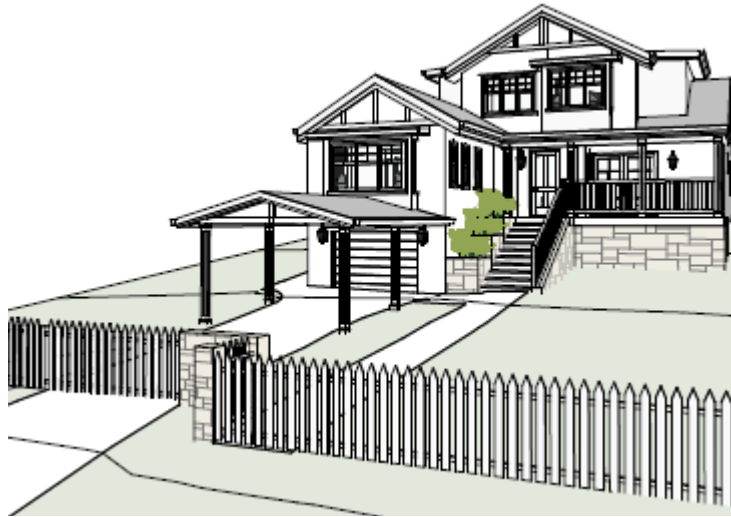


STATEMENT OF ENVIRONMENTAL EFFECTS

Submission to Northern Beaches Council

ALTERATIONS AND ADDITIONS TO EXSITING DWELLING HOUSE

at



18 Jenner Street, Seaforth

OCTOBER 2019

1. Summary

Land to be developed (Address):	Lot C DP 90826, 18 Jenner Street SEAFORTH NSW 2092
Proposed Development:	Alterations and Additions to an existing dwelling house
Zoning:	R2: Low Density Residential
Development Permissible:	Yes
Existing Use Rights:	No
Consent Authority:	Northern Beaches Council
Owner:	Matthew and Catherine Rae

2. Introduction

This Statement of Environmental Effects assesses against the applicable planning controls for the site, including the relevant provisions of:

- Environmental Planning and Assessment Act 1979 (EPAA);
- Environmental Planning and Assessment Regulation 2000 (EPAR);
- Manly Local Environmental Plan 2013 (MLEP);
- Manly Development Control Plan 2013(MDCP);
- State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004 (BASIX);

in support of the development application for the proposed alteration and addition to an existing dwelling house at **18 Jenner Street SEAFORTH**.

The proposed development is a visually modernised improvement of the existing dwelling house, with improved integration with the landform and provides continued consistency with surrounding developments. Upon completion of the assessment against all aforementioned documents, it is concluded that the development satisfies, otherwise comes within the 'four corners' of the relevant development standards.



Arial Photograph (from SIX Maps)

3. Site & Locality Description

- The subject allotment is known as No. 18 Jenner Street Seaforth, and it's located on a quiet residential street.
- The site is located on the Northern side of Jenner Street. A two storey dwelling house currently occupies the site with one , not accessible (too small) garage space .
- The property is located within land zoned for R2: Low-Density Residential pursuant to the MLEP. Dwelling houses are permissible on R2 zone.
- The site comprises of one lot, legally described as Lot C DP90826.
- The site is a regular shape lot and has a total area of 748.2sqm.
- The property has a street frontage of 13.4 m and depth of 55.6m.
- Surrounding developments consist of similar detached one to two-storey dwelling houses, of varying ages.



Existing Dwelling House - View from Street

4. Proposed Development In Detail

The development proposal includes alteration and addition, as follows:

