

ISSUE DATE: 9/08/2022			
REF	DRAWING TITLE	SCALE	REV.
EX01	EXISTING SITE PLAN	1:200	B
EX02	EXISTING GROUND FLOOR PLAN	1:100	B
EX03	EXISTING FIRST FLOOR PLAN	1:100	B
EX04	EXISTING SECTIONS	1:100	B
EX05	EXISTING ELEVATIONS	1:100	B
EX06	EXISTING 3D EXTERNAL VIEWS		B
DA01	LOCALITY & SITE ANALYSIS PLAN		C
DA02	SITE PLAN	1:200	F
DA03	AREA CALCULATIONS	1:200, 1:100	K
DA04	EXCAVATION / EROSION & SEDIMENT CONTROL PLAN	1:100	D
DA05	DEMOLITION PLAN	1:100	C
DA06	GROUND FLOOR PLAN	1:100	B
DA07	FIRST FLOOR PLAN	1:100	F
DA08	SECOND FLOOR PLAN	1:100	I
DA09	SECTIONS	1:100	H
DA10	ELEVATIONS	1:100	L
DA11	3D EXTERNAL VIEWS 01		K
DA12	3D EXTERNAL VIEWS 02		J
DA13	3D EXTERNAL VIEWS 03		J
DA14	EXTERNAL VIEWS FROM FOOTPATH 01		I
DA15	EXTERNAL VIEWS FROM FOOTPATH 02		L
DA16	EXTERNAL VIEWS FROM FOOTPATH 03		F
DA17	EXTERNAL VIEWS FROM FOOTPATH 04		D
DA18	INTERNAL 3D VIEWS		E
DA19	WINDOW SCHEDULE	1:50	F
DA20	FRONT YARD - 3D VIEWS		F
DA31	SHADOW DIAGRAMS - 21 JUNE - 9AM	1:200	F
DA32	SHADOW DIAGRAMS - 21 JUNE - 12PM	1:200	F
DA33	SHADOW DIAGRAMS - 21 JUNE - 3PM	1:200	F

LEGEND	
	BOUNDARY LINE
	EXISTING STRUCTURE TO REMAIN
	EXISTING STRUCTURE TO BE DEMOLISHED
	BRICK (BWK)
	TIMBER STRUCTURE (TMB)
	CONCRETE STRUCTURE (CONC)
	STEEL STRUCTURE (STL)
	CONCRETE OR RENDER FINISH (RND)
	FC SHEET CLADDING (FC)
	TIMBER FINISH (TMB)
	GLAZING (GLZ)



SUITE 8, 21 SYDNEY RD, MANLY NSW 2095  
Nom. arch. Luisa Manfredini | NSW ARB 6666  
admin@mmjarchitects.com.au

64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094

LUCY SHEPHERD & IAN DONALDSON

ALTERATIONS AND ADDITIONS TO DETACHED DWELLING

ARCHITECTURAL DRAWINGS

STAGE: DEVELOPMENT APPLICATION  
AMENDMENTS: S455 1A

REVISION L

DATE OF ISSUE: 9/08/2022



BASIX COMMITMENTS

Fixtures and Systems:

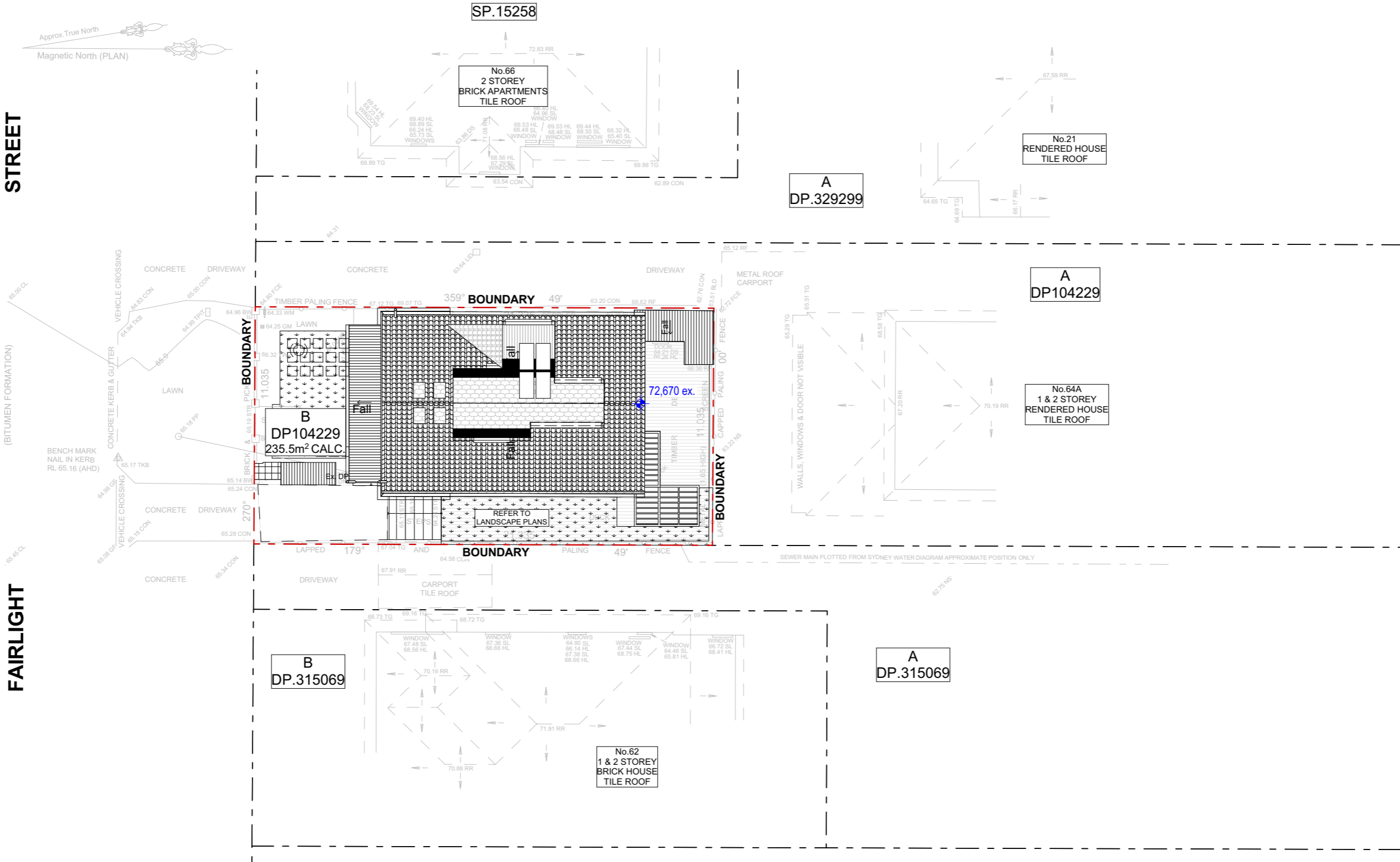
Hot water:	Install a solar (electric-boosted) hot water system in the development that is eligible to create Renewable Energy Certificates under the current (Commonwealth) Renewable Energy (Electricity) Regulations.
Lighting:	A minimum of 40% of new or altered light fixtures are to be fitted with fluorescent, compact fluorescent or LED lamps.
Fixtures:	New or altered showerheads to have a flow rate no greater than 9 Litres per minute or a 3 star water rating. New or altered toilets to have a flow rate no greater than 4 litres per average flush or a minimum 3 star rating. New or altered taps to have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction:

Insulation requirements:		
Construction:	Additional insulation required (r-value):	Other specifications:
Floor above existing dwelling or building. External wall: framed (fibro clad). Flat ceiling, pitched roof. Raked ceiling, pitched/skillions roof: framed.	Nil R1.30 (or R1.70 including construction) Ceiling: R1.45 (up), roof: foil backed blanket (55mm) Ceiling: R1.74 (up), roof: foil backed blanket (55mm)	Medium (solar absorptance 0.475 - 0.70) Medium (solar absorptance 0.475 - 0.70)

Glazing Requirements:

Windows and glazed doors:	
Window/door no. W01 - W11	Frame and glass type: Timber or uPVC, single pyrolytic low-e, (or U-value: 3.99, SHGC: 0.4)
Shylights:	
Skylight no. SK1 - SK4	Frame and glass type: Timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)

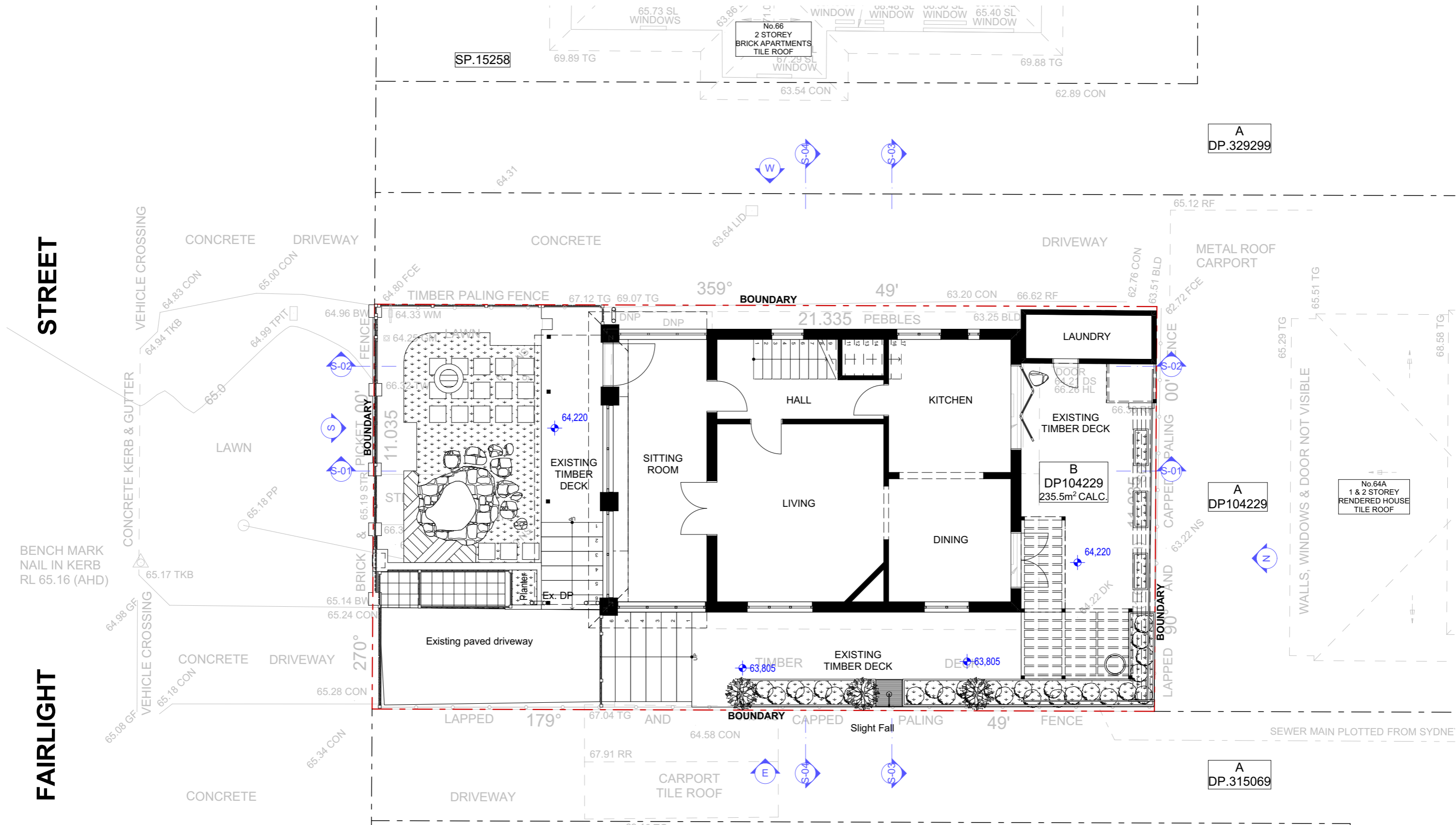


EXISTING SITE PLAN  
1:200

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	A	03.10.2019	DEVELOPMENT APPLICATION ISSUE			DRAWN: VAC	
	B	08.08.2022	AMENDMENT S:455 1A			DATE: 9/08/2022	
						JOB NO:	
						1915	

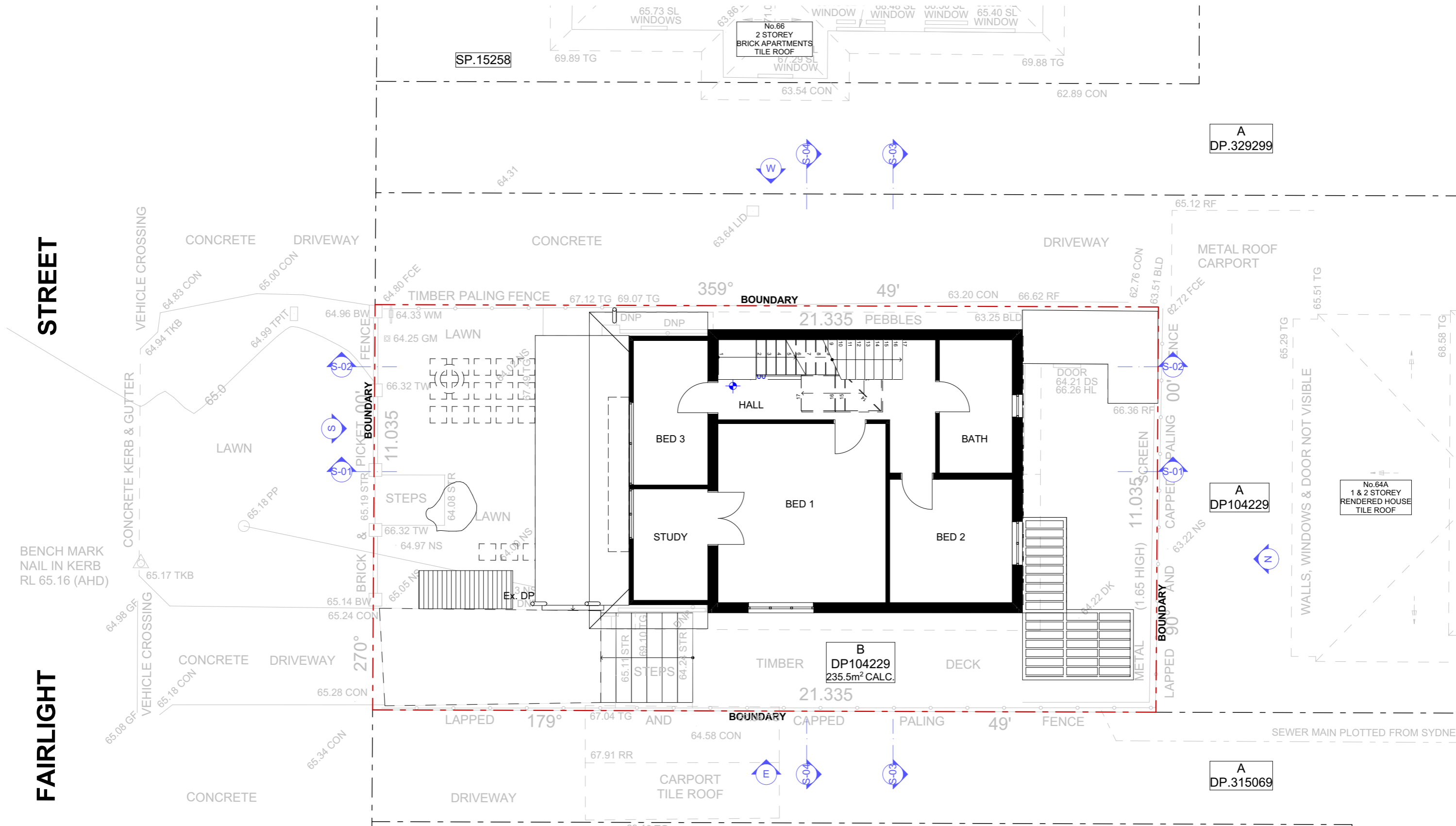
1915 Fairlight\_AC24\_S455\_220809\_MS\_No carport\_No colour.pln

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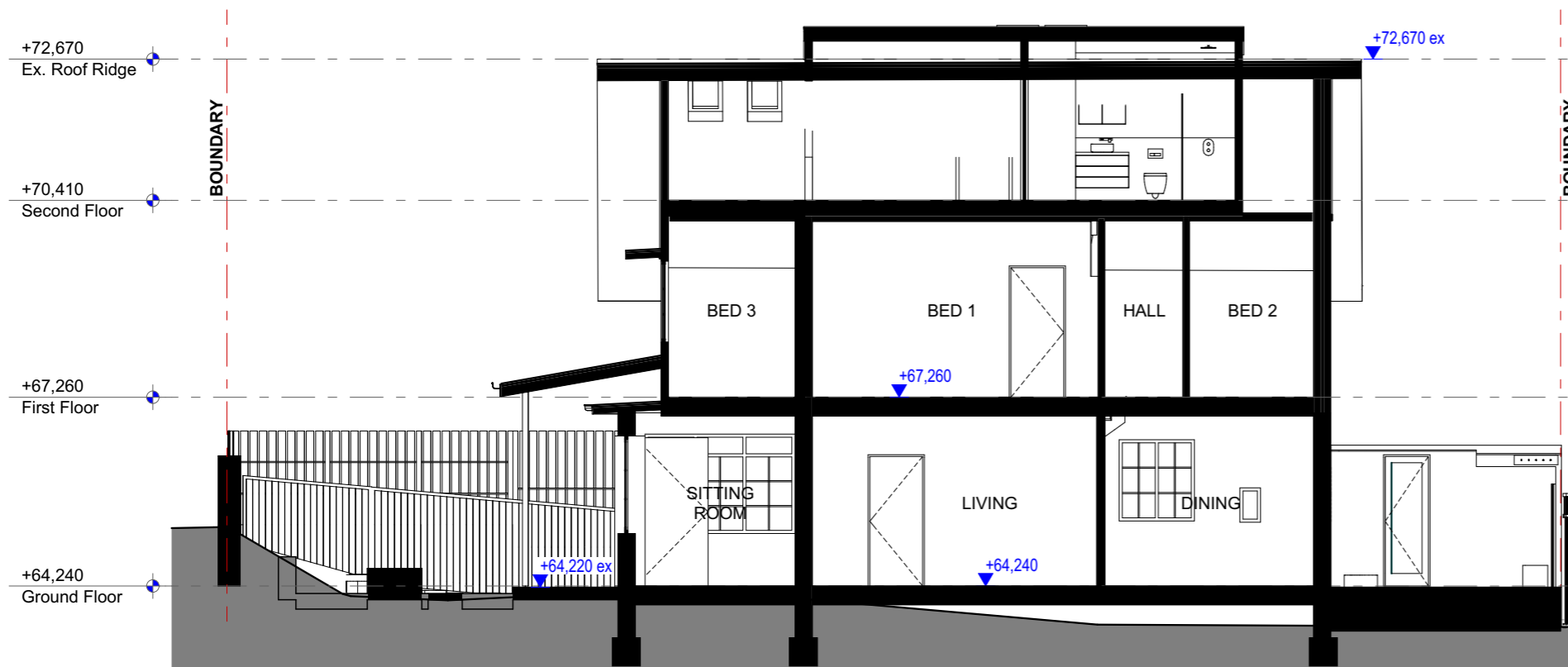
EXISTING GROUND FLOOR PLAN  
1:100

