

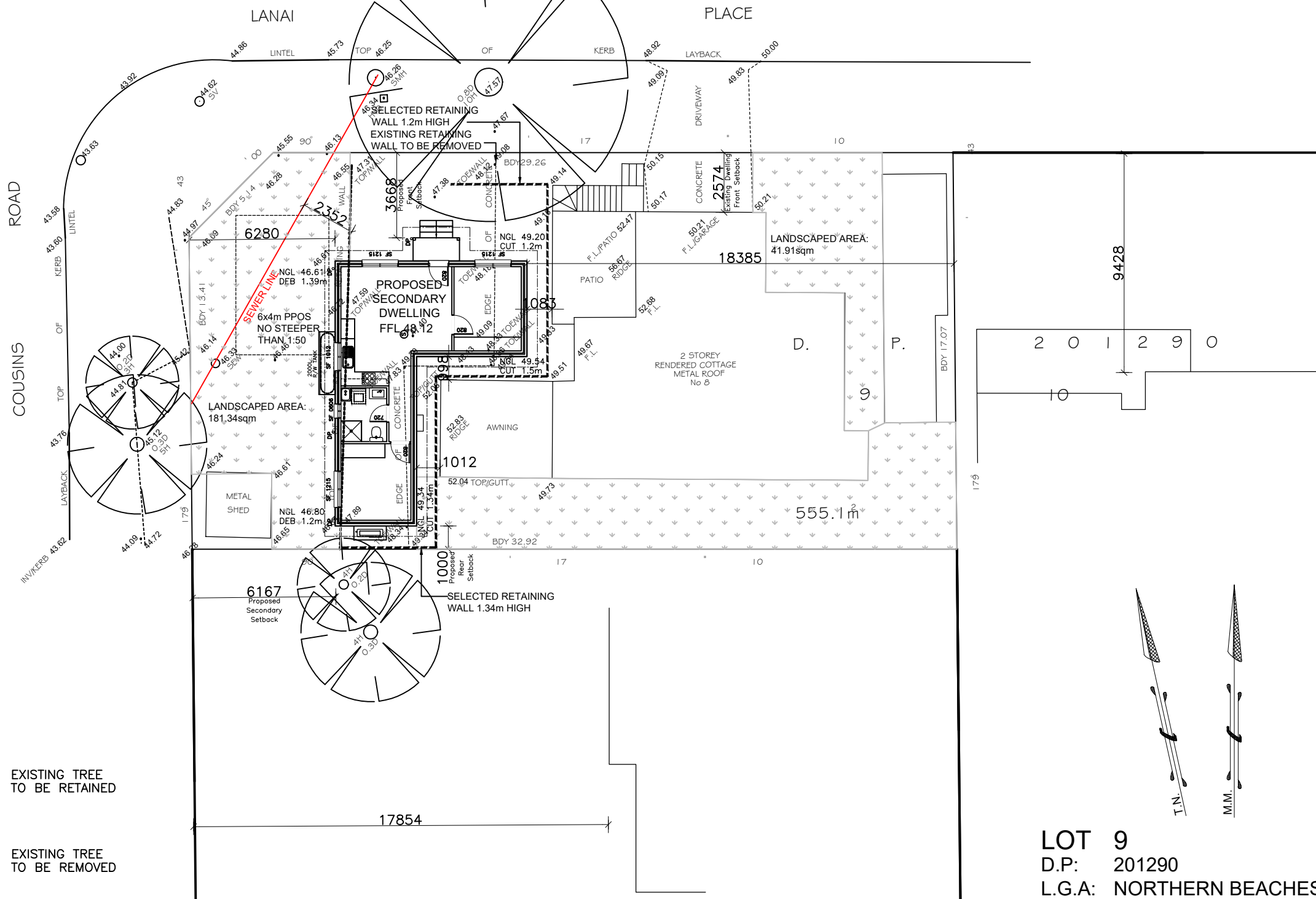
PROPOSED CONSTRUCTION OF SECONDARY DWELLING

Frank & Tani Mazza

8 Cousins Rd Beacon Hill

DEVELOPMENT DESCRIPTION: PROPOSED CONSTRUCTION OF SECONDARY DWELLING	CLIENT: Frank & Tani Mazza	DA PLANS		
	SITE ADDRESS: No.8 (LOT 9) DP 201290 COUSINS ROAD, BEACON HILL	DRAWN: ES	DATE: 30.8.22	Rev: B
		SCALE: NTS	CHECKED:	
		SHEET: 1	JOB No: E217	