Ground Floor

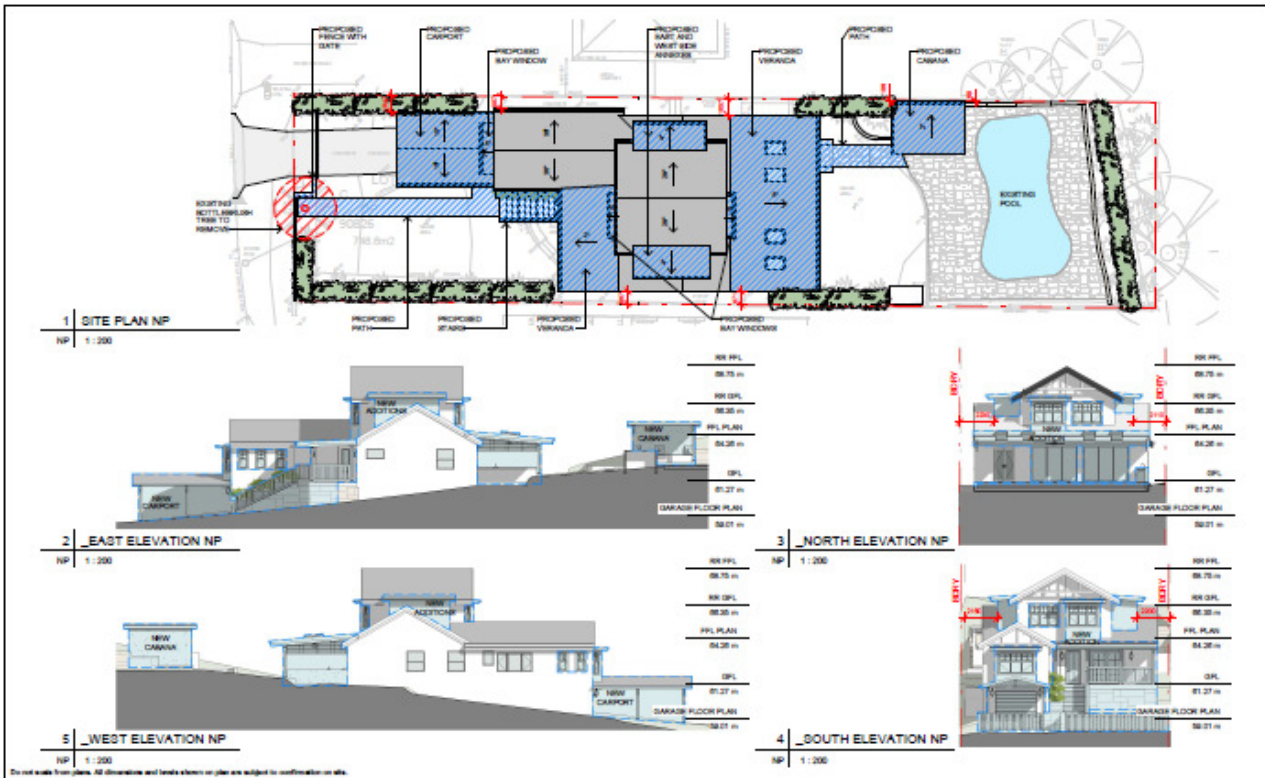
- demolition of the existing entrance stairs, walls of entrance hall, outdoor toilet, and stairs to deck at the rear,;
- windows and doors alterations;
- removal of existing bottlebrushes tree, under 5 metres in height, on front boundary;
- addition of a new carport; new pathway, transparent fence, and a pedestrian gate the at the front
- addition of a cabana and a veranda at the rear;

First Floor

- demolition of eastern and western walls;
- extension of eastern as western wall as an annexure;
- alterations to windows

to an existing two-storey dwelling house.

Please refer to the full set of plans for further details.



Notification Plan of Proposed Development

5. Site History

A search of Council's records has revealed the following relevant development applications:

- Development application DA 3979/1991
- Development application DA 176/2002 for alteration and addition to existing dwelling was approved under delegation on 30/07/2002
- Construction Certificate CC 176/2002 for alterations and additions to existing dwelling approved by Council on 19/09/2003

6. Compliance Assessment

All, Environmental Planning Instruments (SEPPs, REPs and LEPs), Development Controls Plans and Council Policies have been considered in the merit assessment of this proposal.

In this regard, whilst all provisions of each Environmental Planning Instruments (SEPPs, REPs and LEPs), Development Controls Plans and Council Policies have been considered in the assessment, many provisions contained within the document are not relevant or are enacting, definitions and operational provisions which the proposal is considered to be acceptable against.

As such, an assessment is provided against the controls relevant to the merit consideration of the application hereunder:

Manly Local Environmental Plan 2013 (MLEP)

Clause	Relevant Requirements/Objectives	Proposed	Compliance with Requirements Comments
4.3 Height of Buildings	Maximum building height is 8.5m	Maximum building height is 7.48m	Yes. Comments: Please refer to plans
4.4 Floor space ratio	Floor space ratio is 04:1	Proposed floor space ration is 0.22:1	Yes.
6.1 Acid sulfate soils	To ensure that development does not disturb, expose or drain acid sulfate soils and cause environmental damage. The site is in Acid Sulfate Class 5 area.	No earth work is proposed.	Yes.
6.9 Foreshore scenic protection area	To protect visual aesthetic amenity and views to and from Sydney Harbour, the Pacific Ocean and the foreshore in Manly.	The proposed alterations will improve the visual aesthetic amenity of the existing dwelling house, and are minor in nature. Thus, proposed alteration and additions will not adversely affect	Yes.

