



LEGEND FOR DA SUBMISSION

- CDC approved works shown in grey
- CDC approved works proposed to be removed under this DA
- Proposed Structure under this DA
- DA PROPOSED WORK IN BLUE

Note:
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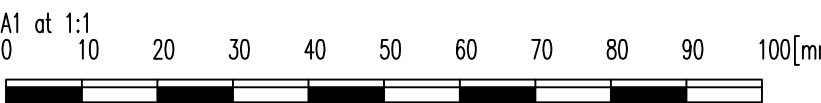
The above legend indicates the proposed works seeking development consent as an amending DA application with Northern Beaches Council. Reference to Prelodgement Application No. PLM2020/0246.

CDC LEGEND:

- Denotes Existing to be Demolished
- Timber
- Tile
- Concrete
- Carpet
- Proposed Landscape Area
- Existing Ground
- Proposed Fill
- NEW 90mm STUD WALL
- NEW BRICK WALL
- NEW BLOCK/DINCEL WALL
- T TIMBER FLOOR
- CT CERAMIC TILE FLOOR
- TILE EXTERNAL TILE FLOOR
- CA CARPET FLOOR
- PB PEBBLECRETE
- CONC CONCRETE FLOOR
- D(No) NEW DOORS
- W(No) NEW WINDOWS
- FG FIXED GLASS
- FD FIXED DOOR
- SD SLIDING DOOR
- SKL(No) SKYLIGHT
- D/G DOOR GARAGE
- G(No) GATE
- BAL(No) BALUSTRADE
- SC SCREEN
- B BATTEN
- TC TIMBER CLADDING
- DP DOWNPIPE
- SP SPITTER
- AW(No) AWNING
- RL RELATIVE LEVEL
- FFL FINISHED FLOOR LEVEL
- FCL FINISHED CEILING LEVEL
- AC AIR CONDITIONING
- S SINK
- STV STOVE
- FR FRIDGE
- JN(No) JOINERY
- R(No) ROBE
- W/M AIR CONDITIONING
- D DRYER
- SH SHOWER
- BT BATH TUB
- UFH UNDER FLOOR HEATING
- COS CONFIRM ON SITE
- SA SMOKE ALARM
- ⊗ FLOOR WASTE

GENERAL NOTES

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P1	Issue for Pre-Lodgement Meeting	09.10.20
No.	Revision	Date

Project
New Two Storey Dwelling
30 Beatrice Street, Clontarf NSW 2093
Lot 1 DP 345209

Client
Mr George Elias
30 Beatrice St, Clontarf

Drawn:



BDDS
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Email: info@bdds.com.au

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Tel: (02) 9580 2163
Fax: (02) 9580 2160



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BUILDING
DESIGNER
ASSOCIATION

Membership No. 1957-15



BDA
BUILDING
DESIGNER
ASSOCIATION

Membership No. 616232

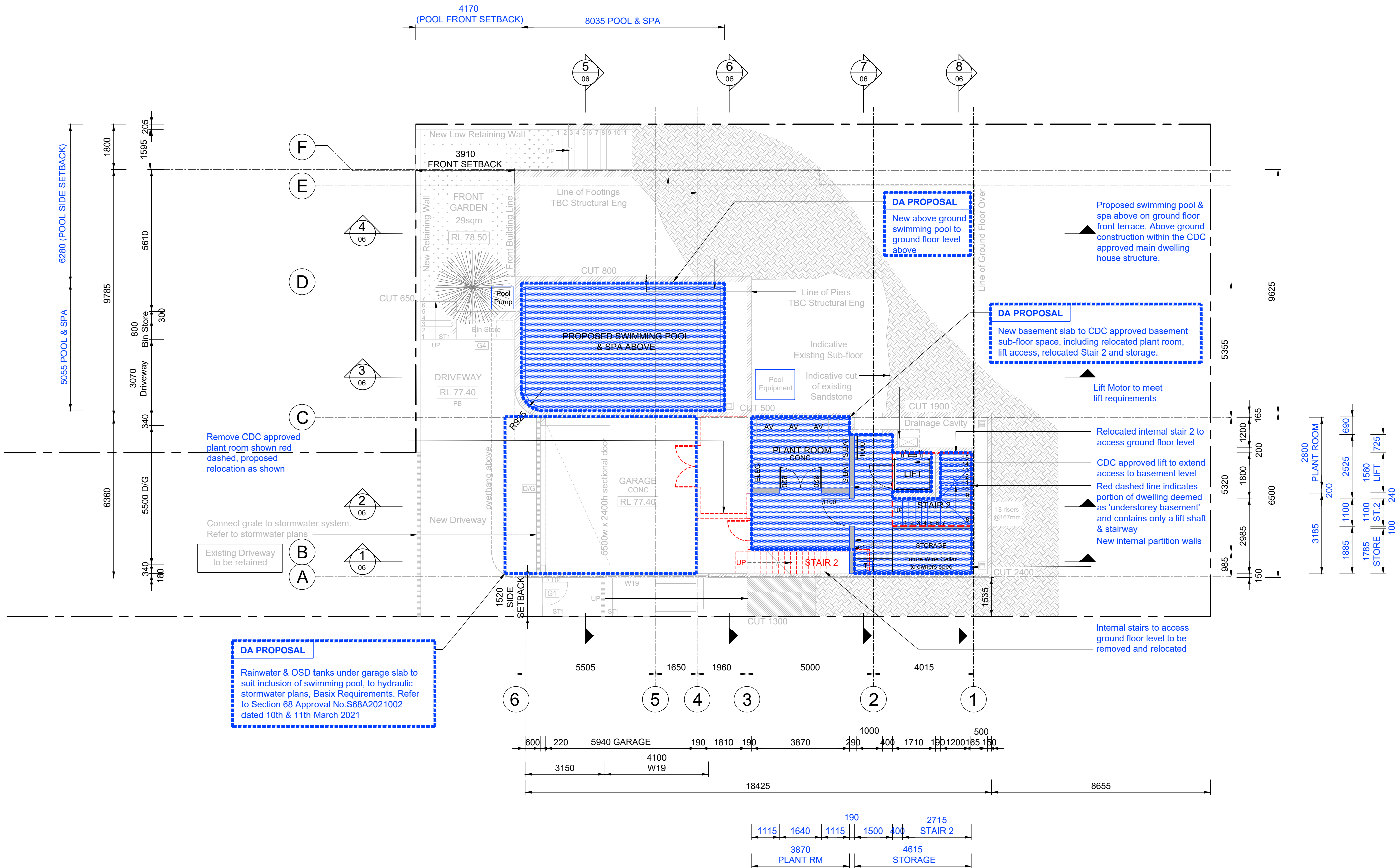
Surveyor:
Bee & Lethbridge Pty Ltd
Suite 2, 14 Starkey Street, PO Box. 330, Forestville, NSW 2087
p. 94516757
e. survey@beeleth.com.au