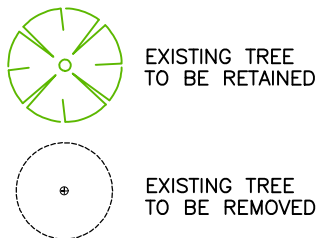
SITE CALCULATIONS	
PRIMARY DWELLING GROUND FLOOR	116 m ²
PRIMARY DWELLING FIRST FLOOR	116 m ²
PRIMARY DWELLING PORCH	17 m ²
PRIMARY DWELLING AWNING	19 m ²
EXISTING SHED	7 m ²
PROPOSED SECONDARY DWELLING	60 m ²
PROPOSED SECONDARY DWELLING PATIO	2 m ²
TOTAL AREA	337 m ²
SITE AREA	555.1 m ²
LANDSCAPED AREA	133 m ²
DRIVEWAY & PATH	103.07 m ²
SECONDARY DWELLING ROOF AREA	80.82 m ²
FLOOR AREA	292 m ²
GROSS FLOOR AREA - FSR	292 m ² OR 0.53 :1
SITE COVERAGE	221 m ² OR 39.8 %
LANDSCAPED AREA	223.25 m ² OR 40.2 %
PPOS	152 m ²

EAVE WITHIN 900mm FROM BOUNDARY AND 1800mm FROM MAIN DWELLING TO BE NON-COMBUSTIBLE

NOTES

- 1) THESE LEVELS ARE APPROXIMATES ONLY & ARE TO BE CONFIRMED ON SITE WITH SUPERVISOR PRIOR TO COMMENCEMENT OF ANY EXCAVATIONS.
- 2) SILTATION CONTROL TO COUNCIL REQUIREMENTS.
- 3) NO WATERWAY OR WATERCOURSES ON SITE.
- 4) TERMITE PROTECTION TO AS3660.1

KEY:



RETAINING WALL



SITE & LANDSCAPE PLAN



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DEVELOPMENT DESCRIPTION:

