



121 PACIFIC RD PALM BEACH

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 10352945_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Thursday, 06 February 2020
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	Bowers -BCC-PW_02	
Street address	121 Pacific Road Palm Beach 2108	
Local Government Area	Northern Beaches Council	
Plan type and plan number	deposited B595	
Lot no:	17	
Section no:	-	
Project type	separate dwelling house	
No. of bedrooms	5	
Project score		
Water	 40	Target 40
Thermal Comfort	 Pass	Target Pass
Energy	 50	Target 50

Certificate Prepared by

Name / Company Name: BASIX Certificate Centre
ABN (if applicable): 31 420 367 546

BASIX | Planning, Industry & Environment | www.basix.nsw.gov.au | Version: 3.0 (DA/WWMA_3_1)_0 | Certificate No.: 10352945_02 | Thursday, 06 February 2020 | page 1/9

DOOR SCHEDULE					
Mark	HEIGHT	WIDTH	LEAF MATERIAL	FRAME MATERIAL	SHADING REQUIREMENTS
D0.4	2400	2350	GLASS	ALUMINIUM	
D0.5	2400	4134	GLASS	ALUMINIUM	
D0.6	2400	2350	GLASS	ALUMINIUM	
D1.1	2400	5500	TIMBER	ALUMINIUM	
D1.2	2400	1350	TIMBER	TIMBER	
D1.4	2400	4000	GLASS	ALUMINIUM	
D1.5	2400	3600	GLASS	ALUMINIUM	
D1.6	2400	4000	GLASS	ALUMINIUM	
D1.7	2400	6400	GLASS	ALUMINIUM	
D1.8	2400	3600	GLASS	ALUMINIUM	
D1.9	2400	3600	GLASS	ALUMINIUM	
D1.10	2090	3000			
D1.12	2090	3000			
D1.13	2400	8100			
D1.14	2090	2093			
D1.15	2090	2300			
D1.16	2090	2300			
D1.17	2090	2300			
D1.18	2090	2300			
D1.19	2400	700			

Window Schedule				
Mark	Height	Width	WindowFrameMaterial_ANZRS	WindowGlazingType_ANZRS

W1.11	1400	1000		
W1.12	1400	1000		
W1.13	1400	1000		
W0.1	1400	1000		
W1.4	1400	1000		
W1.5	1400	1000		
W1.8	1400	1000		
W1.7	1400	1000		
W1.45	1200	1200		
W0.2	1400	1000		
W1.14	1400	1000		
W1.1	1400	1000		
W1.2	1400	1000		
W1.3	1400	1800		
W1.6	1400	2200		
W0.6	1400	1800		
W1.9	1400	1800		
W0.8	2400	1800		
W0.9	1400	1800		
W1.10	2400	5100		
W0.12	1400	1800		
W1.15	1090	3500		
W1.17	1000	1200		
W1.18	2630	1900		
W1.20	2630	640		
W1.22	1570	760		
W1.23	1570	760		
W1.24	900	2020		
W1.25	1570	760		
W1.16	1400	1600		
W1.15	1400	1600		
W0.3	1400	1000		

Description of project	
Project address	Assessor details and thermal loads
Report name	02022
Street address	Certificate number
Local Government Area	Climatic zone
Plan type and plan number	Area adjusted cooling load (MJ/m² year)
Lot no.	Area adjusted heating load (MJ/m² year)
Section no.	
Project type	Project score
Project type	Thermal Comfort
No. of bedrooms	Energy
Site area (m²)	
Roof area (m²)	
Conditioned floor area (m²)	
Unconditioned floor area (m²)	
Total area of garden and lawn (m²)	

Schedule of BASIX commitments			
The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.			
Water Commitments	Show on DA plans	Show on CC/CCDC plans & specs	Certifier check
Landscape			
The applicant must plant indigenous or low water use species of vegetation throughout 1403 square metres of the site.			
Fixtures			
The applicant must install showerheads with a maximum rating of 3 star (+ 4.5 but <= 6 Litres) in all showers in the development.			
The applicant must install a toilet flushing system with a maximum rating of 4 star in each toilet in the development.			
The applicant must install basin taps with a maximum rating of 5 star in the kitchen in the development.			
The applicant must install basin taps with a maximum rating of 6 star in each bathroom in the development.			
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 5000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.			
The applicant must configure the rainwater tank to collect rain runoff from at least 300 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private drain).			
The applicant must connect the rainwater tank to:			
- the cold water tap that supplies each clothes washer in the development			
- at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption, in areas with potable water supply)			
Swimming pool			
The swimming pool must not have a volume greater than 41 kilolitres.			

Water Commitments			
The swimming pool must have a pool cover			
The swimming pool must be outdoor			

Thermal Comfort Commitments			
Simulation Method	Show on DA plans	Show on CC/CCDC plans & specs	Certifier check
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must show a stamp of endorsement from the Accredited Assessor to only that this is the case. The applicant must show on the plans accompanying the application for a construction certificate or complying development certificate, if applicable, all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.			
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.			
Where there is an in-slab heating or cooling system, the applicant must install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab, and underneath the slab if it is a suspended floor.			
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.			

Floor/Wall/Window construction	R-value
Floor - concrete slab on ground	100.0 square metres
Floor - suspended floor/raja outdoor	6.0 square metres
Floor - suspended floor/interior outdoor	120.0 square metres

Energy Commitments			
Hot water	Show on DA plans	Show on CC/CCDC plans & specs	Certifier check
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 3 stars			
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: ceiling fans + 3-phase air conditioning. Energy rating: 1.5			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: ceiling fans + 3-phase air conditioning. Energy rating: 1.5			
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: gas hydronic system. Energy rating: 1.5			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: gas hydronic system. Energy rating: 1.5			
Ventilation			
The applicant must install the following exhaust system in the development:			
At least 1 Bathroom: individual fan, ducted to liquid or roof. Operation control: manual switch on/off			
Kitchen: individual fan, ducted to liquid or roof. Operation control: manual switch on/off			
Laundry: individual fan, ducted to liquid or roof. Operation control: manual switch on/off			
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
- at least 6 of the bedrooms (study, dedicated)			
- at least 4 of the living / dining rooms (dedicated)			
- the kitchen (dedicated)			

Energy Commitments			
Water	Show on DA plans	Show on CC/CCDC plans & specs	Certifier check
- all bathroom/toilets, dedicated			
- the laundry, dedicated			
- all hallways, dedicated			
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.			
The applicant must install a window and/or skylight in 3 bathroom(s/toilets) in the development for natural lighting.			
Swimming pool			
The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any heating system for the swimming pool): electric heat pump			
The applicant must install a timer for the swimming pool pump in the development.			
Alternative energy			
The applicant must install a photovoltaic system with the capacity to generate at least 1.2 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.			
Other			
The applicant must install a gas cooking & electric oven in the kitchen of the dwelling.			
The applicant must install a food rubbish chutes drying line as part of the development.			
The applicant must install a food rubbish or shredded clothes drying line as part of the development.			

Legend			
In these commitments, "applicant" means the person carrying out the development.			
Commitments identified with a green checkmark in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).			
Commitments identified with a green checkmark in the "Show on CC/CCDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.			
Commitments identified with a green checkmark in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (interior or final) for the development may be issued.			

 **northern beaches council**

THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT

DA NUMBER: DA2020/0133

(Activation of consent must be obtained from Northern Beaches Council)

Nationwide House Energy Rating Scheme* Certificate
Certificate number: 0004171336-01 Certificate Date: 06 Feb 2020 ★ Star rating: 6.0

Assessor details
Accreditation number: 20322
Name: Peter Waller
Organisation: BASIX Certificate Centre
Email: peter@basixcertificatecentre.com.au
Phone: 90292052
Declaration of interest: No potential conflicts of interest to declare
Software: AccuRate Sustainability V2.3.13.3 SP4
AAO: ABSA

Overview
Dwelling details
Street: 121 Pacific Road
Suburb: Palm Beach
State: NSW Postcode: 2108
Type: New NCC Class: 1a NaHERS climate zone: 56
Lot/DP number: Lot 17 DP 8595 Exposure: Suburban

Key construction and insulation materials
(see following pages for details)
Construction: Timber/Plasterboard wall
Metal roof/Plasterboard Slab
Insulation: R2.5 wall insulation
Ceiling (uninsulated)
R1.0 floor insulation
Aluminium B DG Air Fill High Solar Gain low-E
Glazing:

Net floor area (m²)
Conditioned: 352.1
Unconditioned: 64.3
Garage: 42.8
TOTAL: 416.4

Annual thermal performance loads (MJ/m²)
Heating: 24.6
Cooling: 25.9
TOTAL: 50.5

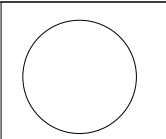
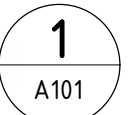
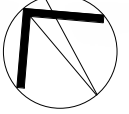
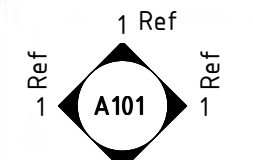

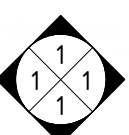
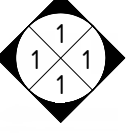
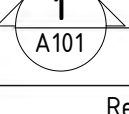
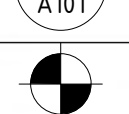
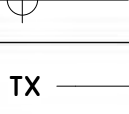



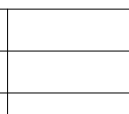

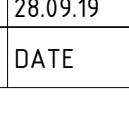
Plan documents
Plan ref/date: Project 0267 01-11-19
Prepared by: DB

Ceiling penetrations
(see following pages for details)
Sealed: 108
Unsealed: 0
TOTAL: 108
Principle daylight type: Light-emitting diode (LED)

Window selection - default windows only
Note on allowable window values:
With a 10% tolerance to the nominated SHGC window values shown on page 2, the following ratings are achieved:
-10% SHGC 6.0
+10% SHGC 6.0
NB: This tolerance ONLY applies to SHGC. The U-value can always be over but not higher than the values stated on page 2.
If the rating listed above falls below 6.0 stars or the required rating, then the window with this tolerance can NOT be selected.

Scan to access this certificate online and confirm this is valid.


* Nationwide House Energy Rating Scheme (NaHERS) is an initiative of the Australian, state and territory governments. For more details see www.nathers.gov.au. Page 1 of 9

		
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DRAWING SYMBOLS CD/A1 (1:50)		
DRAWING VIEW TITLE		
	VIEW NAME 1:50 @ A1 / 1:100 @ A3	
	NORTH POINT	
	ELEVATION HEAD (NOTE: NOT SHOWN ON DRAWINGS ELEVATIONS ARE INDICATED BY PROJECT NORTH, SOUTH, EAST & WEST)	
	BUILDING SECTION HEAD	
	INTERIOR / DETAIL ELEVATIONS HEAD	
	DETAIL ELEVATIONS HEAD	
	DETAIL SECTION HEAD (NOTE: NOT SHOWN ON DRAWINGS FOR REF ONLY)	
	CALLOUT HEAD (NOTE: NOT SHOWN ON DRAWINGS FOR REF ONLY)	
	SET OUT POINT	
	RL MARKER TARGET	
	TEXT ARROW: 90 DEGREE OPEN	
	SLOPE ARROW: 90 DEGREE OPEN. ALWAYS POINTS UP	
	FALL ARROW: 90 DEGREE OPEN. POINTS IN THE DIRECTION OF FALL	
	CENTERLINE MARKER: 15 DEGREE CLOSED. POINTS IN THE DIRECTION OF FALL	
	REVISION TAG: REFER REVISIONS	

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DEVELOPMENT APPLICATION

PROJECT STATUS:
DEVELOPMENT APPLICATION

PROJECT:
121 PACIFIC RD PALM BEACH

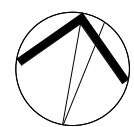
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BOWERS FAMILY

