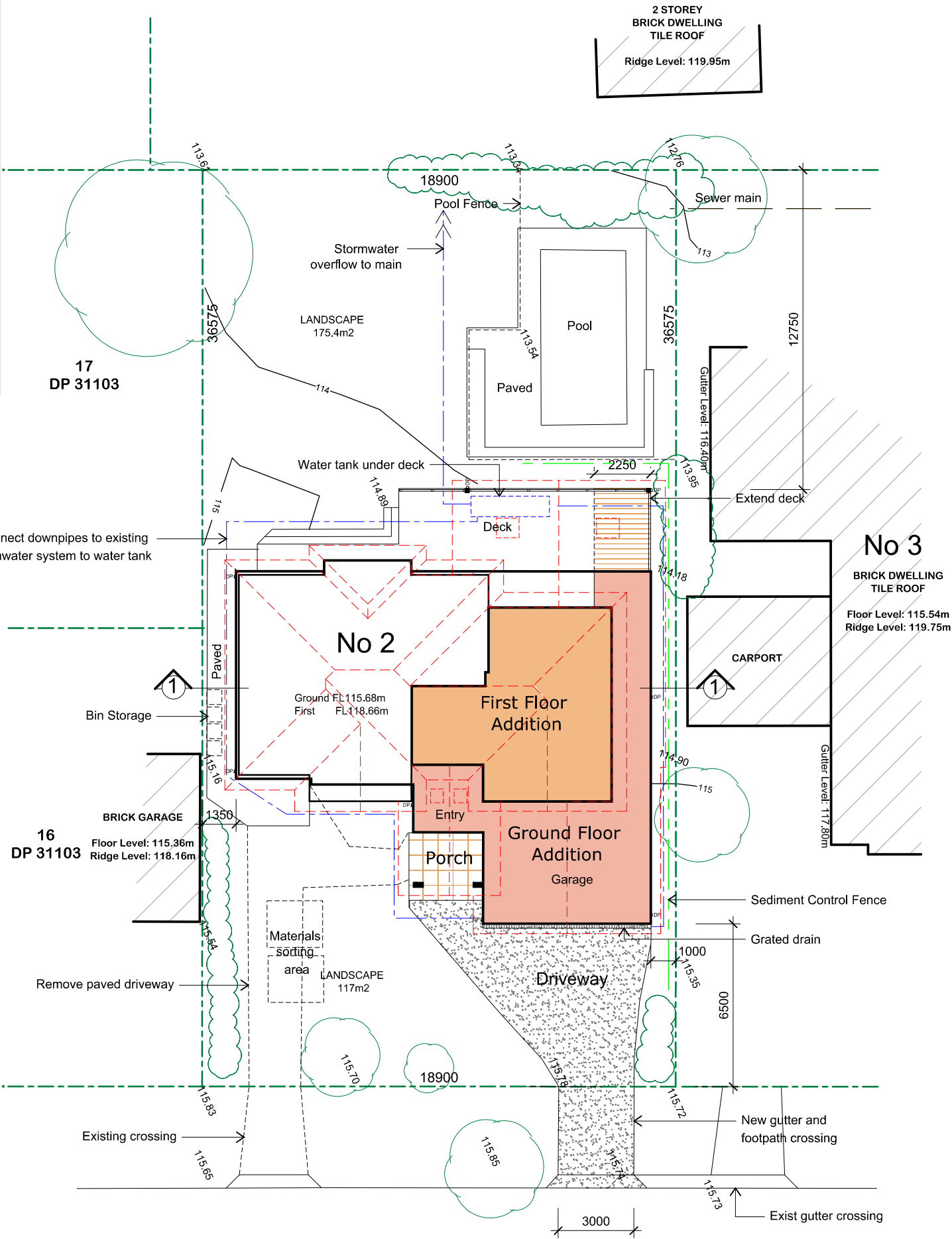


### SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE X 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES, FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.



## SITE PLAN

Scale 1:200

ROUNCE AVENUE

### DRAWING NOTES

All new RWP to be connected to the Council's satisfaction  
All timber sizes to comply with timber codes of Australia  
All reinforced concrete slabs, footings, beams, etc to be engineers details and sizes.  
All building works to be in compliance with the building code of Australia.  
DO NOT SCALE FROM DRAWINGS - USE FIGURED DIMENSIONS ONLY  
DIMENSIONS TO BE CHECKED ON SITE.

### CONSTRUCTION

Demolish walls as shown  
Demolish existing steps and entry verandah to residence

Ground floor walls timber frame with sheet cladding and render finish.  
First floor walls constructed of timber stud with weatherboard external cladding.  
Internal walls timber stud with plasterboard lining  
Roof is timber framed, insulated and clad with selected tiles.  
Deck extension to ground floor is timber framed with timber decking boards to match existing  
Floor to ground and first floor area is timber framed  
Garage floor to be concrete slab  
Windows are timber and aluminium  
Construct new concrete driveway and gutter crossing

### GENERALLY

All sewer and stormwater lines to be connected to existing sewer and stormwater systems.  
Provide plumbing services to new kitchen and bathroom facilities.  
Provide electrical services to all new work

### BASIX

As per Basix Certificate Number: A416006

Lighting - minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures - New or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.  
New or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.  
New or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Insulation- for floors/walls/ceiling/roof/):  
Concrete slab on ground - Nil  
Suspended floor - enclosed sub floor Framed R0.7: R0.6 down (or R1.3 incl construction)  
Floor above existing - Nil  
External wall: Framed: R1.3 or R1.7 incl construction  
Internal wall shared with Garage: Nil  
Flat ceiling, Pitched roof: ceiling: R3.0 up, roof: foil sarking  
Medium (solar absorptance 0.475-0.70)

Windows & Glazed Doors - Each window or glazed door with standard aluminium or timber frames and single clear glass  
or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than U-value:7.63, SHGC: 0.75  
Other windows to have alternate glass options as per the glazing requirements