PROPOSED CONSTRUCTION OF
SECONDARY DWELLING

CLIENT:
Frank & Tani Mazza

SITE ADDRESS:
No.8 (LOT 9) DP 201290
COUSINS ROAD,
BEACON HILL

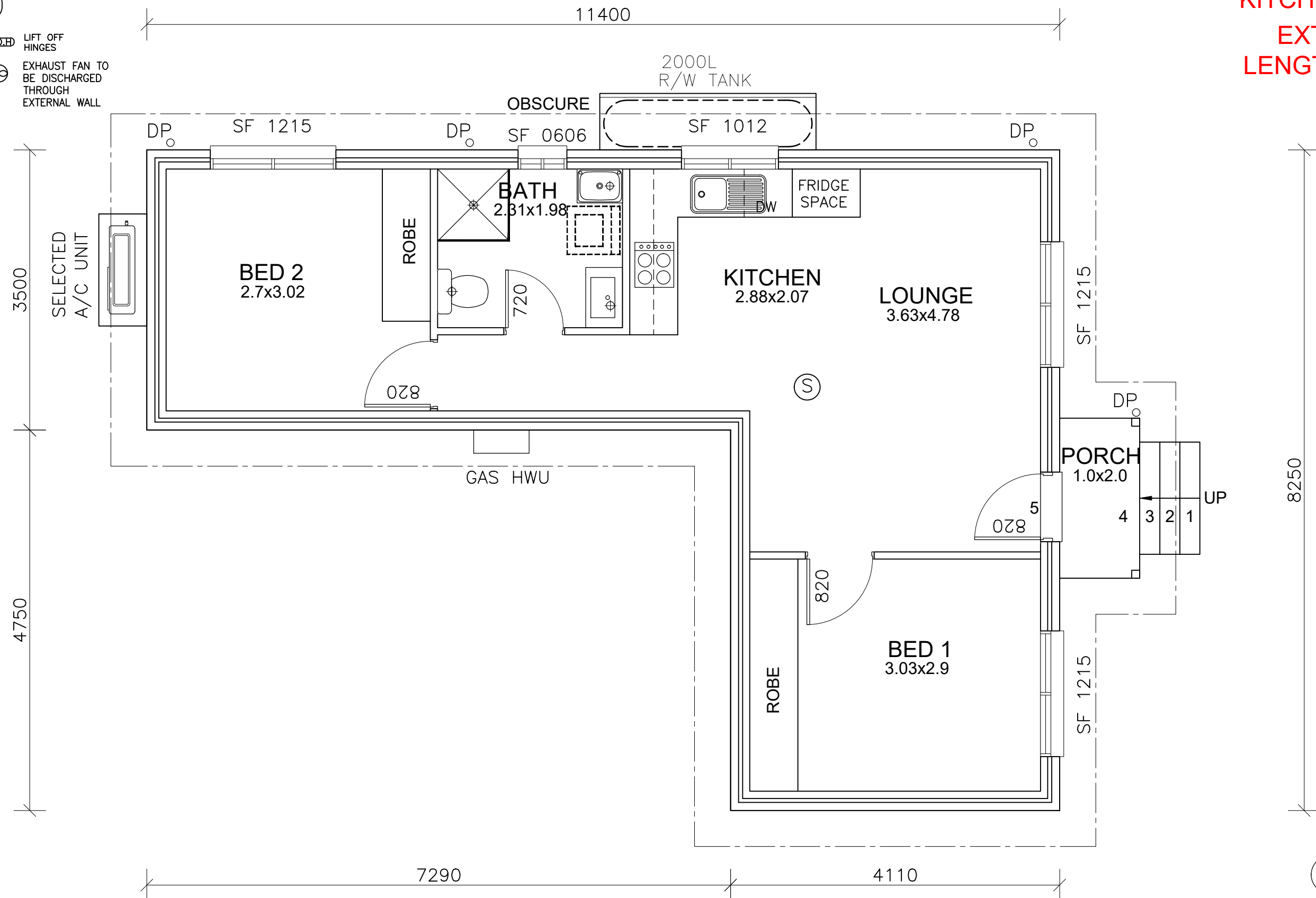
DA PLANS

DRAWN: ES	DATE: 30.8.22	Rev: B
SCALE: 1:200	CHECKED:	
SHEET: 2	JOB No: E217	

(S) SMOKE ALARM

DP ° DOWN PIPE LOCATION
TAP X GARDEN TAP LOCATION
LIFT OFF HINGES
EXHAUST FAN TO BE DISCHARGED THROUGH EXTERNAL WALL