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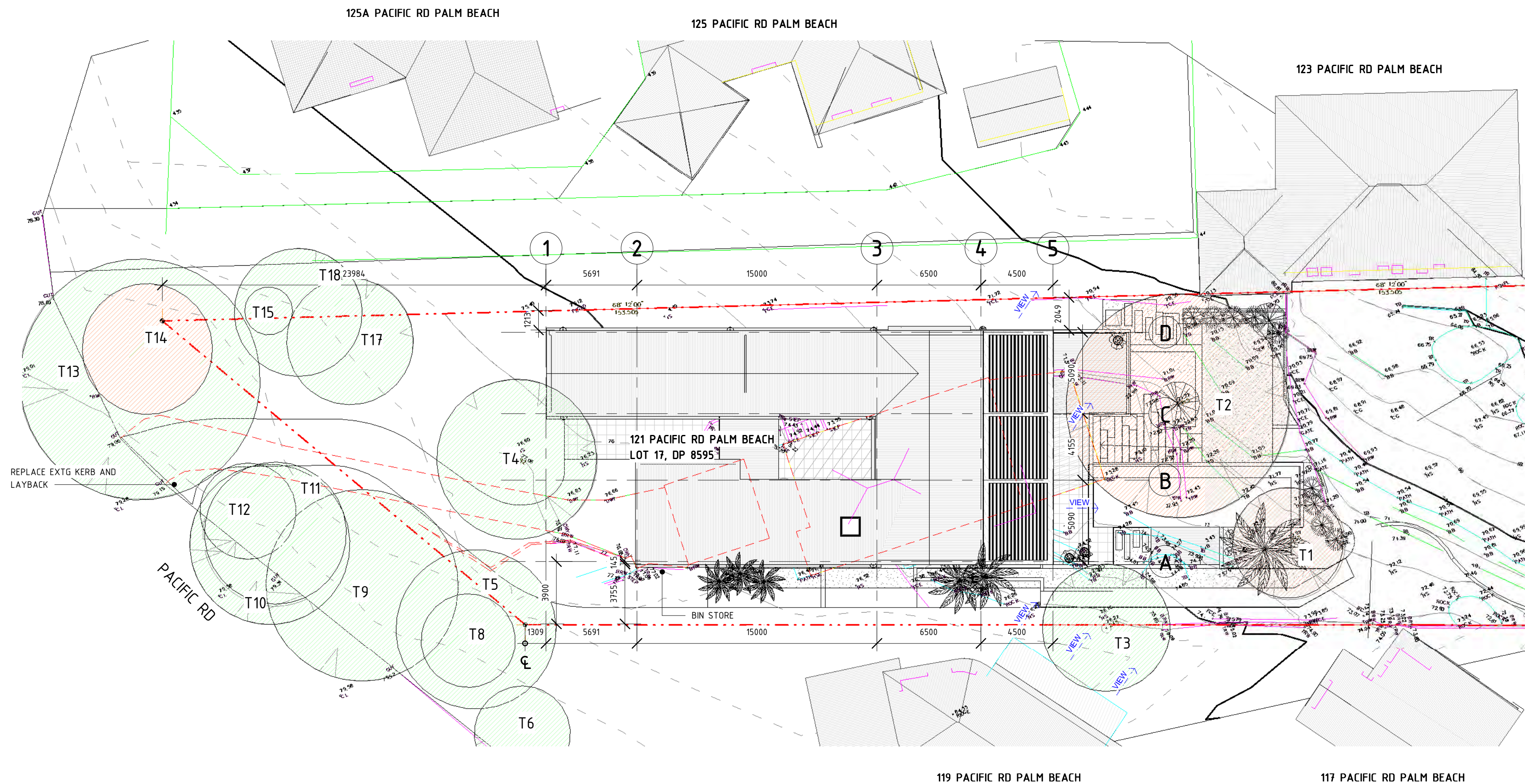
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PROJECT NO: 0267	SCALE @A1: DA000	REV NO.: 2



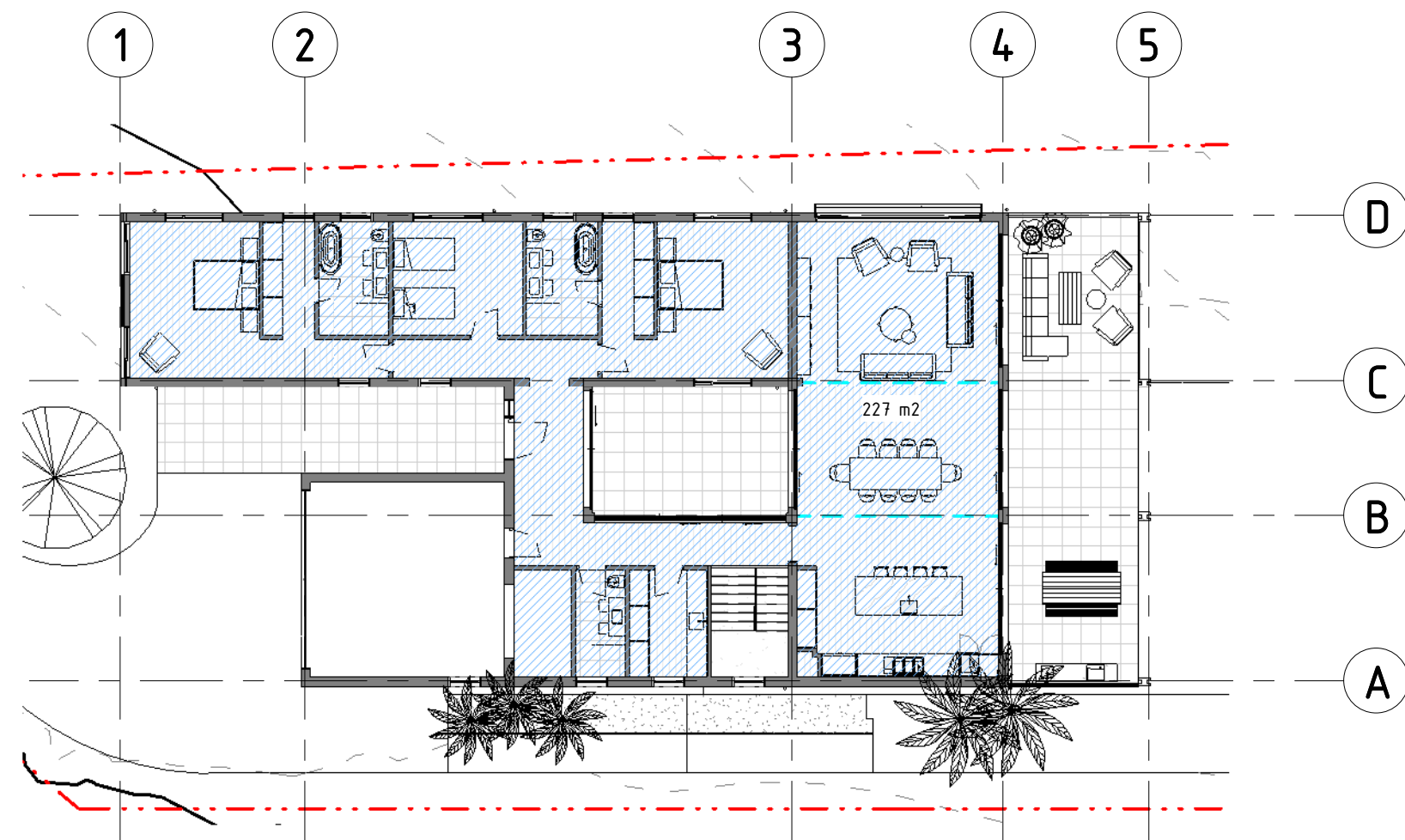
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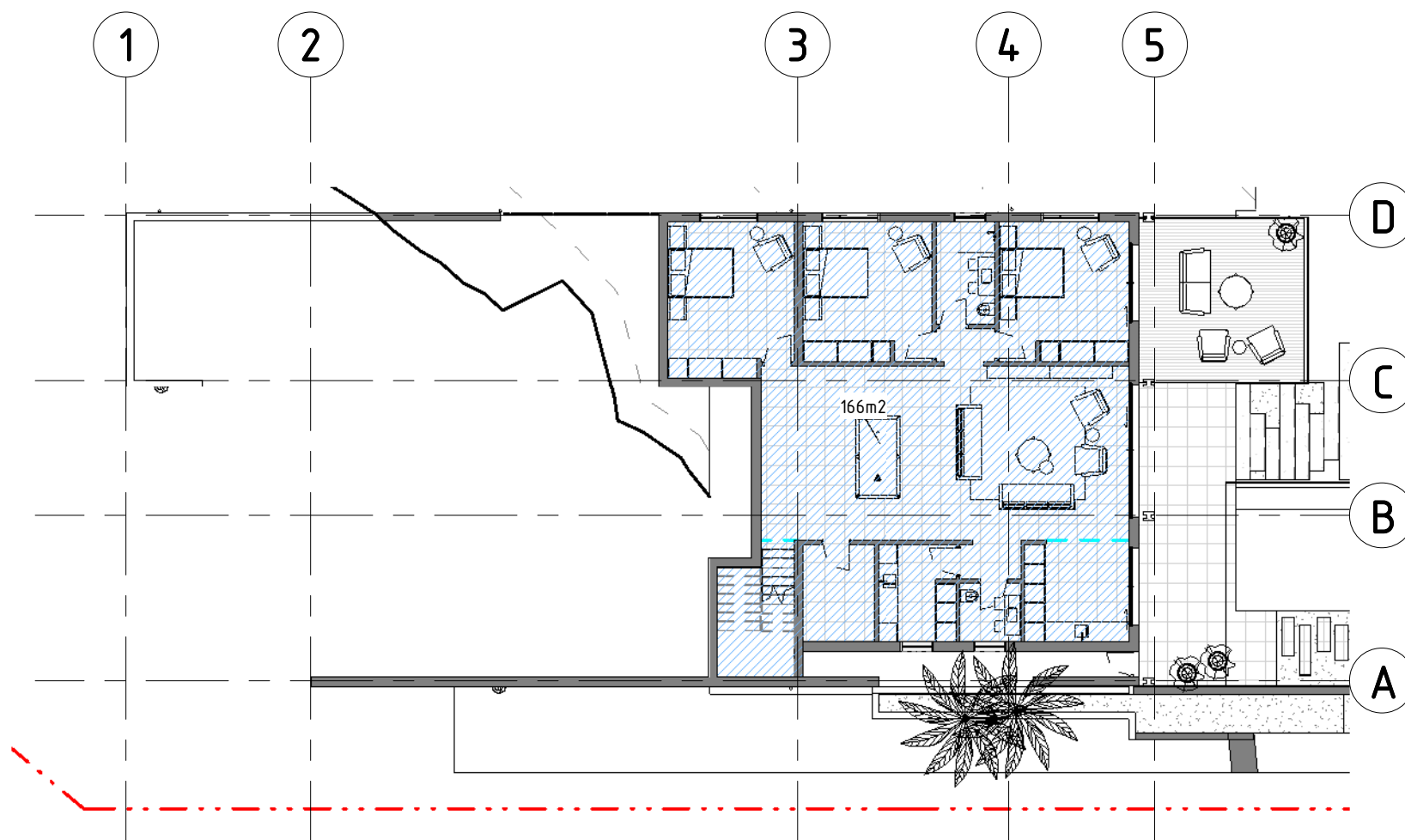


1 SITE PLAN
1 : 200

 northern beaches council
THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT
DA NUMBER: DA2020/0133
(Activation of consent must be obtained from Northern Beaches Council)



2 GROUND FLOOR
1 : 200



3 LOWER GROUND FLOOR
1 : 200

SITE AREA: 3055M2
GROUND FLOOR AREA: 227M2
LOWER GROUND FLOOR AREA: 166M2
TOTAL FSR: 393M2

2	01.11.19	DA
1	28.09.19	DA
REV	DATE	AMENDMENT

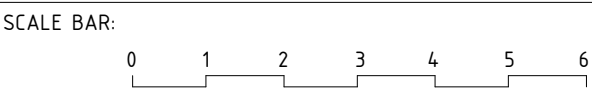
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PROJECT STATUS:
DEVELOPMENT APPLICATION
PROJECT:
121 PACIFIC RD PALM BEACH
CLIENT:
BOWERS FAMILY
DRAWING TITLE:
SITE PLAN