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	A	03.10.2019	DEVELOPMENT APPLICATION ISSUE			DRAWN: VAC	
	B	08.08.2022	AMENDMENT S:455 1A			DATE: 9/08/2022	
						JOB NO:	
						1915	

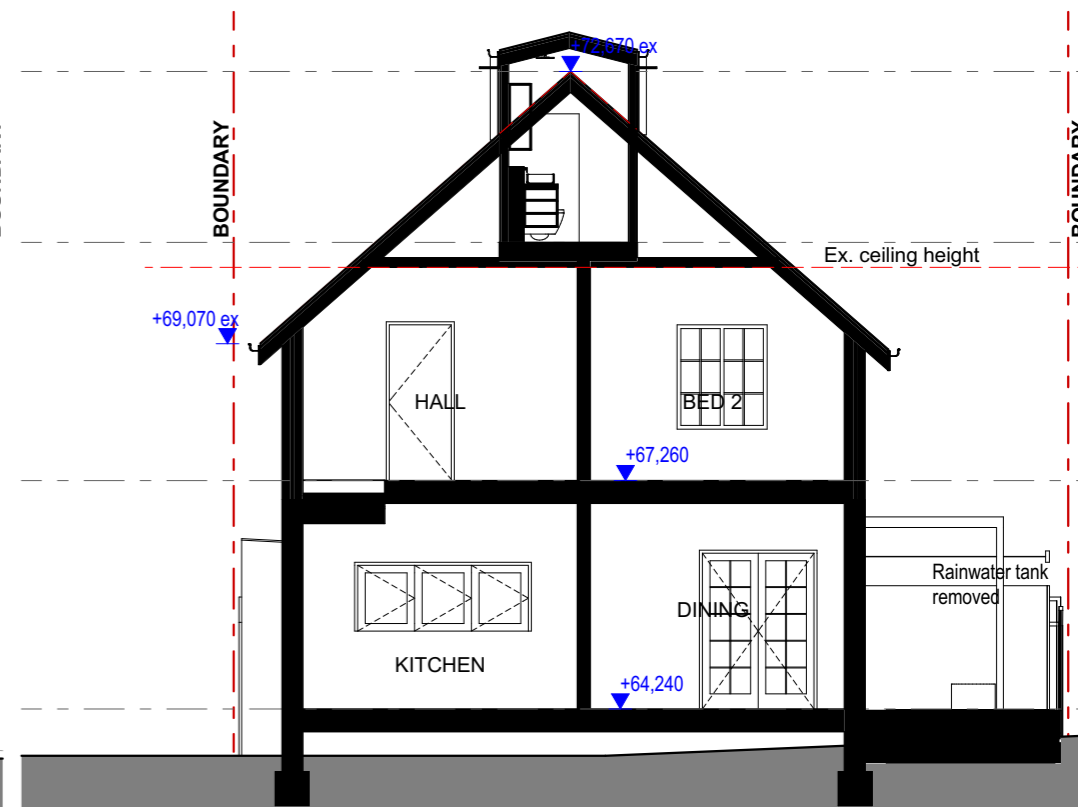


EXISTING FIRST FLOOR PLAN  
1:100

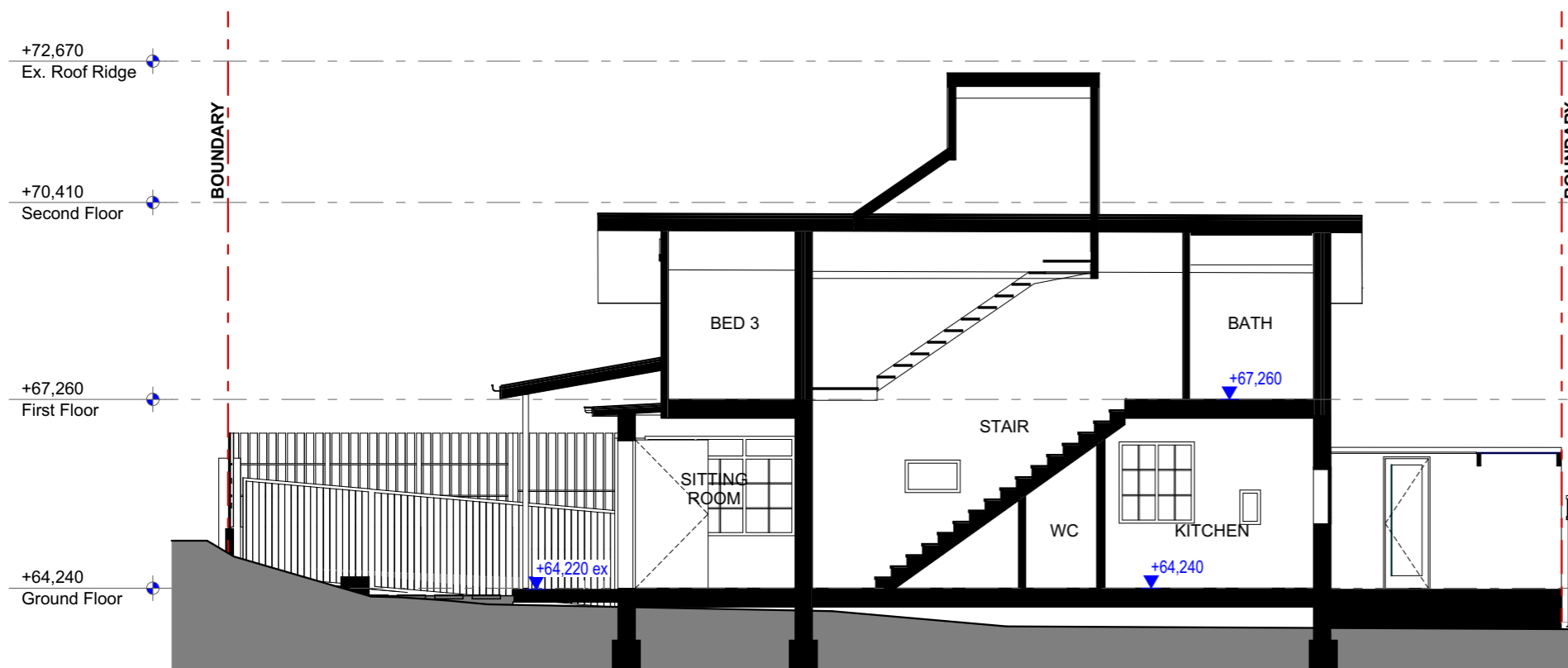
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	A	03.10.2019	DEVELOPMENT APPLICATION ISSUE			DRAWN: VAC	
	B	08.08.2022	AMENDMENT S:455 1A			DATE: 9/08/2022	
						JOB NO: 1915	



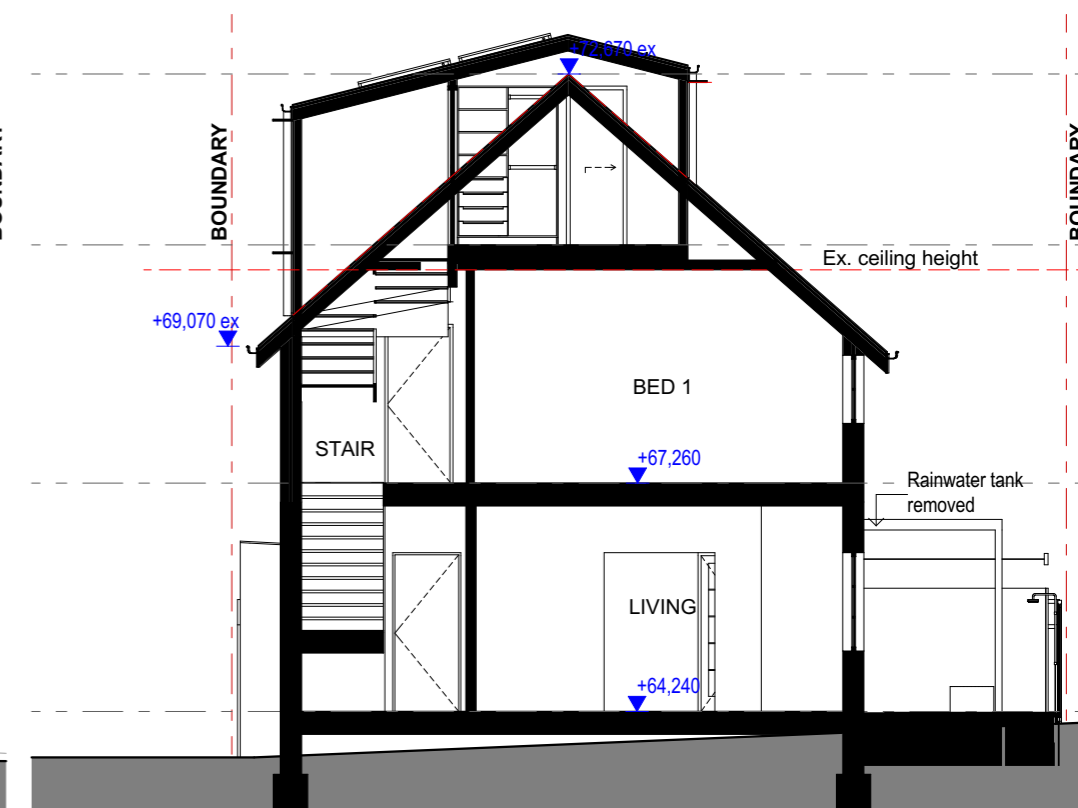
S-01 EXISTING SECTION 01  
1:100



S-03 EXISTING SECTION 03  
1:100

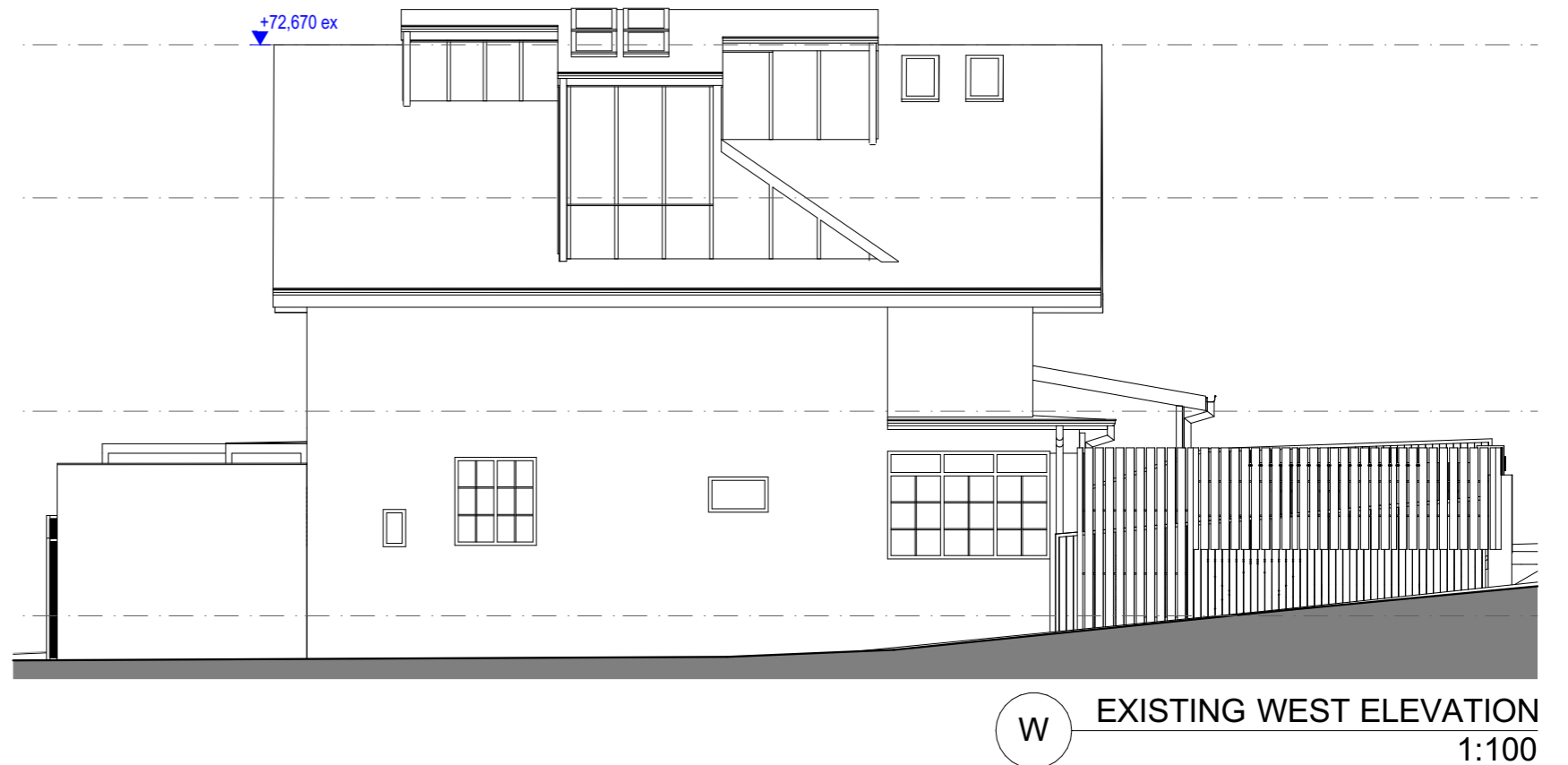
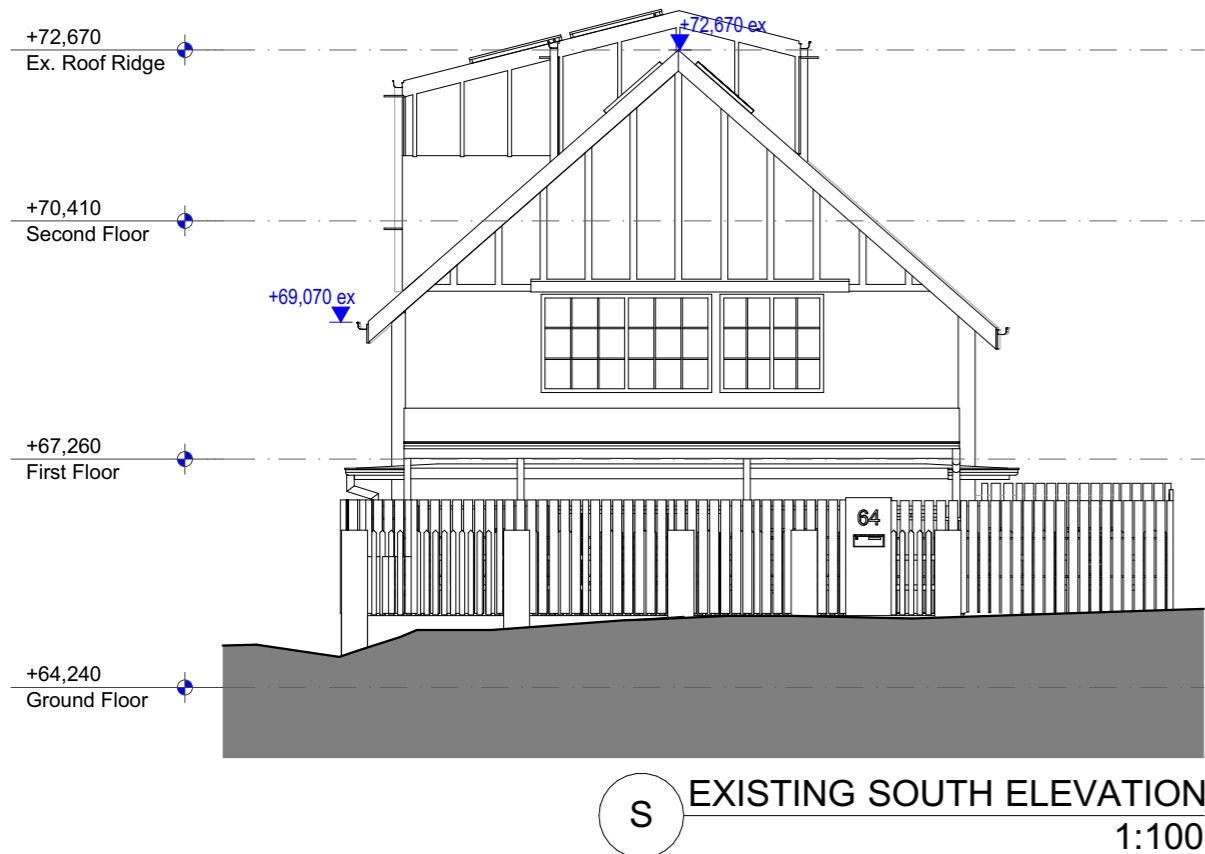
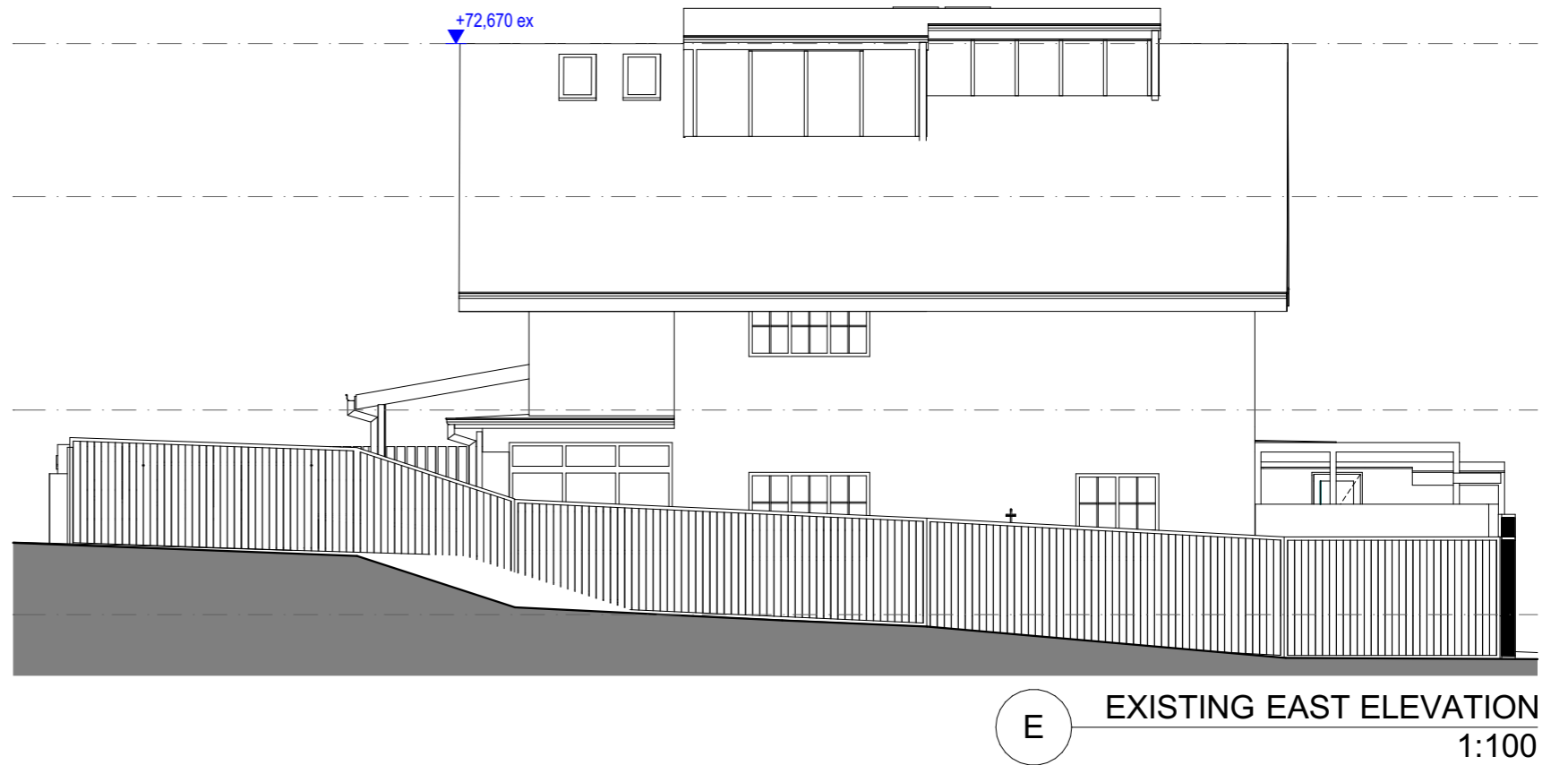
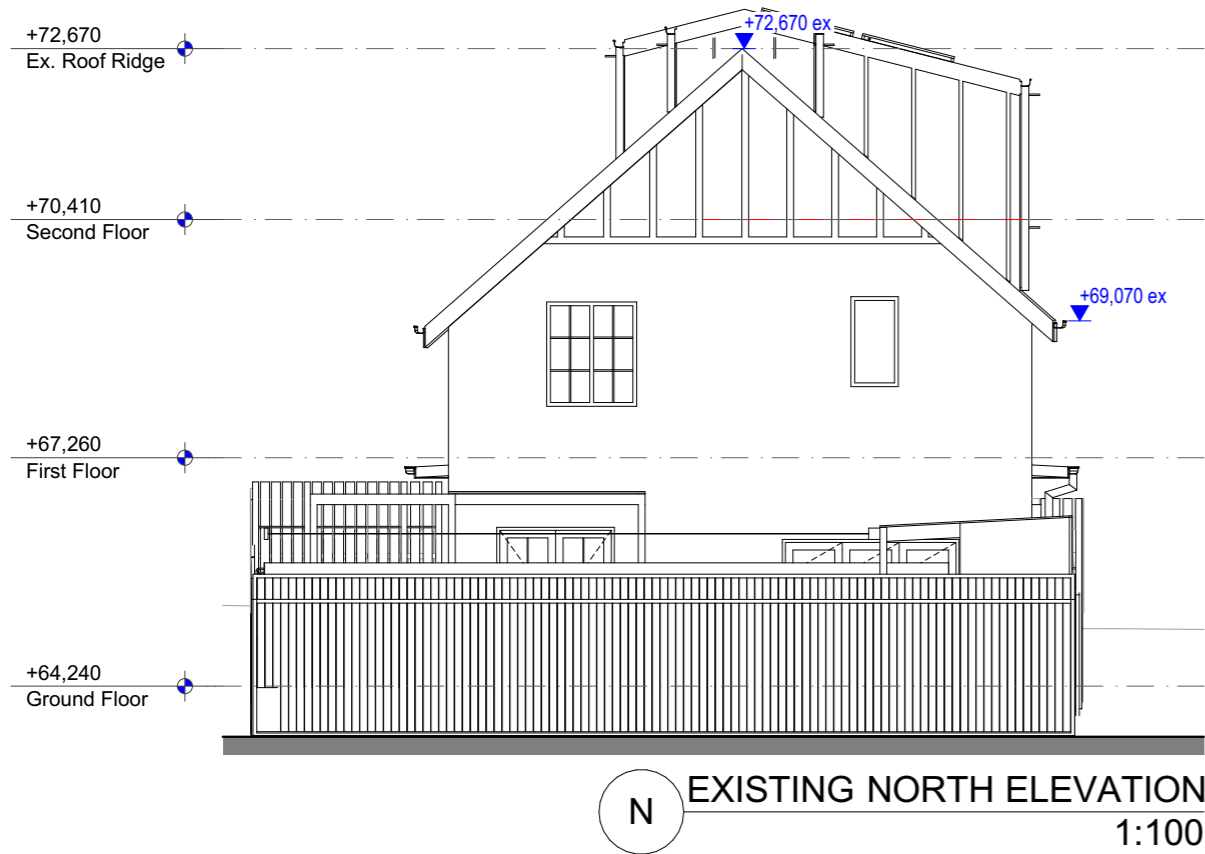