KITCHEN 4.35Lm
EXT WALL
LENGTH 39.3Lm



PROPOSED FLOOR PLAN



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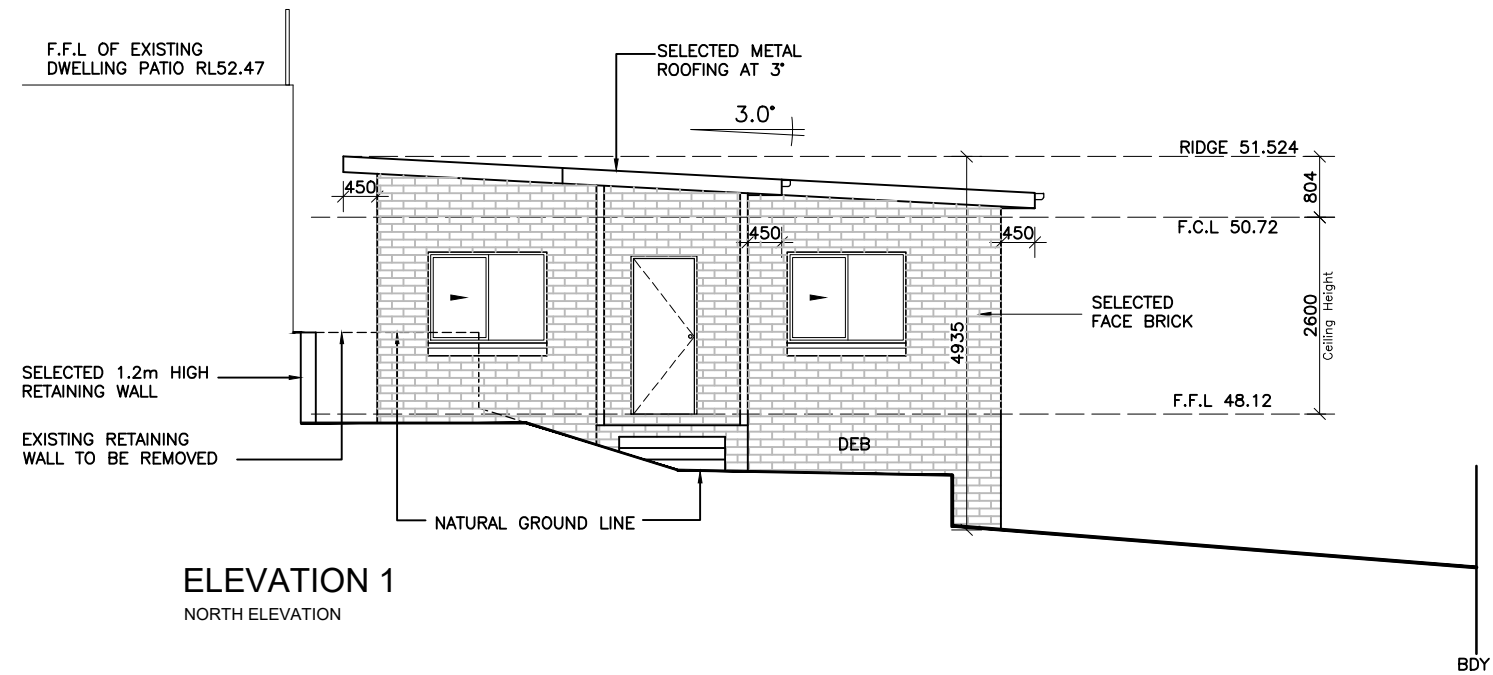
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CLIENT:
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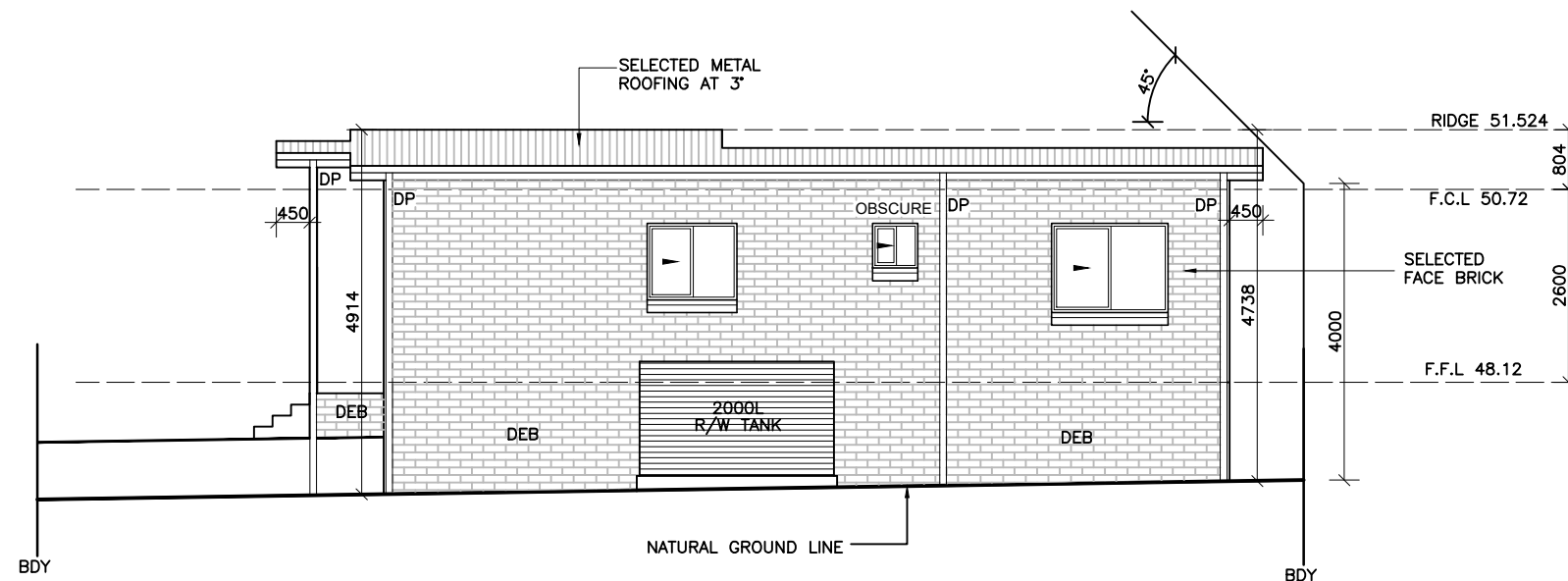
SITE ADDRESS:
No.8 (LOT 9) DP 201290
COUSINS ROAD,
BEACON HILL

