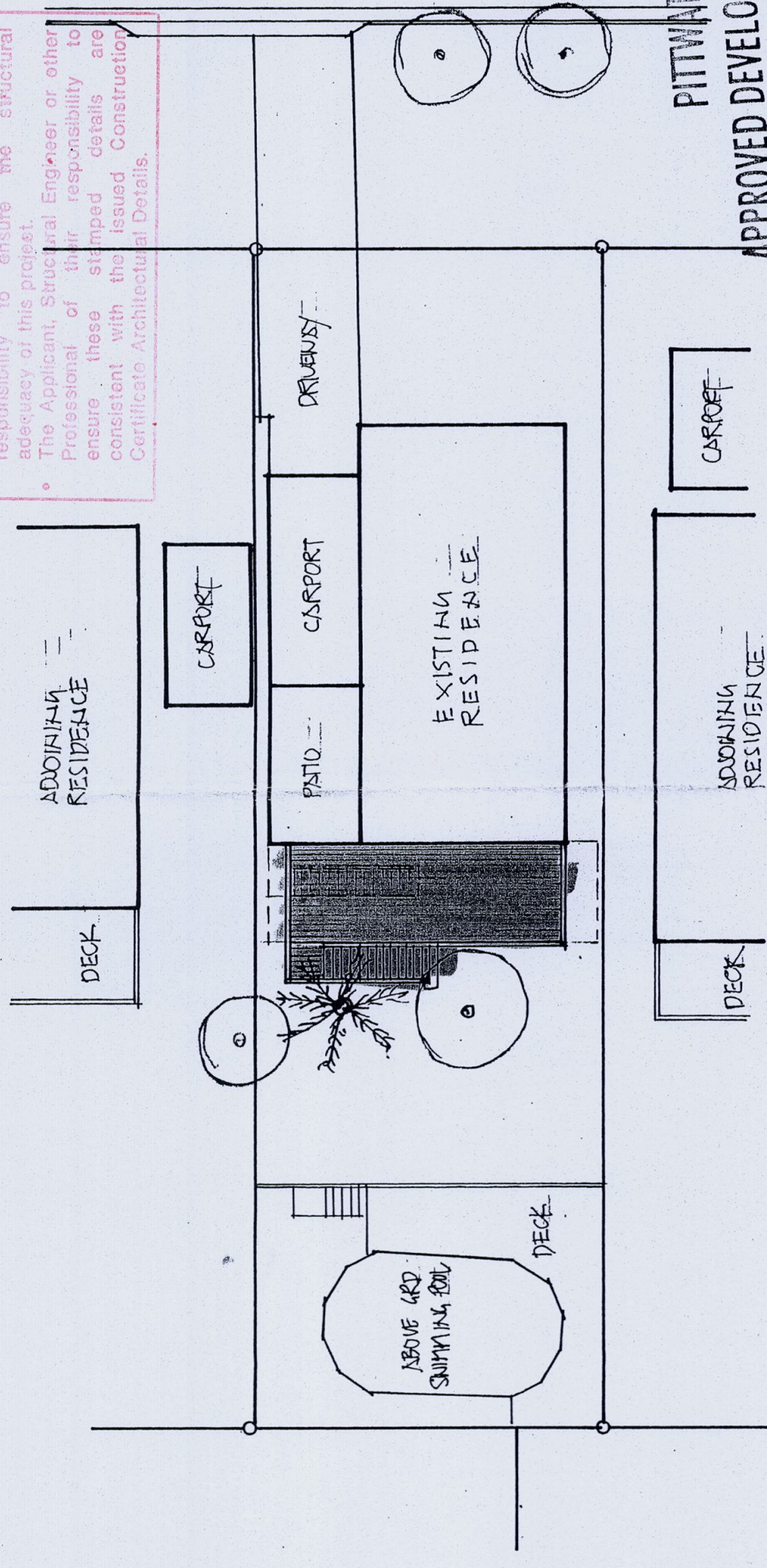
SITE PLAN

LOT 272 IN D.P. 16327



Insight building certifiers pty ltd
CONSTRUCTION CERT. NO. 200/3375
CONSTRUCTION CERTIFICATE PLANS
I certify that the work completed in accordance with these plans & specifications will comply with the regulations referred to in Section 81A(5) of the Environmental Planning & Assessment Act 1979