Drg Title
Basement Floor Plan

Drawn N.Lee	Checked OMT	Scale AS NOTED	Date April 2021
Project No 1920-071	Drawing No DA-02	No. of drawings 2 of 7	Revision A

Basement Floor Plan

1:100



4.8

NATIONAL HOUSE

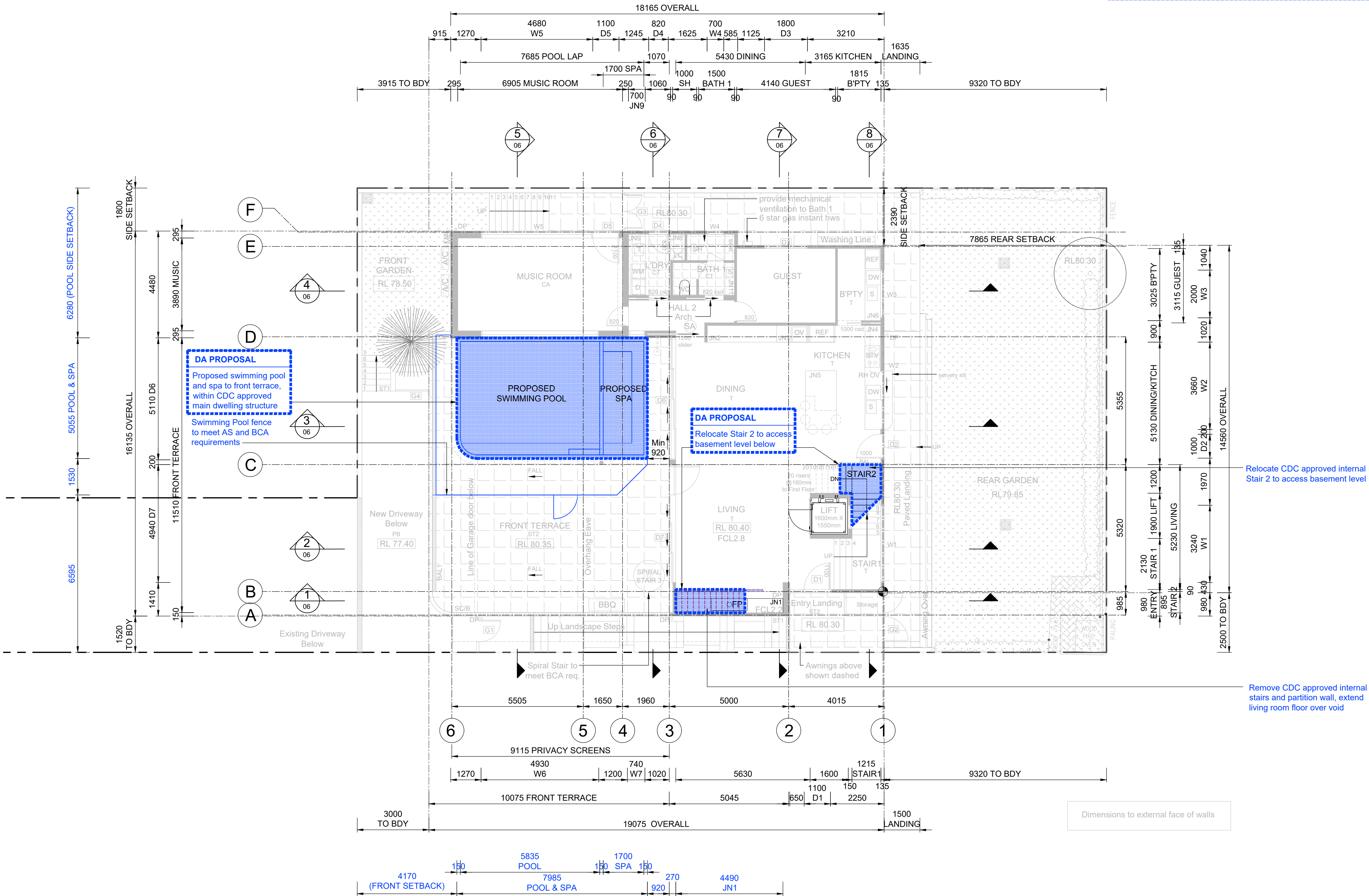
71.2

star.com.au

0005681218-05 14 Apr 2021

Assessor Terry Chapman
Accreditation No. 20920
Address
30 Beatrice Street, Clontarf
NSW, 2093

www.nathans.com.au

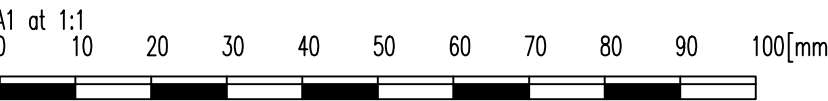


Ground Floor Plan

1:100

CDC LEGEND:	
	Denotes Existing to be Demolished
	Timber
	Tile
	Concrete
	Carpet
	Proposed Landscape Area
	Existing Ground
	Proposed Fill
	NEW 90mm STUD WALL
	NEW BRICK WALL
	NEW BLOCK/DINZEL WALL
	TIMBER FLOOR
	CERAMIC TILE FLOOR
	EXTERNAL TILE FLOOR
	CARPET FLOOR
	PEBBLECRETE
	CONCRETE FLOOR
	NEW DOORS
	NEW WINDOWS
	FIXED GLASS
	FIXED DOOR
	SLIDING DOOR
	SKYLIGHT
	DOOR GARAGE
	GATE
	BALUSTRADE
	SCREEN
	BATTEN
	TIMBER CLADDING
	DOWNPIPE
	SPITTER
	AWNING
	RELATIVE LEVEL
	FINISHED FLOOR LEVEL
	FINISHED CEILING LEVEL
	AIR CONDITIONING
	SINK
	STOVE
	FRIDGE
	JOINERY
	ROBE
	AIR CONDITIONING
	DRYER
	SHOWER
	BATH TUB
	UNDER FLOOR HEATING
	CONFIRM ON SITE
	SMOKE ALARM
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MEMBERSHIP No. 1887-15