DA PLANS

DRAWN: ES	DATE: 30.8.22	Rev: B
SCALE: 1:50	CHECKED:	
SHEET: 3	JOB No: E217	



ELEVATION 1
NORTH ELEVATION



ELEVATION 2
WEST ELEVATION



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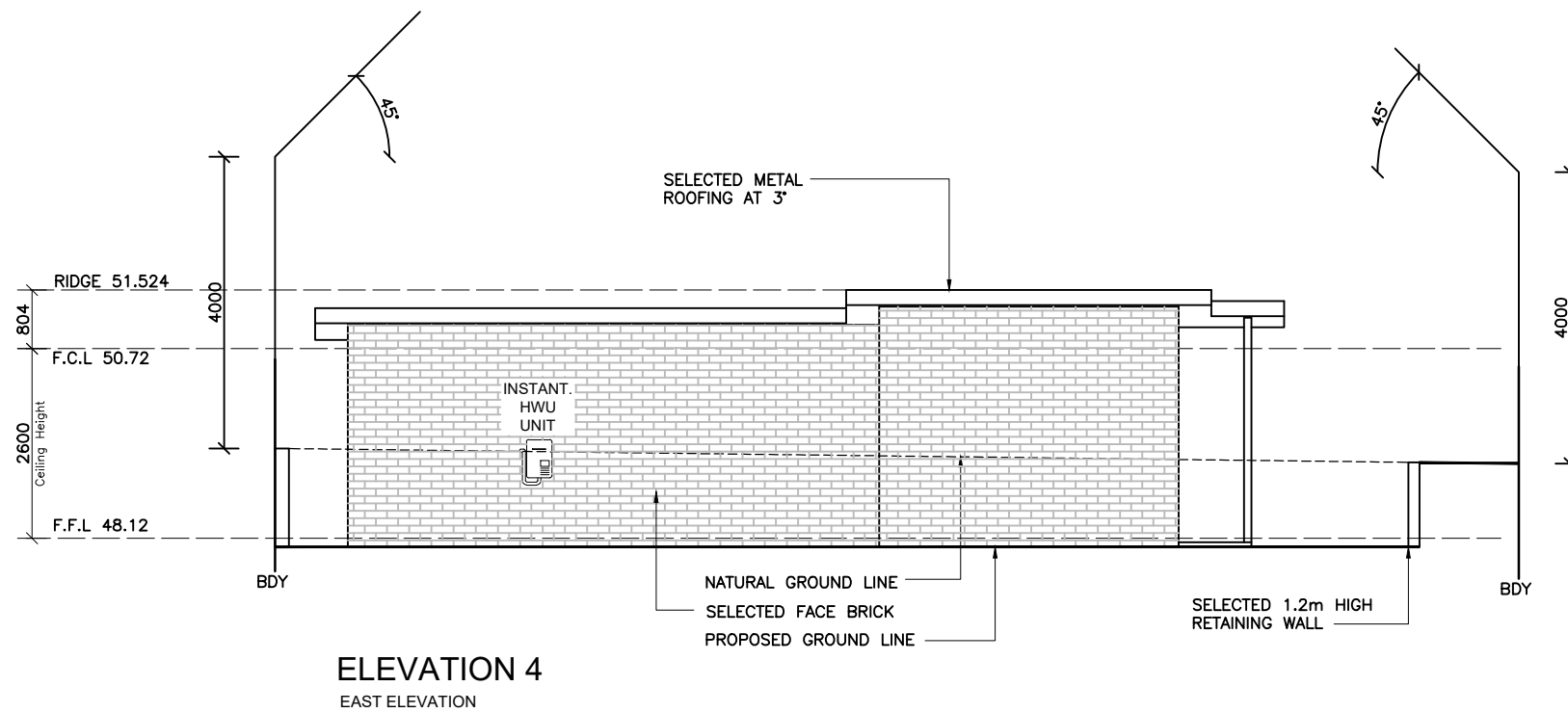
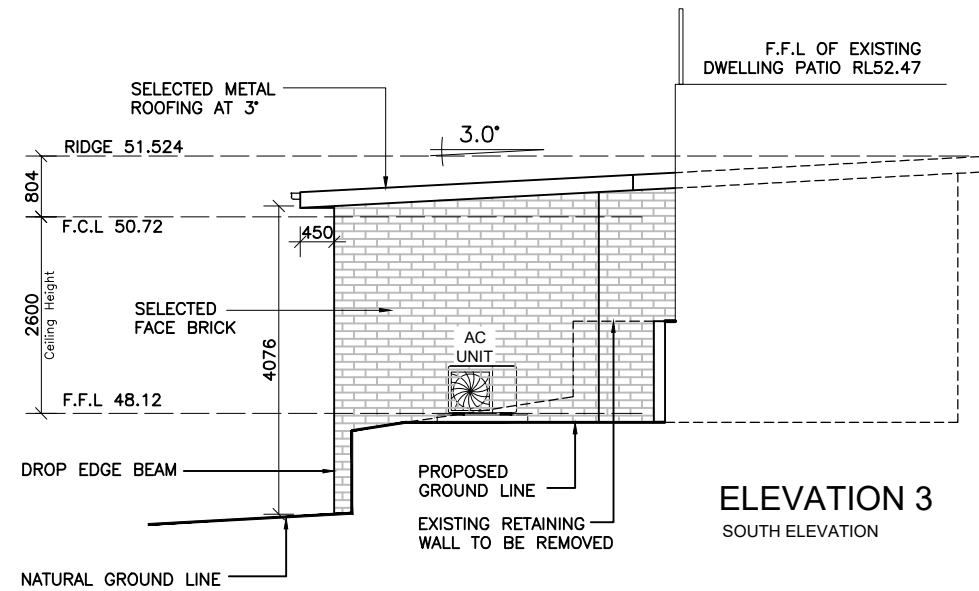
PROPOSED CONSTRUCTION OF
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DA PLANS