	AREAS	
	SITE AREA	689.2 m2
	LANDSCAPE AREA	292.4 m2 = 42.43%

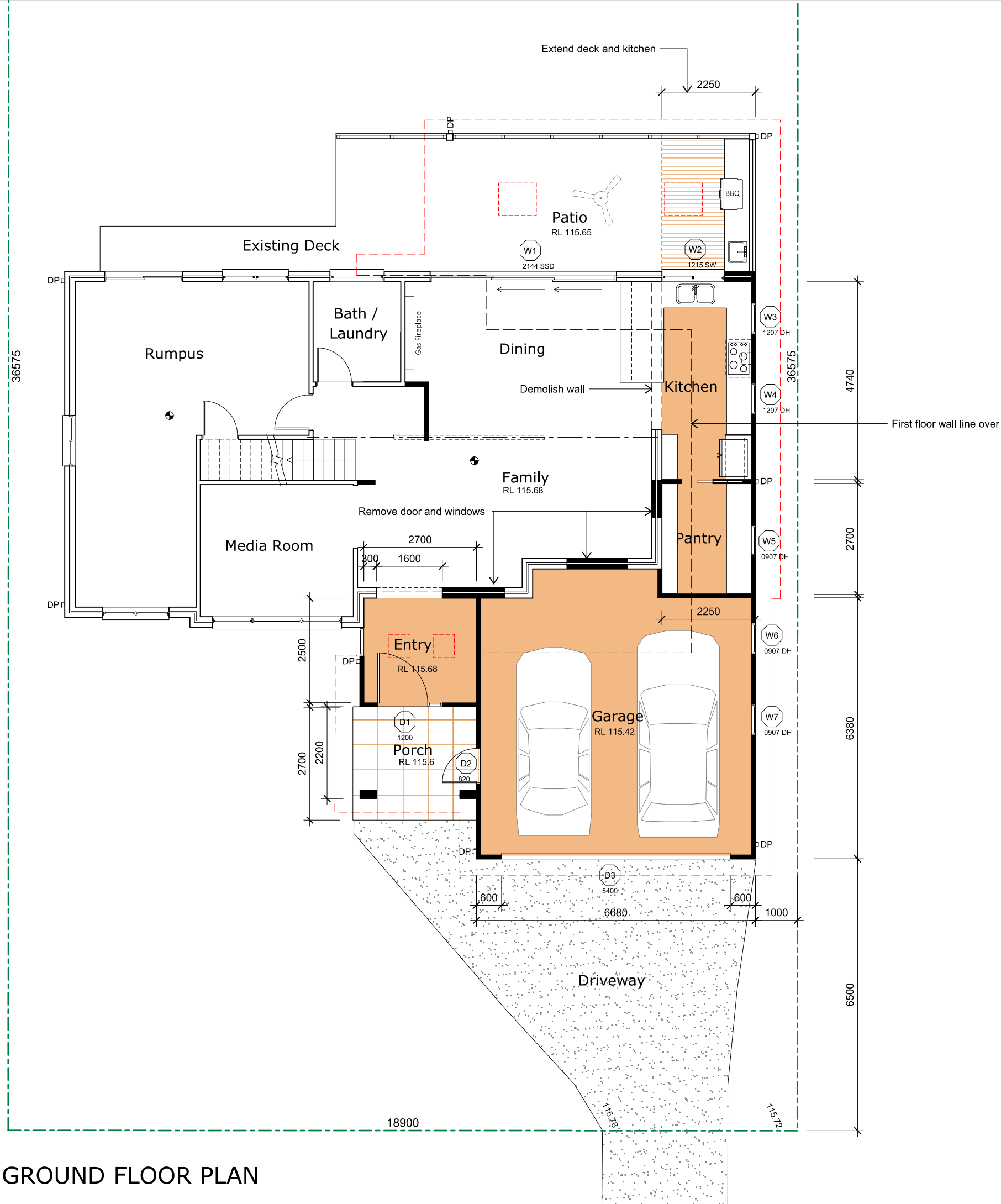
DATE	Amdt.
Neil Harvey - B.Arch Ph: 0403 505 322 14 Farrer Place, Frenchs Forest NSW 2086 Email: nharvey@bigpond.com	

Alterations & Additions  
Mr & Mrs Clark  
2 Rounce Ave Forestville NSW 2087

## SITE PLAN

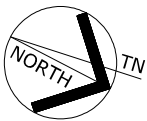
SCALE: 1:200

DRAWN:	JOB No:	2057
DATE:	28 April 2021	LOT REF: Lot 15 DP 200198
DWG SIZE:	A3	SHEET: DA-1



**WINDOW-DOOR KEY**  
Eg: 2124 SD = 2,1x2,4 Sliding Door

Height x Width  
SD - Sliding Door  
SW - Sliding Window  
FG - Fixed Glass  
DH - Double Hung Window  
SK - Skylight Window



Smoke Detector

DATE	Amdt.
Neil Harvey - B.Arch	Ph: 0403 505 322
14 Farrer Place, Frenchs Forest NSW 2086	Email: nfh Harvey@bigpond.com

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## GROUND FLOOR PLAN

SCALE: 1:100

DRAWN:	JOB No:	2057
DATE: 28 April 2021	LOT REF:	Lot 15 DP 200198
DWG SIZE: A3	SHEET:	DA-2

## GROUND FLOOR PLAN

Height x Width  
SD - Sliding Door  
SW - Sliding Window  
FG - Fixed Glass  
DH - Double Hung Window  
SK - Skylight Window