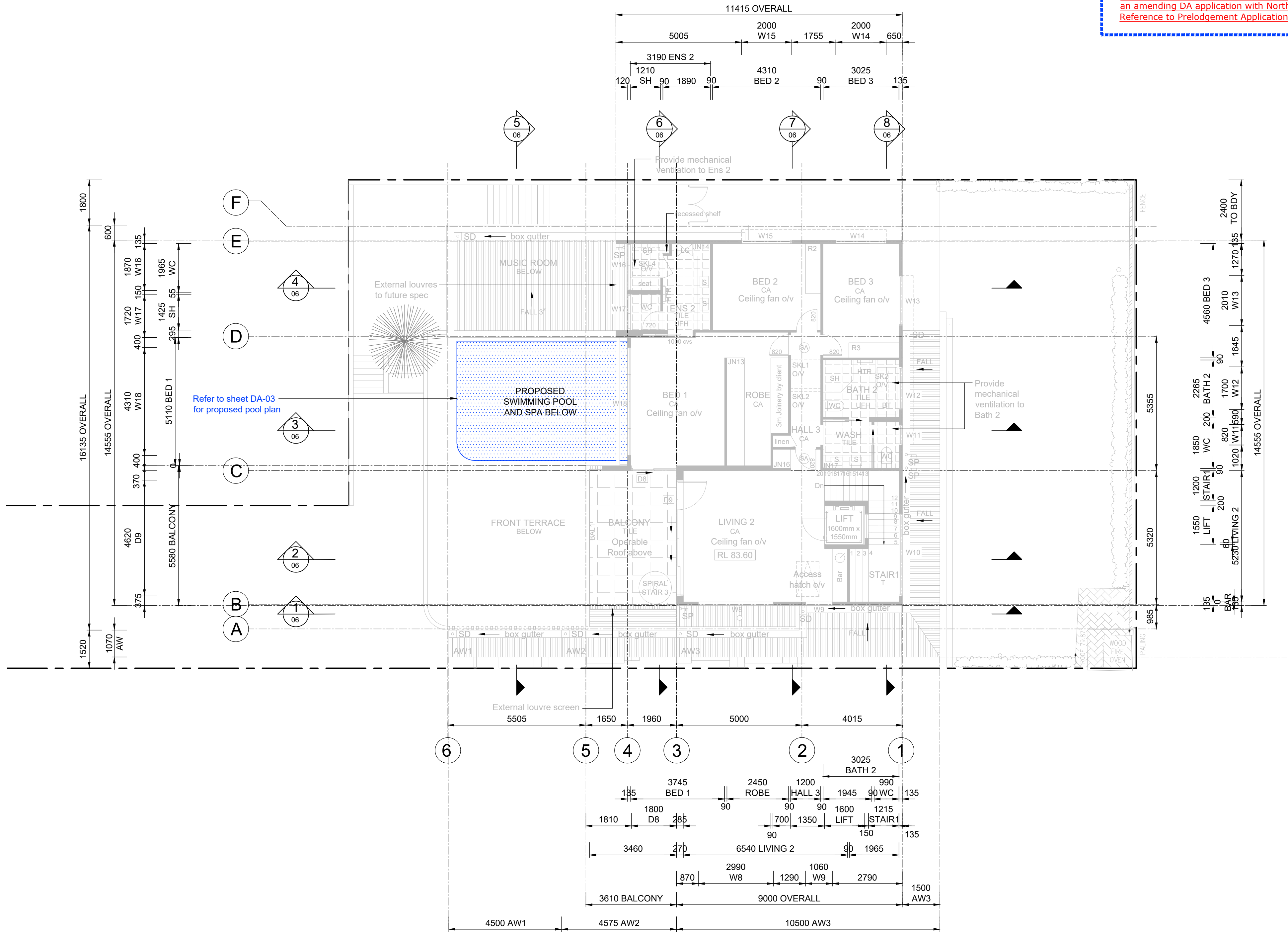
HIA

MEMBERSHIP No. 616222

Surveyor:
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Suite 2, 14 Starkey Street, PO Box. 330, Forestville, NSW 2087
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Drg Title
Ground Floor Plan

Drawn N.Lee	Checked OMT	Scale AS NOTED	Date April 2021
Project No 1920-071	Drawing No DA-03	No. of drawings 3 of 7	Revision A



First Floor Plan
1:100

LEGEND FOR DA SUBMISSION

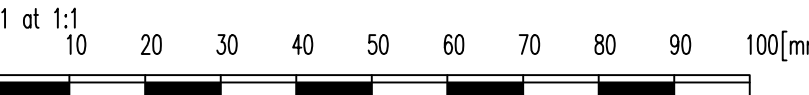
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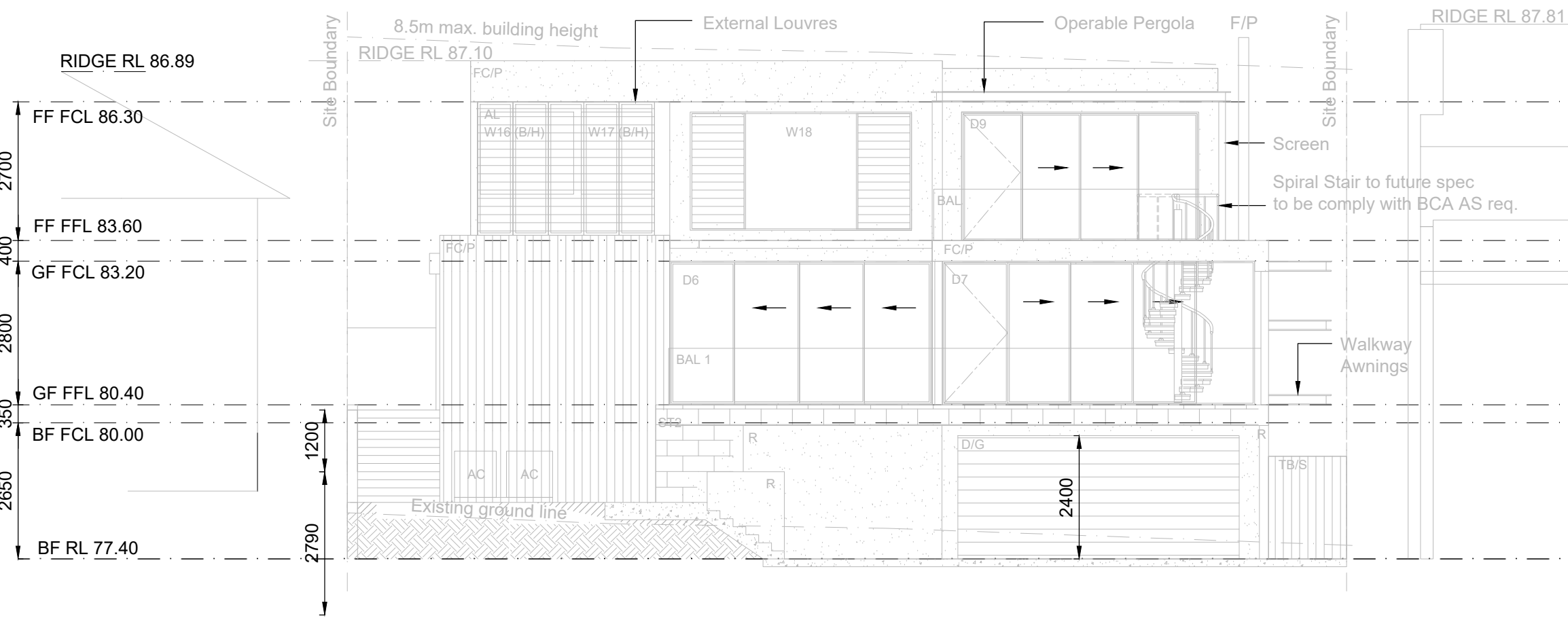
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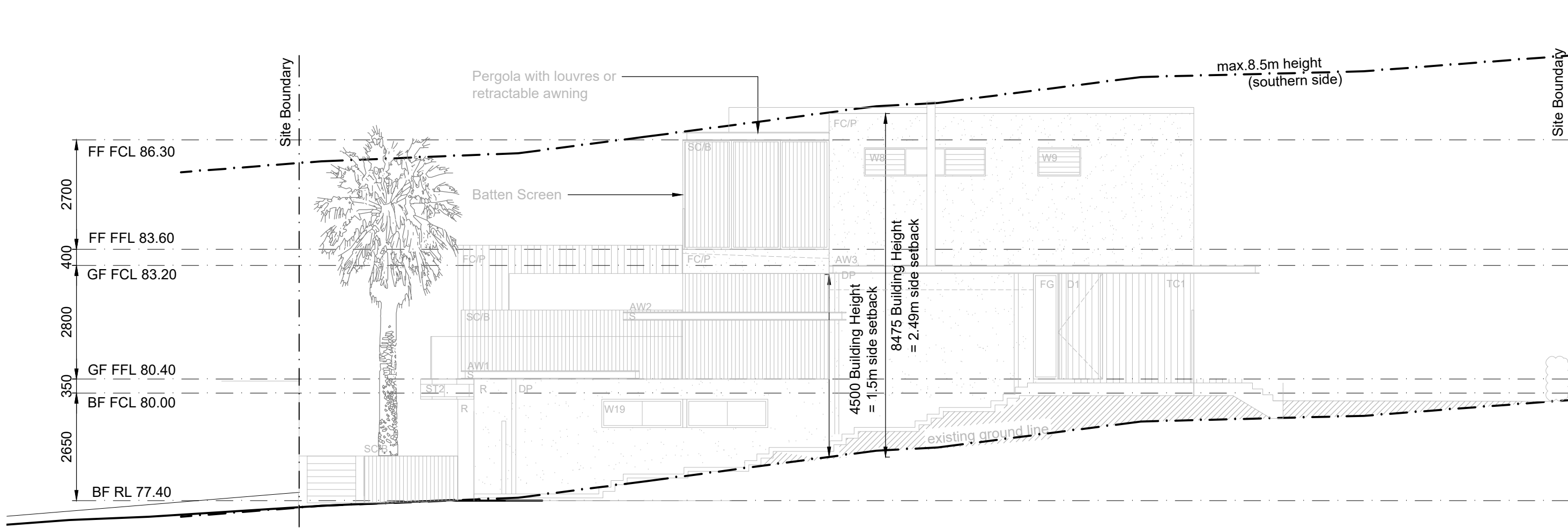
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Drg Title
First Floor Plan