DRAWN: ES	DATE: 30.8.22	Rev: B
SCALE: 1:100	CHECKED:	
SHEET: 4	JOB No: E217	



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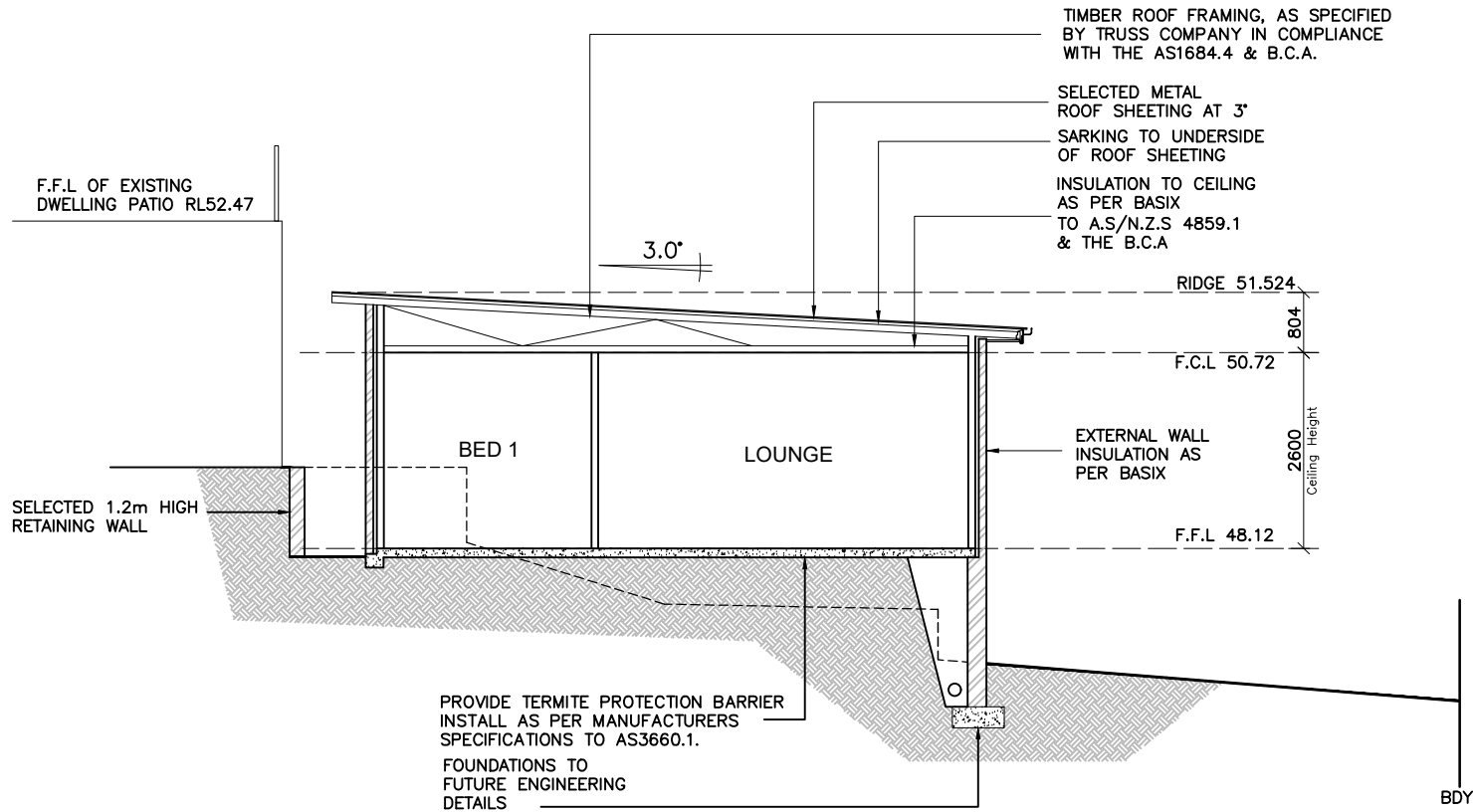
**PROPOSED CONSTRUCTION OF
SECONDARY DWELLING**