S-02 EXISTING SECTION 02  
1:100



S-04 EXISTING SECTION 04  
1:100

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	A	03.10.2019	DEVELOPMENT APPLICATION ISSUE			DRAWN: VAC	
	B	08.08.2022	AMENDMENT S:455 1A			DATE: 9/08/2022	
						JOB NO: <b>1915</b>	



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	A	03.10.2019	DEVELOPMENT APPLICATION ISSUE		DRAWN: VAC	EX05		
	B	08.08.2022	AMENDMENT S:455 1A		DATE: 9/08/2022		ISSUE: B	
					JOB NO: 1915			
					TITLE:	EXISTING ELEVATIONS		

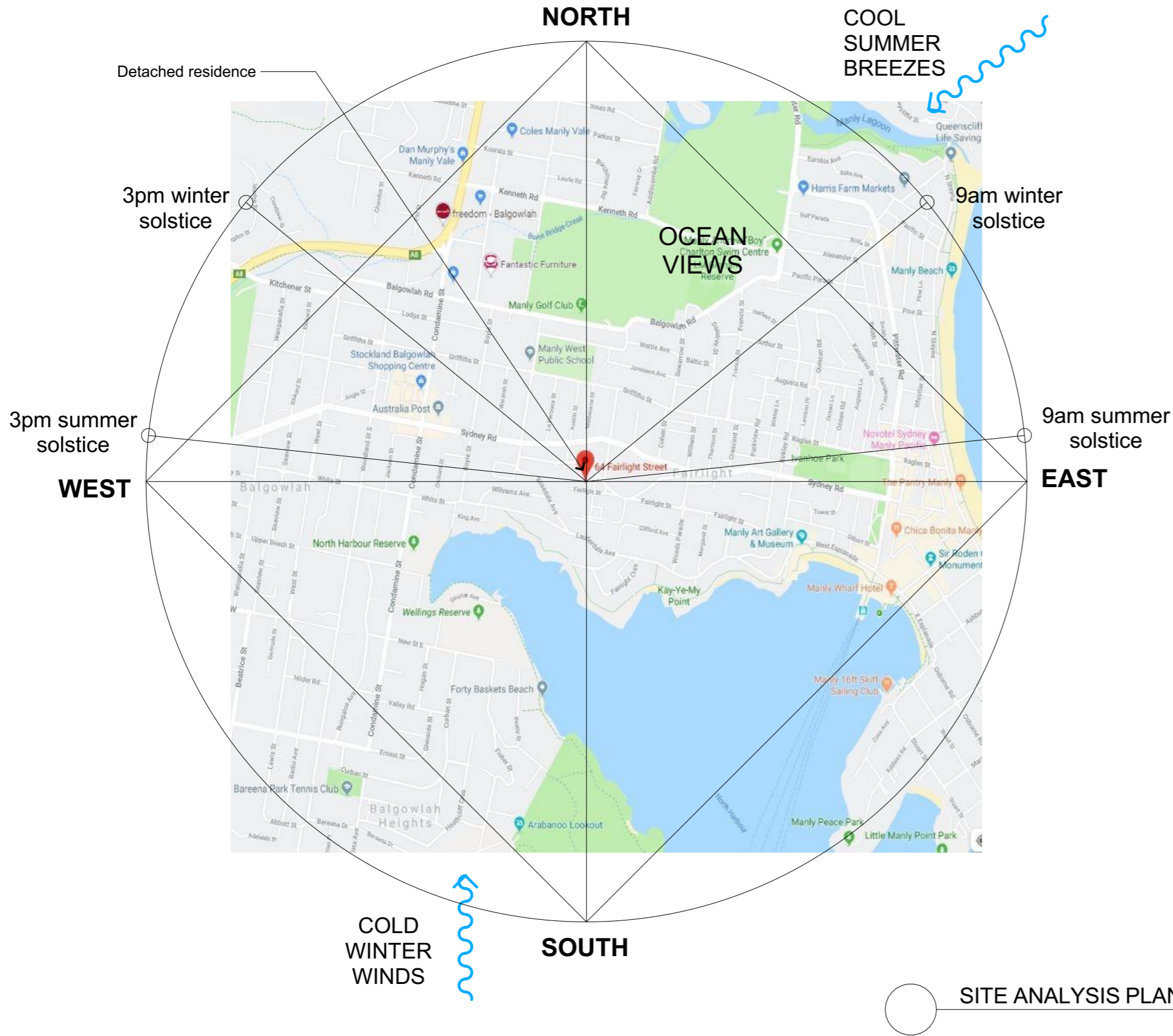
PROJECT: ALTERATIONS AND ADDITIONS TO DETACHED DWELLING

64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094

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	<div>B</div> <div>08.08.2022</div> <div>AMENDMENT S:455 1A</div>			<div>DRAWN:</div> <div>VAC</div>	
				<div>DATE:</div> <div>9/08/2022</div>	
				<div>JOB NO:</div> <div>1915</div>	



AERIAL VIEW



STREET VIEW

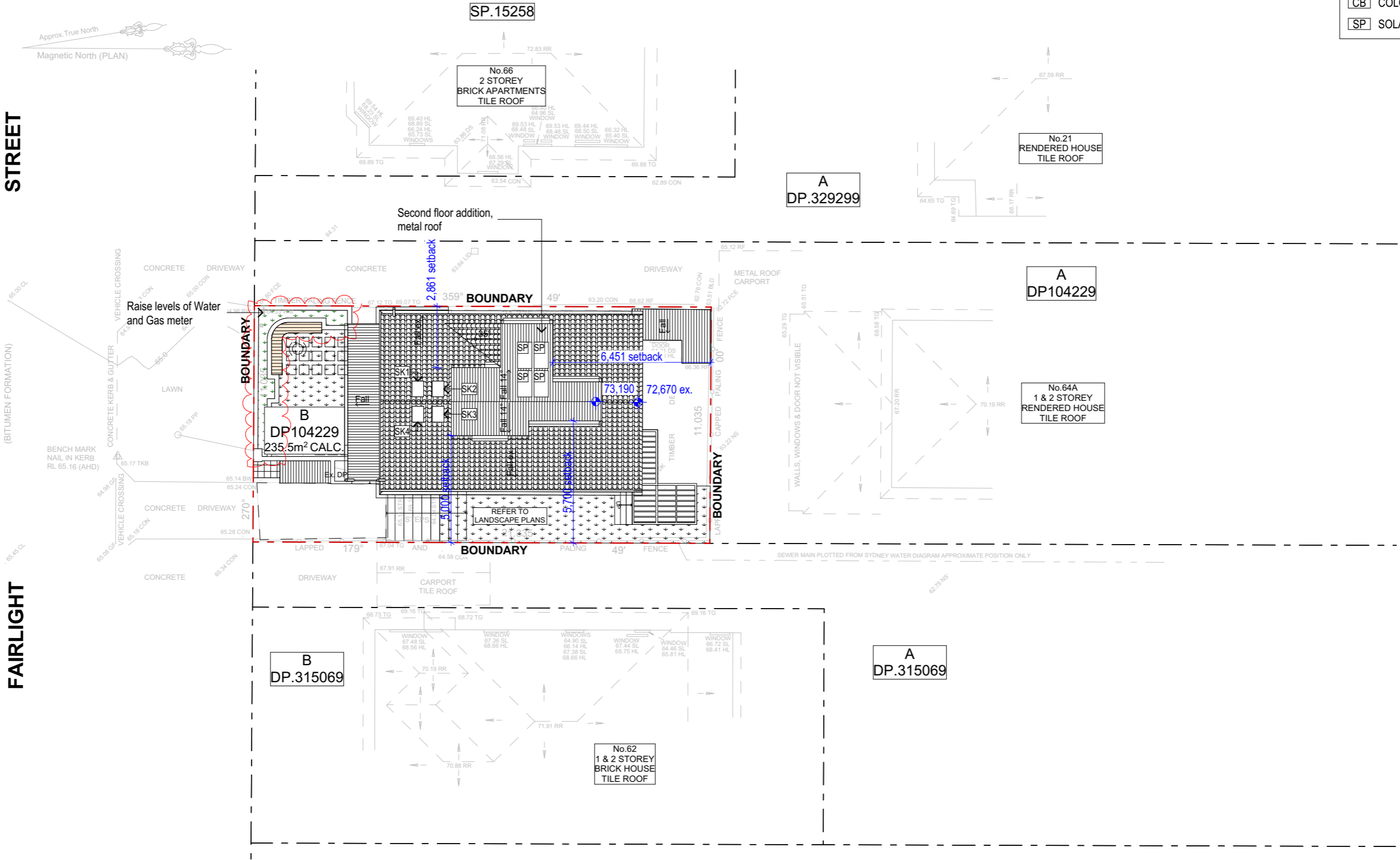
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		A	03.10.2019	DEVELOPMENT APPLICATION ISSUE				
		B	08.01.2020	REVISED DEVELOPMENT APPLICATION ISSUE				
		C	08.08.2022	AMENDMENT S:455 1A				

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NOTES:  
1. Connect new stormwater drainage to existing stormwater system to the street.  
2. Displayed roof falls are approximate, verify on site.