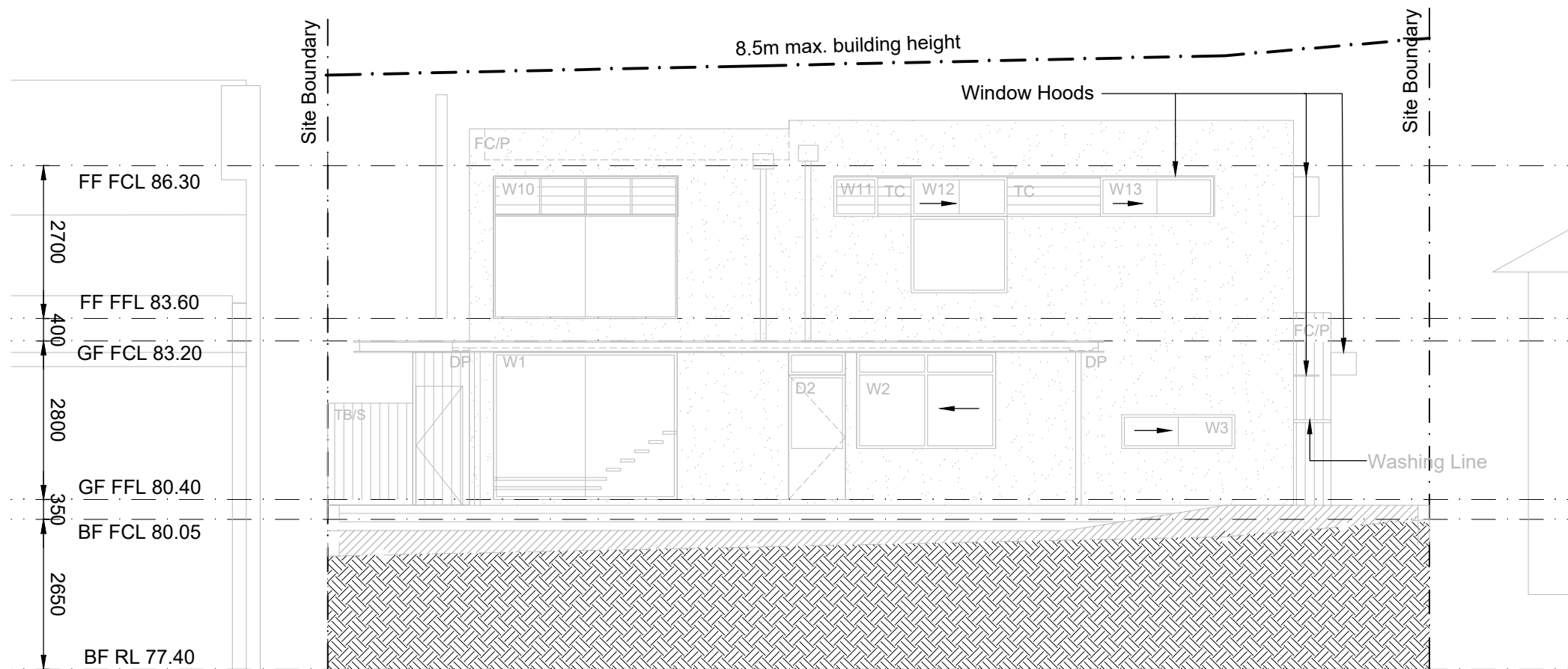
Drawn N.Lee	Checked OMT	Scale AS NOTED	Date April 2021
Project No 1920-071	Drawing No DA-04	No. of drawings 4 of 7	Revision A