 Smoke Detector

Alterations & Additions  
Mr & Mrs Clark  
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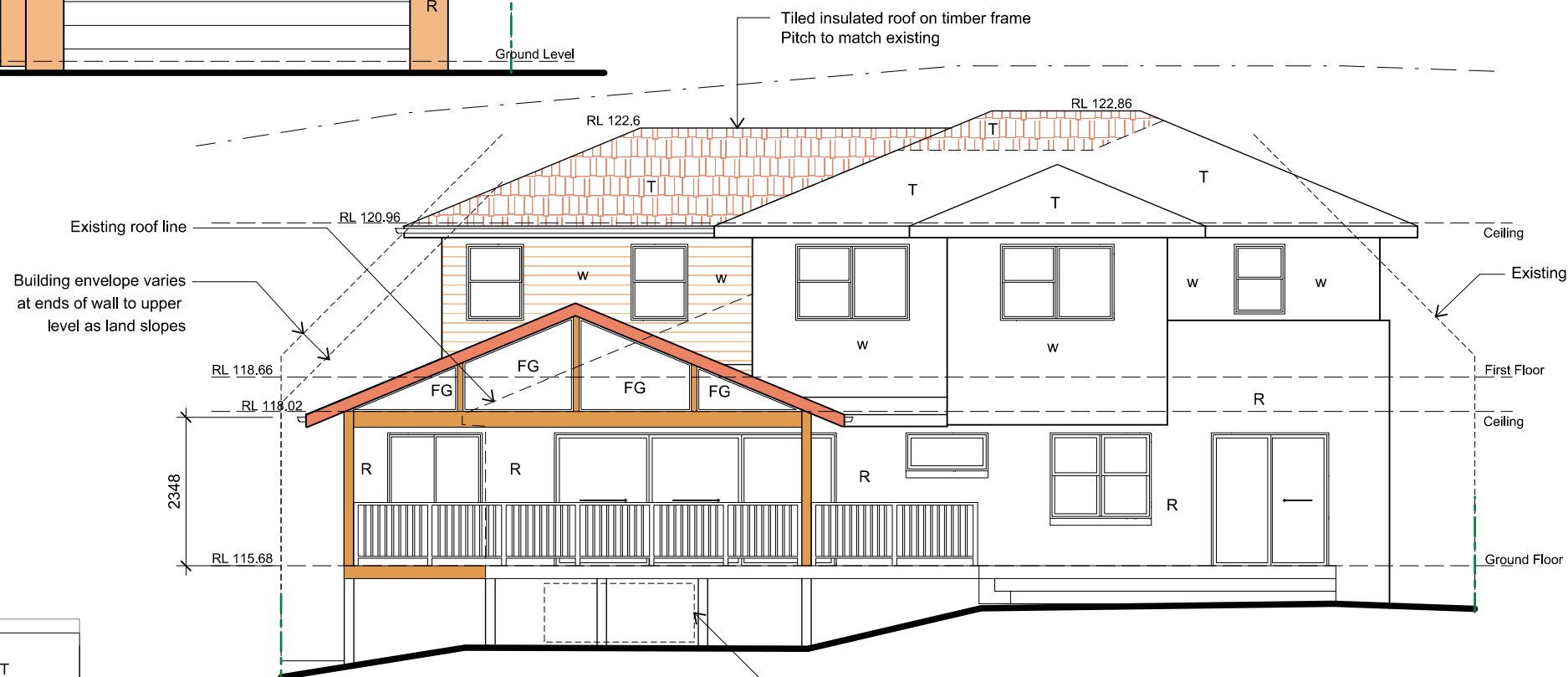
## FIRST FLOOR PLAN

DRAWN: JOB No: 2057  
DATE: 28 April 2021 LOT REF: Lot 15 DP 200198  
DWG SIZE: A3 SHEET: DA-3

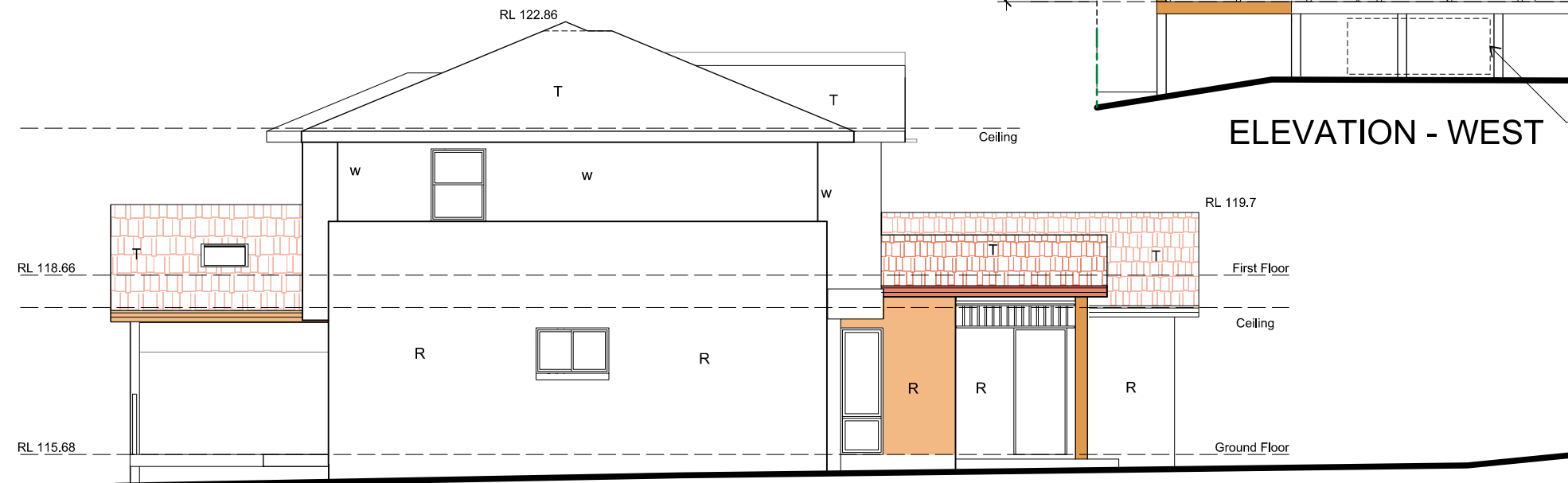
- LEGEND
- W WEATHERBOARD
  - T TILED ROOF
  - R RENDER FINISH
  - S PRIVACY SCREEN