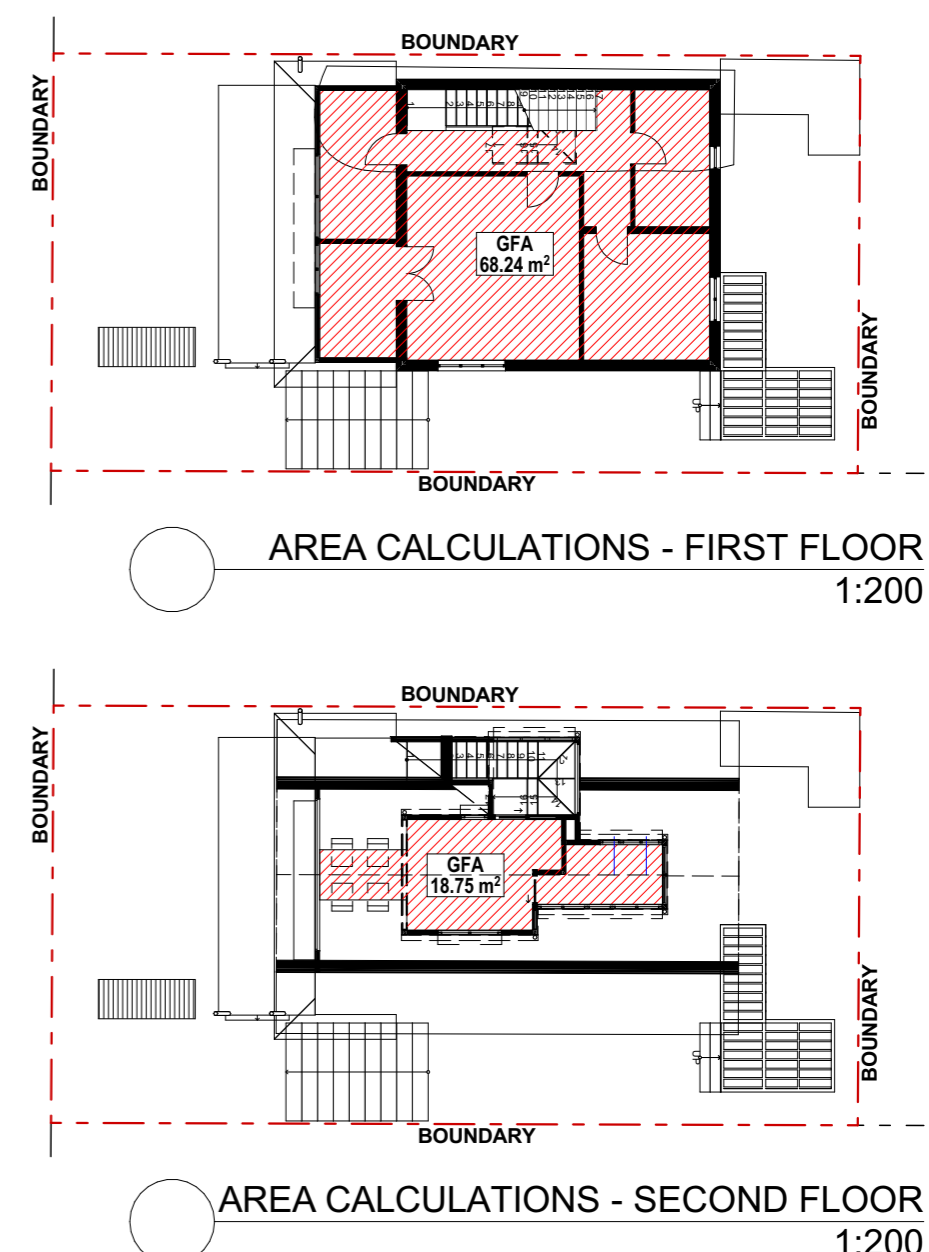
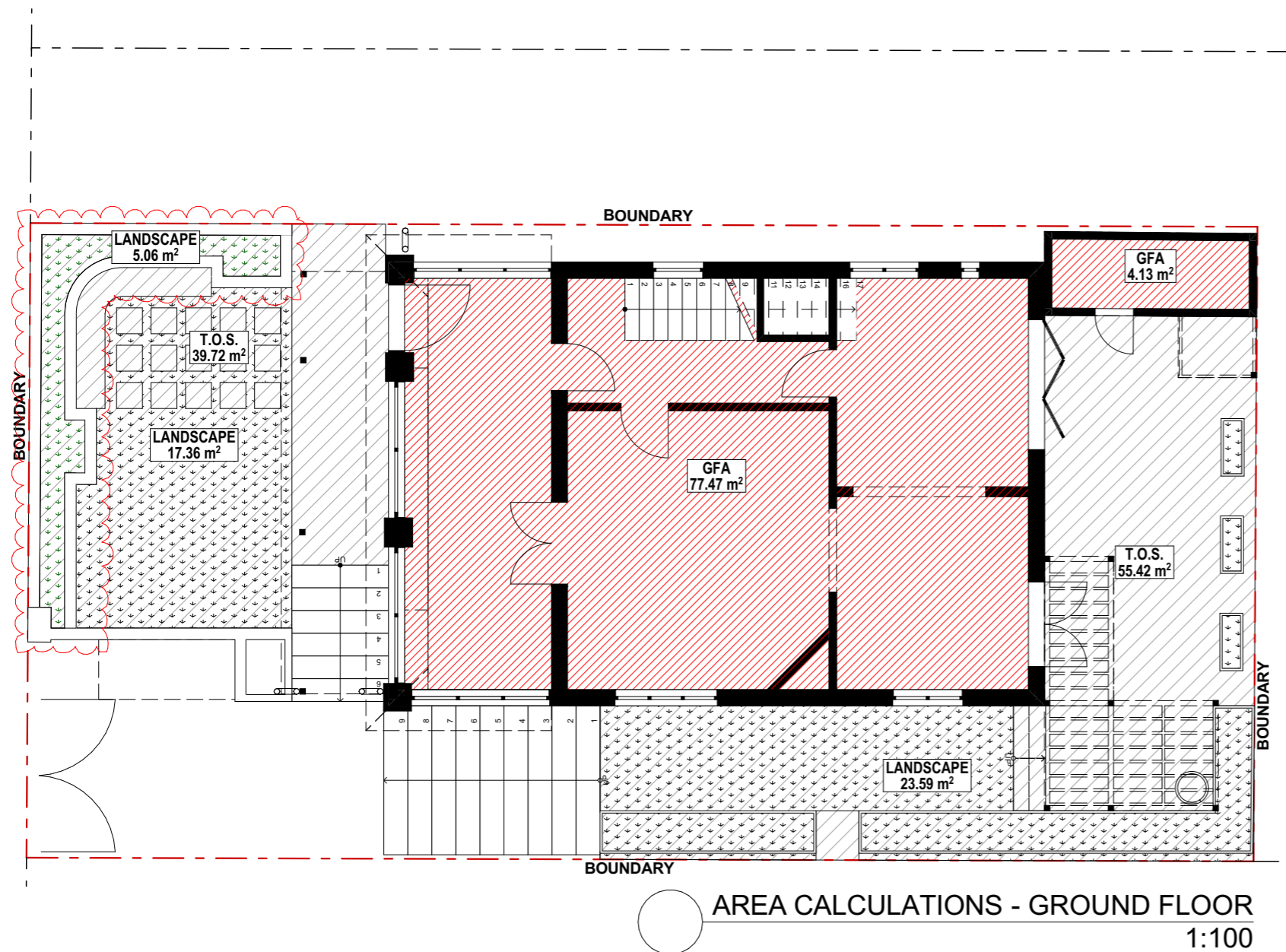
LEGEND	
CB	COLORBOND ROOFING
SP	SOLAR PANEL



SITE PLAN  
1:200

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		A	03.10.2019	DEVELOPMENT APPLICATION ISSUE				
		B	07.01.2019	FOR CLIENT APPROVAL				
		C	08.01.2020	REVISED DEVELOPMENT APPLICATION ISSUE				
		D	30.09.2021	AMMENDMENT: S455				
		E	15.12.2021	AMMENDMENT: REMOVAL OF CARPORT & TILT-LIFT GATE				
		F	08.08.2022	AMMENDMENT S:455 1A				

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#### OPEN SPACE AREA CALCULATIONS

SITE AREA = 235.5m<sup>2</sup>  
AREA: OS3

TOTAL OPEN SPACE REQUIRED = 55% (129.53m<sup>2</sup>)  
TOTAL OPEN SPACE PROPOSED = 40.1% (95.14m<sup>2</sup>)

LANDSCAPED AREA REQUIRED = 35% OF T.O.S. (34.59m<sup>2</sup>)  
LANDSCAPED AREA PROPOSED = 49.27% (46.88m<sup>2</sup>)

MAX. OPEN SPACE ABOVE GROUND = 25% OF T.O.S. (24.71m<sup>2</sup>)  
PROPOSED OPEN SPACE ABOVE GROUND = 0%

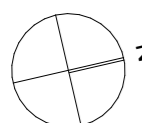
#### LEGEND

	GROSS FLOOR AREA
	TOTAL OPEN SPACE
	LANDSCAPED AREA

#### FLOOR SPACE RATIO

SITE AREA	= 235.5m <sup>2</sup>
AREA FOR FSR PURPOSES*	= 250m <sup>2</sup>
MAXIMUM FLOOR SPACE RATIO	= 0.6:1
GROUND FLOOR AREA	= 81.6m <sup>2</sup>
FIRST FLOOR AREA	= 68.2m <sup>2</sup>
TOTAL EXISTING FLOOR AREA	= 149.8m <sup>2</sup>
	= 0.60:1 FSR
SECOND FLOOR AREA	= 18.8m <sup>2</sup>
TOTAL PROPOSED FLOOR AREA	= 168.6m <sup>2</sup>
	= 0.67:1 FSR

**\*4.1.3.1 Exceptions to FSR for Undersized Lots**  
Note: On existing sites in Residential LEP Zones (including E3 & E4) with a site area less than the minimum lot size required on the LEP Lot Size (LSZ) Map, Council may consider exceptions to the maximum FSR under LEP clause 4.6 when both the relevant LEP objectives and the provisions of this DCP are satisfied. See LEP clause 4.6(4)(a).  
  
**Area 'C' on the LEP LSZ map**  
**Calculation of FSR based on 250 sqm lot size/ site area**



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**SECTION 4.55 1A**  
**DEVELOPMENT APPLICATION**

REV	DATE	DESCRIPTION
D	08.01.2020	REVISED DEVELOPMENT APPLICATION ISSUE
E	16.03.2021	AMENDMENTS TO DA - FOR CLIENT REVIEW
F	06.04.2021	CHANGES REQUESTED BY CLIENT
G	29.07.2021	CHANGES TO FRONT YARD REQUESTED BY CLIENT
H	02.08.2021	ADJUSTMENTS TO LANDSCAPE - FRONT YARD
I	30.09.2021	AMENDMENT: S455
J	15.12.2021	AMENDMENT: REMOVAL OF CARPORT & TILT-LIFT GATE
K	08.08.2022	AMENDMENT S:455 1A



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CLIENTS: LUCY SHEPHERD & IAN DONALDSON

PROJECT: ALTERATIONS AND ADDITIONS TO DETACHED DWELLING  
**64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094**

TITLE: **AREA CALCULATIONS**

SCALE: 1:200, 1:100

DRAWN: VAC

DATE: 9/08/2022

JOB NO:  
**1915**

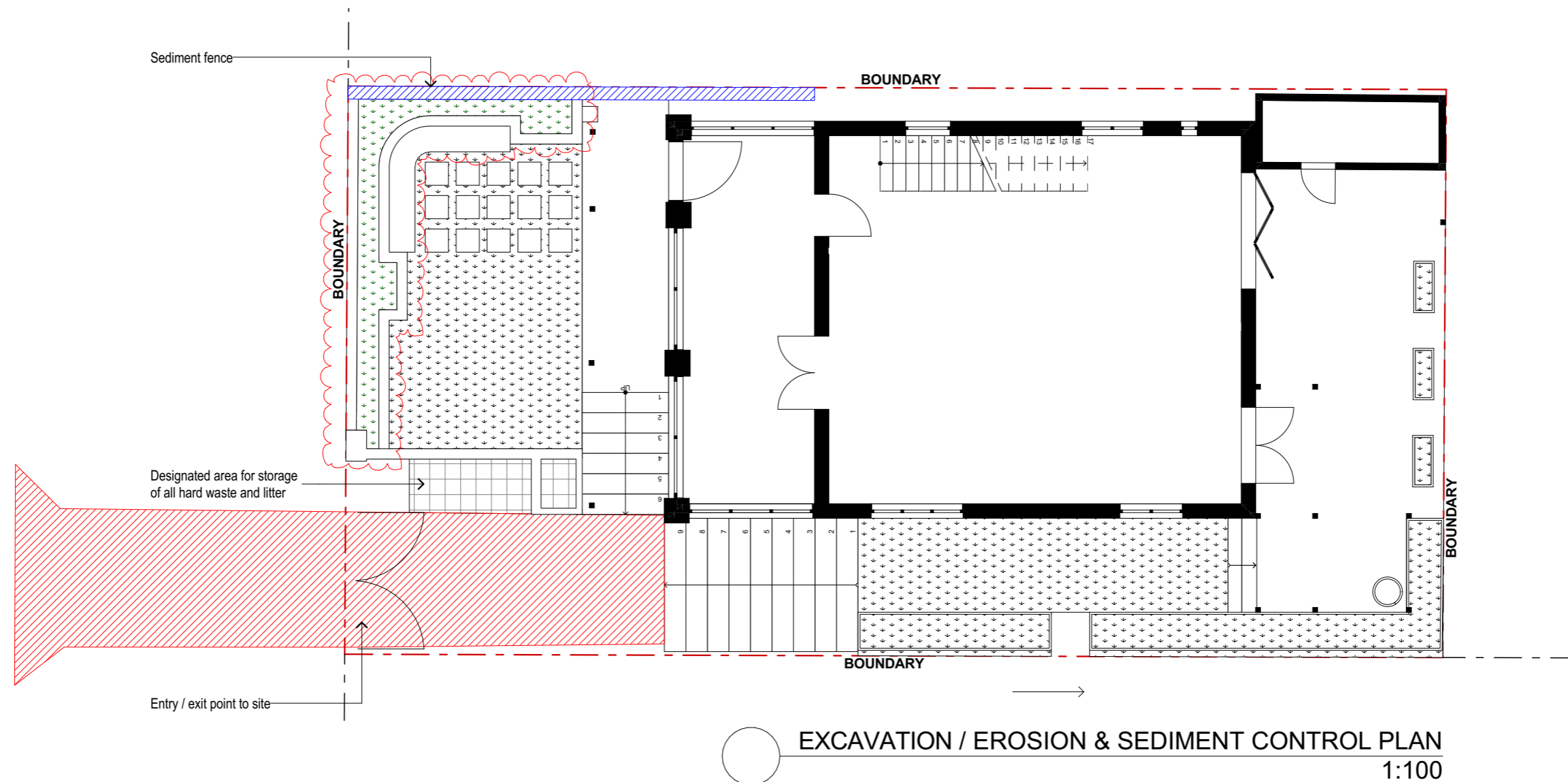
DRAWING NO:

**DA03**

ISSUE:  
**K**

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#### NOTES:

BUILDER TO RESTRICT VEHICLE MOVEMENTS TO THE DESIGNATED AREA.






BUILDER TO CLEAR ONLY THOSE AREAS THAT MUST BE DISTURBED DURING THE BUILDING WORKS.

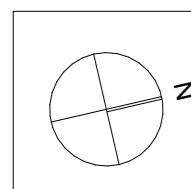
VEGETATION IS NOT TO BE DISTURBED DURING CONSTRUCTION.

INSTALL ONSITE WASTE RECEPTACLES, SUCH AS SKIPS OR BINS, AND WIND-PROOF LITTER RECEPTACLES.

INSTALL AND CONNECT NEW ROOF DOWNPIPES BEFORE THE FRAME INSPECTION.

#### LEGEND

-  SEDIMENT FENCE
-  VEGETATED AREA
-  DESIGNATED AREA FOR VEHICULAR MOVEMENT DURING CONSTRUCTION
-  STORAGE AREA
-  AREA TO BE EXCAVATED



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**SECTION 4.55 1A  
DEVELOPMENT APPLICATION**

REV	DATE	DESCRIPTION
A	03.10.2019	DEVELOPMENT APPLICATION ISSUE
B	08.01.2020	REVISED DEVELOPMENT APPLICATION ISSUE
C	30.09.2021	AMMENDMENT: S455
D	08.08.2022	AMMENDMENT S:455 1A

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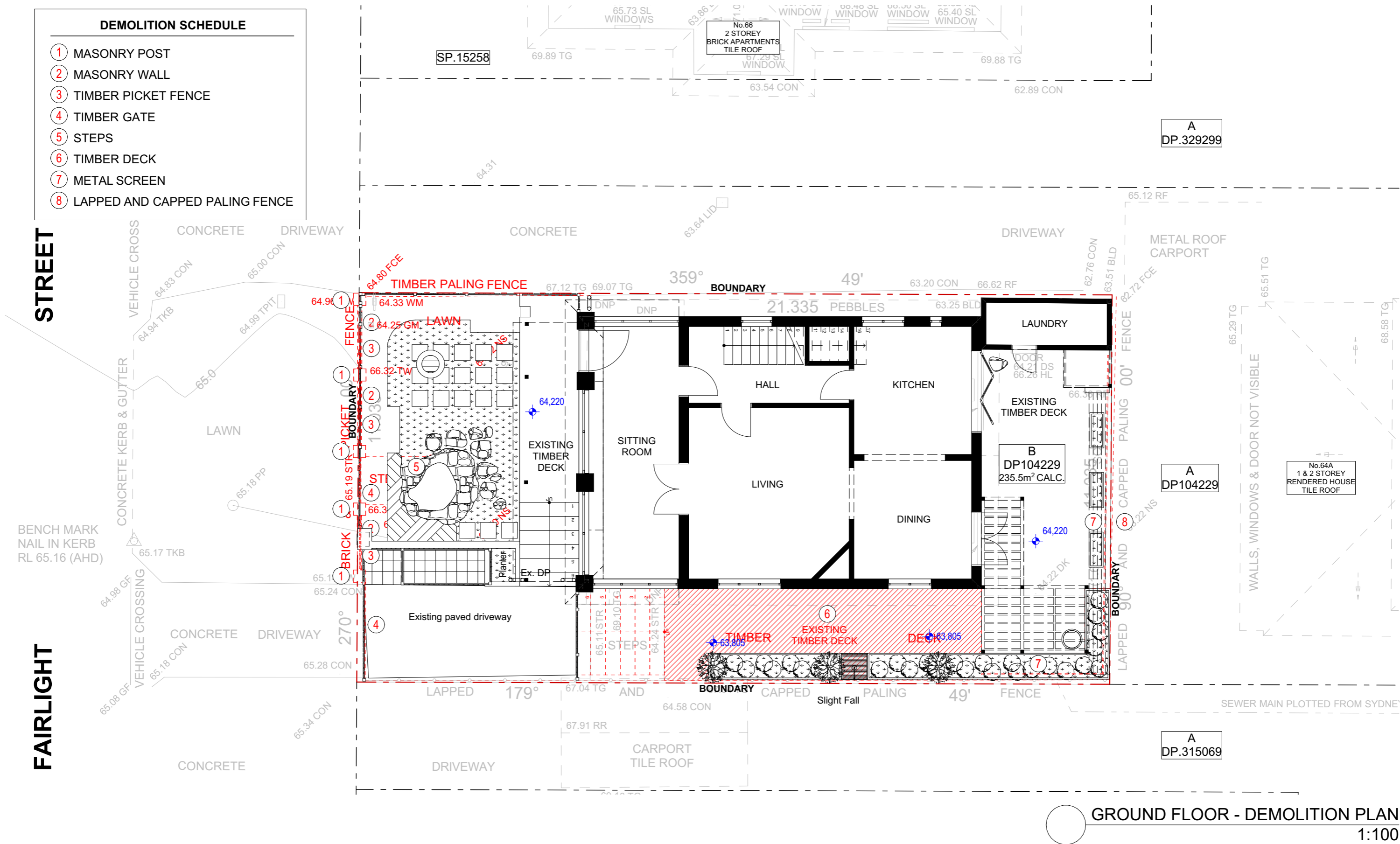
CLIENTS: LUCY SHEPHERD & IAN DONALDSON

PROJECT: ALTERATIONS AND ADDITIONS TO DETACHED DWELLING  
**64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094**

TITLE: **EXCAVATION / EROSION & SEDIMENT CONTROL PLAN**

SCALE: 1:100  
DRAWN: VAC  
DATE: 9/08/2022  
JOB NO: **1915**

DRAWING NO: **DA04**  
ISSUE: **D**



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		A	03.10.2019	DEVELOPMENT APPLICATION ISSUE					DRAWN: VAC	
		B	08.01.2020	REVISED DEVELOPMENT APPLICATION ISSUE					DATE: 9/08/2022	
		C	08.08.2022	AMENDMENT S:455 1A					JOB NO: 1915	
									ISSUE: C	