DRAWN BY: DB	CHECKED BY: DB	DRAWING ISSUE DATE: 01.11.19
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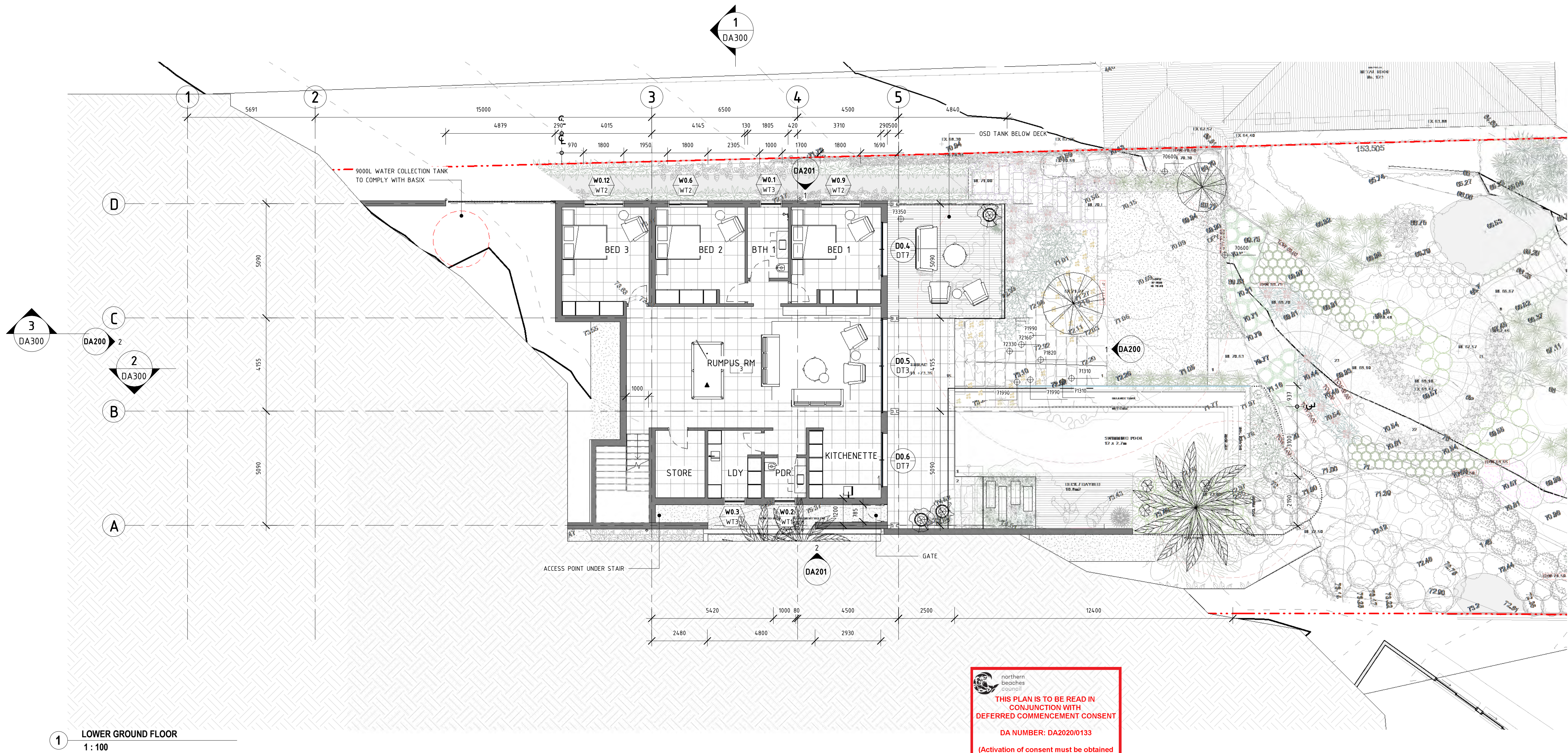
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PROJECT:			
121 PACIFIC RD PALM BEACH			
CLIENT:			
BOWERS FAMILY			
DRAWING TITLE:			
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DRAWN BY:		DRAWING ISSUE DATE:	
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CHECKED BY:			
Checker			
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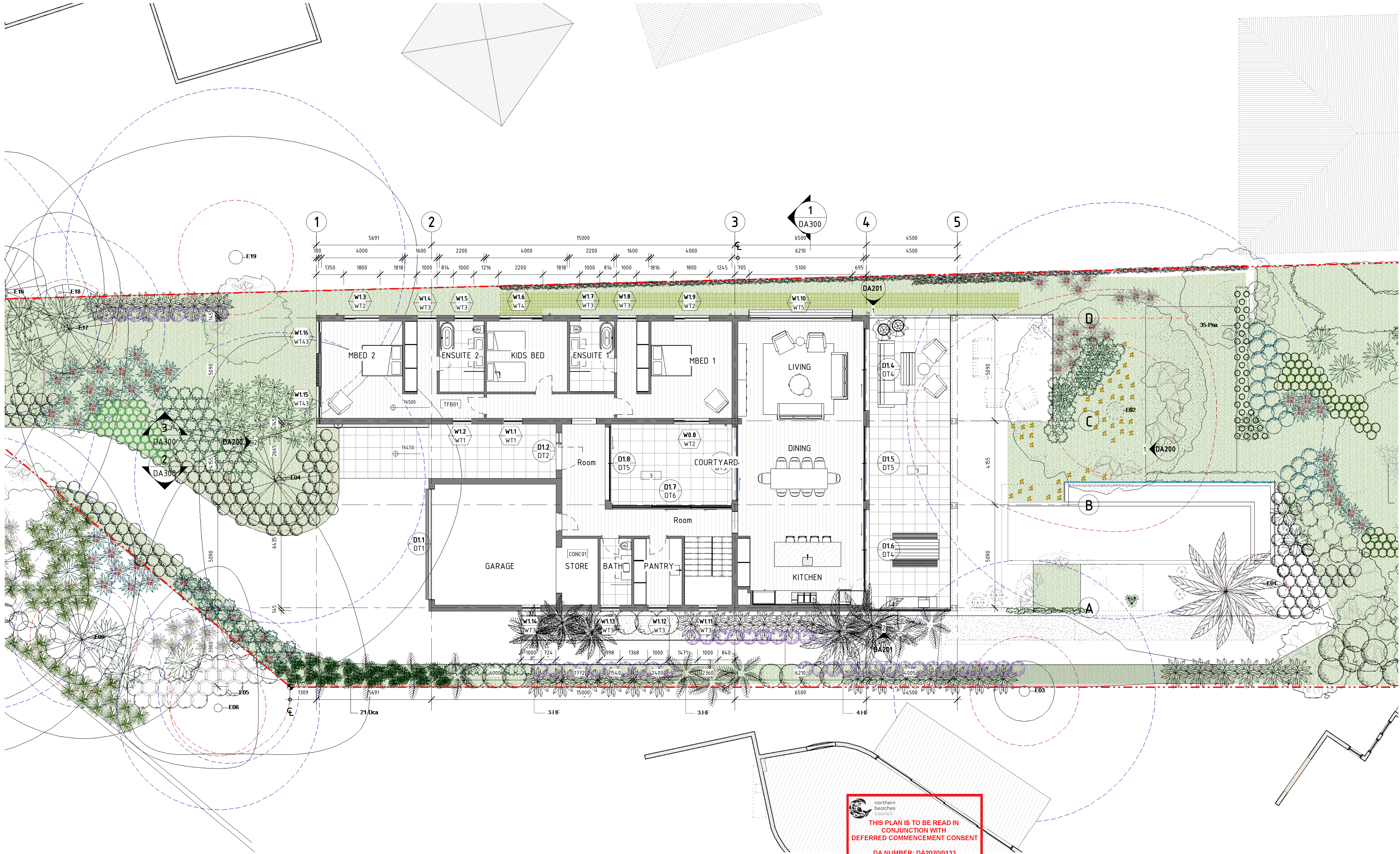


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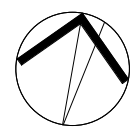
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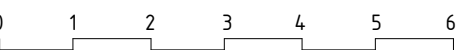


1 GROUND FLOOR
1 : 100

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REV	DATE	AMENDMENT
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1	28.09.19	DA

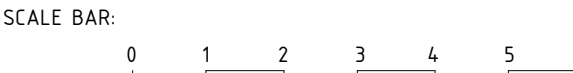
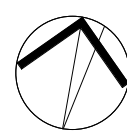
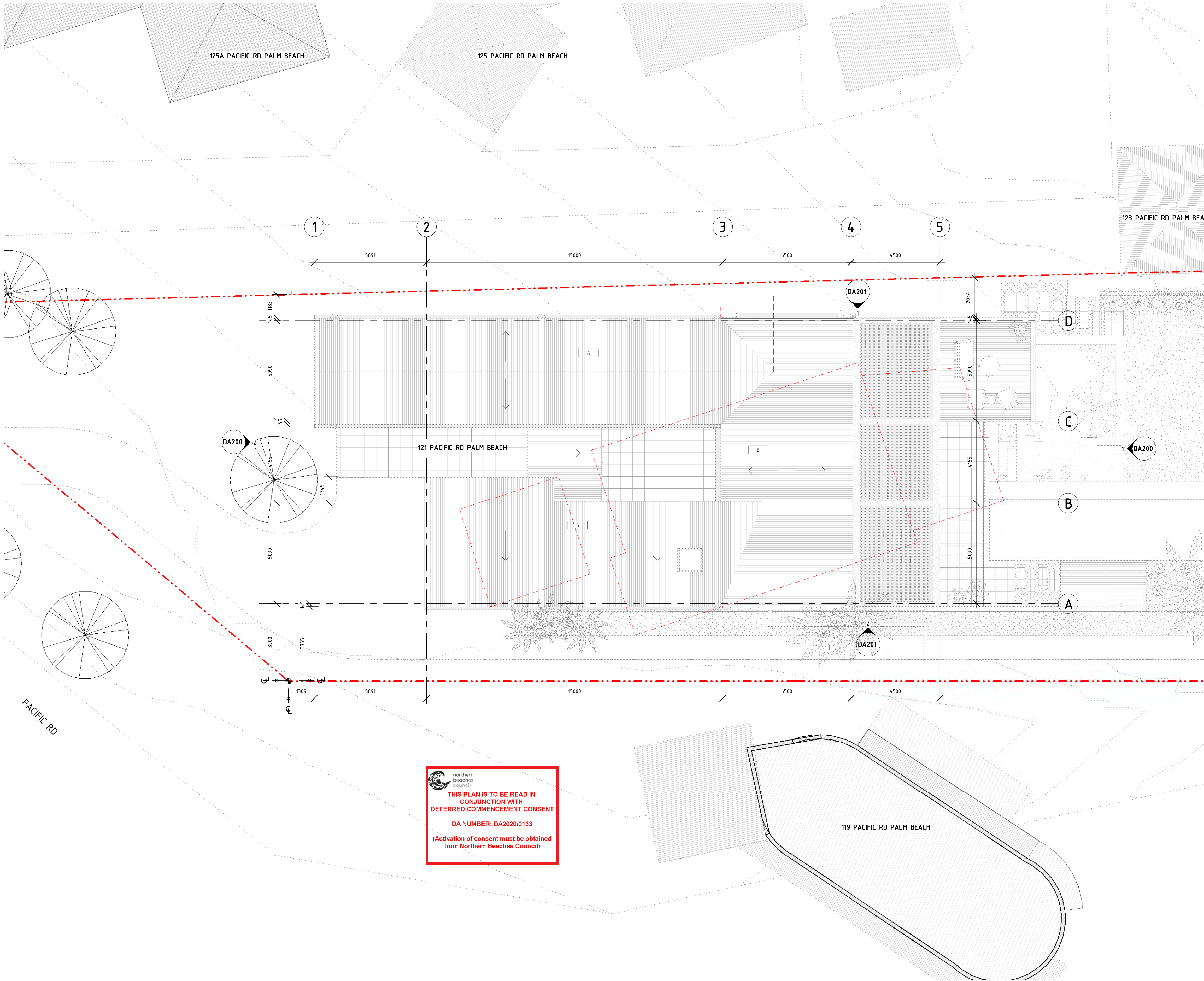
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PROJECT STATUS:
DEVELOPMENT APPLICATION
PROJECT:
121 PACIFIC RD PALM BEACH
CLIENT:
BOWERS FAMILY
DRAWING TITLE:
GROUND FLOOR PLAN

DRAWN BY: DB	CHECKED BY: DB	DRAWING ISSUE DATE: 01.11.19
PROJECT NO.: 0267	SCALE @A1: DA102	REV NO.: 2



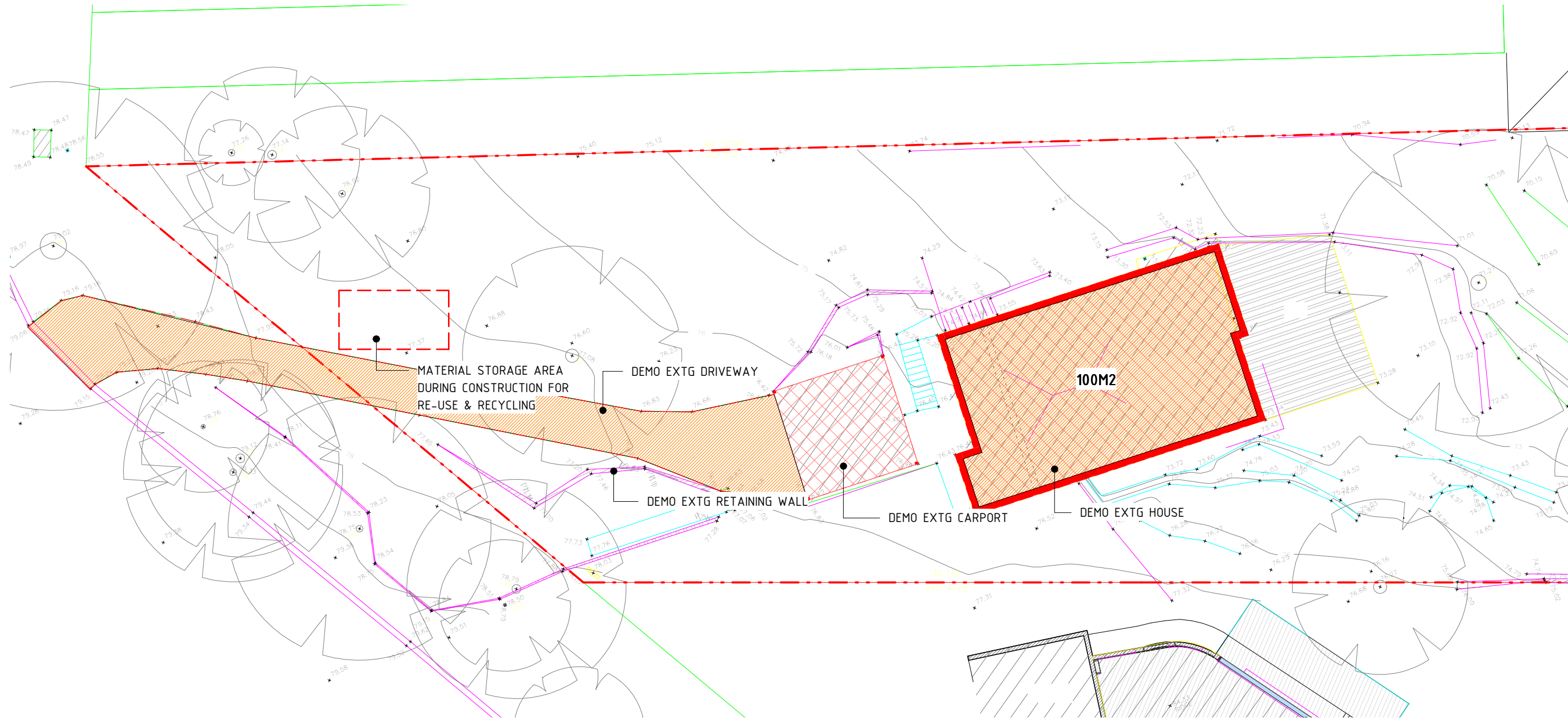
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2	01.11.19	DA
1	28.09.19	DA
REV	DATE	AMENDMENT