		the views to and from Sydney Harbour.	
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Manly Development Control Plan 2013((MDCP)

Control	Relevant Requirements/Objectives	Proposed	Compliance with Requirements Comments
<p>3.1.1 Streetscape (Residential areas)</p> <p>3.1.1.1 Complementary Design and Visual Improvement</p> <p>3.1.1.2 Front Fences and Gates</p> <p>3.1.1.3 Roofs and Dormer Windows</p> <p>3.1.1.4 Garages, Carports and Hardstand Areas</p>	<p>Development should complement the predominant building form, distinct building character, building material and finishes and architectural style in the locality.</p> <p>The sitting, height and form of boundary fences and walls should reflect the fencing characteristic of the locality, particularly those of adjacent properties.</p> <p>Roof forms should complement, but not necessarily replicate the predominant form in the locality and in particular those of adjacent buildings.</p>	<p>The development complies with all relevant controls and complements the existing building form in the area.</p> <p>The development sits behind the front boundary setback area.</p> <p>The proposed carport sits behind the front boundary setback area.</p> <p>The height of the proposed transparent fence and the gate is only 1.2m. Thus, complies with relevant controls.</p> <p>Roof form complements the predominant form in the locality and adjacent dwellings.</p>	<p>Yes.</p>

	<p>Roofs should be designed to avoid or minimise view loss and reflectivity</p> <p>Garages, carports and hardstand areas must be designed and sited in a manner that does not to dominate the street frontage</p>		
<p>3.4 Amenity (Views, Overshadowing, Overlooking /Privacy, Noise)</p>			
<p>3.4.1 Sunlight Access and Overshadowing</p>	<p>To provide equitable access to light and sunshine.</p> <p>To allow adequate sunlight to penetrate private open spaces within the development site; and private open spaces and windows to the living spaces/ habitable rooms of both the development and the adjoining properties.</p> <p>To maximise the penetration of sunlight including mid-winter sunlight to the windows, living rooms and to principal outdoor areas by:</p> <ul style="list-style-type: none"> - encouraging modulation of building bulk to facilitate sunlight penetration into the 	<p>The provided shadow diagrams confirm that the private open spaces; living spaces and habitable rooms of the proposed development and the adjoin dwellings receive a minimum of 3 hours of sunlight between 9 am and 3 pm on June 21.</p>	<p>Yes.</p>

	<p>development site and adjacent properties; and</p> <ul style="list-style-type: none"> - maximising setbacks on the southern side of developments to encourage solar penetration into properties to the south 		
<p>3.4.2 Privacy and Security</p> <p>3.4.2.1 Window Design and Orientation</p> <p>3.4.2.2 Balconies and Terraces</p> <p>3.4.2.3 Acoustical Privacy (Noise Nuisance)</p>	<p>To minimise loss of privacy to adjacent and nearby development by:</p> <ul style="list-style-type: none"> - appropriate design for privacy (both acoustical and visual) including screening between closely spaced buildings; - mitigating direct viewing between windows and/or outdoor living areas of adjacent buildings. <p>To increase privacy without compromising access to light and air. To balance outlook and views from habitable rooms and private open space.</p> <p>To encourage awareness of neighbourhood security.</p>	<p>The building and landscape design includes appropriate measurements to assure the privacy of the occupants and the neighbours.</p>	<p>Yes.</p> <p>Comments:</p> <p>The existing development sits close to side boundaries. The proposed new windows on the first floor are off-set from those in the adjacent building to restrict direct viewing and to mitigate impacts on privacy, and are located facing front and rear boundary.</p> <p>The existing high hedge landscaping, and wooden privacy fence along the side boundaries creates privacy screens and provides privacy for the occupants and immediate neighbours.</p>