SUITE 8, 21 SYDNEY RD, MANLY NSW 2095

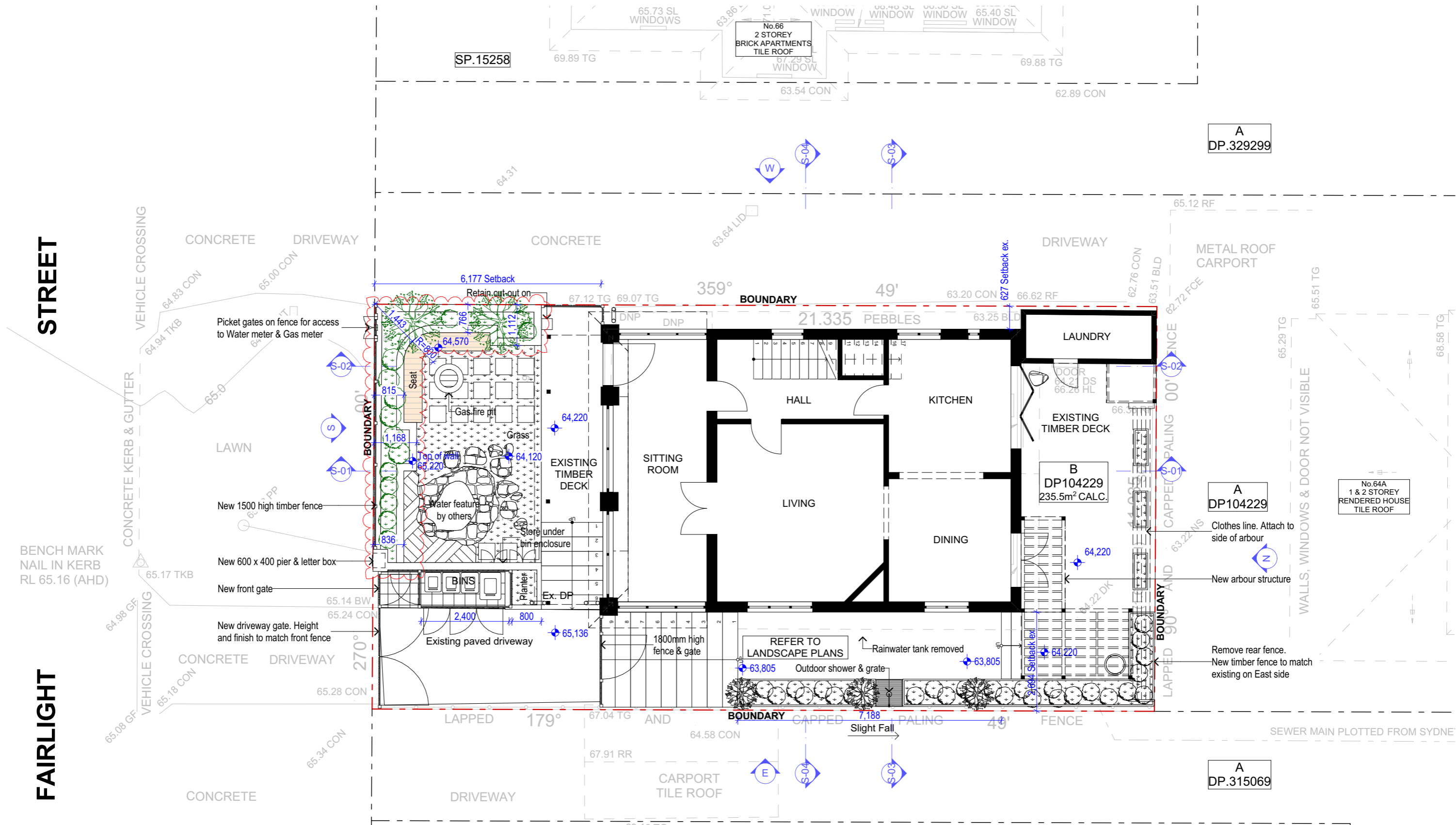
Nom. arch. Luisa Manfredini | NSW ARB 6666

admin@mmjarchitects.com.au

1915 Fairlight\_AC24\_S455\_220809\_MS\_No carport\_No colour.pln

1915 Fairlight\_AC24\_S455\_220809\_MS\_No carport\_No colour.pln

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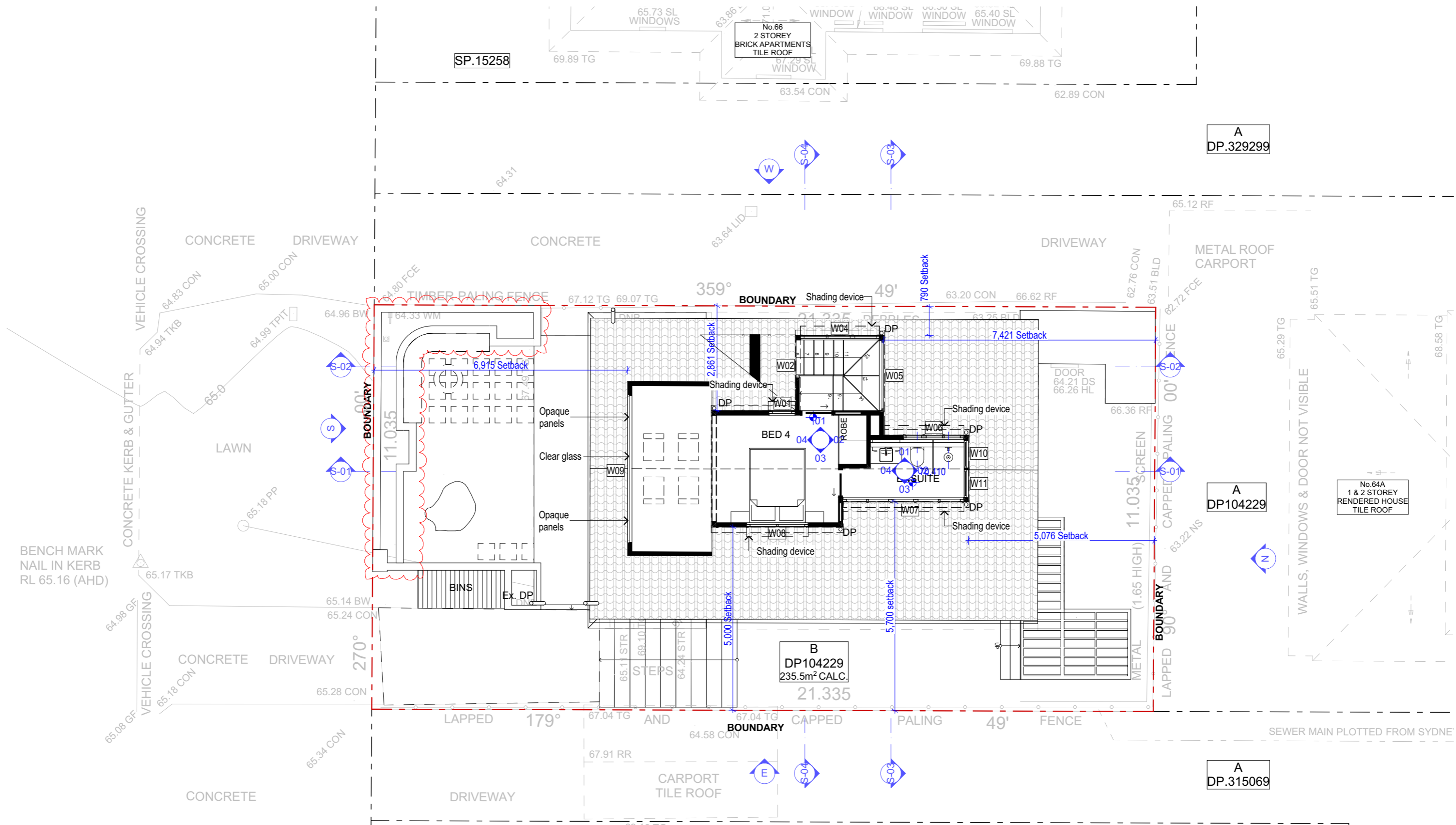


GROUND FLOOR PLAN  
1:100

 <div>N</div>	NOTES: This drawing is and remains copyright and is the property of mm+j architects p/l. It may not be used or copied in whole or in part without written consent. All dimensions to be verified on site. This drawing is not to be used for construction purposes.	REV	DATE	DESCRIPTION	  SUITE 8, 21 SYDNEY RD, MANLY NSW 2095 Nom. arch. Luisa Manfredini   NSW ARB 6666 admin@mmjarchitects.com.au	CLIENTS: LUCY SHEPHERD & IAN DONALDSON  PROJECT: ALTERATIONS AND ADDITIONS TO DETACHED DWELLING  <b>64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094</b>  TITLE: GROUND FLOOR PLAN	SCALE: 1:100	DRAWING NO:  <b>DA06</b>  ISSUE:  <b>B</b>
	A	15.12.2021	AMENDMENT: REMOVAL OF CARPORT & TILT-LIFT GATE	DRAWN: VAC				
	B	08.08.2022	AMENDMENT S:455 1A	DATE: 9/08/2022				
				JOB NO: 1915				

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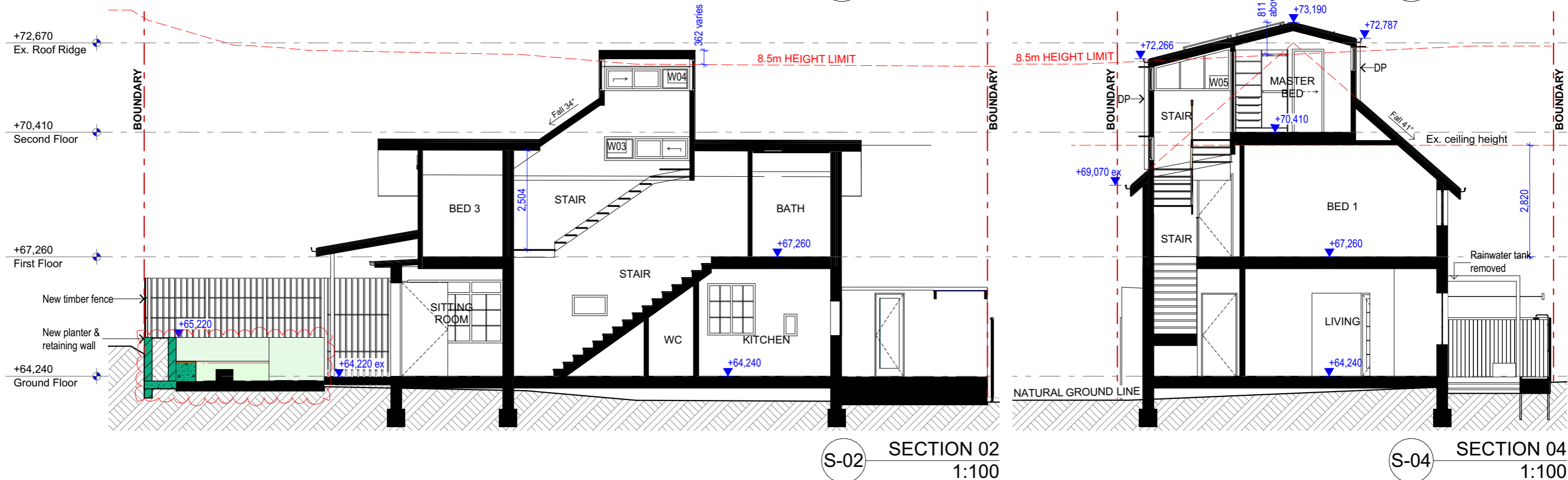
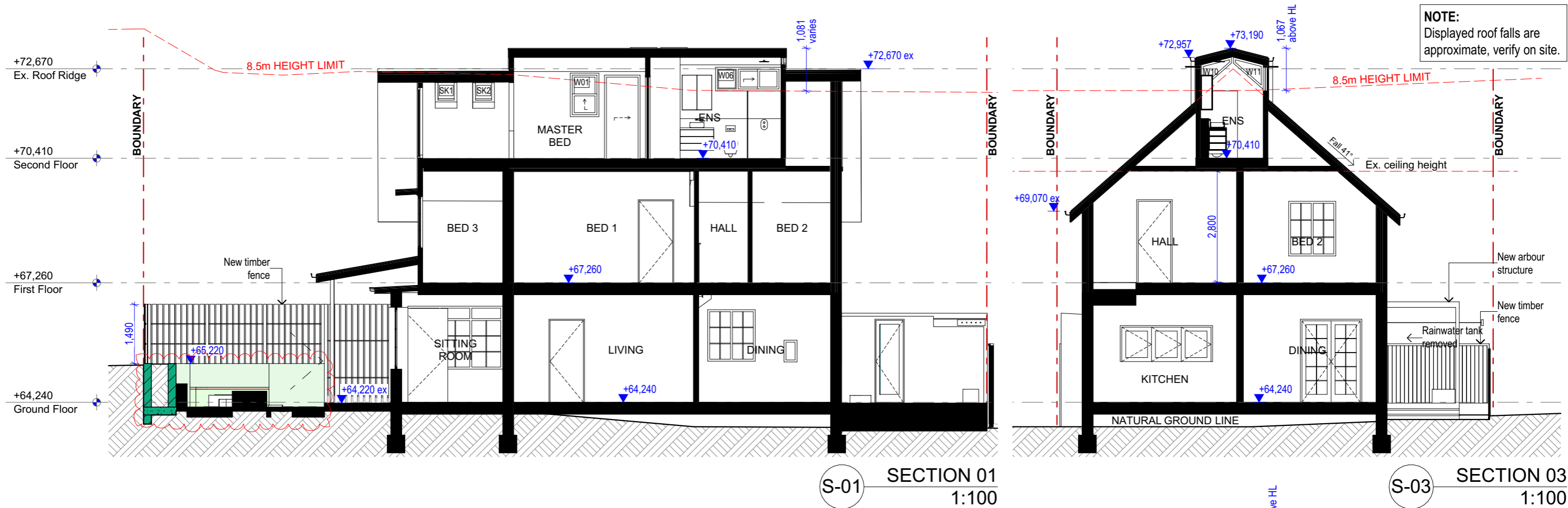




SECOND FLOOR PLAN  
1:100

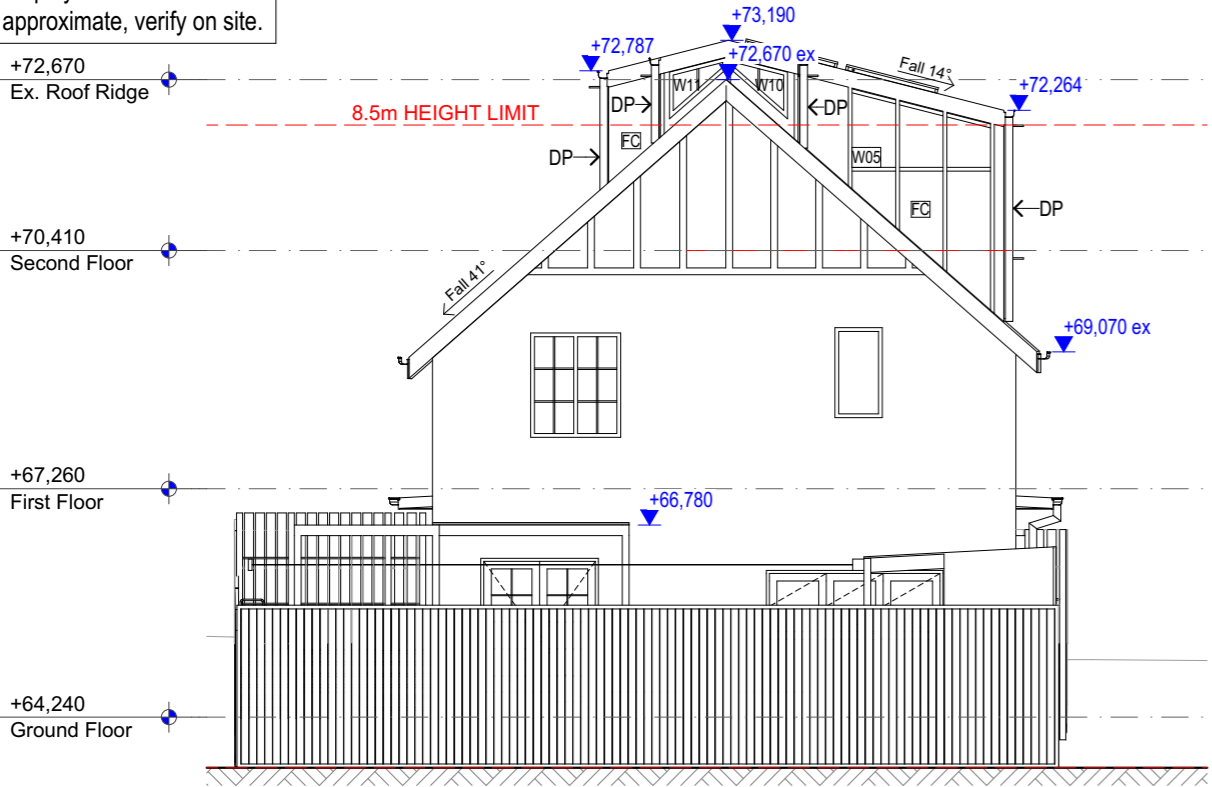
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		B	18.12.2019	AMENDMENTS TO DA - ISSUE FOR CONSULTANT					DRAWN: VAC	
		C	07.01.2019	FOR CLIENT APPROVAL					DATE: 9/08/2022	
		D	08.01.2020	REVISED DEVELOPMENT APPLICATION ISSUE					JOB NO: <b>1915</b>	
		E	30.09.2021	AMMENDMENT: S455						
		F	30/11/2021	WINDOW AMMENDMENT: S455	SUITE 8, 21 SYDNEY RD, MANLY NSW 2095 Nom. arch. Luisa Manfredini   NSW ARB 6666 admin@mmjarchitects.com.au					PLOTTED 9/08/2022 11:03 AM
		G	02.12.2021	WINDOW AMMENDMENT: S455						
		H	15.12.2021	AMMENDMENT: REMOVAL OF CARPORT & TILT-LIFT GATE						
		I	08.08.2022	AMMENDMENT S:455 1A						