S. Pinn **28 JUL 2009**
S. Pinn, Accreditation No. BPB 0326



WARNING
The stamping of this plan by Insight Building Certifiers Pty Ltd does not relieve:

- The applicant's responsibility to obtain approval from Sydney Water or other utilities.
- The Structural Engineer of their responsibility to ensure the structural adequacy of this project.
- The Applicant, Structural Engineer or other Professional of their responsibility to ensure these stamped details are consistent with the issued Construction Certificate Architectural Details.



PITTSWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

COPY

PROJECT	DATE	6/8/2008	SCALE	1:100, 1:200
PROPOSED VERANDAH AT No. 31 ARGYLE STREET	DRAWN	JDE	CHECKED	
BILGOLA PLATEAU N.S.W. 2107	ISSUE			
CLIENT	DRAWING NO.			
BEN & ELLISA MILLER				1108-1

POSTS 112 x 112
VERANDAH 141 x 41

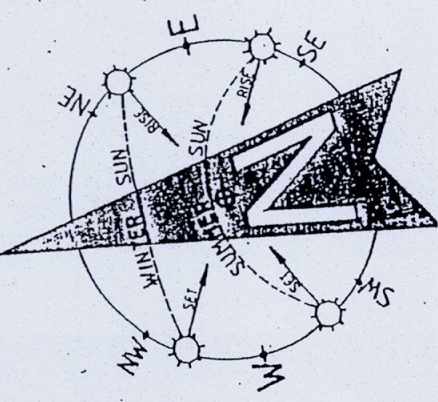
SCREEN

3700

4800

150 x 150 TIMBER POSTS ON
11% GRV. SLIDES FIXED TO
100% CONCRETE FOOTING PROJ.

LINEING
BOARD



- NOTES:
1. THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING.
 2. SHOULD ANY DEVELOPMENT OR CONSTRUCTION OCCUR ON OR NEAR BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE BY THE REGISTERED LAND SURVEYORS.

1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
2. All dimensions that relate to site boundaries and easements are subject to verification by a site survey.
3. All work to be in accordance with BUILDING CODE of AUSTRALIA & is the satisfaction of local council requirements & other authorities.
4. Construction to be in accordance with the "TIMBER FRAME" code.
5. Any structural details or design which it is to be supplied by a Structural Engineer.
6. Flood wear & sub-soil drainage to be determined by the approved manner or as directed by local council inspectors.
7. All electrical power & light outlets to be determined by owner.
8. Make good and repair all existing features damaged by new work. Reuse existing materials where possible.

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PRIOR WRITTEN PERMISSION WILL RESULT IN
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74 RIVIERA AVE, AVALON BEACH, NSW