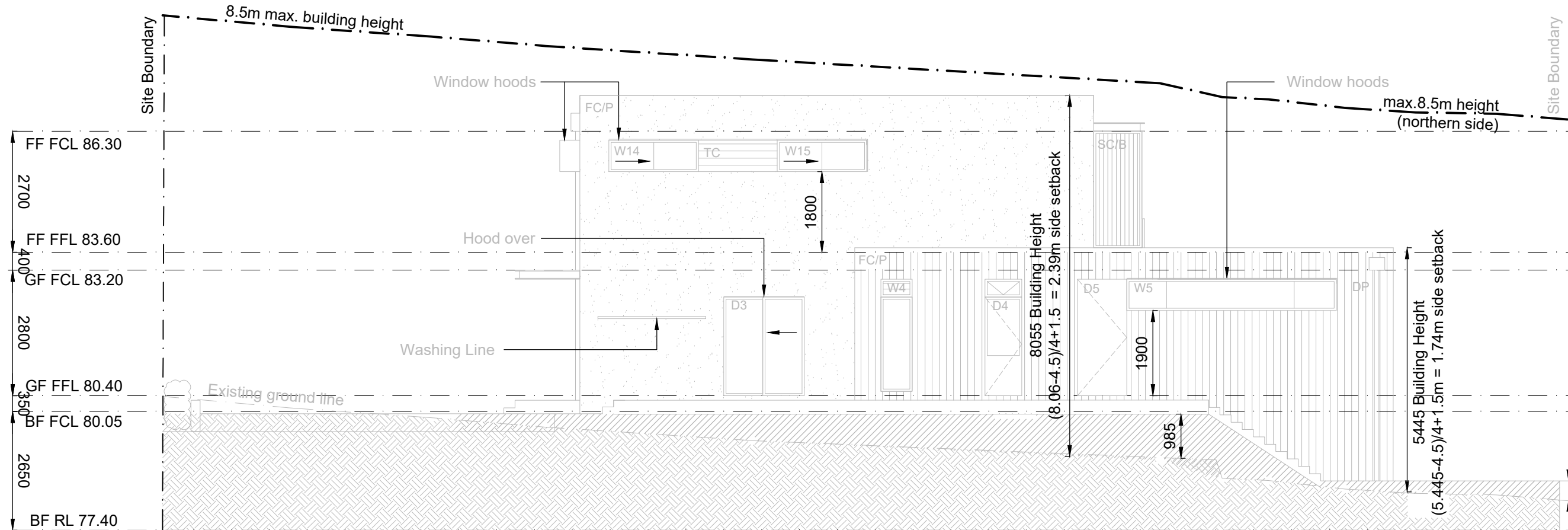
West Elevation
1:100



South Elevation
1:100



East Elevation
1:100



North Elevation
1:100



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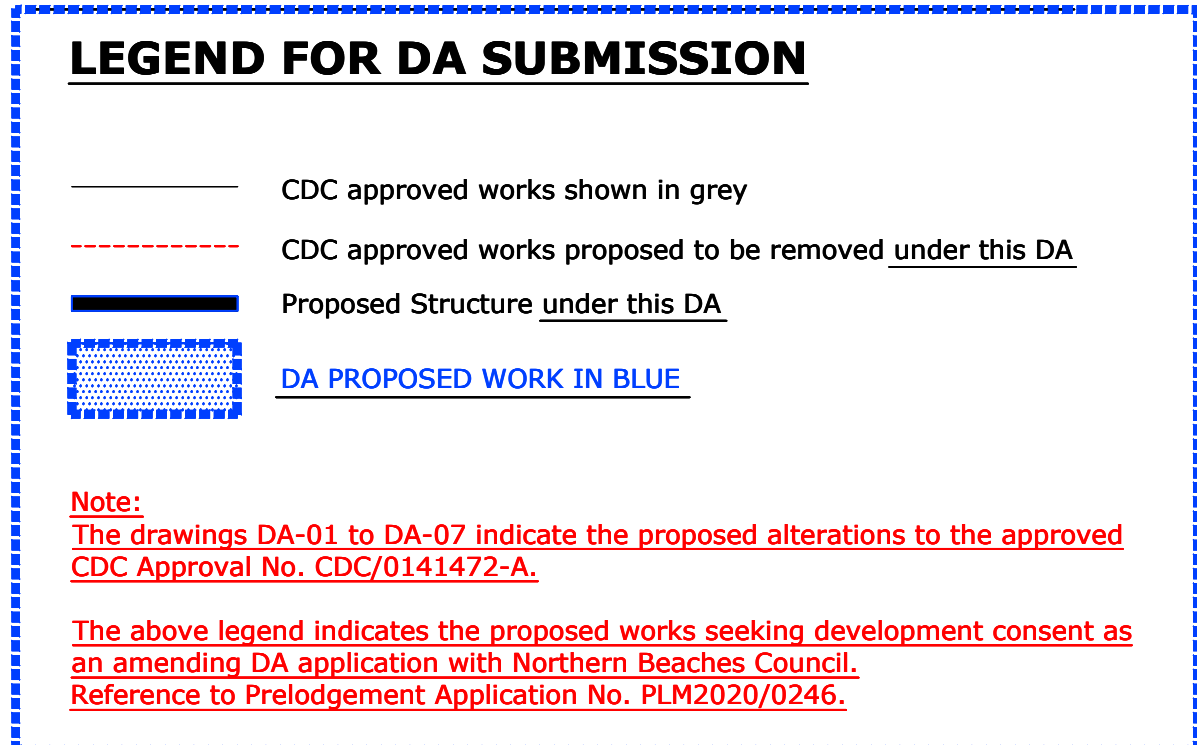
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- A1 at 1:1
0 10 20 30 40 50 60 70 80 90 100[mm]