1915 Fairlight\_AC24\_S455\_220809\_MS\_No carport\_No colour.pln

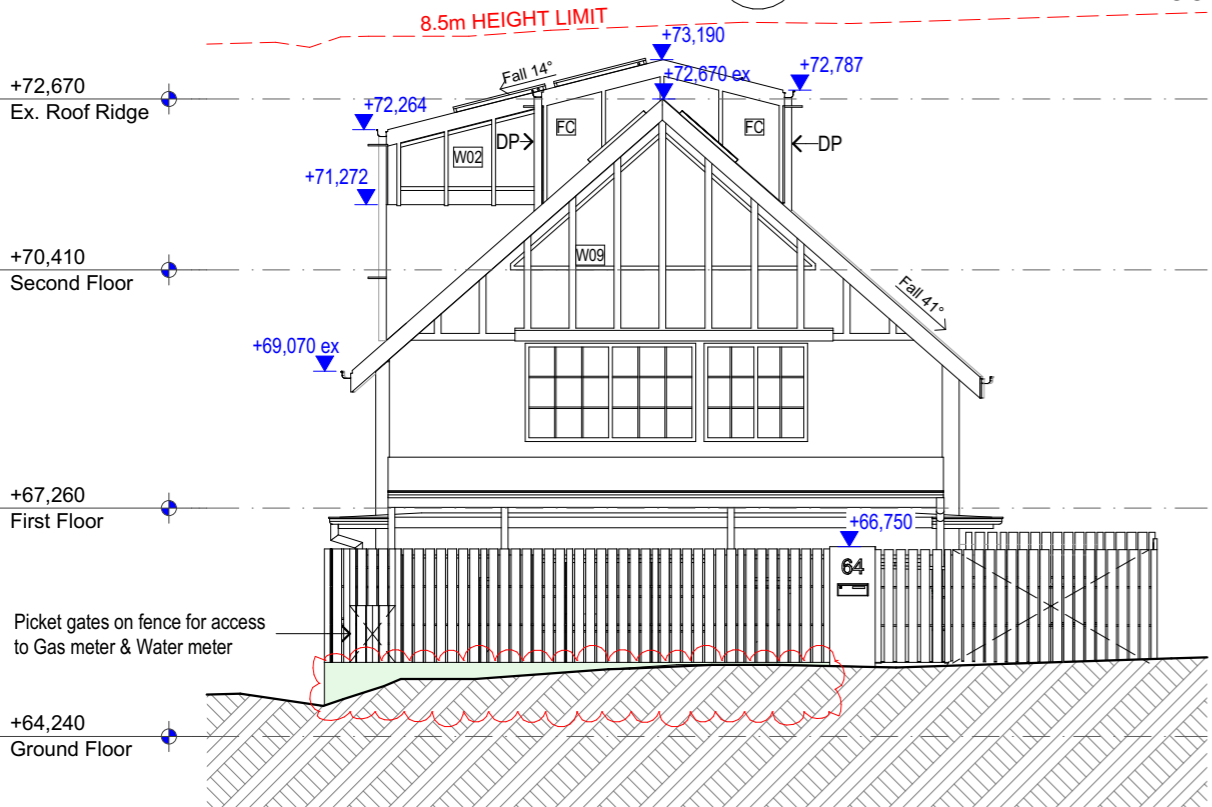


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	<p>REV B 07.01.2019 FOR CLIENT APPROVAL</p>	<p>DATE 07.01.2019</p>	<p>DESCRIPTION FOR CLIENT APPROVAL</p>			<p>DRAWN: VAC</p>	<p>DATE: 9/08/2022</p>
	<p>REV C 08.01.2020 REVISED DEVELOPMENT APPLICATION ISSUE</p>	<p>DATE 08.01.2020</p>	<p>DESCRIPTION REVISED DEVELOPMENT APPLICATION ISSUE</p>			<p>DATE: 9/08/2022</p>	<p>ISSUE: H</p>
	<p>REV D 30.09.2021 AMMENDMENT: S455</p>	<p>DATE 30.09.2021</p>	<p>DESCRIPTION AMMENDMENT: S455</p>			<p>DATE: 9/08/2022</p>	<p>ISSUE: H</p>
	<p>REV E 30/11/2021 WINDOW AMMENDMENT: S455</p>	<p>DATE 30/11/2021</p>	<p>DESCRIPTION WINDOW AMMENDMENT: S455</p>			<p>DATE: 9/08/2022</p>	<p>ISSUE: H</p>
	<p>REV F 02.12.2021 WINDOW AMMENDMENT: S455</p>	<p>DATE 02.12.2021</p>	<p>DESCRIPTION WINDOW AMMENDMENT: S455</p>			<p>DATE: 9/08/2022</p>	<p>ISSUE: H</p>
	<p>REV G 15.12.2021 AMMENDMENT: REMOVAL OF CARPORT &amp; TILT-LIFT GATE</p>	<p>DATE 15.12.2021</p>	<p>DESCRIPTION AMMENDMENT: REMOVAL OF CARPORT &amp; TILT-LIFT GATE</p>			<p>DATE: 9/08/2022</p>	<p>ISSUE: H</p>
	<p>REV H 08.08.2022 AMMENDMENT S:455 1A</p>	<p>DATE 08.08.2022</p>	<p>DESCRIPTION AMMENDMENT S:455 1A</p>			<p>DATE: 9/08/2022</p>	<p>ISSUE: H</p>

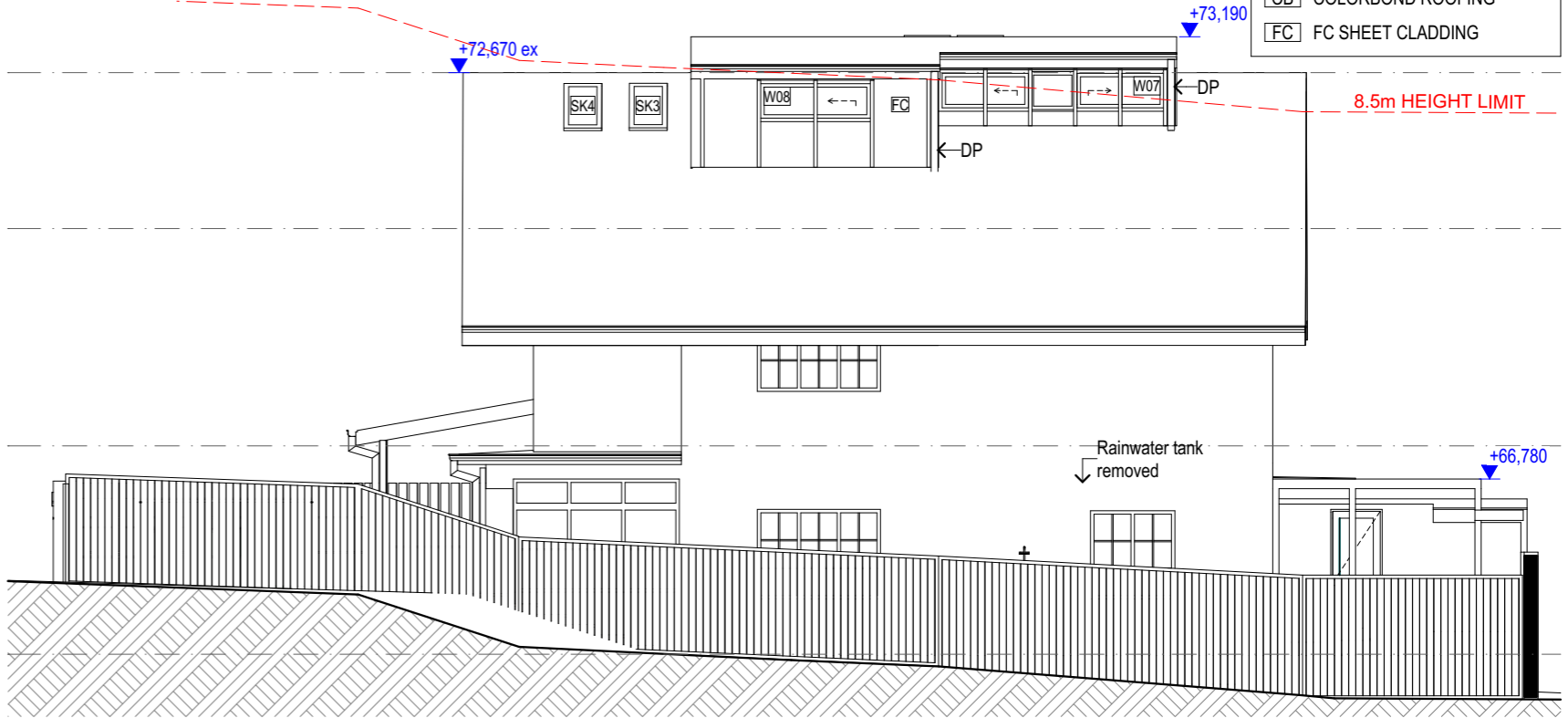
**NOTE:**  
Displayed roof falls are approximate, verify on site.



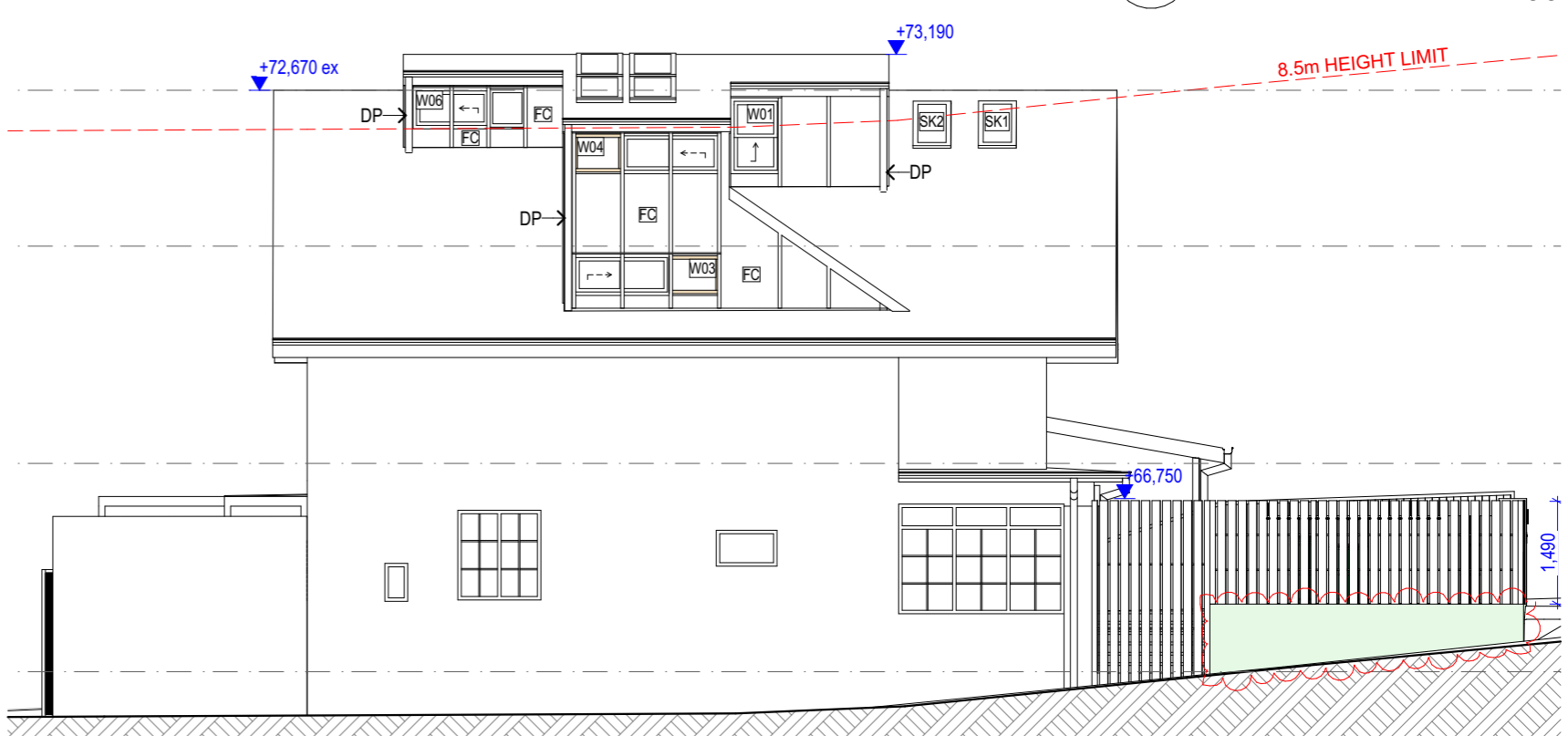
N NORTH ELEVATION  
1:100



S SOUTH ELEVATION  
1:100



E EAST ELEVATION  
1:100



W WEST ELEVATION  
1:100

LEGEND	
CB	COLORBOND ROOFING
FC	FC SHEET CLADDING

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**SECTION 4.55 1A**  
**DEVELOPMENT APPLICATION**

REV	DATE	DESCRIPTION
E	16.03.2021	AMENDMENTS TO DA - FOR CLIENT REVIEW
F	06.04.2021	CHANGES REQUESTED BY CLIENT
G	02.08.2021	ADJUSTMENTS TO LANDSCAPE - FRONT YARD
H	30.09.2021	AMMENDMENT: S455
I	30/11/2021	WINDOW AMMENDMENT: S455
J	02.12.2021	WINDOW AMMENDMENT: S455
K	15.12.2021	AMMENDMENT: REMOVAL OF CARPORT & TILT-LIFT GATE
L	08.08.2022	AMMENDMENT S:455 1A

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Nom. arch. Luisa Manfredini | NSW ARB 6666  
admin@mmjarchitects.com.au

CLIENTS: LUCY SHEPHERD & IAN DONALDSON

PROJECT: ALTERATIONS AND ADDITIONS TO DETACHED DWELLING

**64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094**

TITLE: ELEVATIONS

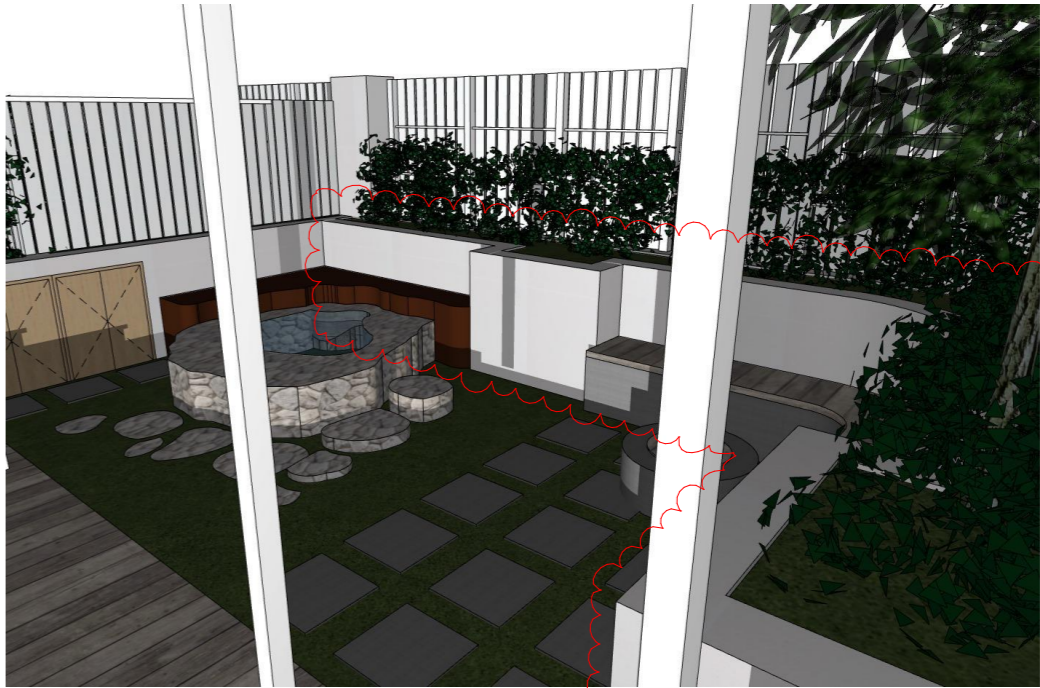
SCALE: 1:100	DRAWING NO: <b>DA10</b> ISSUE: <b>L</b>
DRAWN: VAC	
DATE: 9/08/2022	
JOB NO: 1915	