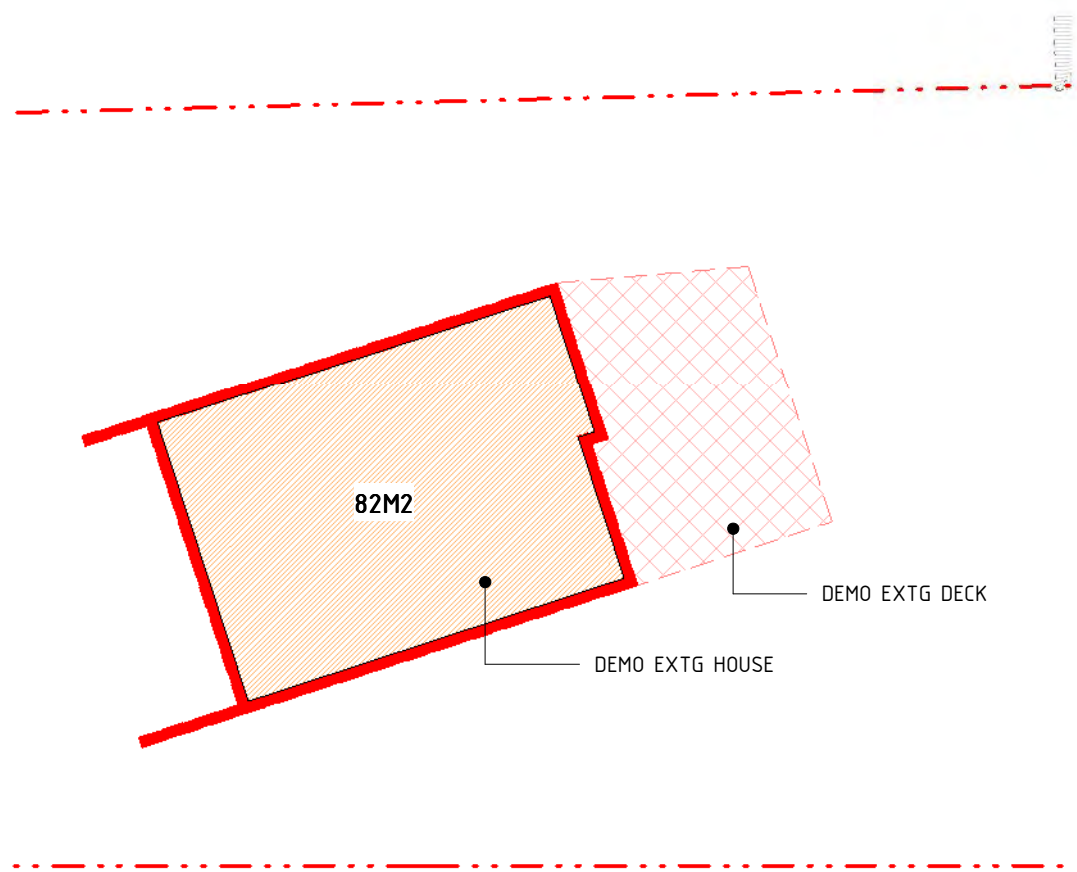
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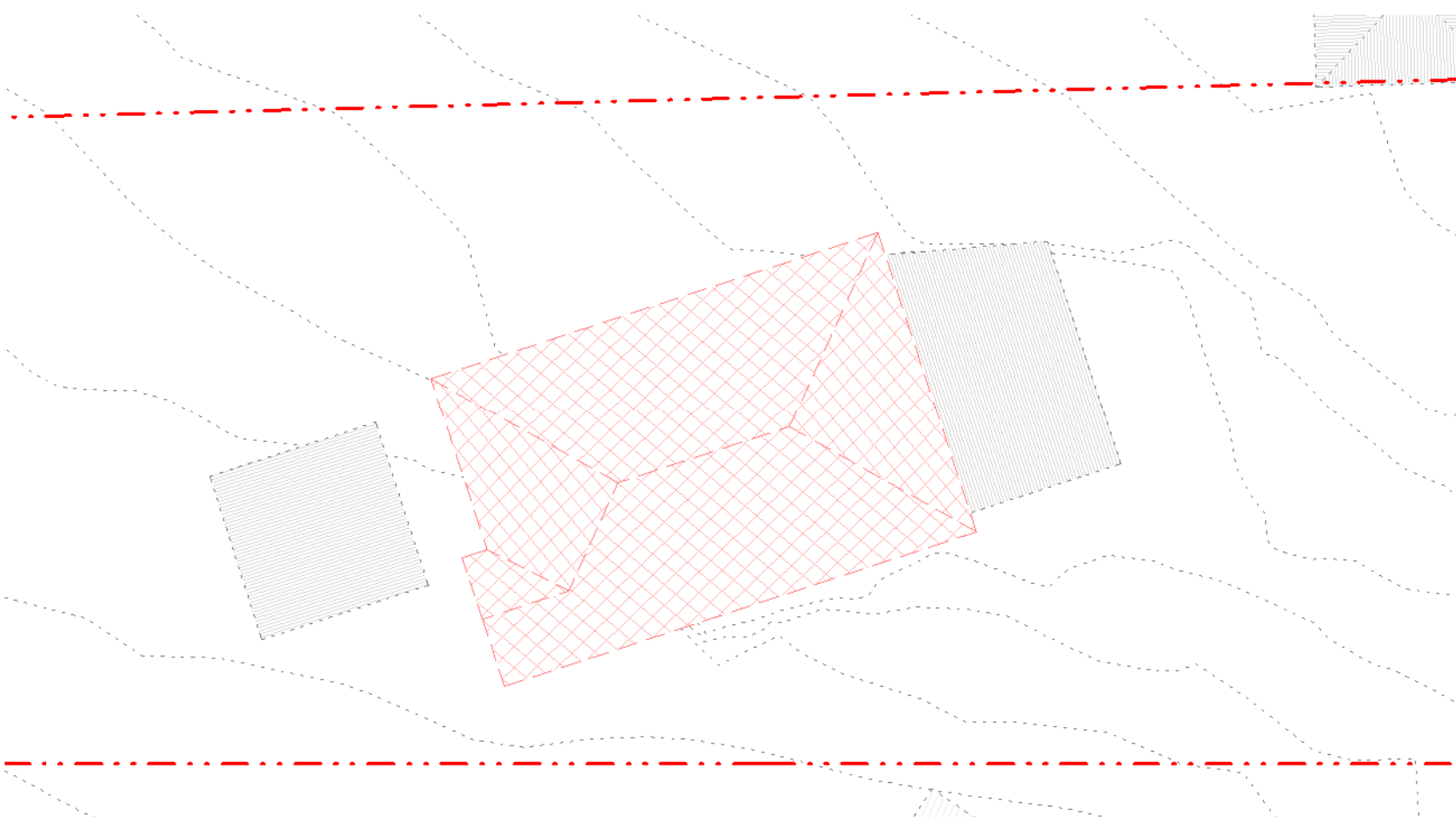
PROJECT STATUS: DEVELOPMENT APPLICATION			
PROJECT: 121 PACIFIC RD PALM BEACH			
CLIENT: BOWERS FAMILY			
DRAWING TITLE: ROOF PLAN			
DRAWN BY: DB	CHECKED BY: DB	DRAWING ISSUE DATE: 01.11.19	
PROJECT NO.: 0267	SCALE @A1:	DWG NO.: DA103	REV NO.: 2



3 DEMO - GROUND FLOOR
1 : 200



2 DEMO - LOWER GROUND
1 : 200



1 DEMO - ROOF PLAN
1 : 200



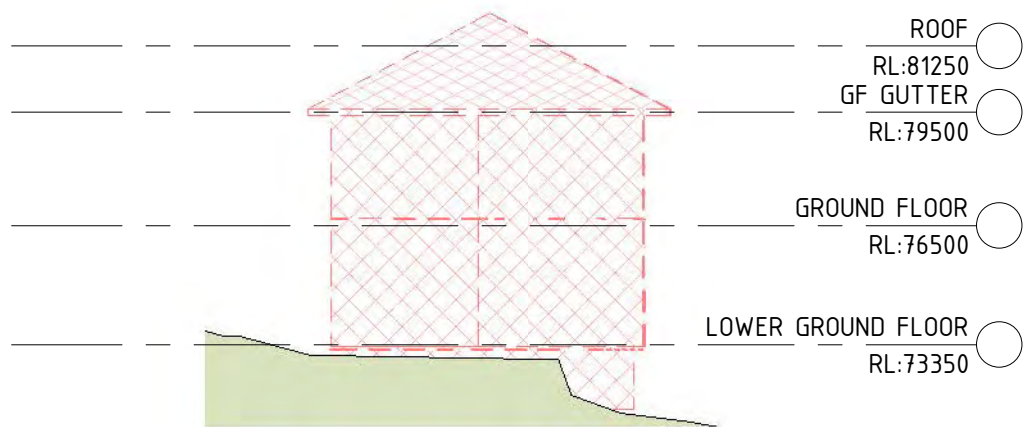
EXTG - FRONT OF HOUSE



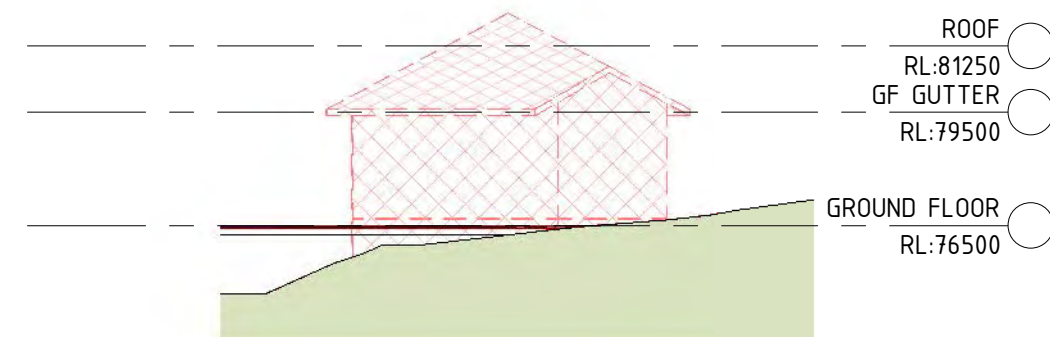
EXTG - REAR OF HOUSE



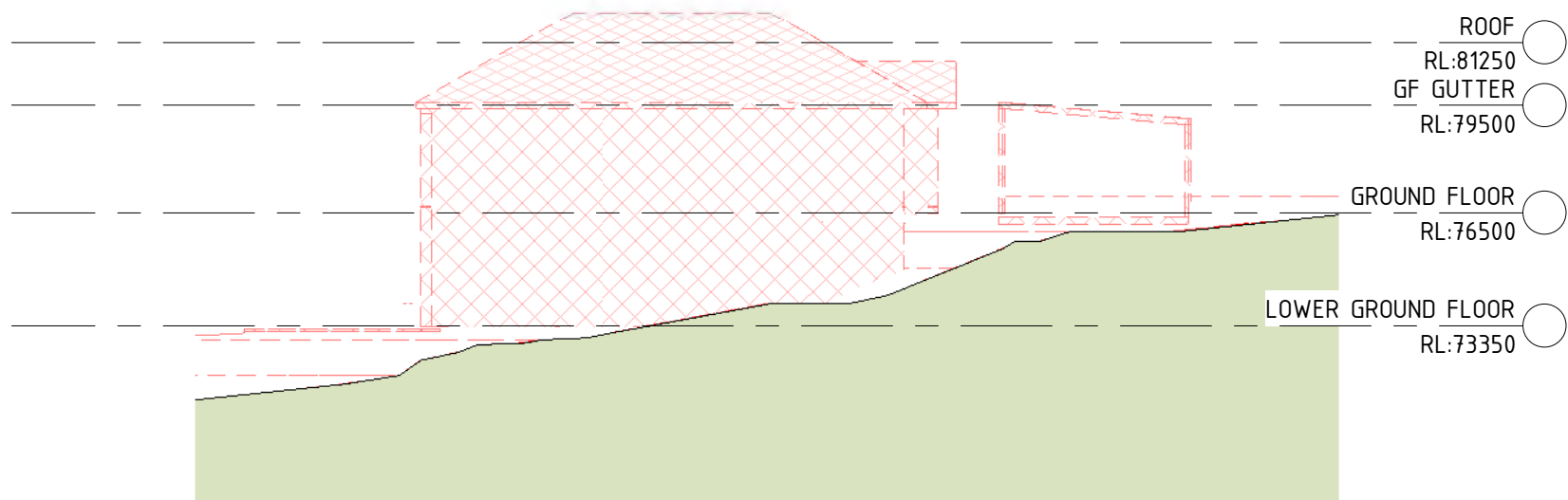
EXTG - SIDE OF HOUSE



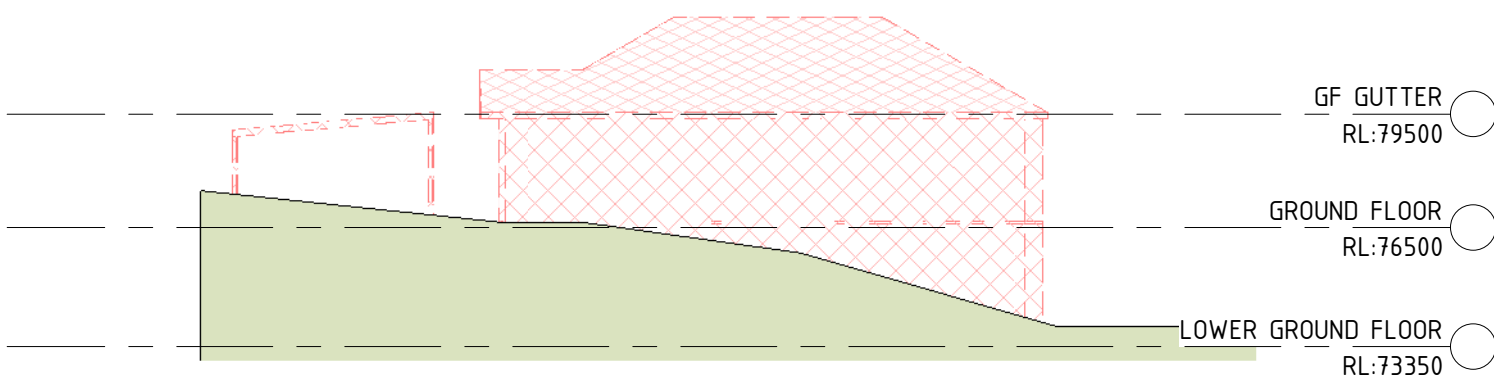
4 DEMO - EAST ELE
1 : 200




7 DEMO - WEST ELE
1 : 200

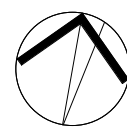


5 DEMO - NORTH ELE
1 : 200

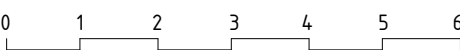


6 DEMO - SOUTH ELE
1 : 200

 northern beaches council
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DA NUMBER: DA2020/0133
(Activation of consent must be obtained from Northern Beaches Council)