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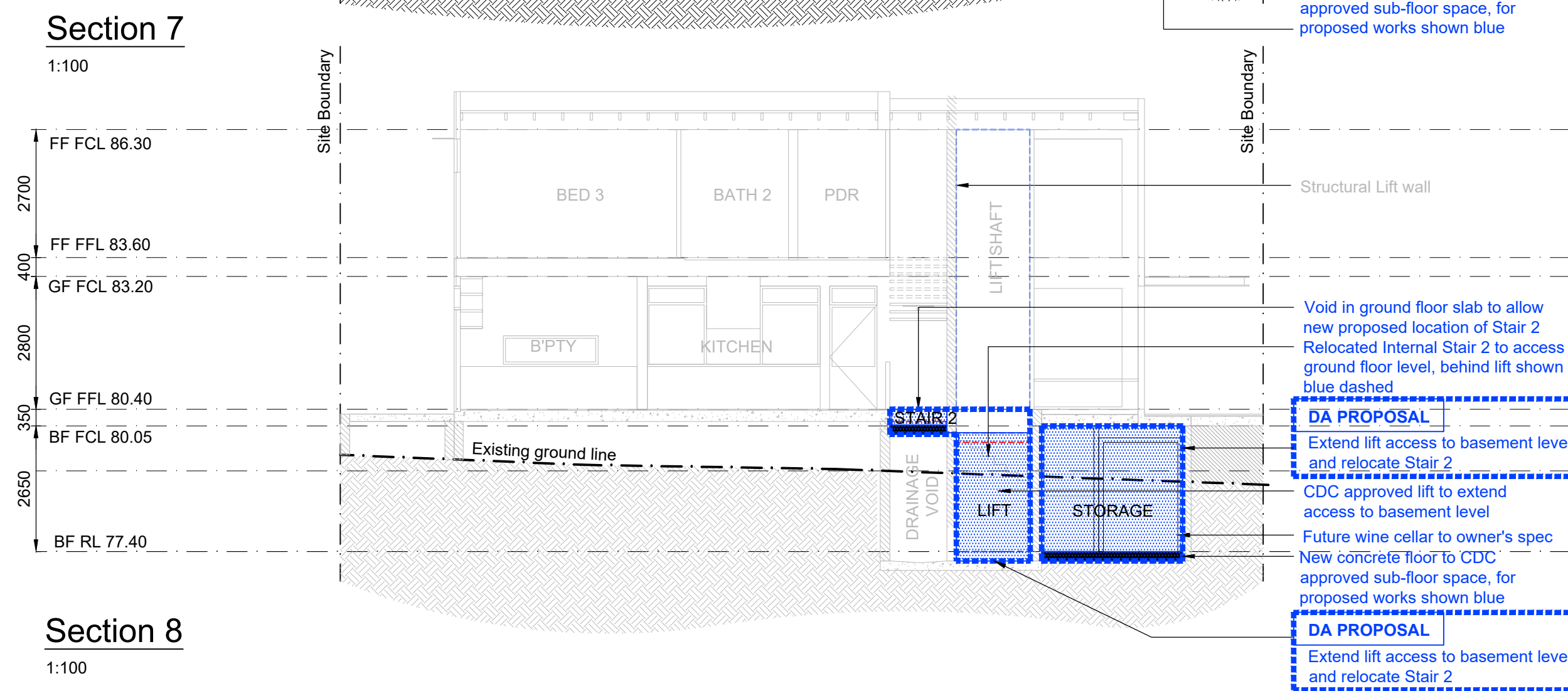
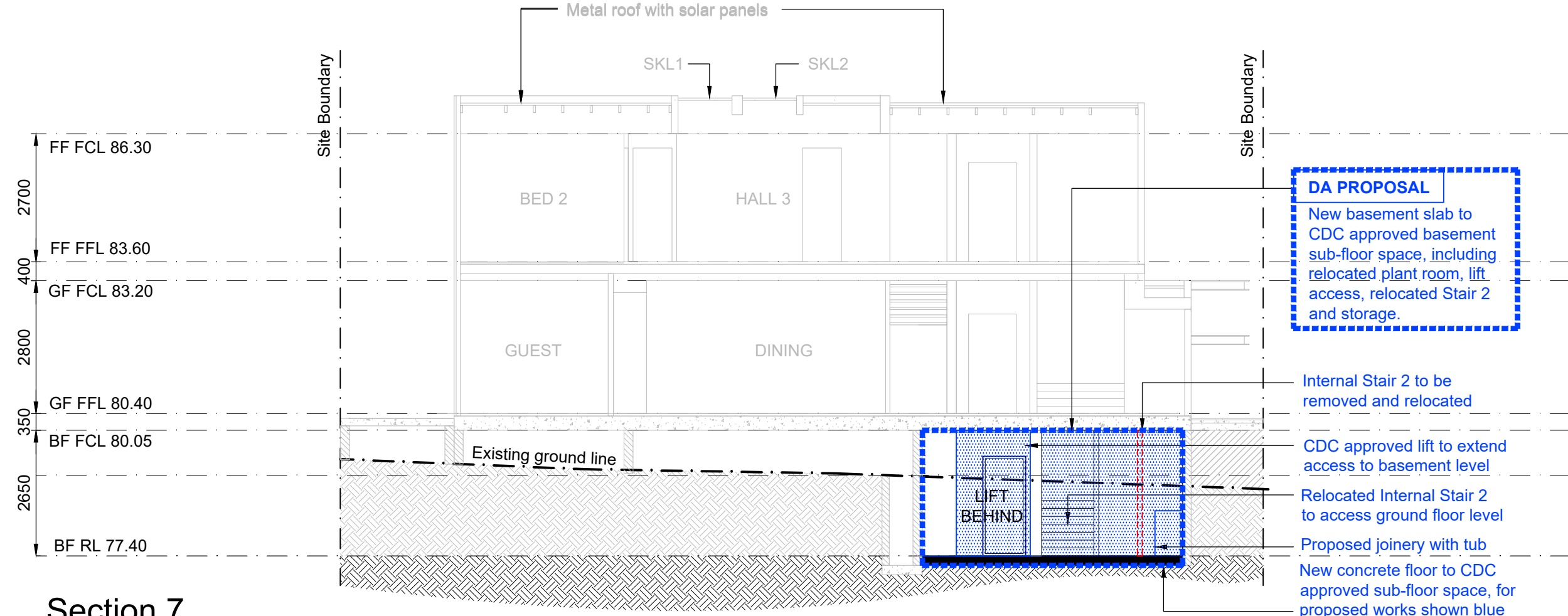
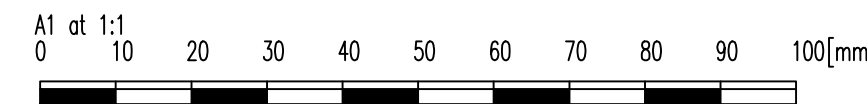
Project New Two Storey Dwelling 30 Beatrice Street, Clontarf NSW 2093 Lot 1 DP 345209			
Client Mr George Elias 30 Beatrice St, Clontarf			
Drawn:  BUILDING DESIGN & DRAFTING SERVICES Suite 3, 265-269 Pennant Hills Rd Thornleigh NSW 2120 Email: info@bdds.com.au ABN 13 089 805 829 Tel: (02) 9880 2183 Fax: (02) 9880 2183  bdds BUILDING DESIGN & DRAFTING SERVICES Membership No. 1887-15  HIA Membership No. 91232			
Surveyor: Bee & Lethbridge Pty Ltd Suite 2, 14 Starkey Street, PO Box. 330, Forestville, NSW 2087 p. 94516757 e. survey@beeleth.com.au			
Drg Title Elevations			
Drawn N.Lee	Checked OMT	Scale AS NOTED	Date April 2021
Project No 1920-071	Drawing No DA-05	No. of drawings 5 of 7	Revision A