ELEVATION - EAST



ELEVATION - WEST



ELEVATION - SOUTH

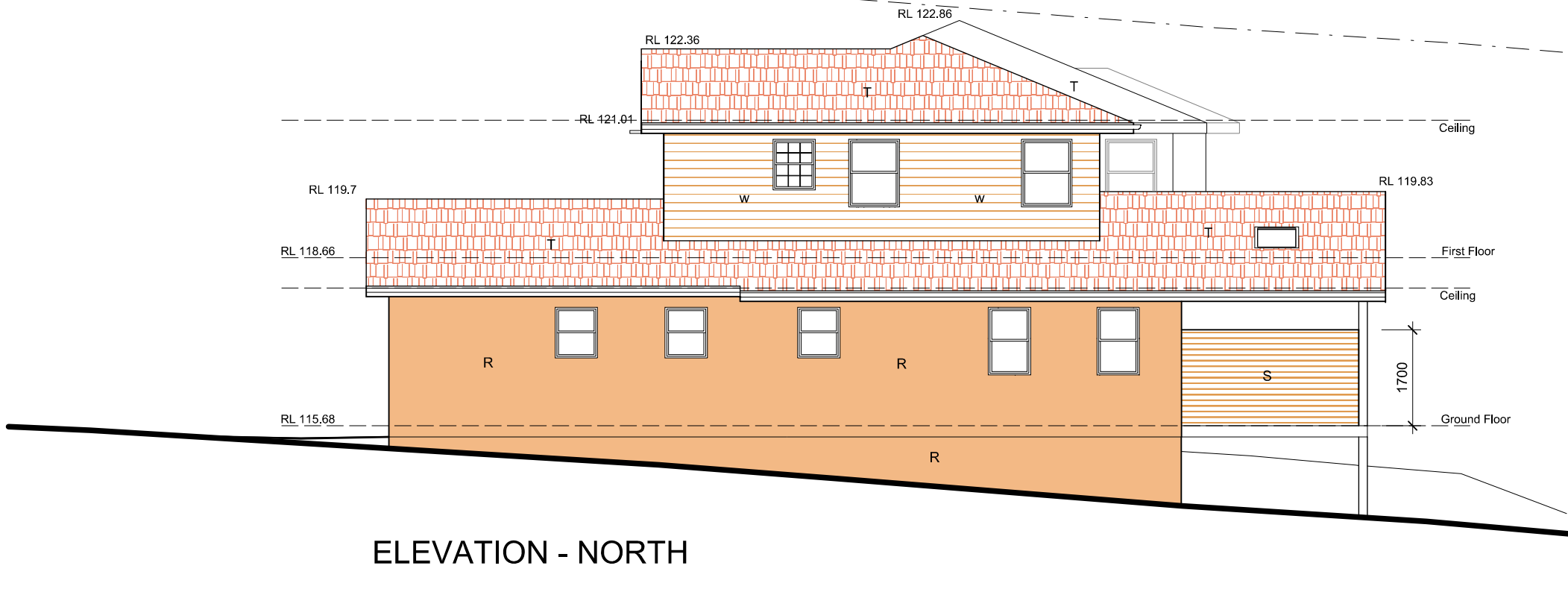
DATE	Amdt.
Neil Harvey - B.Arch	Ph: 0403 505 322
14 Farrer Place, Frenchs Forest NSW 2086	Email: nharvey@bigpond.com