CLIENT:
Frank & Tani Mazza

SITE ADDRESS:
**No.8 (LOT 9) DP 201290
COUSINS ROAD,
BEACON HILL**

DA PLANS

DRAWN: ES	DATE: 30.8.22	Rev: B
SCALE: 1:100	CHECKED:	
SHEET: 5	JOB No: E217	



BASIX[®] Certificate

Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 13356415_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled 'BASIX Definitions' dated 10/06/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Issued: Wednesday, 14 September 2022
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		Assessor details and thermal loads	
Project name	8 Cousins Rd, Beacon Hill, 2100	Assessor number	n/a
Street address	8 Cousins Road Beacon Hill 2100	Certificate number	n/a
Local Government Area	Northern Beaches Council	Climate zone	n/a
Plan type and plan number	Deposited Plan 201290	Area adjusted cooling load (MJ/m²/year)	n/a
Lot no.	9	Area adjusted heating load (MJ/m²/year)	n/a
Section no.	-	Ceiling fan in at least one bedroom	n/a
Project type	secondary dwelling house - secondary dwelling	Ceiling fan in at least one living room or other designated area	n/a
No. of bedrooms	2	Project score	
Water	✓ 40	Water	✓ 40 Target 40
Thermal Comfort	✓ Pass	Thermal Comfort	✓ Pass Target Pass
Energy	✓ 51	Energy	✓ 51 Target 50

Water Commitments		Show on plan	Show on CCDC plan & specs	Certifier check
Fixtures				
The applicant must install showerheads with a minimum rating of 4 star (4.5 ltr/min plus spray force and/or coverage) in all showers in the development.			✓	✓
The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development.			✓	✓
The applicant must install taps with a minimum rating of 5 star in the development.			✓	✓
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.			✓	✓
Alternative water				
Rainwater tank				
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.		✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 90 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).			✓	✓
The applicant must connect the rainwater tank to:				
- all toilets in the development			✓	✓
- the cold water tap that supplies each kitchen washer in the development			✓	✓
- at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas not suitable water supply)			✓	✓

Thermal Comfort commitments		Show on plan	Show on CCDC plan & specs	Certifier check
General features				
The dwelling must not have more than 2 stoeps.		✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.		✓	✓	✓
The dwelling must not contain open masonry area exceeding 20 square metres.		✓	✓	✓
The dwelling must not contain third level habitable area room.		✓	✓	✓
Floor, walls and ceiling/roof				
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.		✓	✓	✓

Construction	Additional insulation required (R-Value)	Other specifications
Floor - concrete slab on ground	n/a	
external wall - brick veneer	1.80 (or 2.40 insulating construction)	
ceiling and roof - flat ceiling / flat roof - framed	ceiling: 3.00 spp, roof: insulating	framed: dark solar absorbance > 0.70

NOTE - Insulation specified in this Certificate must be installed in accordance with Part 5.12.1.1 of the Building Code of Australia.

NOTE - In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.

Windows, glazed doors and skylights		Show on plan	Show on CCDC plan & specs	Certifier check
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overhanging specifications must be satisfied for each window and glazed door.		✓	✓	✓
The dwelling may have 1 skylight (not square metres) which is not listed in the table.		✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓	✓
- For the following glass and frame types, the certifier check can be performed by visual inspection:				
- Aluminium single clear			✓	✓
- Aluminium double (part) clear			✓	✓
- Timber/PVC/Alumiglass single clear			✓	✓
- Timber/PVC/Alumiglass double (part) clear			✓	✓

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading device (Minimum in situ)	Overhanging
North facing					
W01	1200	1500	aluminium, single, clear	have 450 mm, 0 mm above head of window or glazed door	not overhanging
W02	1200	1500	aluminium, single, clear	have 450 mm, 0 mm above head of window or glazed door	not overhanging
West facing					
W03	1000	1200	aluminium, single, clear	have 450 mm, 0 mm above head of window or glazed door	not overhanging
W04	600	800	aluminium, single, clear	have 450 mm, 0 mm above head of window or glazed door	not overhanging
W05	1200	1500	aluminium, single, clear	have 450 mm, 0 mm above head of window or glazed door	not overhanging