SCALE BAR:



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REV DATE AMENDMENT

Daniel Boddam
Architecture & Interior
Design

B

studio 311, 18A boundary street rushcutters bay nsw 2011, australia
po box 1946, potts point nsw 1535 t + 61 2 9660 1144
www.danielboddam.com
nom arch daniel boddam - whetham AIA reg no
9163 boddam ply ltd abn 37 577 161 053

PROJECT STATUS:
DEVELOPMENT APPLICATION
PROJECT:
121 PACIFIC RD PALM BEACH
CLIENT:
BOWERS FAMILY
DRAWING TITLE:
DEMOLITION PLANS

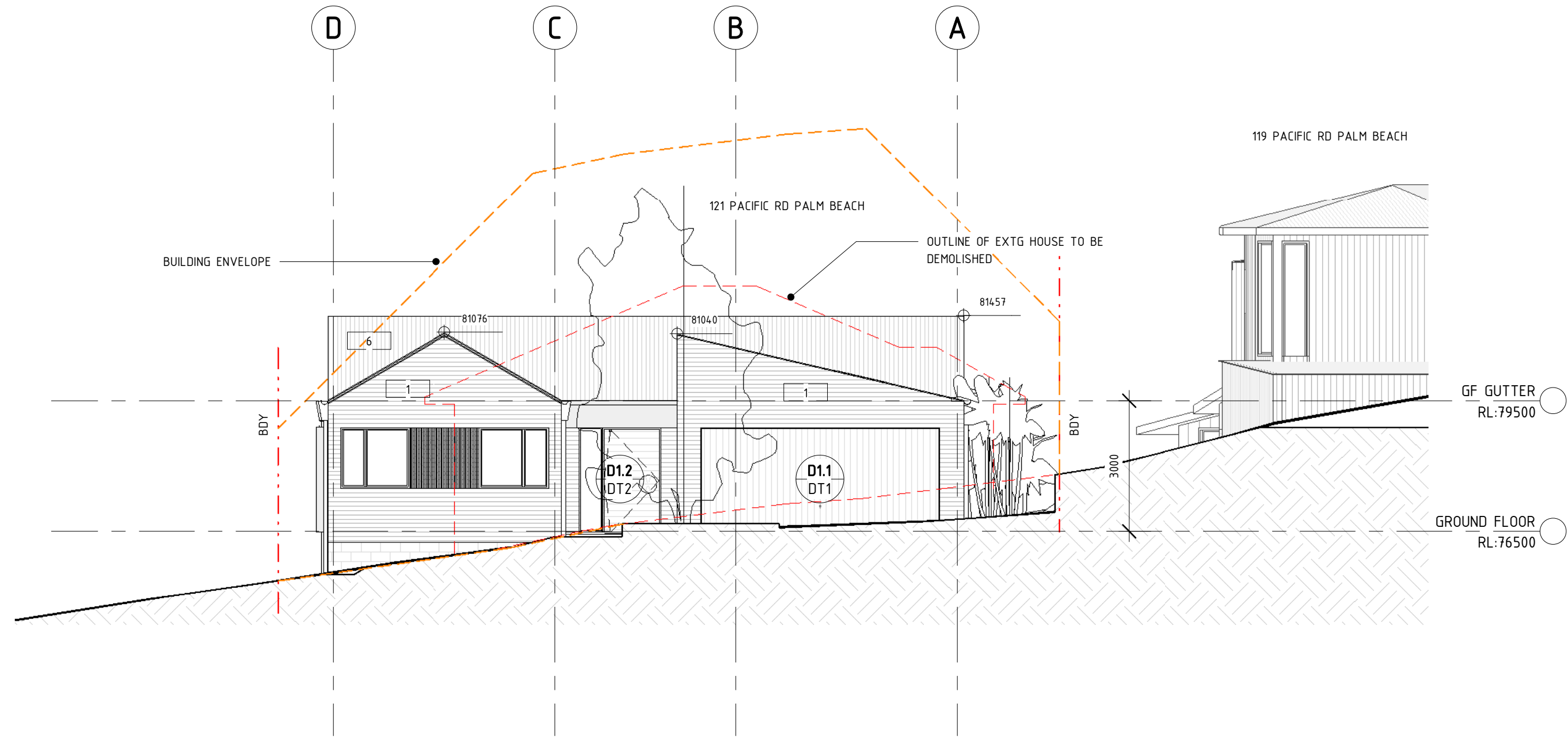
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PROJECT NO.: 0267	SCALE @A1:	DWG NO.: DA104
		REV NO.:



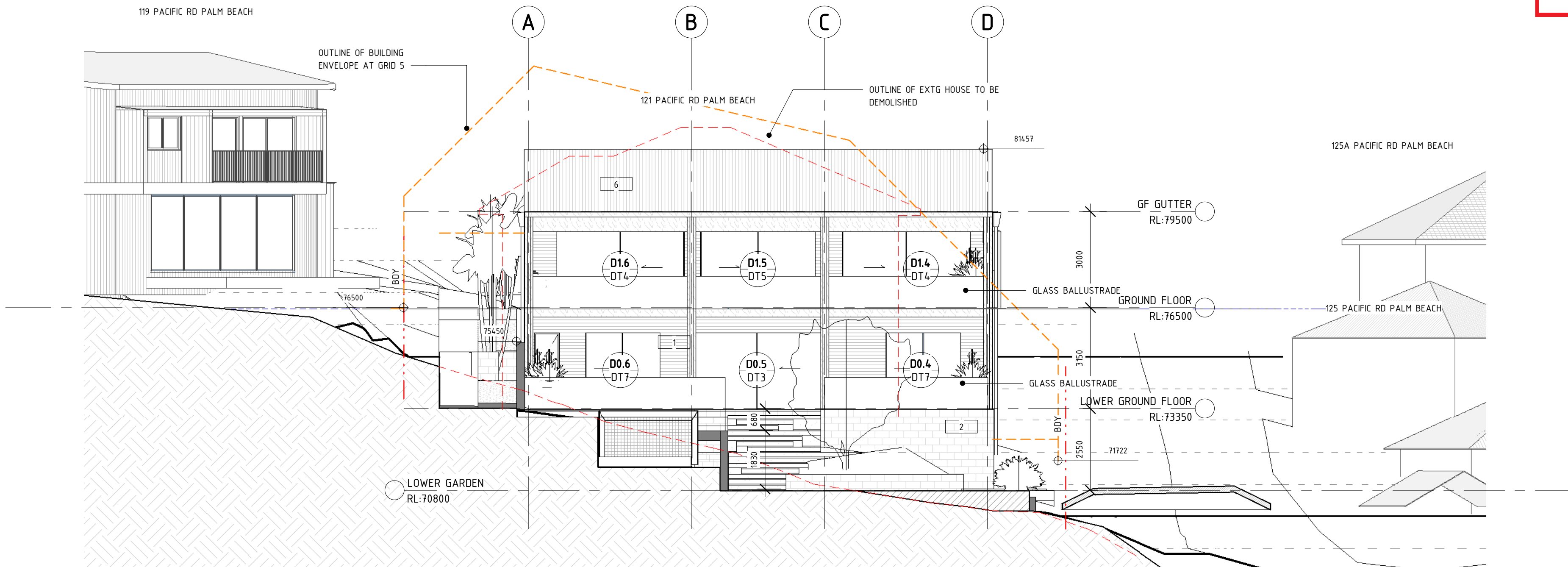
SCALE BAR:
0 1 2 3

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THE DIMENSION VALUE



2 ELEVATION - WEST
1 : 100



1 ELEVATION - EAST
1 : 100



REV	DATE	AMENDMENT
2	01.11.19	DA
1	28.09.19	DA

Daniel Boddam
Architecture & Interior
Design

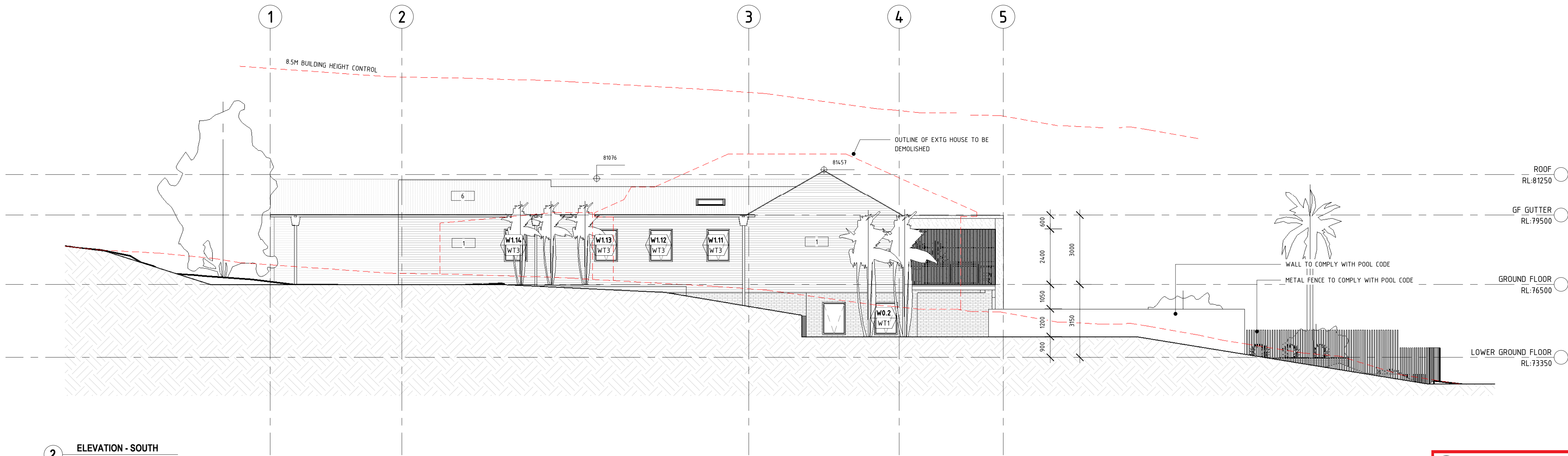
studio 311, 18A boundary street rushcutters bay nsw 2011, australia
po box 1946, potts point nsw 1535 t + 61 2 9660 1144
www.danielboddam.com
nom arch daniel boddam - whetham AIA reg no
9163 boddam ply ltd abn 37 577 161 053

PROJECT STATUS: DEVELOPMENT APPLICATION			
PROJECT: 121 PACIFIC RD PALM BEACH			
CLIENT: BOWERS FAMILY			
DRAWING TITLE: ELEVATIONS			
DRAWN BY: DB	CHECKED BY: DB	DRAWING ISSUE DATE: 01.11.19	
PROJECT NO: 0267	SCALE @A1:	DWG NO: DA200	REV NO: 2



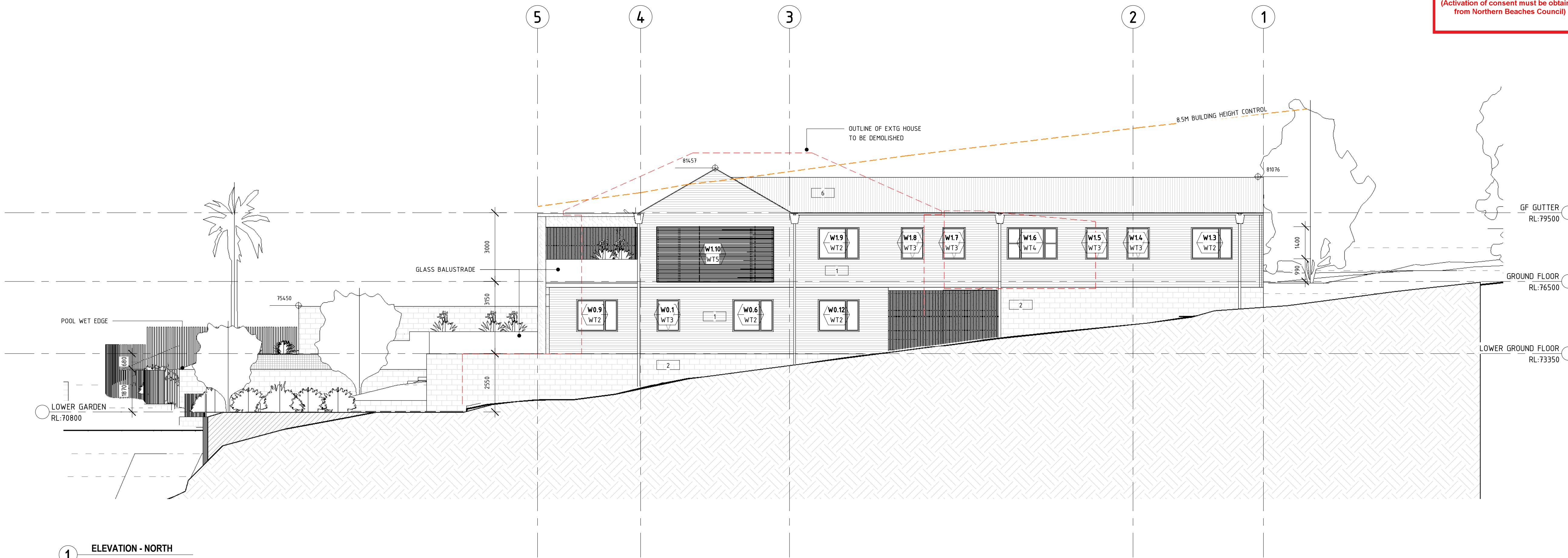
SCALE BAR: 0 1 2 3 4 5 6

NOTES:
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2 ELEVATION - SOUTH
1:100