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CLIENT
BEN & ELLISA MILLER

DATE 6/8/2008	SCALE 1:100, 1:200
DRAWN JOE	CHECKED
DRAWING No.	ISSUE
1108-2	

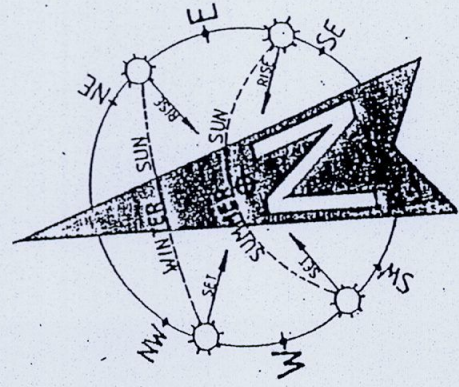
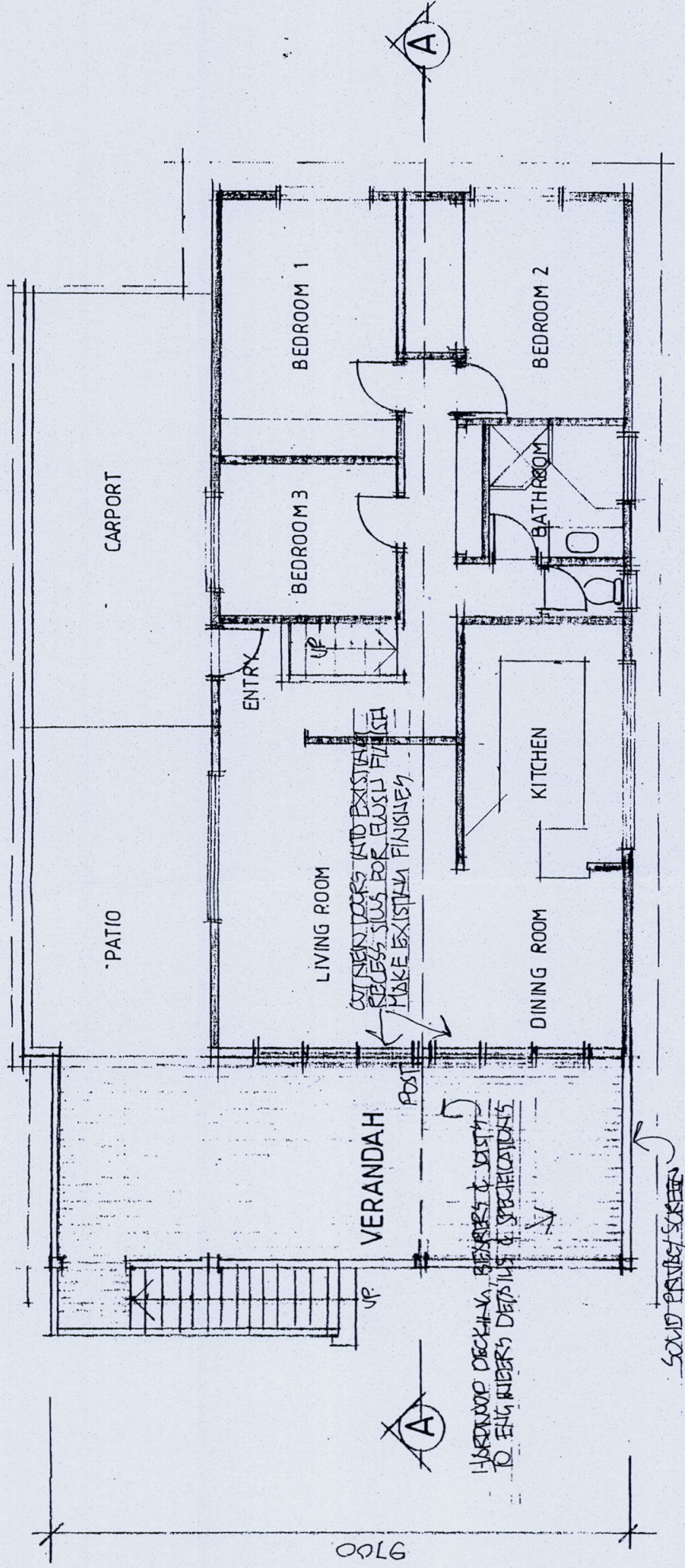


PITMAN COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN
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LOWER GROUND FLOOR PLAN

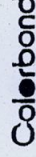
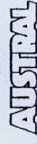
NOTE: 1.7M HIGH PRIVACY SCREEN REQUIRED TO NORTHERN SIDE OF PROPOSED DECK



- NOTES:
1. THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING.
 2. SHOULD ANY DEVELOPMENT OR CONSTRUCTION OCCUR ON OR NEAR BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE BY THE REGISTERED LAND SURVEYORS.

PITWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS
UPPER GROUND FLOOR PLAN

NOTE: THESE PLANS MUST BE READ IN
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1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
2. All dimensions shown on this drawing are subject to verification by a site survey.
3. All work to be in accordance with BUILDING CODE OF PRACTICE and the "MINIMUM REQUIREMENTS" and other authorities.
4. All timber construction to be in accordance with the "TIMBER FRAME" code.
5. Any detailing in addition to what is supplied shall be reviewed between the owner and the builder to the owner's approval, except for any structural details or design which is to be supplied by a Structural Engineer.
6. All electrical power & light outlets to be disposed of in the approved manner or as directed by local council inspectors.
7. All work to be completed within the time specified in the approved manner or as directed by local council inspectors.
8. Make good and repair all existing features damaged by new work. Reuse existing materials where possible.