			<p>The proposed development does not alter the existing layout of the living, bedrooms and outdoor entertainment area. Therefore, the development maintains existing acoustic privacy.</p>
<p>3.4.3 Maintenance of Views</p>	<p>To provide for view sharing for both existing and proposed development and existing and future Manly residents.</p> <p>To minimise disruption to views from adjacent and nearby development and views to and from public spaces including views to the city, harbour, ocean, bushland, open space and recognised landmarks or buildings from both private property and public places (including roads and footpaths).</p> <p>To minimise loss of views, including accumulated view loss ‘view creep’ whilst recognising development may take place in accordance with the other provisions of this Plan.</p>	<p>Development maintains reasonable sharing of views.</p>	<p>Yes.</p> <p>Comments:</p> <p>The proposed bay windows and east west side annexures, do not obstruct any views enjoyed by the neighbours as those remains within existing building height, foot print, set backed from the boundaries and away from the neighbours windows.</p>

3.5 Sustainability - (Greenhouse Energy Efficiency, Thermal Performance, and Water Sensitive Urban Design)	To ensure the principles of ecologically sustainable development are taken into consideration within a consistent and integrated planning framework that achieves environmental, economic and social sustainability in the short, medium and long term.	The proposed alterations and addition to existing building are minor in nature and will not have adverse impact to sustainability. The proposed alterations to existing windows and doors optimise solar access to the building; thus, further reducing energy consumption.	Yes.
3.7 Stormwater Management	To manage urban stormwater within its natural catchments and within the development site without degrading water quality of the catchments or cause erosion and sedimentation.	The development will maintain existing stormwater runoff system.	Yes.
3.10 Safety and Security 3.10.1 Safety 3.10.2 Security (Casual Surveillance)	Vehicular Access is to be designed and located to achieve safety. Development is to be designed to maximise opportunities for passive surveillance of public and communal areas	The development maintains existing driveway. The proposed alterations and additions ensure that the entrance to dwelling house is from a public street and which the main entrance is clearly visible.	Yes.

4.1 Residential Development Controls			
<p>4.1.2 Height of Buildings (Incorporating Wall Height, Number of Storeys & Roof Height)</p> <p>4.1.2.1 Wall Height</p> <p>4.1.2.2 Number of Storeys</p> <p>4.1.2.3 Roof Height</p>	<p>Maximum wall height 6.5m.</p> <p>Buildings must not exceed 2 storeys, except on land in areas 'L' and 'N1' on the LEP Height of Building Map</p> <p>Pitched roof structures must be no higher than 2.5m above the actual wall height</p>	<p>The development maintains the existing wall height. The maximum wall height of the building is 5.6m.</p> <p>The dwelling house is a two storey dwelling house.</p> <p>The roof structure is no higher than 2.5m.</p>	<p>Yes.</p>
<p>4.1.3 Floor Space Ratio (FSR)</p>	<p>To ensure the scale of development does not obscure important landscape features.</p>	<p>The development maintains 0.22:1 floor space ratio.</p>	<p>Yes.</p>
<p>4.1.4 Setbacks (front, side and rear) and Building Separation</p> <p>4.1.4.1 Street Front setbacks</p> <p>4.1.4.2 Side setbacks and secondary street frontages</p> <p>4.1.4.3 Variations to Side Setback in Residential Density</p>	<p>A minimum 6m front setback generally applies.</p> <p>All new windows from habitable dwellings of dwellings that face the side boundary are to be setback at least 3m from side boundaries.</p> <p>Rear boundary setback must not be less than 8m.</p>	<p>The development maintains existing side boundary setbacks. No new windows are proposed on side boundary. A cabana is proposed closer to the western side boundary.</p> <p>The front boundary setback is 7.1m.</p>	<p>Yes.</p> <p>Comments:</p> <p>The proposed cabana, a small structure, sits closer to the western side boundary. The cabaña is an open structure, and built in place of the toilet which will be demolished. The existing vegetation provides much needed</p>

<p>Areas D3 to D9 (see paragraph 4.1.1 of this plan)</p> <p>4.1.4.4 Rear Setbacks</p>		<p>The rear boundary setback is more than 20m.</p>	<p>privacy and visual amenities to the immediate neighbour to the west of the property. Therefore, the cabana will not create any amenity or private impacts to the neighbours.</p>
<p>4.1.5 Open Space and Landscaping</p> <p>4.1.5.1 Minimum Residential Total Open Space Requirements</p> <p>4.1.5.2 Landscaped Area</p> <p>4.1.5.3 Private Open Space</p>	<p>Minimum open space area is 60% of the site area.</p> <p>Minimum horizontal dimension of open space should be at least 3m in any direction; and a minimum unbroken area of 12sqm.</p> <p>Minimum area of principal private open space for a dwelling house is 18sqm.</p> <p>Minimum Landscaped area is 40% open space area.</p>	<p>The development provides total 61.5% open space area. The landscaped area is 38.2% of the total open space area.</p>	<p>No.</p> <p>Comments:</p> <p>The minor departure (1.8%) is caused by the proposed new pathways. The pathway provides a separate pedestrian entry to the dwelling house for safety. Therefore, the departure from the control is, in our view, justified.</p>
<p>4.1.6 Parking, Vehicular Access and Loading (Including Bicycle Facilities)</p>	<p>2 Paring space for a each dwelling house.</p> <p>To provide accessible and adequate parking on site relative to the type of development and</p>	<p>The development as proposed provides 2 dedicated parking space on site. Further, additional parking space can be provisioned on the driveway. The proposal will reduce the demand for on – street parking. Jenner street is a</p>	<p>Yes.</p>