Alterations & Additions  
Mr & Mrs Clark  
2 Rounce Ave Forestville NSW 2087

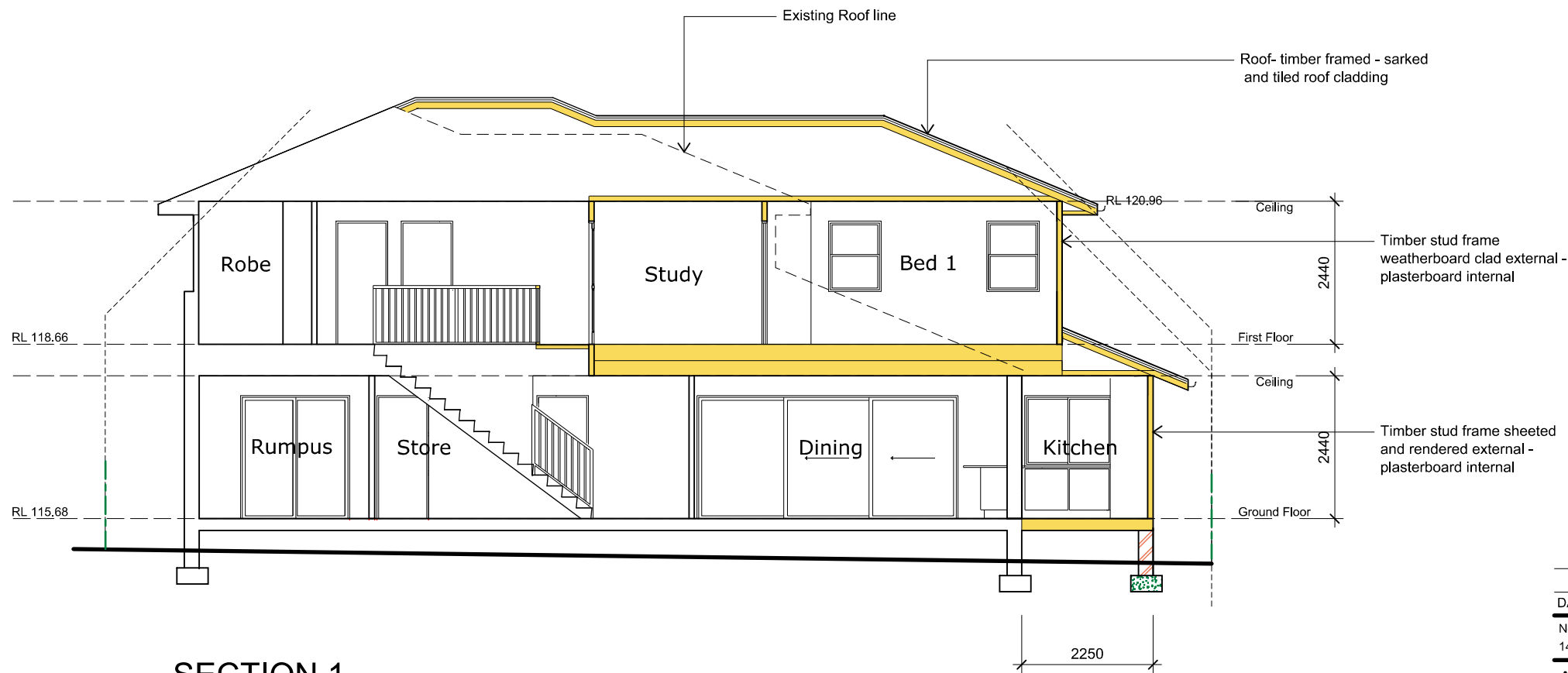
## ELEVATIONS

SCALE:	1:100
DRAWN:	JOB No: 2057
DATE: 28 April 2021	LOT REF: Lot 15 DP 200198
DWG SIZE: A3	SHEET: DA-4

- LEGEND
- W WEATHERBOARD
  - T TILED ROOF
  - R RENDER FINISH
  - S PRIVACY SCREEN



ELEVATION - NORTH



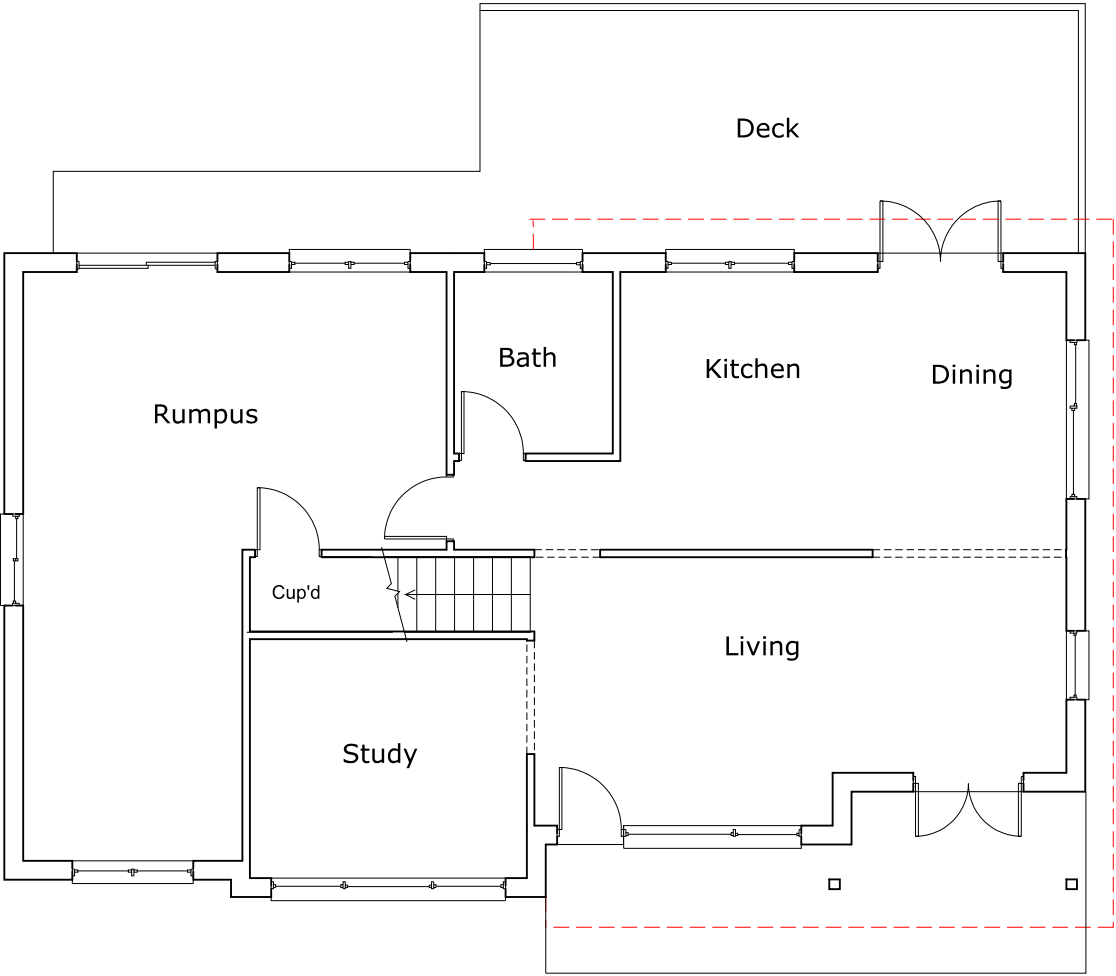
SECTION 1

DATE	Amdt.
Neil Harvey - B.Arch	Ph: 0403 505 322
14 Farrer Place, Frenchs Forest NSW 2086	Email: nharvey@bigpond.com