Energy Commitments		Show on plan	Show on CCDC plan & specs	Certifier check
Hot water				
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 3 stars.		✓	✓	✓
Cooling system				
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase air conditioning: Energy rating: 3 Star (all table)			✓	✓
The bedrooms must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.			✓	✓
Heating system				
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase air conditioning: Energy rating: 3 Star (all table)			✓	✓
The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.			✓	✓
Ventilation				
The applicant must install the following exhaust systems in the development:				
At least 1 Bedroom: individual fan, ducted to ridge or roof. Operation control: manual switch on/off			✓	✓
Kitchen: individual fan, ducted to ridge or roof. Operation control: manual switch on/off			✓	✓
Laundry: natural ventilation only, or no laundry. Operation control: n/a			✓	✓
Artificial lighting				
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "fluorescent" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:				
- at least 2 of the bedrooms / study;			✓	✓
- at least 1 of the living / dining areas;			✓	✓
- the kitchen;			✓	✓
- all bathrooms/toilets;			✓	✓
- the laundry;			✓	✓
- all hallways;			✓	✓
Natural lighting				
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.		✓	✓	✓
The applicant must install a window and/or skylight in 1 bathroom(s) in the development for natural lighting.		✓	✓	✓
Other				
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.			✓	
The applicant must construct such refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.			✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.			✓	



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SITE ADDRESS:
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COUSINS ROAD,
BEACON HILL

DA PLANS

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SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.

2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.

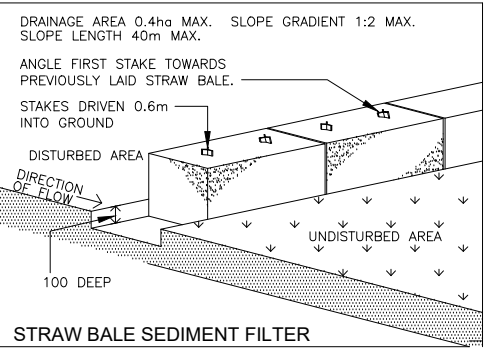
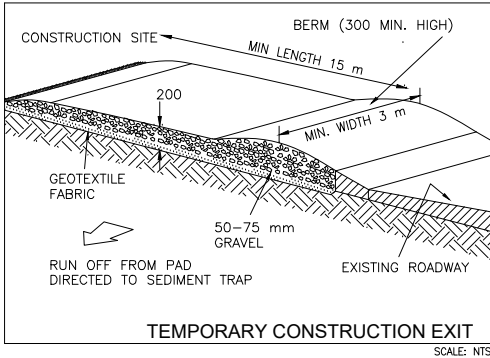
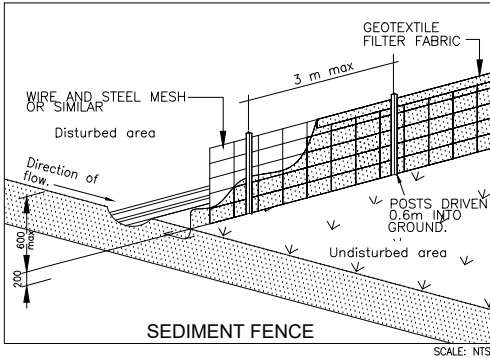
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE X 300mm DEEP TRENCH.

4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60 % FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.

5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.

7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.



NOTE:
TEMPORARY SECURITY FENCING
TO THE PERIMETER OF BOUNDARY
WHERE REQUIRED TO PREVENT
PUBLIC ACCESS ONTO SITE.

NOTE: ALL GROUND LINES ARE
APPROXIMATE. EXTENT OF FILL
& BATTER WILL BE DETERMINED
ON SITE. SEDIMENT BARRIERS ARE
TO BE CUSTOMISED SITE SPECIFIC

LEGEND:

----- TEMPORARY SECURITY FENCE

--- CONTOUR LINES

----- SEDIMENT CONTROL



MAIN VIEWS



1/2 NUMBER OF STOREYS



- NOTES
- 1) THESE LEVELS ARE APPROXIMATES ONLY & ARE TO BE CONFIRMED ON SITE WITH SUPERVISOR PRIOR TO COMMENCEMENT OF ANY EXCAVATIONS.
- 2) SILTATION CONTROL TO COUNCIL REQUIREMENTS.
- 3) NO WATERWAY OR WATERCOURSES ON SITE.
- 4) TERMITE PROTECTION TO AS3660.1

CONSTRUCTION MANAGEMENT PLAN AND SITE ANALYSIS

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