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DA NUMBER: DA2020/0133
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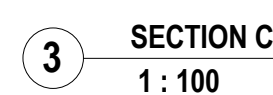
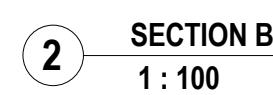


1 ELEVATION - NORTH
1:100

REV	DATE	AMENDMENT
2	01.11.19	DA
1	28.09.19	DA

Daniel Boddam
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studio 311, 18A boundary street rushcutters bay nsw 2011, australia
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www.danielboddam.com
nom arch daniel boddam - whetham AIA reg no
9163 boddam ply ltd abn 37 577 161 053

PROJECT STATUS:			
DEVELOPMENT APPLICATION			
PROJECT:			
121 PACIFIC RD PALM BEACH			
CLIENT:			
BOWERS FAMILY			
DRAWING TITLE:			
ELEVATIONS			
DRAWN BY:		CHECKED BY:	
DB		DB	
		DRAWING ISSUE DATE:	
		01.11.19	
PROJECT NO.:		SCALE @A1:	
0267		DA201	
		REV NO.:	
		2	



VISUALIZATION



1. REAR GARDEN




2. REAR POOL



3. FRONT BEDROOM



4. FRONT ENTRY



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DA NUMBER: DA2020/0133

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MATERIALS & FINISHES



1. GREY TIMBER CLADDING BOARDS



2. SANDSTONE CLADDING



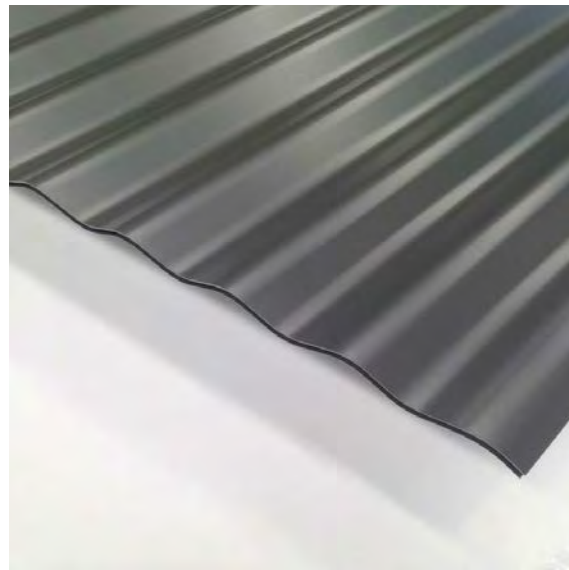
3. GREY TILES



4. CONCRETE



5. ALUMINIUM WINDOW AND DOOR
FRAMES - DARK



6. COLOURBOND ROOF SHEETING - GREY

A1

NOTES:

1. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH COUNCIL'S CIVIL WORKS GUIDELINES.
2. THE CONTRACTOR SHALL LOCATE AND LEVEL ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND MAKE ARRANGEMENTS WITH THE RELEVANT AUTHORITY TO RELOCATE OR ADJUST IF NECESSARY.
3. THE CONTRACTOR SHALL NOT ENTER UPON NOR DO ANY WORK WITHIN ADJOINING LANDS WITHOUT THE PERMISSION OF THE RELEVANT OWNER.
4. ALL NEW WORKS SHALL MAKE SMOOTH CONNECTION TO EXISTING CONDITIONS.
5. THE CONTRACTOR SHALL MAINTAIN SERVICES AND ALL WEATHER ACCESS AT ALL TIMES TO ADJOINING PROPERTIES.
6. ALL TOPSOIL TO BE REMOVED FROM FILL AREAS AND STOCKPILED FOR LATER SPREADING OVER TESTED COMPACTED FILL.
7. ALL IMPORTED FILL SHALL BE APPROVED BY THE COUNCIL. THE FILL SHALL BE PLACED IN NOT MORE THAN 300mm LAYERS AND SHALL BE COMPACTED TO A MINIMUM LEVEL OF COMPACTION OF 98% OF MAXIMUM DRY DENSITY AT A MOISTURE CONTENT WITHIN $\pm 2\%$ OF OPTIMUM (AST289.5.1.1)
8. ALL PIPES SHALL BE ON 1% MINIMUM GRADE U.N.O. AND TO HAVE MIN 300mm COVER.
9. PROVIDE VEHICULAR CROSSING TO COUNCIL'S SPECIFICATION IN KERB WHERE SHOWN.
10. STEP IRONS TO COUNCIL'S SPECIFICATIONS SHALL BE PROVIDED WHERE PITS ARE DEEPER THAN 900
11. ALL TREES WITHIN 4 METRES OF ANY WORKS TO BE PROTECTED USING 2m LENGTHS OF 75mm x 75mm HARDWOOD TIMBERS SPACED 80mm SECURED WITH GALVANISED WIRE. ALL WORK TO BE CARRIED OUT UNDER THE SUPERVISION OF A AQF LEVEL 5 ARBORIST
12. EXISTING LEVELS AND SERVICE DEPTH AND LOCATION TO BE CHECKED PRIOR TO CONSTRUCTION.

CONCRETE:

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH S.A.A. CONCRETE STRUCTURES CODE A.S.3600 EXCEPT AS VERIFIED BY CONTRACT DOCUMENTS
2. CONCRETE QUALITY:
STANDARD TO CURRENT S.A.A. CODE.

ELEMENT	SLUMP (mm)	MAX. AGG. SIZE (mm)	CEMENT TYPE	F'C (MPa)
SLAB	60	20	A	32
3. CLEAR CONCRETE COVER TO REINFORCEMENT SHALL BE AS FOLLOWS UNLESS OTHERWISE SHOWN:

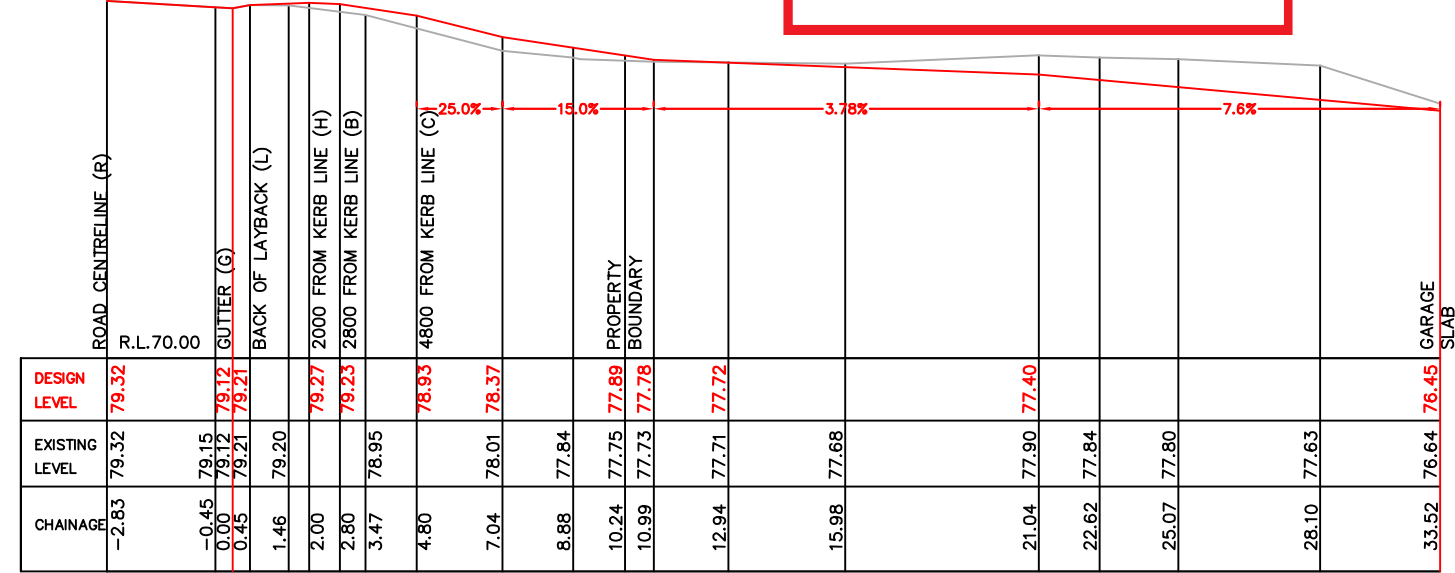
ELEMENT	FORMED. NOT EXPOSED TO WEATHER	FORMED. EXPOSED TO WEATHER OR EARTH BACKFILL	NOT FORMED. POURED AGAINST EARTH
SLAB	30	40	45
4. ALL CONCRETE SHALL BE MECHANICALLY VIBRATED AND VIBRATOR SHALL NOT BE USED TO SPREAD CONCRETE.
5. CONDUITS, PIPES ETC. MUST NOT BE PLACED IN CONCRETE COVER
6. FABRIC REINFORCEMENT IN SLAB SHALL BE OVERLAPPED AT SPLICES BY ONE FULL MESH PLUS 25mm BOTH WAYS U.N.O.



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CONJUNCTION WITH
DEFERRED COMMENCEMENT CONSENT**

DA NUMBER: DA2020/0133

**(Activation of consent must be obtained
from Northern Beaches Council)**



T.M	T.M	B	17.12.2019	FOR APPROVAL
T.M	T.M	A	04.09.2019	FOR APPROVAL
BY	REV.	ISS.	DATE.	DESCRIPTION

STORMWATER

Consulting Engineers

Wastewater
Stormwater
Bushfire

Contamination
Ecology
Acoustic & Noise

P: 1/23 ROWOOD RD, PROSPECT, NSW 2148
E: info@envirotech.com.au
F: (02) 8834 0760
T: 1300 888 324 | (02) 9896 1568

TITLE

RESIDENTIAL PAVEMENT DESIGN

PROJECT

PROPOSED RESIDENCE

121 PACIFIC ROAD, PALM BEACH

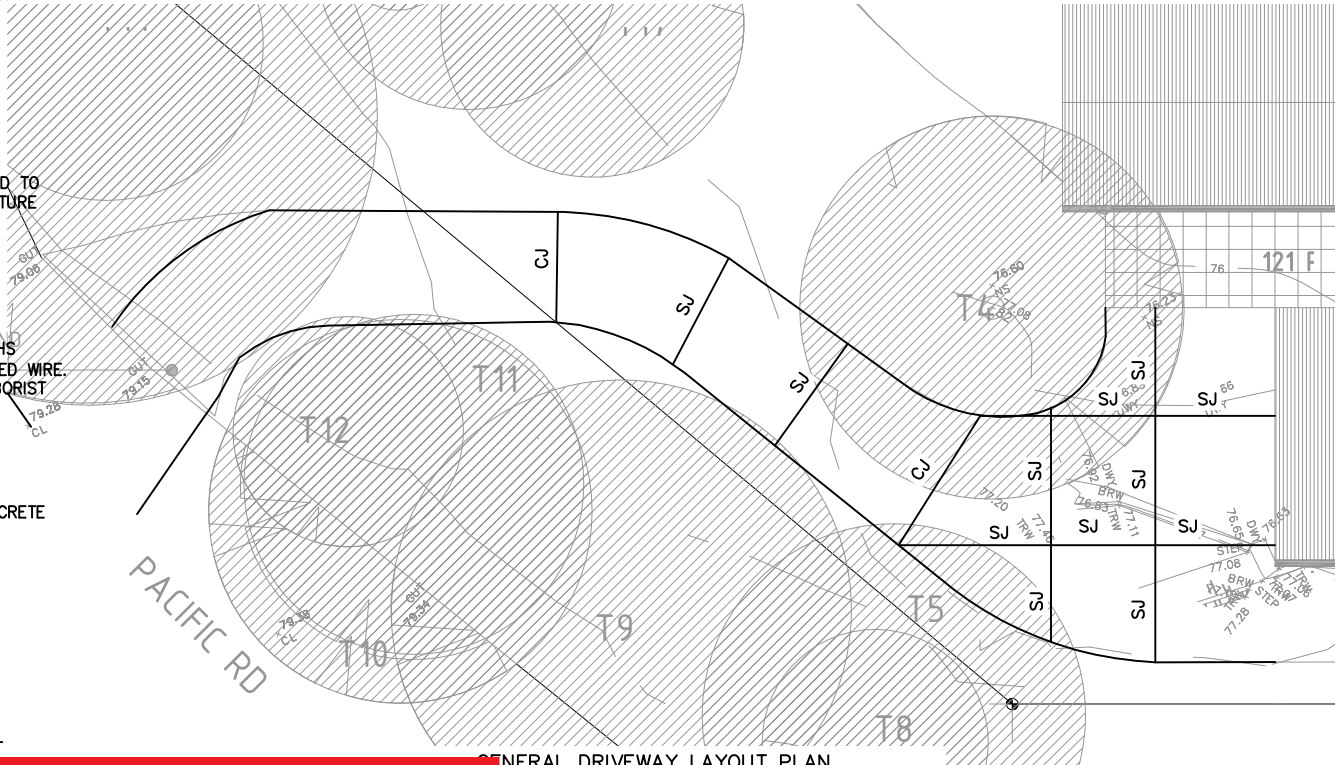
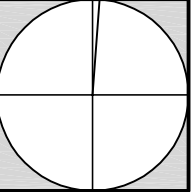
APPROVED ON BEHALF OF
ENVIROTECH PTY. LTD

Tashfiq Mahmud
B.E. (Civil)

SCALE.