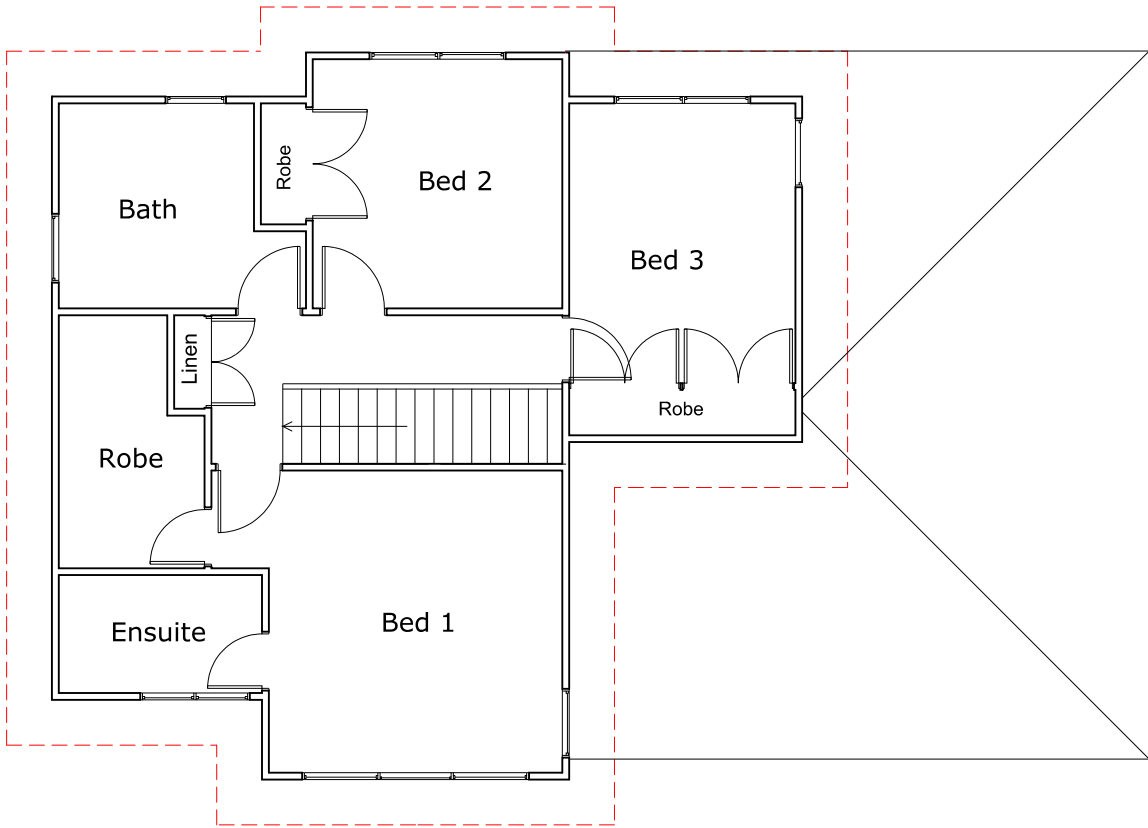
Alterations & Additions  
Mr & Mrs Clark  
2 Rounce Ave Forestville NSW 2087

## ELEVATIONS & SECTION

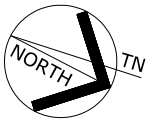
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DRAWN:	JOB No: 2057
DATE: 28 April 2021	LOT REF: Lot 15 DP 200198
DWG SIZE: A3	SHEET: DA-5



GROUND FLOOR PLAN



LOWER LEVEL PLAN



DATE	Amdt.
Neil Harvey - B.Arch 14 Farrer Place, Frenchs Forest NSW 2086	Ph: 0403 505 322 Email: nfh Harvey@bigpond.com

Alterations & Additions  
Mr & Mrs Clark  
2 Rounce Ave Forestville NSW 2087

EXISTING PLAN

SCALE:	1:100
DRAWN:	JOB No: 2057
DATE: 28 April 2021	LOT REF: Lot 15 DP 200198
DWG SIZE: A3	SHEET: DA-6





<b>Contact Us</b>	
The General Manager, 725 Pittwater Road, Dee Why NSW 2099 or Customer Service Centre, Northern Beaches Council DX9118 Dee Why	
<b>Email</b>	council@warringah.nsw.gov.au
<b>Fax</b>	9942 2606
If you need help lodging your application call Customer Service on (02) 9942 2111 or come in and talk to us at the Civic Centre, Dee Why.	

<b>Office Use Only</b>											

**Part 1: Declaration**

<b>1. DECLARATION</b>	
I hereby certify that the shadow diagrams submitted with the proposal at	
Address	2 ROUNCE AVE, FORESTVILLE NSW
For the erection of <i>Description of development</i>	ALTERATIONS & ADDITIONS
<ul style="list-style-type: none"> <li>In accordance with the survey (prepared by a registered surveyor) which is required to be submitted with the application</li> <li>Drawn to true north</li> <li>Indicate shadow cast by the proposal at 9am, noon, 3pm, 21 June</li> <li>To indicate the shadow cast by existing buildings and structures on the site and in the surrounding area</li> </ul>	

**Part 2: Certification**

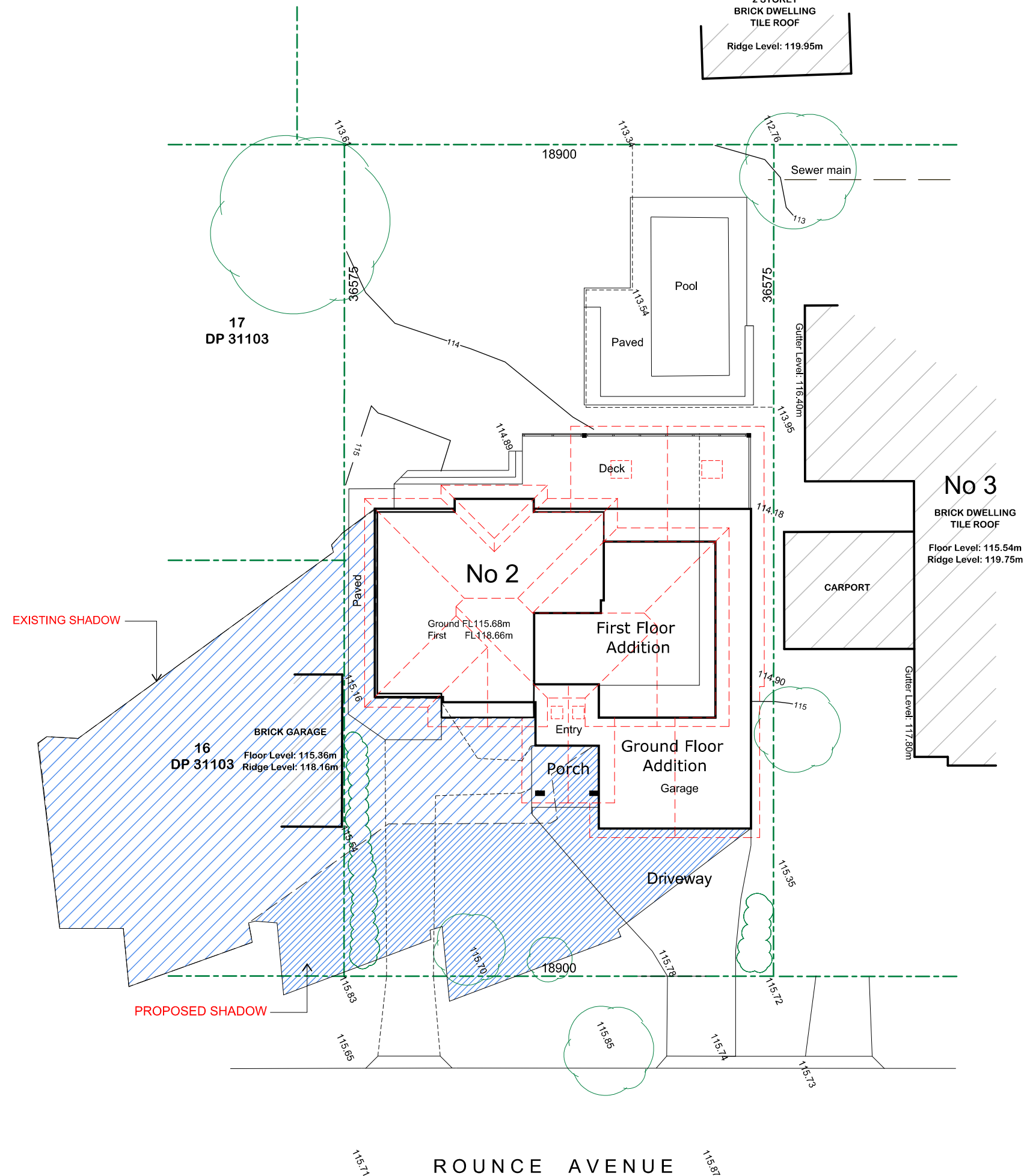
<b>2. CERTIFIER</b>			
Title	<input checked="" type="radio"/> Mr <input type="radio"/> Mrs <input type="radio"/> Ms <input type="radio"/> Other		
Full family name <i>(no initials) (or Company)</i>	HARVEY		
Full given names <i>(no initials) (or A.C.N)</i>	NEIL		
Phone		Alternate	
Mobile	0403 505 322	Fax	
Qualification <i>(i.e. Architect, Planner, Computer Technician, Surveyor)</i>			