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AUSTRALIA
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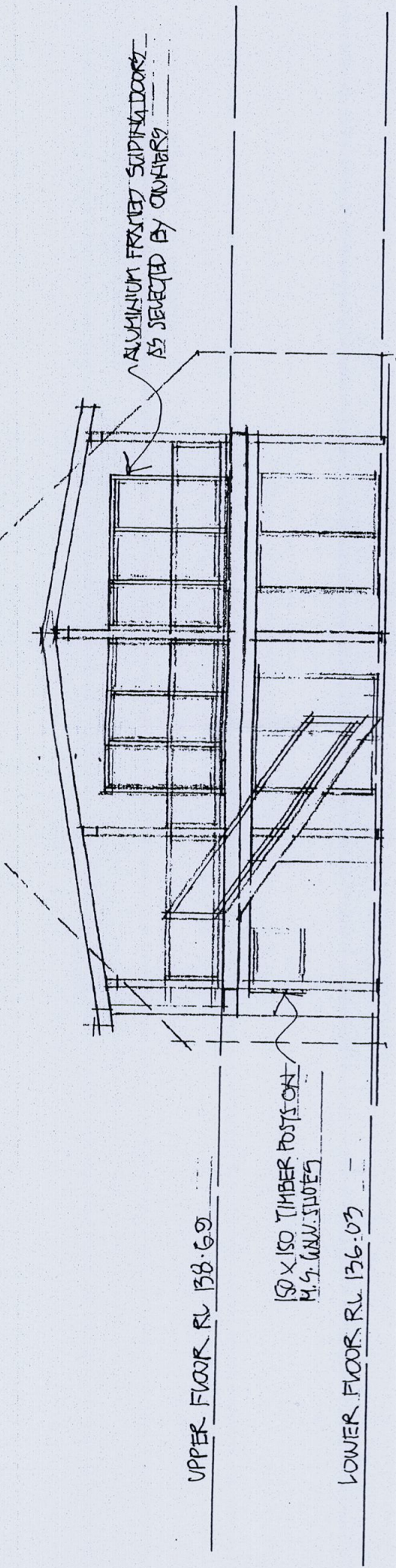
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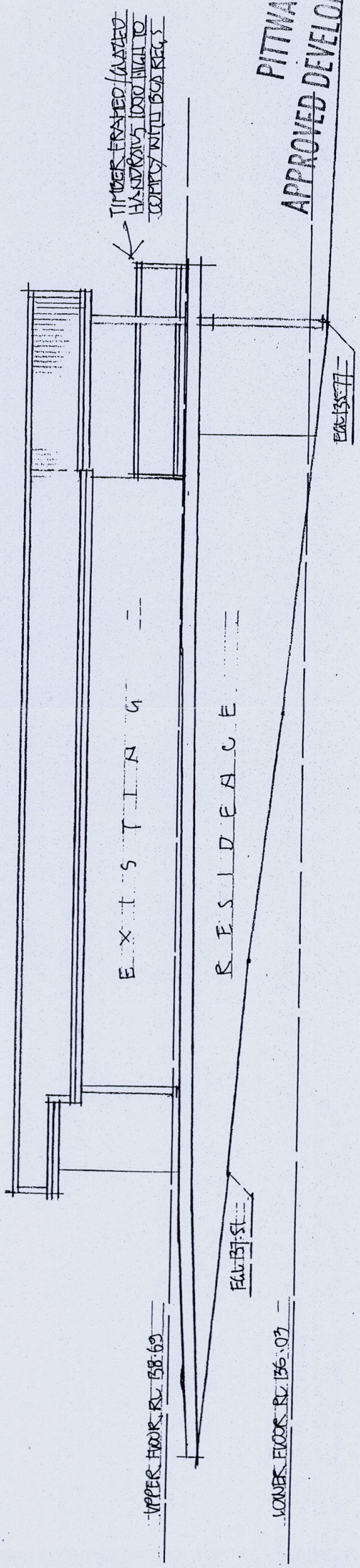
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CLIENT
BEN & ELLISA MILLER

DATE 6/8/2008	SCALE 1:100, 1:200
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DRAWING No.	ISSUE
1108-3	



WEST ELEVATION

NOTE: 1.7M HIGH PRIVACY SCREEN REQUIRED TO NORTHERN SIDE OF PROPOSED DECK



NORTH ELEVATION

PITWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

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 - 2.