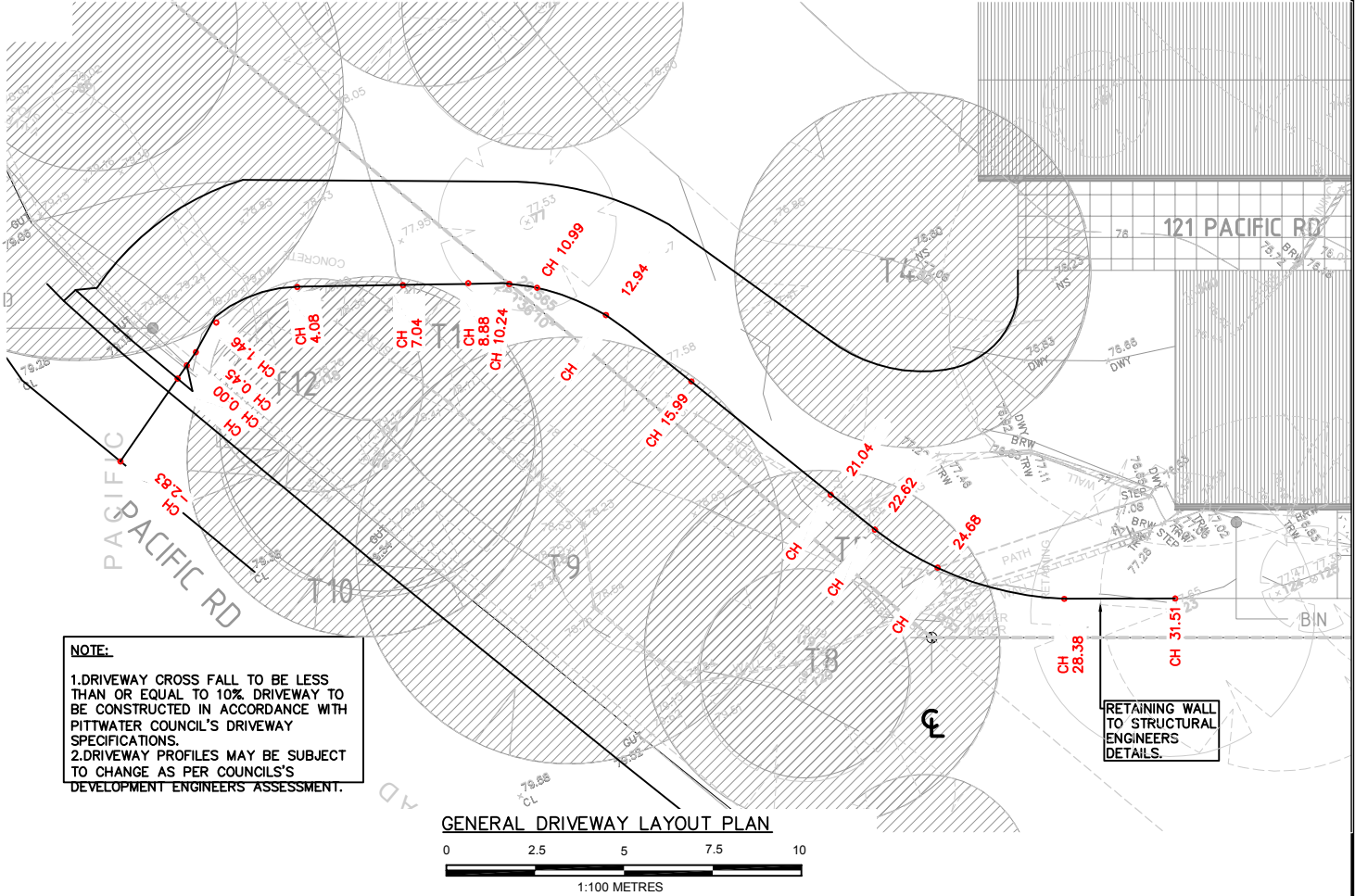
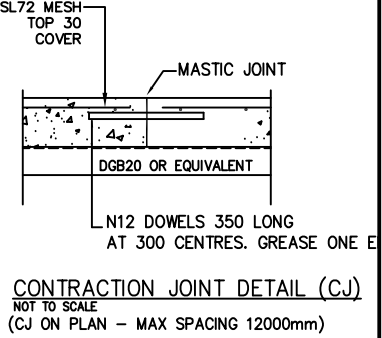
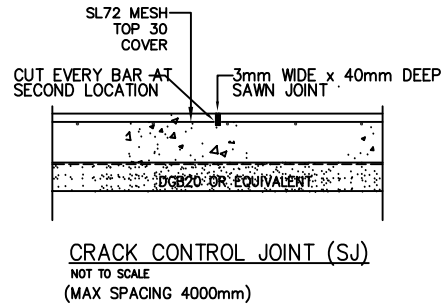
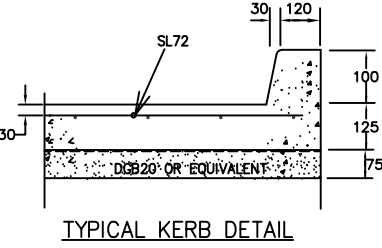
AS SHOWN

JOB No.	DWG No.
19-8063-B	1/1

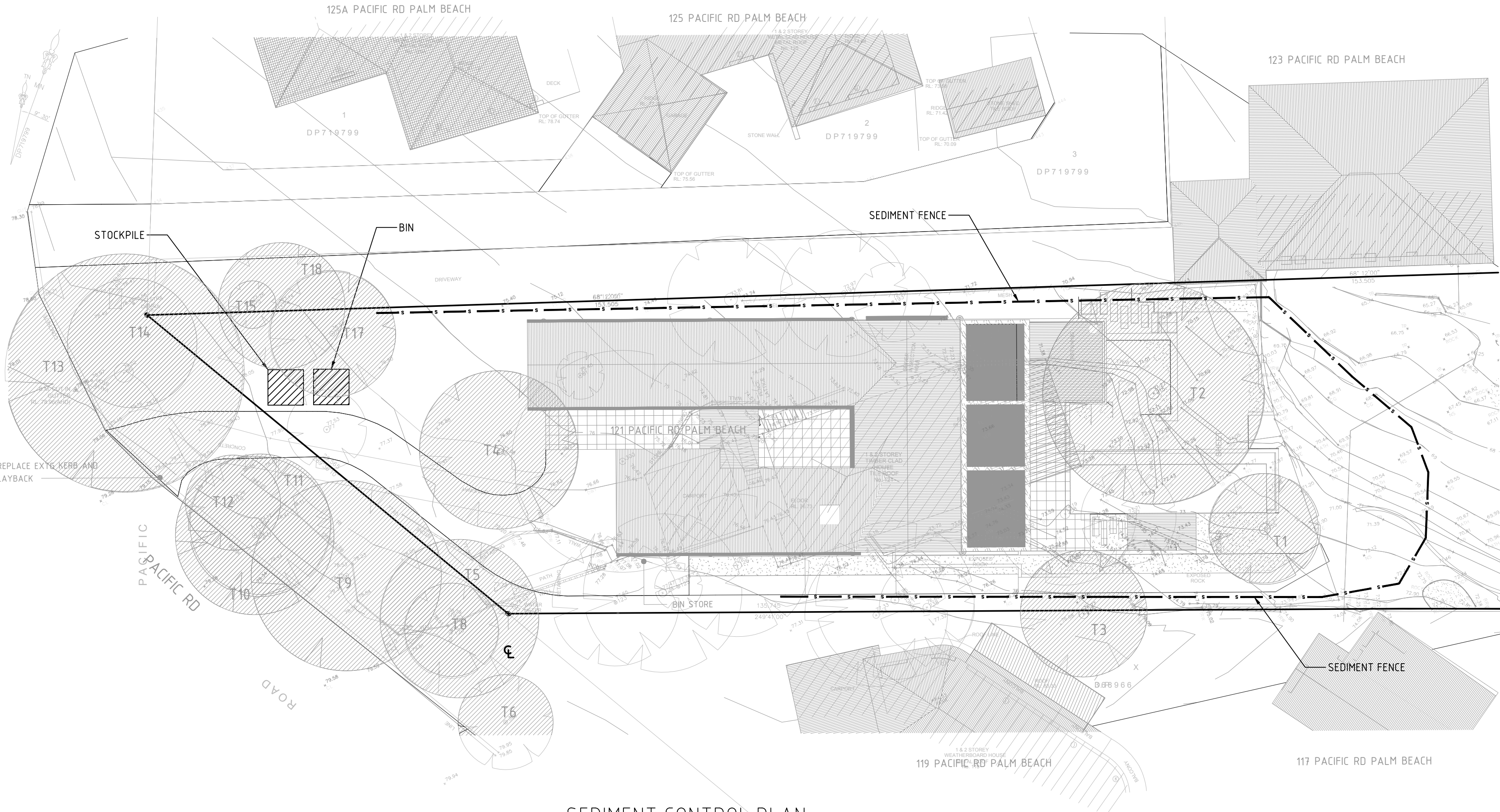


PAVEMENT NOTES

PAVEMENT: 125mm THICK COLOURED CONCRETE
25MPa WITH SL72 MESH 30 COVER
ON 75mm GRANULAR BASE (DGB20)

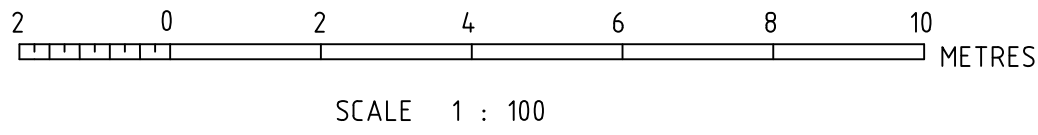


PROPOSED RESIDENTIAL DEVELOPMENT
121 PACIFIC ROAD, PALM BEACH
EROSION AND SEDIMENT CONTROL PLAN



SEDIMENT CONTROL PLAN
SCALE 1:200

THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT
DA NUMBER: DA2020/0133
(Activation of consent must be obtained from Northern Beaches Council)



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* DO NOT SCALE THIS DRAWING, ONLY STATED DIMENSIONS ARE TO BE CONSIDERED.	
* CONTRACTOR TO VERIFY THE DETAIL / INFORMATION GIVEN IN THIS DRAWING, ANY DISCREPANCIES SHALL BE BROUGHT TO ENGINEERS ATTENTION PRIOR TO COMMENCEMENT OF WORK, FAILURE TO COMPLY WITH THE ABOVE WILL BE CONTRACTORS LIABILITY.	
A	ORIGINAL ISSUE
ISSUE	REVISION
	DATE
	17.12.2019

NASTASI & ASSOCIATES
CONSULTING CIVIL & STRUCTURAL ENGINEERS
B.E., M.I.E. AUST. CPENG NPFR-3
AS/NZS 4553:2008-008
UNIT 5.1-3 WHYALLA PLACE, PRESTONS NSW 2170
PH: (02) 9607 2864 OR (02) 8798 5617 FAX: (02) 8731 2081
MOB: 0419 041 401

envirotech
Consulting Group
P1300 888 324 W ENVIROTECH.COM.AU LEVEL 1, 1/23 ROWWOOD RD, PROSPECT, NSW 2148

QUALITY CONTROL		APPROVED:	ARCHITECT:
DESIGNED	DATE		
MD	17.12.2019		DANIEL BODDAM ARCHITECTURE & INTERIOR DESIGN
CHECKED	DATE		

ADDRESS:		DRAWING STATUS
121 PACIFIC ROAD, PALM BEACH		
TITLE:		FOR APPROVAL
COVER SHEET & NOTES		

FOR APPROVAL		
SCALE (AT ORIGINAL SIZE) AS NOTED		
PROJECT NO.	DRAWING NO.	REVISION NO.
19794	C1	A

SEDIMENT AND EROSION CONTROL SHALL BE EFFECTIVELY MAINTAINED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION AND SHALL NOT BE REMOVED UNTIL THE SITE HAS BEEN STABILISED OR LANDSCAPED TO THE SUPERINTENDENT'S SATISFACTION.

A SINGLE ALL WEATHER ACCESS WAY WILL BE PROVIDED AT THE FRONT OF THE PROPERTY CONSISTING OF 50-75 AGGREGATE OR SIMILAR MATERIAL AT A MINIMUM THICKNESS OF 150 LAID OVER NEEDLE-PUNCHED GEOTEXTILE FABRIC AND CONSTRUCTED PRIOR TO COMMENCEMENT OF WORKS.

THE CONTRACTOR SHALL ENSURE THAT NO SPOIL OR FILL ENCROACHES UPON ADJACENT AREAS FOR THE DURATION OF WORKS.

THE CONTRACTOR SHALL ENSURE THAT KERB INLETS AND DRAINS RECEIVING STORMWATER SHALL BE PROTECTED AT ALL TIMES DURING DEVELOPMENT. KERB INLET SEDIMENT TRAPS SHALL BE INSTALLED ALONG THE IMMEDIATE VICINITY ALONG THE STREET FRONTAGE.

SEDIMENT FENCING SHALL BE SECURED BY POST (WHERE METAL STAR PICKETS ARE USED PLASTIC SAFETY CAPS SHALL BE USED) AT 2000 INTERVALS WITH GEOTEXTILE FABRIC EMBEDDED 200 IN SOIL.

ALL TOPSOIL STRIPPED FROM THE SITE AND STOCKPILED DOES NOT INTERFERE WITH DRAINAGE LINES AND STORMWATER INLETS AND WILL BE SUITABLY COVERED WITH AN IMPERVIOUS MEMBRANE MATERIAL AND SCREENED BY SEDIMENT FENCING.