**Part 3: Signature**

<b>3. APPLICANT(S) SIGNATURE</b>	
Signature	N Harvey
Date	10.5.2021



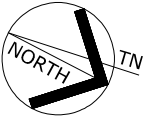
2 STOREY  
BRICK DWELLING  
TILE ROOF  
Ridge Level: 119.95m



115.71 ROUNCE AVENUE 115.87

3pm June 21

Note:  
Shadows were cast to true north at the winter solstice.  
The shadows projected from the proposed first floor  
addition provide no overshadowing to the neighbouring  
residences.

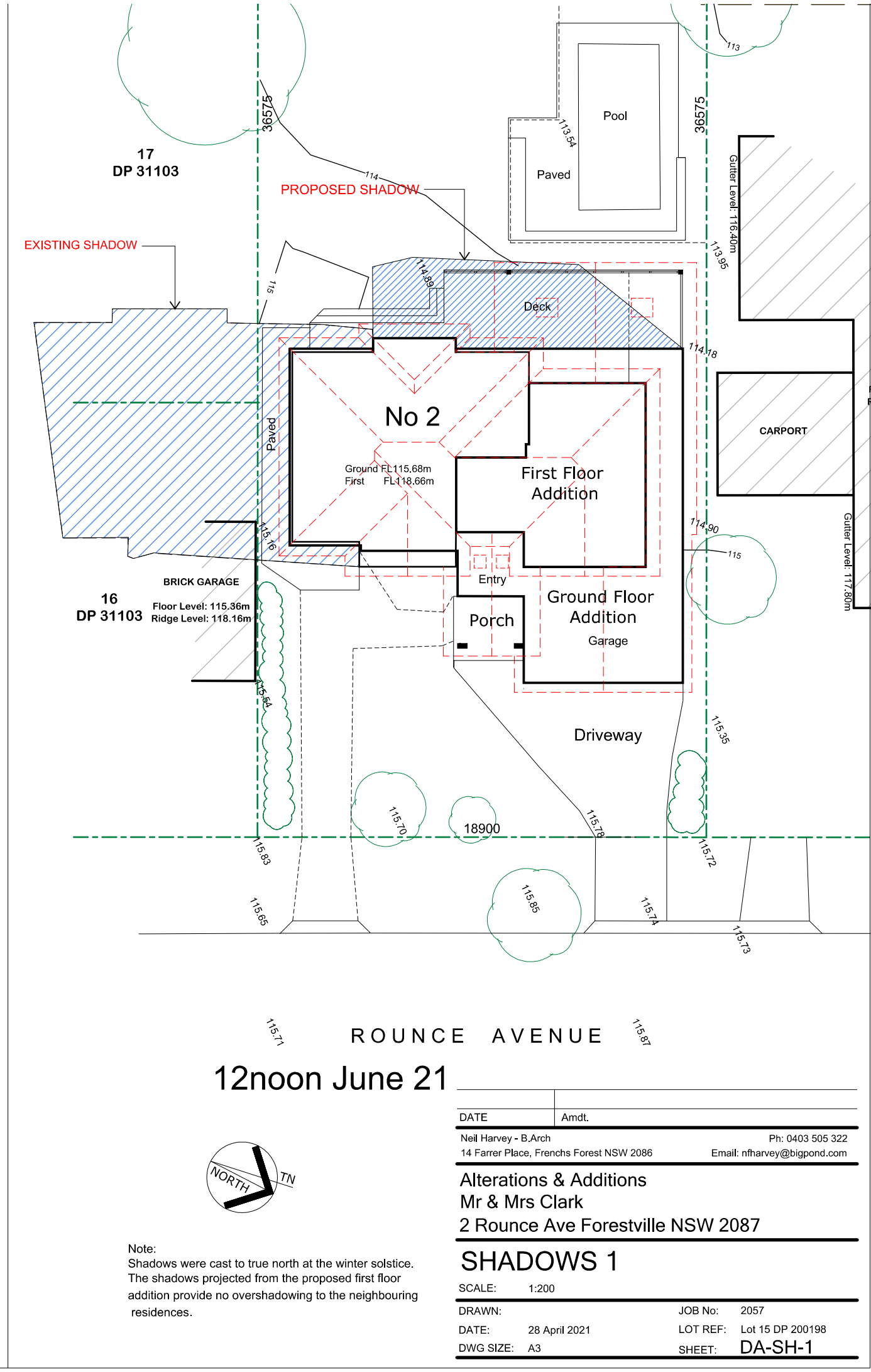
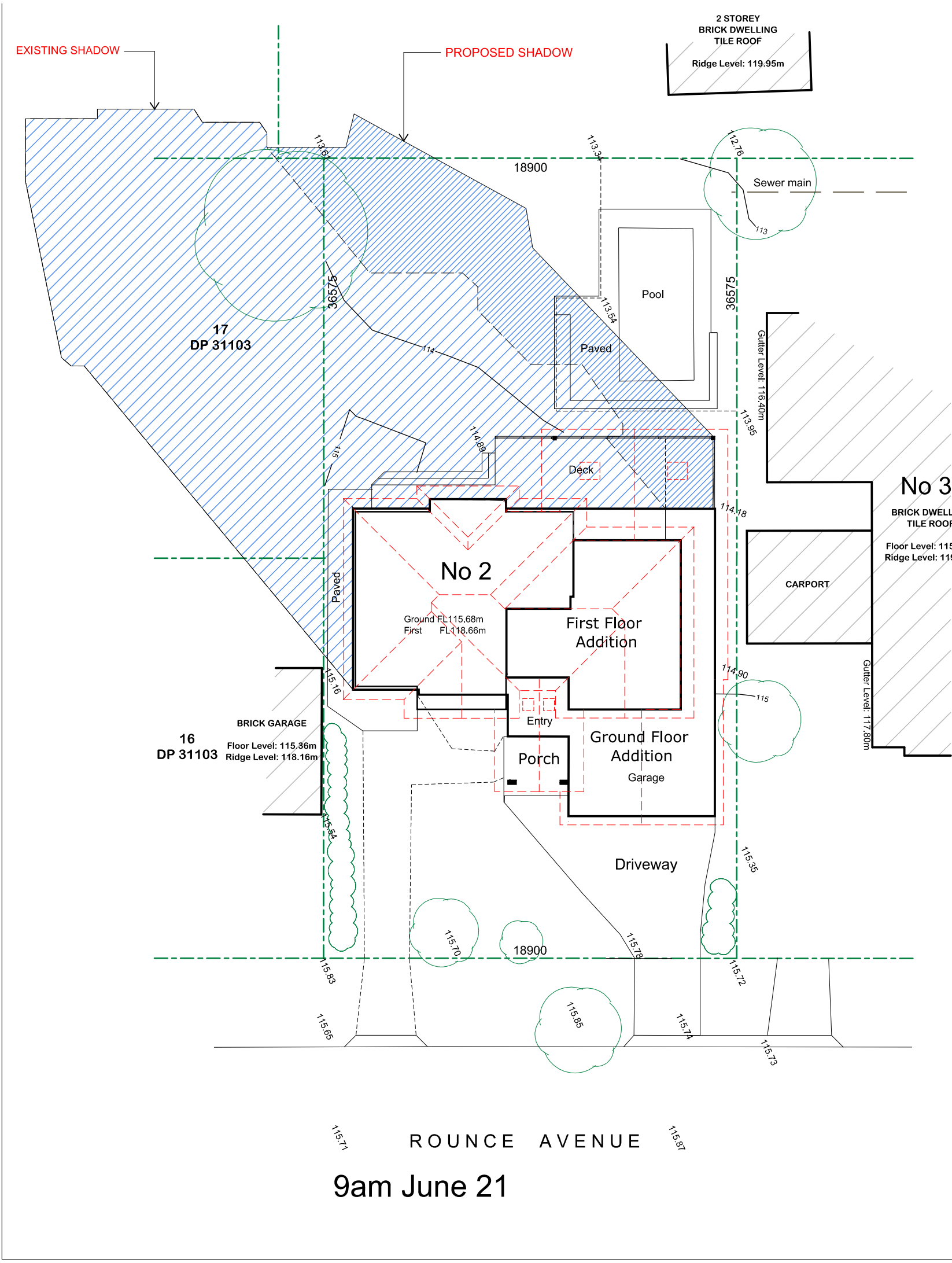


DATE	Amdt.
Neil Harvey - B.Arch 14 Farrer Place, Frenchs Forest NSW 2086 Ph: 0403 505 322 Email: nfh Harvey@bigpond.com	