<p>4.1.6.1 Parking Design and the Location of Garages, Carports or Hardstand Areas</p> <p>4.1.6.4 Vehicular Access</p>	<p>the locality for all users (residents, visitors or employees).</p> <p>To reduce the demand for on-street parking and identify where exceptions to onsite parking requirements may be considered in certain circumstances.</p> <p>To ensure that the location and design of driveways, parking spaces and other vehicular access areas are efficient, safe, convenient and are integrated into the design of the development to minimise their visual impact in the streetscape</p>	<p>narrow street and on-street parking is at high demand. The proposed carport sits behind the front boundary setback area and has maximum width of 4.3m.</p>	
<p>4.1.7 First Floor and Roof Additions</p>	<p>First floor additions must complement the architectural style of the ground floor and where possible retain existing roof forms. Notwithstanding setback provisions, the addition may follow the existing ground floor wall setbacks providing adjoining properties are not adversely impacted by overshadowing, view loss or privacy issues.</p>	<p>The proposed first floor roof addition and is minor in nature and setback from the side boundaries. It responds to the existing roof structure. Please refer to plans for further information.</p>	<p>Yes.</p>

4.1.10 Fencing	In relation to open/ transparent fences, height may be increased up to 1.5m where at least 30 percent of the fence is open/ transparent for at least that part of the fence higher than 1m.	The proposed fence is a transparent fence with 1.2m height.	Yes
4.4.2 Alterations and Additions	Manly Council promotes the retention and adaptation of existing buildings rather than their demolition and replacement with new structures.	The proposal is to retention of the existing building with minor alteration to provide improved amenities to the occupants.	Yes.
5.4.1 Foreshore Scenic Protection Area	To protect visual aesthetic amenity and views to and from Sydney Harbour, the Pacific Ocean and the foreshore in Manly.	The proposed alterations will improve the visual aesthetic amenity of the existing dwelling house, and are minor; thus, will not adversely affect the views to and from Sydney Harbour.	Yes.

7. Site Photos



Existing Streetscape



View from the rear of the property showing high hedge, high privacy fence and existing toilet to be removed



Existing bottlebrushes tree at the front boundary to be removed



View from rear boundary looking at eastern boundary and adjacent neighbour.

8. SEPP (Building Sustainability Index: BASIX) 2004

A BASIX certificate has been submitted with the application (see Certificate No. A358354 and 16 September 2019).

The BASIX Certificate indicates that the development will achieve the following:

The BASIX Certificate indicates that the development will achieve the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out in the BASIX certificate.

9. Conclusion

This Statement of Environmental Effects has taken into consideration the submitted plans and all other documentation supporting the application, and assessed against the all relevantly applicable to planning provisions. The proposal does not result in any unreasonable impacts on surrounding, adjoining, adjacent and nearby properties.

In consideration of the proposal and the merit consideration of the development, the proposal is considered to be consistent with the objectives of the DCP, zone objectives and aims of the LEP, objectives of the relevant EPIs and objects of the Environmental Planning and Assessment Act 1979.

In our opinion, the proposed development satisfies the appropriate controls. The proposed alterations and additions will integrate with the landform and landscape and be consistent with surrounding developments. In summary, the proposal should be approved as the design is reasonable for the site by virtue of the level of non-compliance that does not create unreasonable amenity impacts.

We have attempted the provided information in this SEE to be as accurate as possible, relying on the information provided to us to date. However, we make no claims, guarantees or promises about the accuracy, currency, or completeness of the information provided and are not responsible for any errors or omissions, or for results obtained from the use of the information. Every possible effort is made to keep the content of this document accurate and current, but that may not always be the case.