NOTE:
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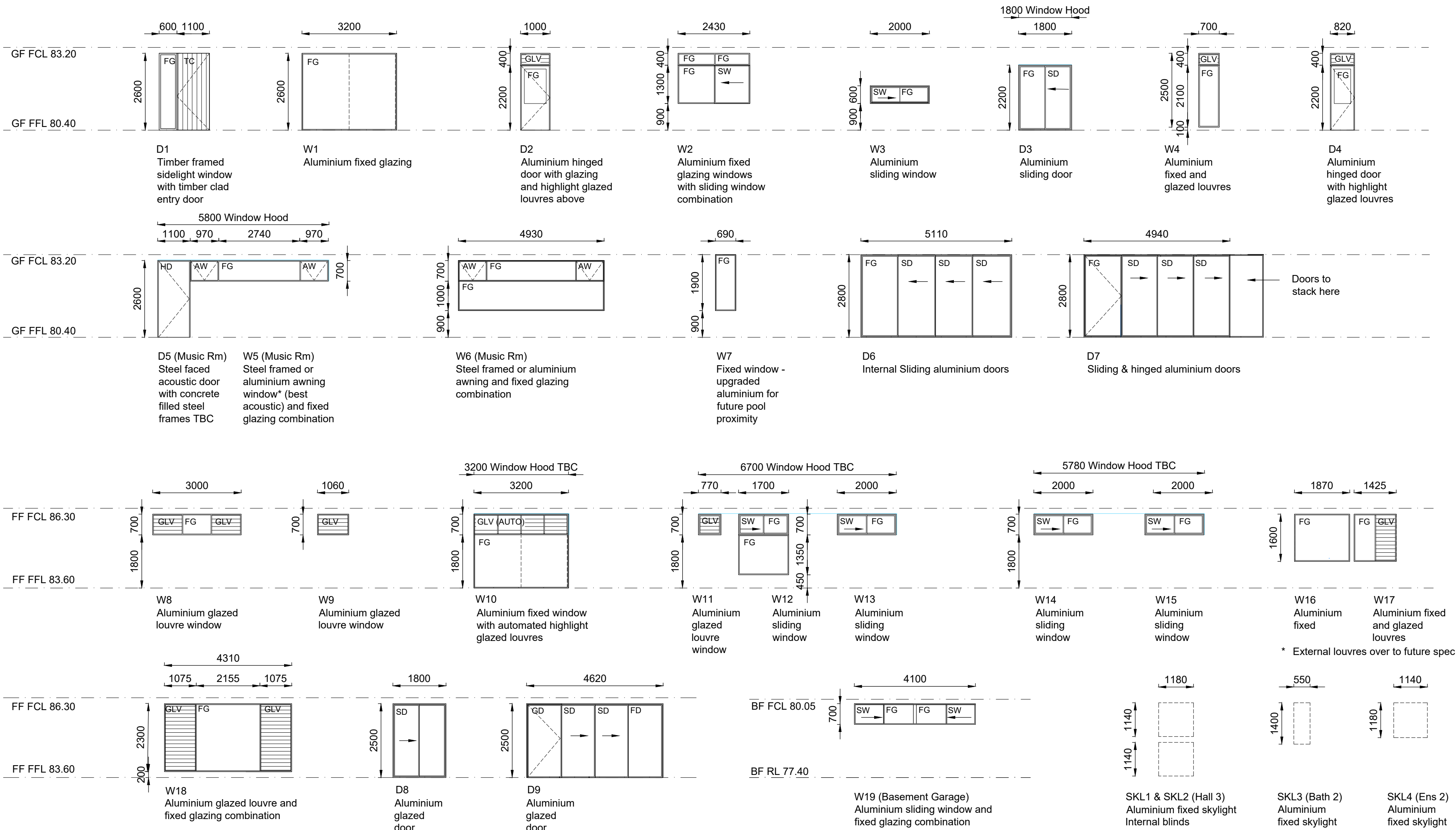


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	Drg Title
--	-----------

1:100 Sections


Drawn N.Lee	Checked OMT	Scale AS NOTED	Date April 2021
Project No 1920-071	Drawing No DA-06	No. of drawings 6 of 7	Revision A



- Notes:
1. Refer to BASIX Certificate #: 1158402S_06 & Natthers Certificate #: 0005681218-05 as per CDC/0141472-A.
 2. Provide Flyscreen and Security locks for all windows and glazed doors to owners specification
 3. All new doors and windows dimensions to be confirmed by Builder on site PRIOR to purchase and installation.
 4. Sizes of doors and windows not to exceed sizes in the window shedule/Basix sheculde.
 5. Specific Glazing requirements are to be in accordance with the approved BASIX Certificate.
 6. All windows are to be powder coated Aluminium, white, except where otherwise specified.

Door and Window Schedule

1:100

George Eliis 30 Beatrice Street Clontarf			Basix Requirements Summary - New Dwelling Prepared by Chapman Environmental Services www.basixcertificates.com.au 1300 004 914						
NSW	2093								
Water Target	40	Water Score	40	Conditioned Area	287.8				
Energy Target	50	Energy Score	50	Unconditioned Area	26.2				
Max. Heating Load is (MJ/m²)	26.5	Actual Heating Load	45.6						
Max. Cooling Load is (MJ/m²)	26	Actual Cooling Load	25.6	Star Rating	4.8				
Basix Commitments									
Landscaping	Total area of garden & lawn (m²)		307	Area of indigenous/low water use plants (m²)					
Fixtures	Shower heads		4 star (> 4.5 but <= 6 L/min)		Toilets	4 star	All taps	4 star	
Alternative Water	Minimum Rainwater tank size (L)		8000	Collect run off from roof area of at least (m²)					200
	Toilet connection Yes	Laundry connection Yes	Landscape connection Yes	Pool top up Yes	Spa top up Yes				
Pool and Spa	Max pool volume (kL)	40	Pool requires a cover		Pool pump must have a timer				
	Max spa volume (kL)	11	Spa requires a cover		Spa pump must have a timer				
	Pool heating	Solar (gas boosted)		Spa Heating	Solar (gas boosted)				
Energy	Hot water system	Gas instantaneous			Rating	5 star			
	Bathroom ventilation	Individual fan, ducted to facade or roof			with	Manual switch on/off			
	Kitchen ventilation	Individual fan, ducted to facade or roof			with	Manual switch on/off			
	Laundry ventilation	Individual fan, ducted to facade or roof			with	Manual switch on/off			
	Cooling - living areas	1-phase airconditioning			Rating	EER 3.0 - 3.5			
	Cooling - bedrooms	1-phase airconditioning			Rating	EER 3.0 - 3.5			
	Heating - living areas	1-phase airconditioning			Rating	EER 3.5 - 4.0			
	Heating - bedrooms	1-phase airconditioning			Rating	EER 3.5 - 4.0			
	Alternate Energy	Photovoltaic system able to generate at least			5.2	peak kilowatts of electricity			
	Induction cooktop & electric oven	Outdoor clothesline required			No indoor clothesline required				