Alterations & Additions  
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SHADOWS 2

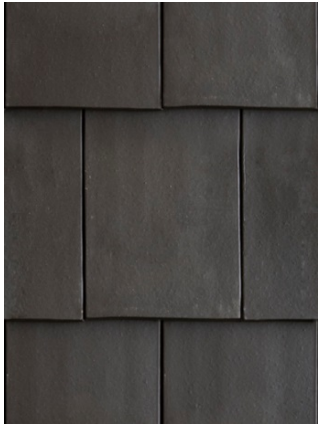
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DRAWN:	JOB No: 2057
DATE: 28 April 2021	LOT REF: Lot 15 DP 200198
DWG SIZE: A3	SHEET: DA-SH-2



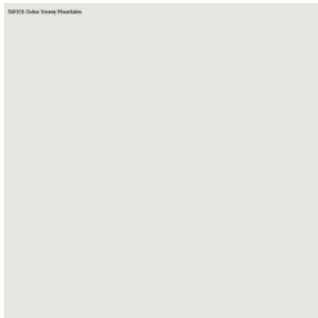
## **COLOUR SCHEME**

Generally colour scheme indication is shown on the proposed rendered view on page 4.

Roof – Tiled Boral “Shingle” - Grey



Walls - Weatherboard & Render painted Dulux “Snowy Mountains White”



Trim - Fascia & Windows painted Dulux “Lexicon Quarter”



Gutters Colorbond - “Night Sky”