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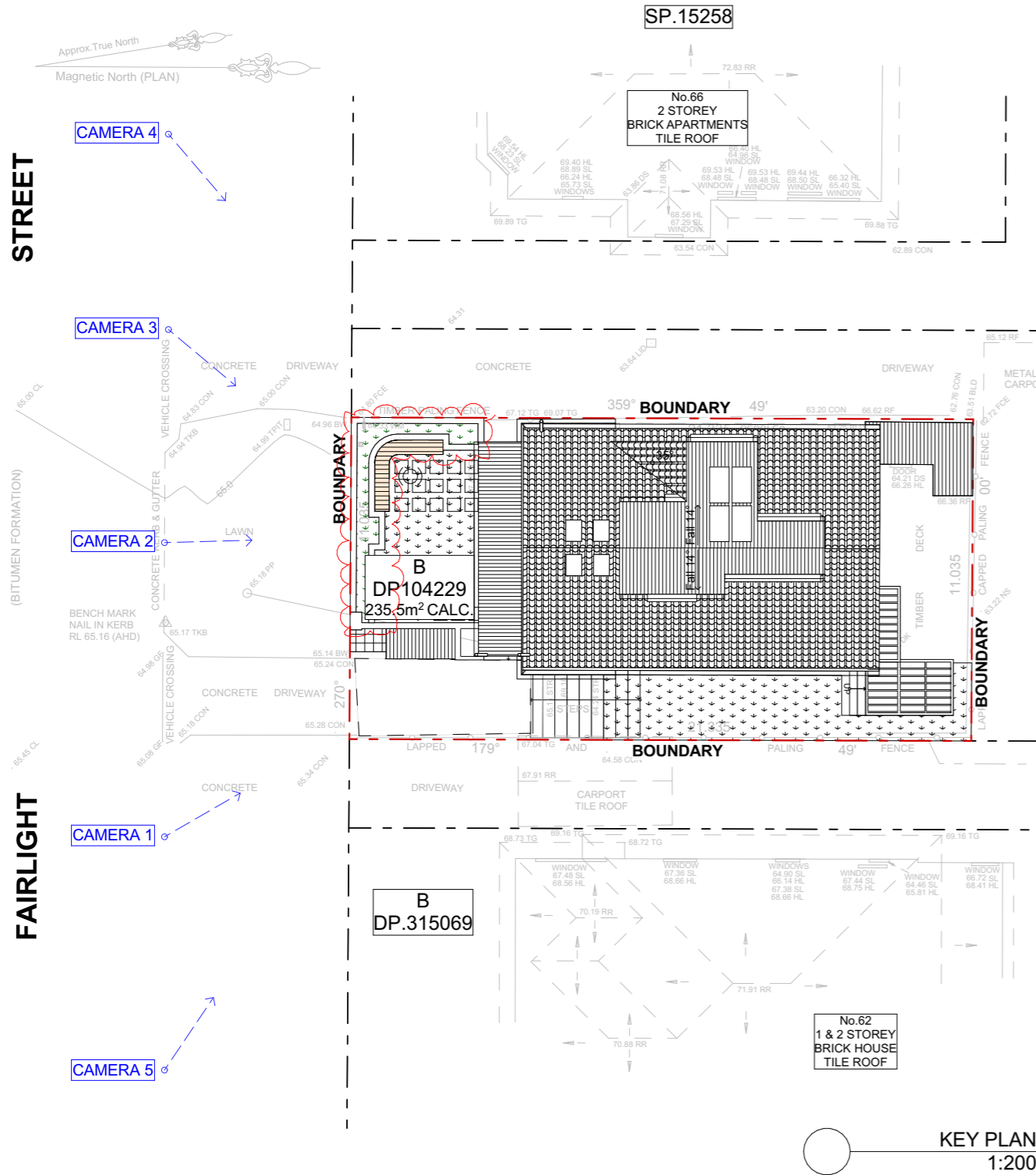
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	D	08.01.2020	REVISED DEVELOPMENT APPLICATION ISSUE		PROJECT: ALTERATIONS AND ADDITIONS TO DETACHED DWELLING	DRAWN: VAC	DA11
	E	16.03.2021	AMENDMENTS TO DA - FOR CLIENT REVIEW		64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094	DATE: 9/08/2022	
	F	06.04.2021	CHANGES REQUESTED BY CLIENT		TITLE: 3D EXTERNAL VIEWS 01	JOB NO:	ISSUE: K
	G	30.09.2021	AMMENDMENT: S455		1915 Fairlight_AC24_S455_220809_MS_No carport_No colour.pln	1915	
	H	30/11/2021	WINDOW AMMENDMENT: S455				
	I	02.12.2021	WINDOW AMMENDMENT: S455				
	J	15.12.2021	AMENDMENT: REMOVAL OF CARPORT & TILT-LIFT GATE				
	K	08.08.2022	AMENDMENT S:455 1A				



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	C	16.03.2021	AMENDMENTS TO DA - FOR CLIENT REVIEW
	D	06.04.2021	CHANGES REQUESTED BY CLIENT
	E	29.07.2021	CHANGES TO FRONT YARD REQUESTED BY CLIENT
	F	29.07.2021	RUBBISH BINS ENCLOSURE - OPTION 2
	G	02.08.2021	ADJUSTMENTS TO LANDSCAPE - FRONT YARD
	H	30.09.2021	AMMENDMENT: S455
	I	15.12.2021	AMENDMENT: REMOVAL OF CARPORT & TILT-LIFT GATE
	J	08.08.2022	AMENDMENT S:455 1A
<div><div><div>mm+j</div><div>architects</div></div><div>SUITE 8, 21 SYDNEY RD, MANLY NSW 2095 Nom. arch. Luisa Manfredini   NSW ARB 6666 admin@mmjarchitects.com.au</div></div>			
CLIENTS: LUCY SHEPHERD & IAN DONALDSON			SCALE:
PROJECT: ALTERATIONS AND ADDITIONS TO DETACHED DWELLING			DRAWN: VAC
64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094			DATE: 9/08/2022
TITLE: 3D EXTERNAL VIEWS 02			JOB NO: 1915
1915 Fairlight_AC24_S455_220809_MS_No carport_No colour.pln			DRAWING NO: DA12
			ISSUE: J



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	C	16.03.2021	AMENDMENTS TO DA - FOR CLIENT REVIEW
	D	06.04.2021	CHANGES REQUESTED BY CLIENT
	E	29.07.2021	CHANGES TO FRONT YARD REQUESTED BY CLIENT
	F	29.07.2021	RUBBISH BINS ENCLOSURE - OPTION 2
	G	02.08.2021	ADJUSTMENTS TO LANDSCAPE - FRONT YARD
	H	30.09.2021	AMMENDMENT: S455
	I	15.12.2021	AMENDMENT: REMOVAL OF CARPORT & TILT-LIFT GATE
	J	08.08.2022	AMENDMENT S:455 1A
<div><div><div>mm+j</div><div>architects</div></div><div>SUITE 8, 21 SYDNEY RD, MANLY NSW 2095 Nom. arch. Luisa Manfredini   NSW ARB 6666 admin@mmjarchitects.com.au</div></div>			
CLIENTS: LUCY SHEPHERD & IAN DONALDSON			
PROJECT: ALTERATIONS AND ADDITIONS TO DETACHED DWELLING			
64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094			
TITLE: 3D EXTERNAL VIEWS 03			
1915 Fairlight_AC24_S455_220809_MS_No carport_No colour.pln			
SCALE:		DRAWING NO:	
DRAWN: VAC		DA13	
DATE: 9/08/2022		ISSUE: J	
JOB NO: 1915			



CAMERA 1 - EXISTING



CAMERA 1 - PROPOSED

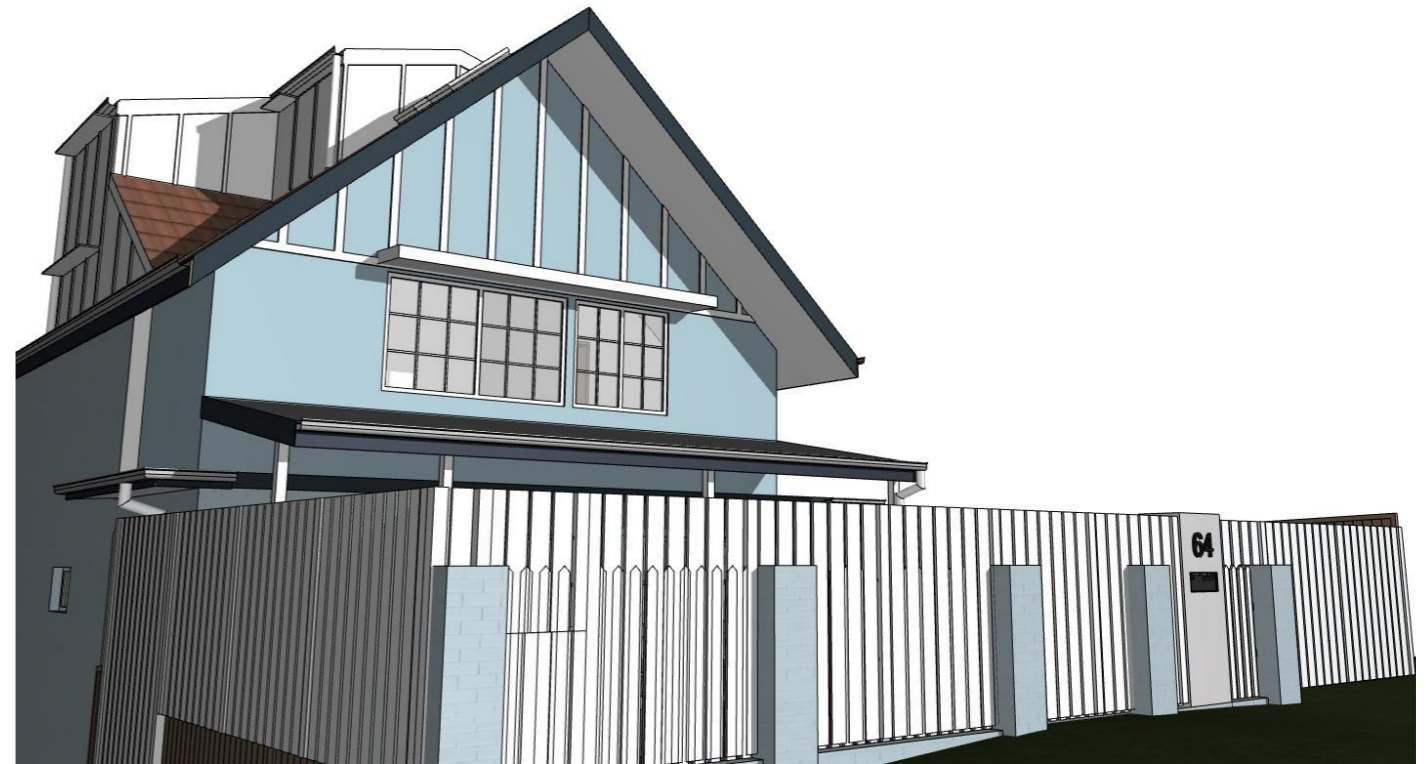
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	B	19.12.2019	AMENDMENTS TO DA - ISSUE FOR COUNCIL
	C	07.01.2019	FOR CLIENT APPROVAL
	D	08.01.2020	REVISED DEVELOPMENT APPLICATION ISSUE
	E	16.03.2021	AMENDMENTS TO DA - FOR CLIENT REVIEW
	F	06.04.2021	CHANGES REQUESTED BY CLIENT
	G	30.09.2021	AMMENDMENT: S455
	H	15.12.2021	AMMENDMENT: REMOVAL OF CARPORT & TILT-LIFT GATE
	I	08.08.2022	AMMENDMENT S:455 1A
 SUITE 8, 21 SYDNEY RD, MANLY NSW 2095 Nom. arch. Luisa Manfredini   NSW ARB 6666 admin@mmjarchitects.com.au			
CLIENTS: LUCY SHEPHERD & IAN DONALDSON			
PROJECT: ALTERATIONS AND ADDITIONS TO DETACHED DWELLING			
<b>64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094</b>			
TITLE: EXTERNAL VIEWS FROM FOOTPATH 01			
SCALE:		DRAWING NO:	
DRAWN: VAC		<b>DA14</b>	
DATE: 9/08/2022		ISSUE: 1	
JOB NO: 1915			

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CAMERA 2 - EXISTING



CAMERA 3 - EXISTING



CAMERA 2 - PROPOSED



CAMERA 3 - PROPOSED



CAMERA 4 - EXISTING



CAMERA 4 - PROPOSED

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	A	31.01.2020	EXTERNAL VIEWS ADDED		PROJECT: ALTERATIONS AND ADDITIONS TO DETACHED DWELLING		DRAWN: VAC	
	B	30.09.2021	AMMENDMENT: S455		64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094		DATE: 9/08/2022	
	C	30/11/2021	WINDOW AMMENDMENT: S455		TITLE: EXTERNAL VIEWS FROM FOOTPATH 03		JOB NO:	1915
	D	02.12.2021	WINDOW AMMENDMENT: S455					
	E	15.12.2021	AMENDMENT: REMOVAL OF CARPORT & TILT-LIFT GATE					F
	F	08.08.2022	AMENDMENT S:455 1A					



CAMERA 5 - EXISTING



CAMERA 5 - PROPOSED

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	A	31.01.2020	EXTERNAL VIEWS ADDED			DRAWN: VAC	
	B	30.09.2021	AMMENDMENT: S455			DATE: 9/08/2022	
	C	15.12.2021	AMENDMENT: REMOVAL OF CARPORT & TILT-LIFT GATE			JOB NO:	
	D	08.08.2022	AMENDMENT S:455 1A			<b>1915</b>	



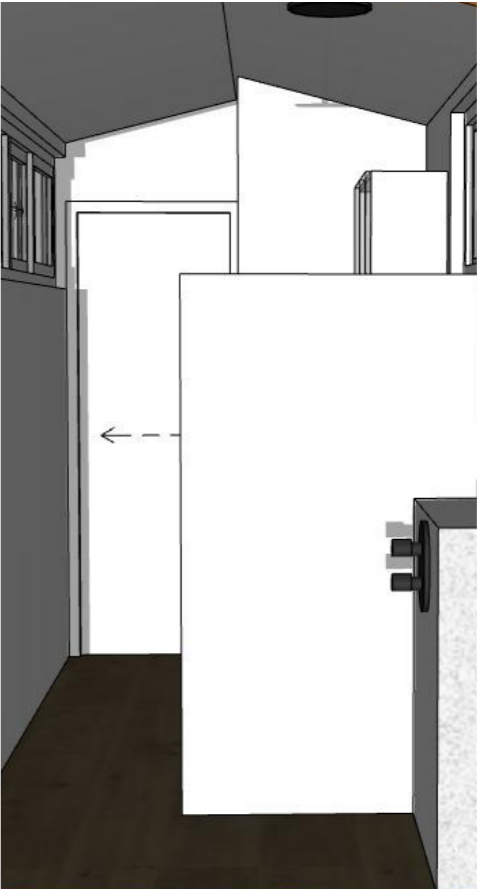
3D VIEW - INTERIOR - BED 02



3D VIEW - INTERIOR - STAIRS



3D VIEW - INTERIOR - BED 03



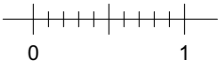
3D VIEW - INTERIOR - BATH

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	A	18.12.2019	AMENDMENTS TO DA - ISSUE FOR CONSULTANT				
	B	08.01.2020	REVISED DEVELOPMENT APPLICATION ISSUE				
	C	30.09.2021	AMMENDMENT: S455				
	D	30/11/2021	WINDOW AMMENDMENT: S455				
	E	08.08.2022	AMENDMENT S:455 1A				