SOIL CONSERVATION NOTE:

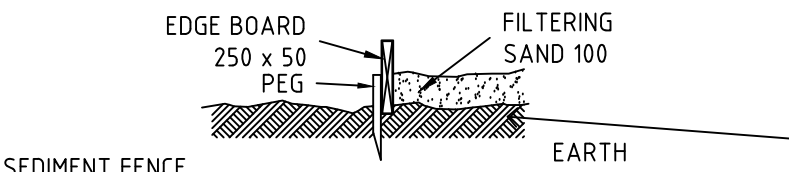
PRIOR TO COMMENCEMENT OF CONSTRUCTION PROVIDE 'SEDIMENT FENCE', 'SEDIMENT TRAP' AND WASHOUT AREA TO ENSURE THE CAPTURE OF WATER BORNE MATERIAL GENERATED FROM THE SITE.

MAINTAIN THE ABOVE DURING THE COURSE OF CONSTRUCTION, AND CLEAR THE 'SEDIMENT TRAP AFTER EACH STORM.

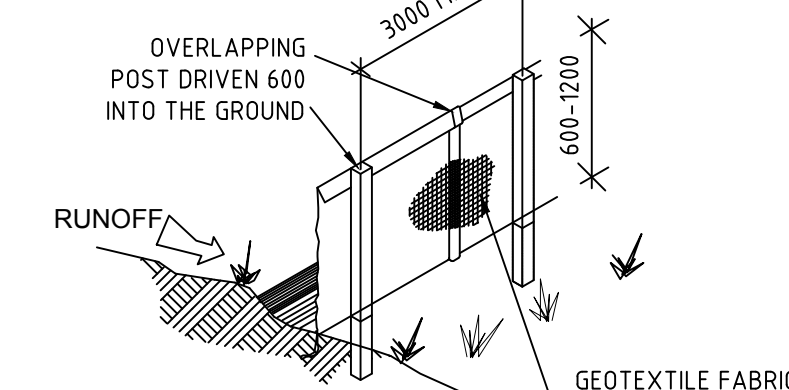
SEDIMENT TRAP

1000 x 1000 WIDE 500 DEEP PIT, LOCATED AT THE LOWEST POINT TO THE TRAP SEDIMENT.

WASHOUT AREA
TO BE 1800 x 1800 ALLOCATED FOR THE WASHING OF TOOL & EQUIPMENT.



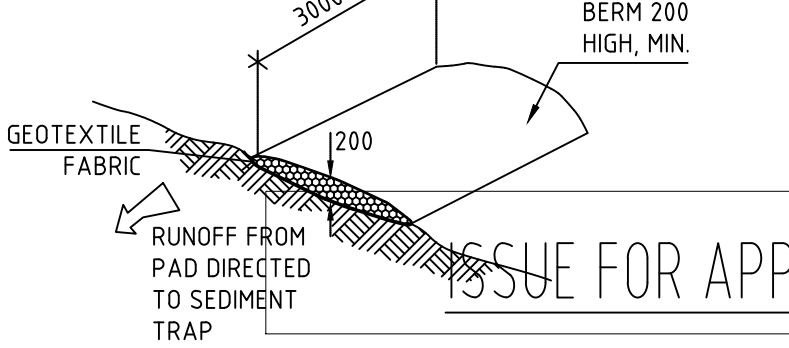
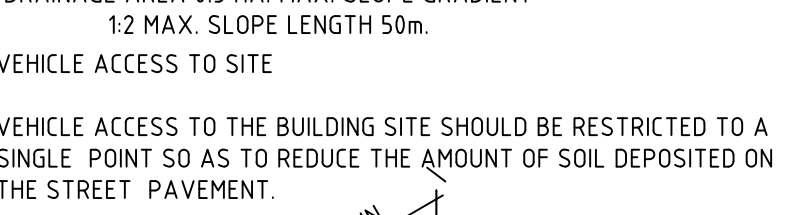
PROVIDE 'SEDIMENT FENCE ON DOWN SLOPE BOUNDARY AS SHOWN ON PLAN. FABRIC TO BE BURIED BELOW GROUND AT LOWER EDGE.



DRAINAGE AREA 0.5 HA. MAX. SLOPE GRADIENT 1:2 MAX. SLOPE LENGTH 50m.

VEHICLE ACCESS TO SITE

VEHICLE ACCESS TO THE BUILDING SITE SHOULD BE RESTRICTED TO A SINGLE POINT SO AS TO REDUCE THE AMOUNT OF SOIL DEPOSITED ON THE STREET PAVEMENT.



GENERAL NOTES

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS AND WITH OTHER SUCH WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ANY DISCREPANCY SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.

ALL DIMENSIONS ARE IN MILLIMETRES & ALL LEVELS ARE IN METRES, UNO (UNLESS NOTED OTHERWISE).

NO DIMENSION SHALL BE OBTAINED BY SCALING THE DRAWINGS.

ALL LEVELS AND SETTING OUT DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF THE WORK.

DURING EXCAVATION WORK THE STRUCTURE SHALL BE MAINTAINED IN A STABLE AND NO PART SHALL BE OVERSTRESSED.

ALL WORK IS TO BE UNDERTAKEN IN ACCORDANCE WITH THE DETAILS SHOWN ON THE DRAWINGS & THE SPECIFICATION.

EXISTING SERVICES WHERE SHOWN HAVE BEEN PLOTTED FROM SUPPLIED DATA AND SUCH THEIR ACCURACY CAN NOT BE GUARANTEED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH THE LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF WORK.

ALL SERVICE TRENCHES UNDER VEHICULAR PAVEMENTS SHALL BE BACK FILLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL COUNCIL.

ALL TRENCH BACK FILL MATERIAL SHALL BE COMPACTED TO THE SAME DENSITY AS THE ADJACENT MATERIAL.

ON COMPLETION OF STORMWATER INSTALLATION, ALL DISTURBED AREAS MUST BE RESTORED TO ORIGINAL CONDITION, INCLUDING KERBS, FOOTPATHS, CONCRETE AREAS, GRAVEL AND GRASSED AREAS AND ROAD PAVEMENTS, UNLESS DIRECTED OTHERWISE.

CONTRACTOR TO OBTAIN ALL AUTHORITY APPROVALS UNLESS DIRECTED OTHERWISE.

STORMWATER DRAINAGE

THE STORMWATER DRAINAGE DESIGN HAS BEEN CARRIED OUT IN ACCORDANCE WITH AS/NZS 3500.3 - 1990 "STORMWATER DRAINAGE" & AS/NZS 3500.3.2-1998 "STORMWATER DRAINAGE - ACCEPTABLE SOLUTIONS".

ANY VARIATIONS TO THE NOMINATED LEVELS SHALL BE REFERRED TO ENGINEER IMMEDIATELY.

ANY VARIATIONS TO SPECIFIED PRODUCTS OR DETAILS SHALL BE REFERRED TO THE ENGINEER FOR APPROVAL.

DOWN PIPES SHALL BE A MINIMUM OF DN100 SW GRADE UPVC OR 100X100 COLORBOND/ZINCALUME STEEL, UNO.

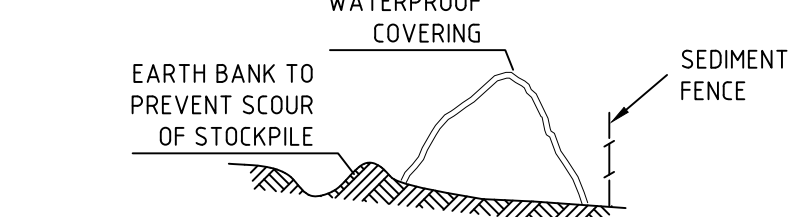
BOX COLORBOND OR ZINCALUME STEEL. GUTTERS SHALL BE A MINIMUM OF 450 WIDE X 150 DEEP.

EAVES GUTTERS SHALL BE A MINIMUM OF 125 WIDE X 100 DEEP (OR OF EQUIVALENT AREA) COLORBOND OR ZINCALUME STEEL.

SUBSOIL DRAINAGE SHALL BE PROVIDED TO ALL RETAINING WALLS & EMBANKMENTS, WITH THE LINES FEEDING INTO THE STORMWATER DRAINAGE SYSTEM.

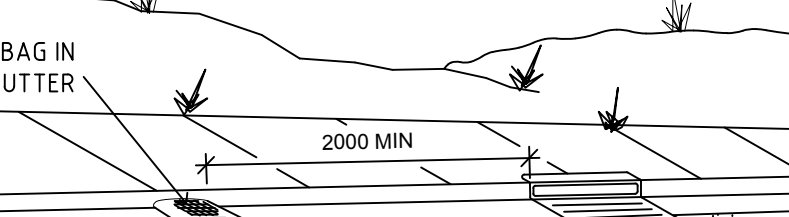
BUILDING MATERIAL STOCKPILES
ALL STOCKPILES OF BUILDING MATERIAL SUCH AS SAND AND SOIL MUST BE PROTECTED TO PREVENT SCOUR AND EROSION.

THEY SHOULD NEVER BE PLACED IN THE STREET GUTTER WHERE THEY WILL WASH AWAY WITH THE FIRST RAINSTORM.



SANDBAG KERB SEDIMENT TRAP

IN CERTAIN CIRCUMSTANCES EXTRA SEDIMENT TRAPPING MAY BE NEEDED IN THE STREET GUTTER.






PLANT SCHEDULE							
ID	Qty	Botanical Name	Common Name	Scheduled Size	Mature Spread	Mature Height	Remarks
Trees							
AC	2	Angophora costata	Sydney Red Gum, Smooth	200Ltr	6 - 10m	15 - 20m	
Bl	6	Banksia integrifolia	Coastal Banksia	100 Ltr	3.5 - 6m	5 - 10m	
BS	5	Banksia serrata	Old Man Banksia	200Ltr	3.5 - 6m	5 - 10m	
HF	14	Howea forsteriana	Kentia Palm	200Ltr	3.5 - 6m	5 - 10m	Trunk heights ~2m
LA	6	Livistona australis	Cabbage-tree Palm	200Ltr	6 - 10m	15 - 20m	
Shrubs							
Ade	48	Acacia dealbata	Silver Wattle	300 mm	2.0 - 3.5m	3 - 5m	
Bim	92	Baeckea imbricata	Heath Myrtle	200 mm	0.6 - 0.9m	0.6 - 0.75m	
Bru	45	Bauera rubioides	River Rose, Dog Rose	140 mm	1.2 - 2.0m	0.75 - 0.9m	
Lsc	20	Leptospermum scoparium	Manuka Tea tree	300 mm	1.5 - 2.0 m	1.5 - 2.0 m	
Nol	11	Nerium oleander	Oleander	300 mm	2.0 - 3.5m	3 - 5m	
Pfa	12	Podocarpus falcatus	Outeniqua yellowwood	45 Ltr	1.2 - 2.0m	1.5 - 3m	
Pro	36	Prostanthera rotundifolia	Round-leaved Mint Bush	300 mm	1.2 - 2.0m	1.5 - 3m	
Wfr	59	Westringia fruticosa	Coastal Rosemary	200 mm	0.9 - 1.2m	0.9 - 1.5m	
Cau	31	Cordyline australis	Chocolate Dracaena Palm	400 mm	2.0 - 3.5m	5 - 10m	
Cpe	33	Crinum pedunculatum	Swamp Lily, River Lily	200 mm	0.9 - 1.2m	0.45 - 0.6m	
Dex	17	Doryanthes excelsa	Gymea Lily, Giant Lily	400 mm	1.2 - 2.0m	1.5 - 3m	
Pmm	70	Phormium 'Maori Maiden'	Maori Maiden New Zealand	200 mm	0.6 - 0.9m	0.75 - 0.9m	

Perennials - grasses							
Dlj	88	Dianella caerulea 'Little Jess'	Flax Lily	140 mm	0.35 - 0.4 m	0.35 - 0.4 m	
Lfi	45	Lomandra fluviatilis	River Lomandra	200 mm	0.3 - 0.6m	0.45 - 0.6m	
Llo	184	Lomandra longifolia	Spiny-headed Mat-Rush	140 mm	0.9 - 1.2m	0.75 - 0.9m	
Pna	35	Pennisetum 'Nafray'	Fountain Grass	140 mm	0.6 - 0.9m	0.9 - 1.5m	
Dca	21	Dianella caerulea	Flax Lily	140 mm	0.0 - 0.3m	0.75 - 0.9m	
Lt	53	Lomandra longifolia 'Tanika'	Spiny-headed mat rush	140 mm	0.6 - 0.9m	0.45 - 0.6m	
Groundcovers							
Cci	36	Casuarina 'Cousin It'	River She Oak	140 mm	1.2 - 2.0m	0.3m	
Cgl	170	Carpobrotus glaucescens	Coastal Moonflower, Pigface	140 mm	1.2 - 2.0m	0.0 - 0.3m	
Das	99	Doodia aspera	Prickly Rasp Fern		0.0 - 0.3m	0.6 - 0.75m	
Gju	76	Grevillea juniperina	Prickly Grevillea	200 mm	2.0 - 3.5m	0.6 - 0.75m	
Vhe	132	Viola hederacea	Native Violet	125 mm	1.2 - 2.0m	0.0 - 0.3m	
Succulents							
Abr	50	Aloe 'Big Red'	Aloe 'Big Red'	300 mm	0.6 - 0.9m	0.75 - 0.9m	
Cbb	25	Crassula arborescens 'Bluebird'	Blue Jade Plant	300 mm	1.2 - 2.0m	1.5 - 3m	
Total:	1521						

LANDSCAPE PLAN
Scale: 1:100

 northern beaches council
THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT
DA NUMBER: DA2020/0133
(Activation of consent must be obtained from Northern Beaches Council)