1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawings.

2. All dimensions that relate to site boundaries must be verified by a site survey.

3. All work to be in accordance with BUILDING CODE OF AUSTRALIA & the relevant standards.

4. All timber construction to be in accordance with the "TIMBER FRAMING" code.

5. Any detailing in addition to what is supplied shall be resolved between the owner and the builder to the owner's approval, except for any structural details or design which is to be supplied by a Structural Engineer.

6. Roof water & sub-soil drainage to be disposed of in the approved manner or as directed by local council inspectors.

7. Electrical power & split systems to be determined by owner.

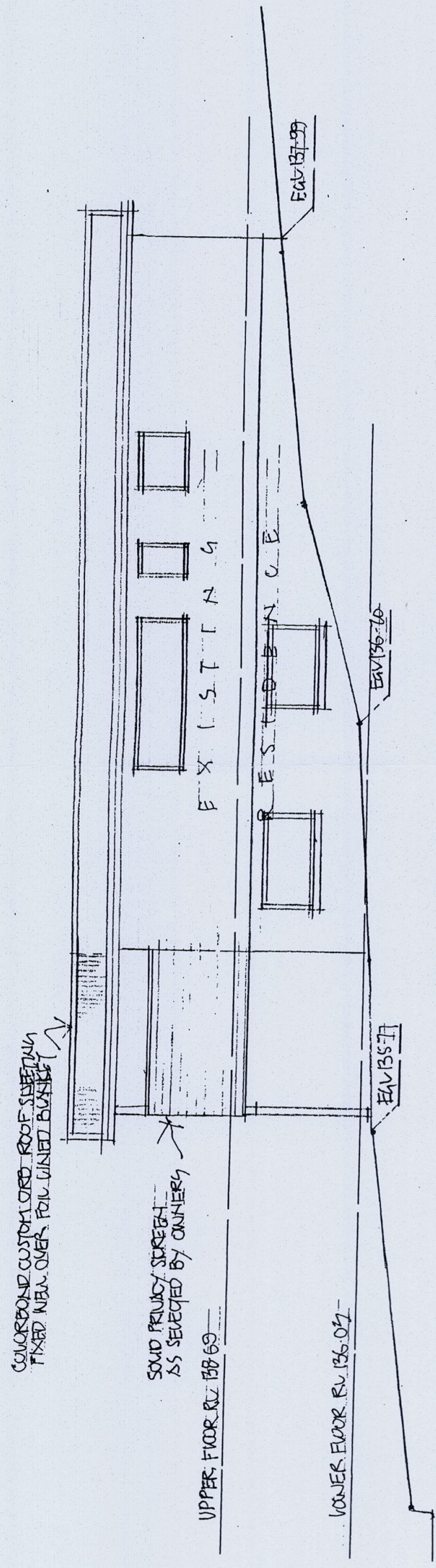
8. Make good and repair all existing features damaged by new work. Reuse existing materials where possible.

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CLIENT
BEN & ELLISA MILLER

DATE 6/8/2008 SCALE 1:100, 1:200
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DRAWING No. 1108-4
ISSUE



SOUTH ELEVATION

SECTION A - A

PITWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

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 - 2.

1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
2. All dimensions that relate to site boundaries are subject to verification by a site survey.
3. All work to be in accordance with BUILDING CODE OF AUSTRALIA and any other applicable codes and standards.
4. All further construction to be in accordance with the "Builder's Plan" and any other applicable codes and standards.
5. Any detailing in addition to what is supplied shall be reviewed between the owner and the builder to the owner's approval, except for any structural details or design which is to be supplied by a Structural Engineer.
6. Floor water & sub-soil drainage to be disposed of in the approved manner or as directed by local council inspectors.
7. The owner is responsible for the maintenance of the building and any other structures on the site.
8. Work to be done in accordance with the approved plans and any other applicable codes and standards.

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