Thermal Performance Assessment Based on the Following Requirements				
Floor Types	Concrete slab on ground		with	R2.5 under slab insulation
	Suspended concrete slab		with	R2.5 Foilboard insulation
Floor Coverings	Tiles	Wet areas	Timber	Living
	Carpet	Bedroom/Music	Concrete	Garage/Cellar
External Walls	Cavity block		with	R2.5 Foilboard insulation to lower cellar & stairs walls
	Reverse brick veneer		with	Sarking and R2.5 bulk insulation
	Timber framed Fibro clad		with	Sarking and R2.5 bulk insulation
Internal Walls	Plasterboard		with	R2.5 bulk insulation to all wet area walls only
Ceiling (floor over)	Concrete above plasterboard		with	R2.5 Foilboard insulation to lower floor
	Timber above plasterboard		with	No insulation required
Ceilings (roof over)	Concrete-lower level		with	Nil
	Timber above plasterboard.		with	R6.0 bulk insulation
Roof	Metal		with	Sarking
Windows and Doors	AF single glazed - Comfort Plus	to all windows and glazed doors unless noted otherwise	Louvers	VAN-004-08 U-Value 4.51 or less SHGC 0.54 +/- 5%
			Fixed Glass	AWS-066-03 U-Value 3.91 or less SHGC 0.62 +/- 5%
			Sliding Windows	AWS-001-19 U-Value 4.52 or less SHGC 0.59 +/- 5%
			Awning Windows	AWS-007-19 U-Value 4.90 or less SHGC 0.53 +/- 5%
			Sliding Doors	AWS-011-18 U-Value 4.36 or less SHGC 0.59 +/- 5%
	AF single glazed - Comfort Plus	to all windows and glazed doors unless noted otherwise	Hinged Door	AWS-016-18 U-Value 4.44 or less SHGC 0.35 +/- 5%
			Awning Windows	AWS-008-59 U-Value 3.47 or less SHGC 0.44 +/- 5%
			Sliding Doors	AWS-089-58 U-Value 2.18 or less SHGC 0.52 +/- 5%
			Fixed Glass	AWS-067-41 U-Value 2.20 or less SHGC 0.54 +/- 5%
If the Universal Certificate indicates downlights, then these are to be non-ventilated LED / fluorescent				
Any exhaust fans noted are to be fitted with self-closing dampers or be otherwise sealed				
All insulation specified must be installed in accordance with Part 3.12.1.1 of the BCA				
If there is a discrepancy between this document and the Natthers Certificate, then the Natthers Certificate shall take precedence				

WINDOW & GLAZED DOOR GLAZING REQUIREMENTS

Window No.	Size WxH	Window Type	Comments
W1	3200x2600	Aluminium Fixed	Standard
W2	2430x1700	Aluminium Fixed/Sliding	Standard
W3	2000x600	Aluminium Sliding	Standard
W4	700x2500	Aluminium Fixed/glazed louvres	Standard
W5	4680x700	Aluminium/steel Fixed/Awning	Double glazed
W6	4930x1700	Aluminium/steel Fixed/Awning	Double glazed
W7	690x1900	Aluminium Fixed	Standard
W8	3000x700	Aluminium Fixed/Glazed louvres	Standard
W9	1060x700	Aluminium Glazed louvres	Standard
W10	3200x2500	Aluminium Fixed/Glazed louvres	Standard
W11	770x700	Aluminium Sliding	Standard
W12	1700x2050	Aluminium Sliding	Standard
W13/14/15	2000x700	Aluminium Sliding	Standard
W16	1870x1600	Aluminium Fixed	Standard
W17	1425x1600	Aluminium Fixed/glazed louvres	Standard
W18	4310x2300	Aluminium Fixed/Glazed louvres	Standard
W19	4100x700	Aluminium Sliding	Standard

SKYLIGHT DOOR GLAZING REQUIREMENTS

SKL 1/2/4	1180x1140	Aluminium Fixed	Double Glazed
SKL3	550x1400	Aluminium Fixed	Double Glazed

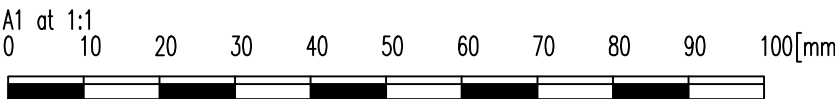
DOOR SCHEDULE

Door No.	Size wxh	Door Type	Comments
D1	1700x2600	Timber with sidelight window	Timber Clad with fixed glass sidelight
D2	1000x2600	Aluminium with glazed louvre headlight	Standard
D3	1800x2200	Aluminium Sliding	Standard Retractable flyscreen
D4	820x2600	Aluminium glazed with louvre headlight	Standard
D5	1100x2600	Aluminium Steel faced	Acoustic
D6	5110x2800	Aluminium Sliding (Internal)	Double glazed Retractable flyscreen
D7	4940x2800	Aluminium Sliding	Double glazed Retractable flyscreen
D8	1800x2500	Aluminium Sliding	Standard
D9	4620x2500	Aluminium Sliding	Double Glazed




GENERAL NOTES

1. DO NOT SCALE DRAWINGS.
2. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS & LEVELS TO BE CONFIRMED ON SITE BY THE CONTRACTOR PRIOR TO PREPARATION OF SHOP DRAWINGS, FABRICATION OF PARTS, ORDERING MATERIALS OR COMMENCING WORKS.
4. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE SPECIFICATION & COUNCIL APPROVAL.
5. ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA (BCA) AND REQUIREMENTS OF OTHER STATUTORY AUTHORITIES AS WELL AS THE STRUCTURAL ENGINEER'S & OTHER CONSULTANTS' DETAILS & SPECIFICATIONS.
6. ANY DISCREPANCIES ARE TO BE REPORTED TO THE BUILDING DESIGNER AS SOON AS NOTICED.
7. FOR RELEVANT AUSTRALIAN STANDARDS REFER SPECIFICATION.
8. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE 'BASIX' CERTIFICATE WHEREVER REQUIRED.



A	Issue for DA Submission	14.04.21
P3	Issue for Client Approval	12.03.21
P2	Issue for Information	25.02.21
P1	Issue for Pre-Lodgement Meeting	09.10.20
No.	Revision	Date

Project		
New Two Storey Dwelling		
30 Beatrice Street, Clontarf NSW 2093		
Lot 1 DP 345209		
Client		
Mr George Elias		
30 Beatrice St, Clontarf		
Drawn:		
 BUILDING DESIGN & DRAFTING SERVICES		
Suite 3, 295-299 Pennant Hills Rd Thornleigh NSW 2120 Email: info@bdds.com.au		
ASN 13 090 800 800 Tel: (02) 9802 2103 Fax: (02) 9802 2100		
Membership No. 1807-15		
Membership No. 010232		
Surveyor:		
Bee & Lethbridge Pty Ltd		
Suite 2, 14 Starkey Street, PO Box. 330, Forestville, NSW 2087		
p. 94516757		
e. survey@beelet.com.au		
Drg Title		
Door & Window Schedule		
Drawn		
N.Lee		
Checked		
OMT		
Scale		
AS NOTED		
Date		
April 2021		
Project No		
1920-071		
Drawing No		
DA-07		
No. of drawings		
7 of 7		
Revision		
A		