ID			
ORIENTATION			
ROOM			
FRAME			
GLASS			
AREA	1.65		1.65
W x H			
PLAN			
ELEVATION			

ID			
ORIENTATION			
ROOM			
FRAME			
GLASS			
AREA		3.89	0.29
W x H			0.29
PLAN			
ELEVATION			

WINDOW SCHEDULE





3D VIEW - FROM SITTING 01



3D VIEW - FROM SITTING ROOM 02

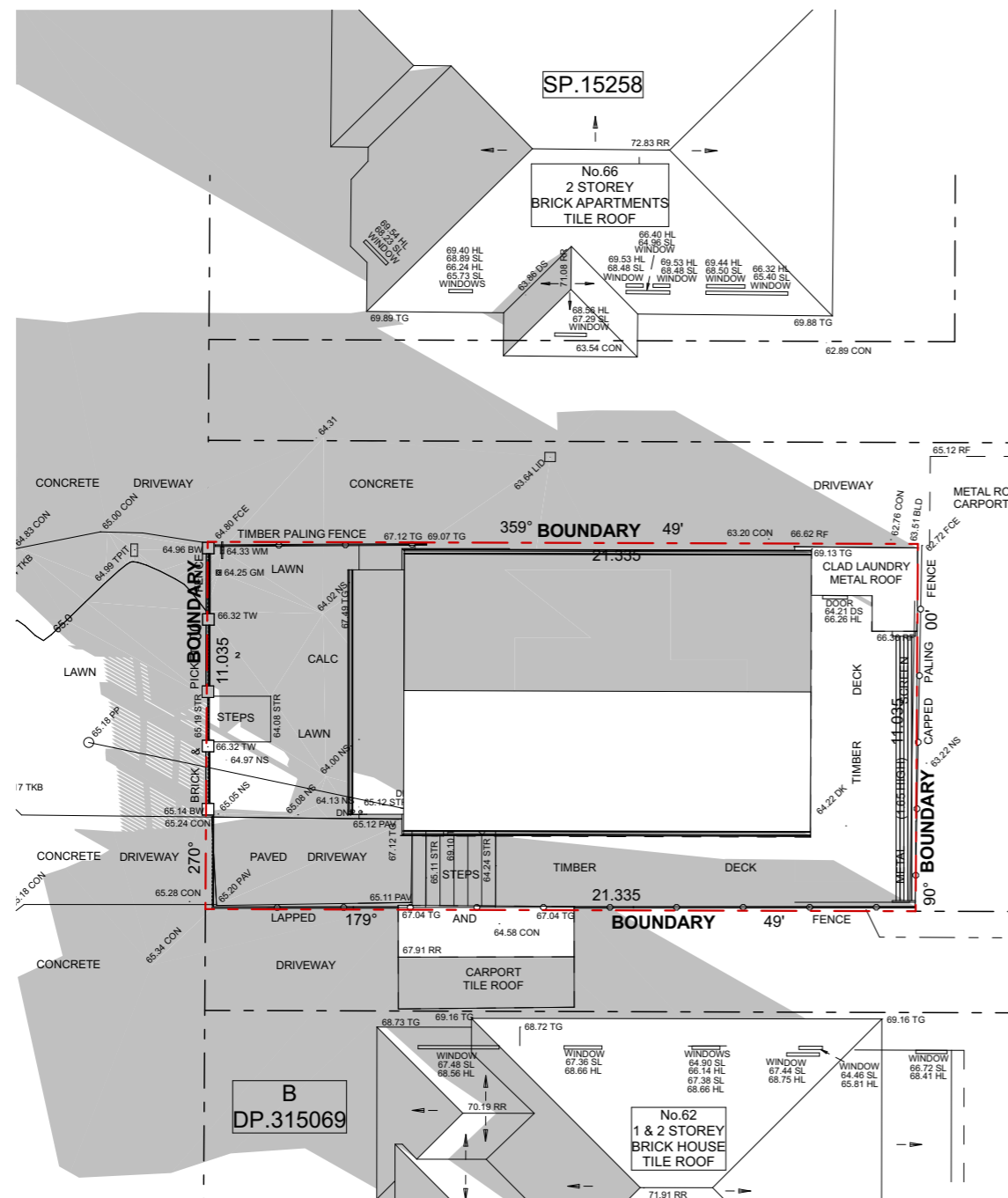


3D VIEW - FROM ENTRY DOOR

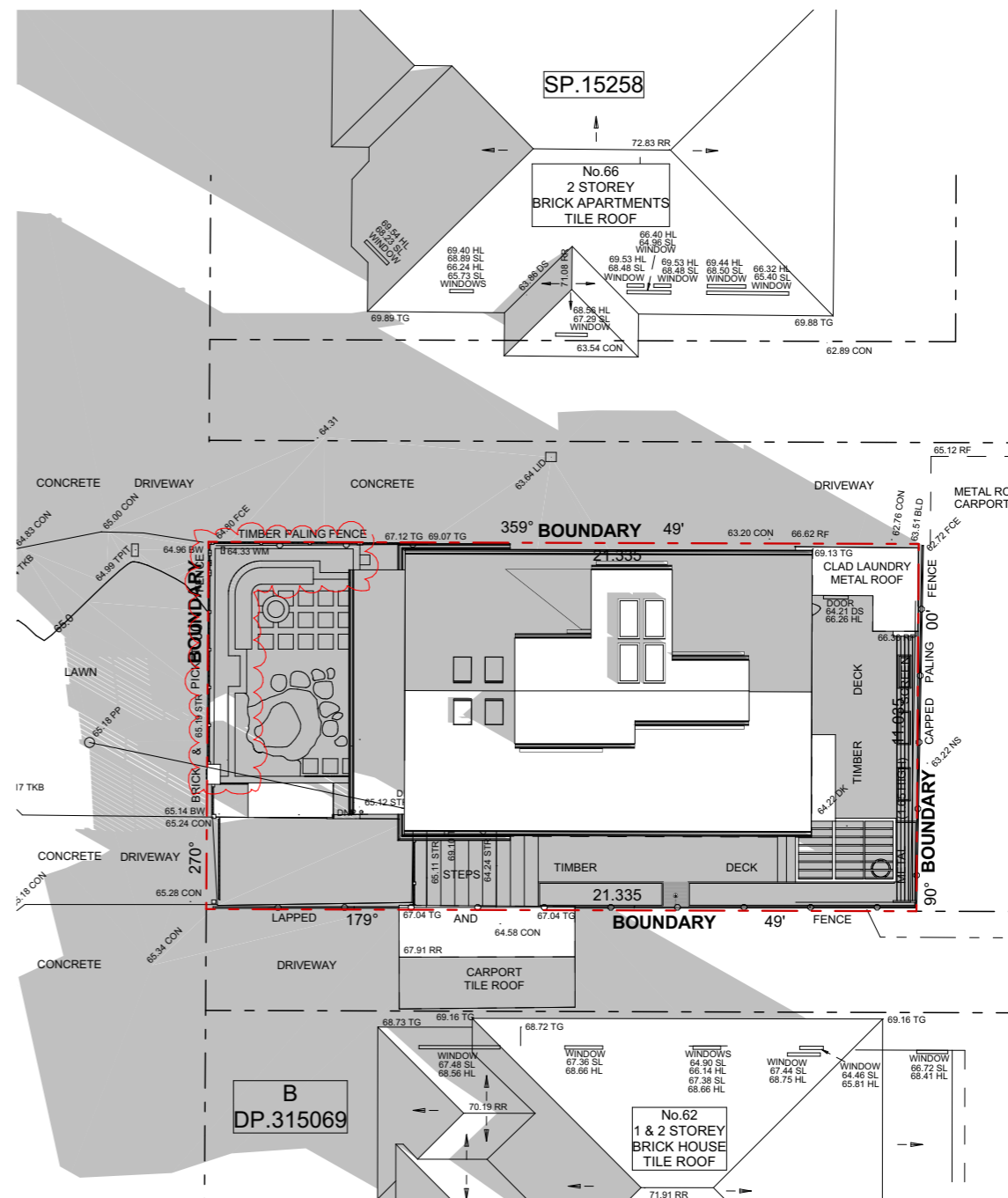
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	A	29.07.2021	CHANGES TO FRONT YARD REQUESTED BY CLIENT		PROJECT: ALTERATIONS AND ADDITIONS TO DETACHED DWELLING		DRAWN: VAC	
	B	29.07.2021	RUBBISH BINS ENCLOSURE - OPTION 2		64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094		DATE: 9/08/2022	
	C	02.08.2021	ADJUSTMENTS TO LANDSCAPE - FRONT YARD		TITLE: FRONT YARD - 3D VIEWS		JOB NO: 1915	
	D	30.09.2021	AMMENDMENT: S455					DA20
	E	15.12.2021	AMMENDMENT: REMOVAL OF CARPORT & TILT-LIFT GATE					
	F	08.08.2022	AMMENDMENT S:455 1A					
								ISSUE: F

1915 Fairlight\_AC24\_S455\_220809\_MS\_No carport\_No colour.pln

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21 JUNE - 9AM - EXISTING  
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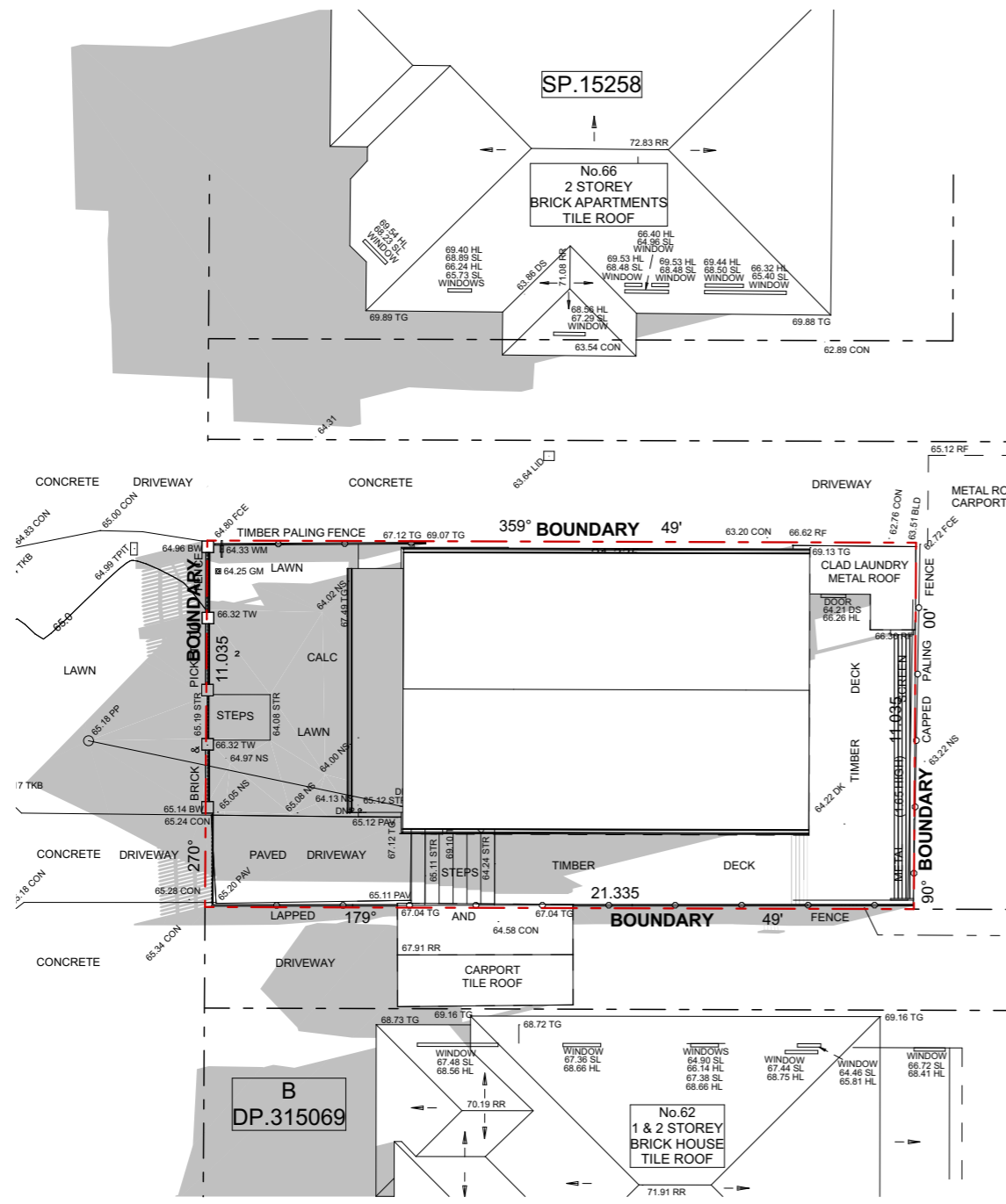


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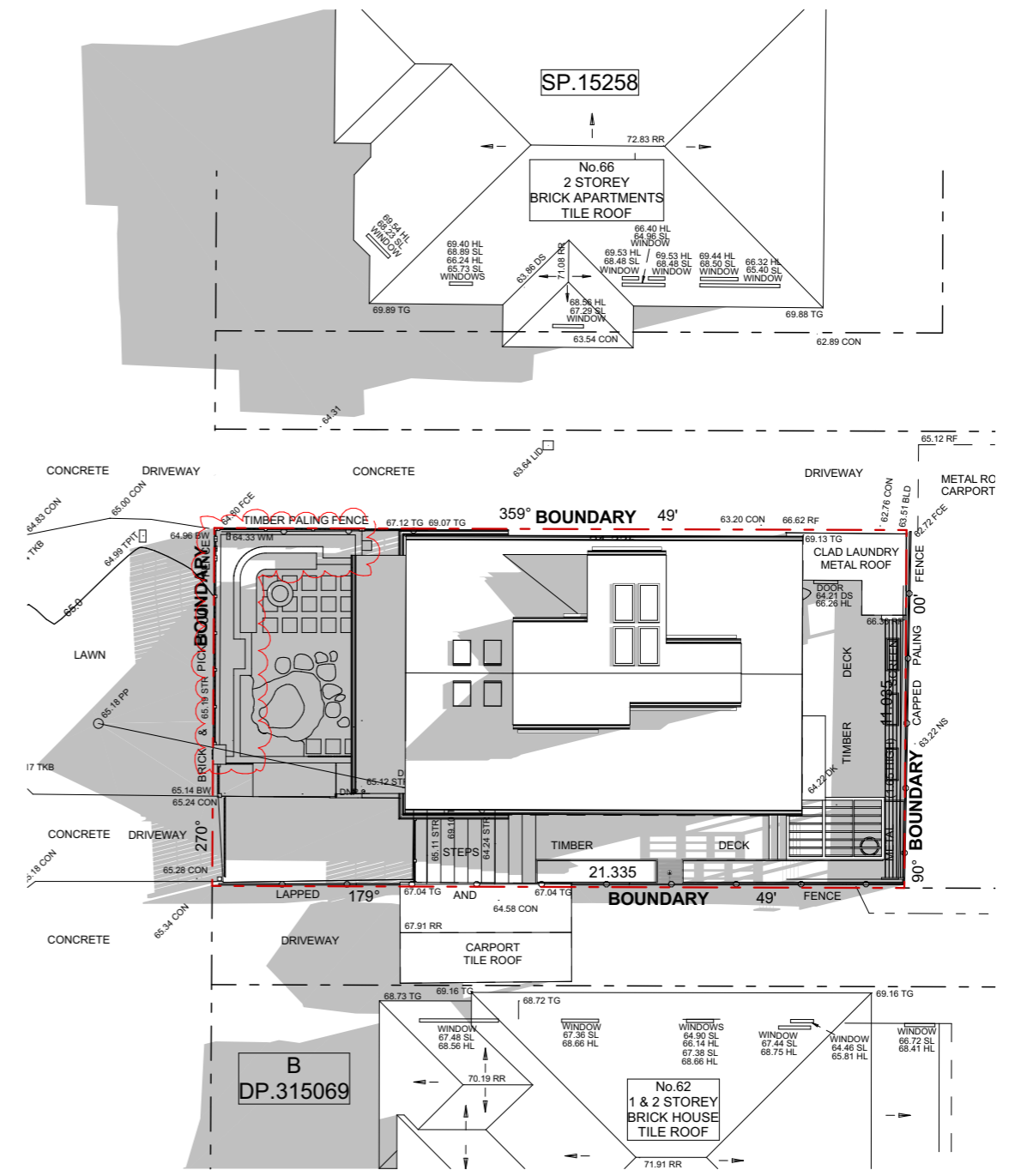
 <div>NOTES: This drawing is and remains copyright and is the property of mm+j architects p/l. It may not be used or copied in whole or in part without written consent. All dimensions to be verified on site. This drawing is not to be used for construction purposes.</div> <div>SECTION 4.55 1A DEVELOPMENT APPLICATION</div>	<table><tr><th>REV</th><th>DATE</th><th>DESCRIPTION</th></tr><tr><td>A</td><td>03.10.2019</td><td>DEVELOPMENT APPLICATION ISSUE</td></tr><tr><td>B</td><td>07.01.2019</td><td>FOR CLIENT APPROVAL</td></tr><tr><td>C</td><td>08.01.2020</td><td>REVISED DEVELOPMENT APPLICATION ISSUE</td></tr><tr><td>D</td><td>30.09.2021</td><td>AMMENDMENT: S455</td></tr><tr><td>E</td><td>15.12.2021</td><td>AMMENDMENT: REMOVAL OF CARPORT &amp; TILT-LIFT GATE</td></tr><tr><td>F</td><td>08.08.2022</td><td>AMMENDMENT S:455 1A</td></tr><tr><td> </td><td> </td><td> </td></tr></table>	REV	DATE	DESCRIPTION	A	03.10.2019	DEVELOPMENT APPLICATION ISSUE	B	07.01.2019	FOR CLIENT APPROVAL	C	08.01.2020	REVISED DEVELOPMENT APPLICATION ISSUE	D	30.09.2021	AMMENDMENT: S455	E	15.12.2021	AMMENDMENT: REMOVAL OF CARPORT & TILT-LIFT GATE	F	08.08.2022	AMMENDMENT S:455 1A				<div></div> <div>SUITE 8, 21 SYDNEY RD, MANLY NSW 2095 Nom. arch. Luisa Manfredini   NSW ARB 6666 admin@mmjarchitects.com.au</div>	<div>CLIENTS: LUCY SHEPHERD &amp; IAN DONALDSON</div> <div>PROJECT: ALTERATIONS AND ADDITIONS TO DETACHED DWELLING</div> <div>64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094</div> <div>TITLE: SHADOW DIAGRAMS - 21 JUNE - 9AM</div>	<div>SCALE: 1:200</div> <div>DRAWN: VAC</div> <div>DATE: 9/08/2022</div> <div>JOB NO: 1915</div>	<div>DRAWING NO: DA31</div> <div>ISSUE: F</div>
	REV	DATE	DESCRIPTION																										
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**SECTION 4.55 1A**

**DEVELOPMENT APPLICATION**

REV	DATE	DESCRIPTION
A	03.10.2019	DEVELOPMENT APPLICATION ISSUE
B	07.01.2019	FOR CLIENT APPROVAL
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F	08.08.2022	AMMENDMENT S:455 1A

SUITE 8, 21 SYDNEY RD, MANLY NSW 2095  
Nom. arch. Luisa Manfredini | NSW ARB 6666  
admin@mmjarchitects.com.au

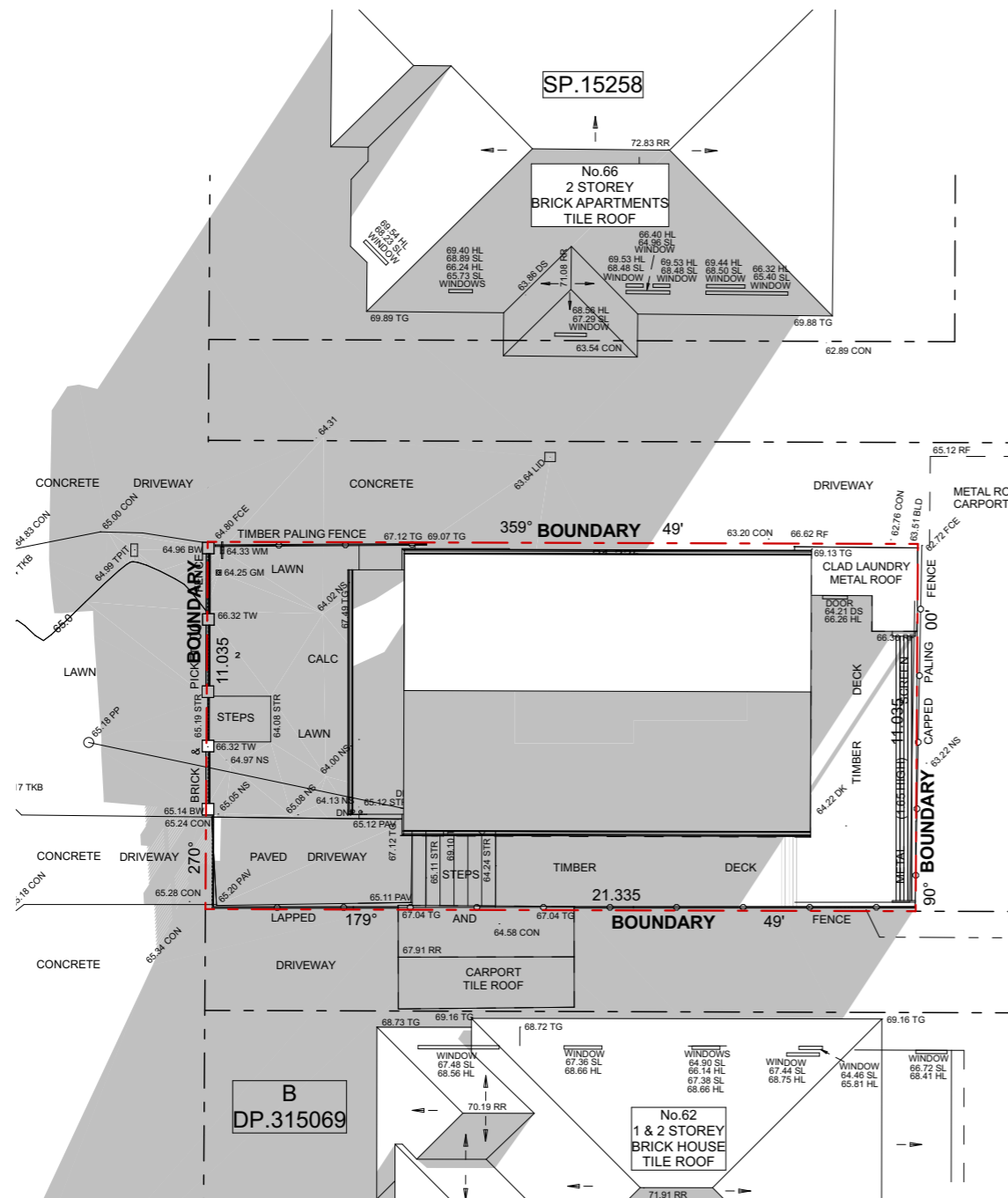
CLIENTS: LUCY SHEPHERD & IAN DONALDSON

PROJECT: ALTERATIONS AND ADDITIONS TO DETACHED DWELLING

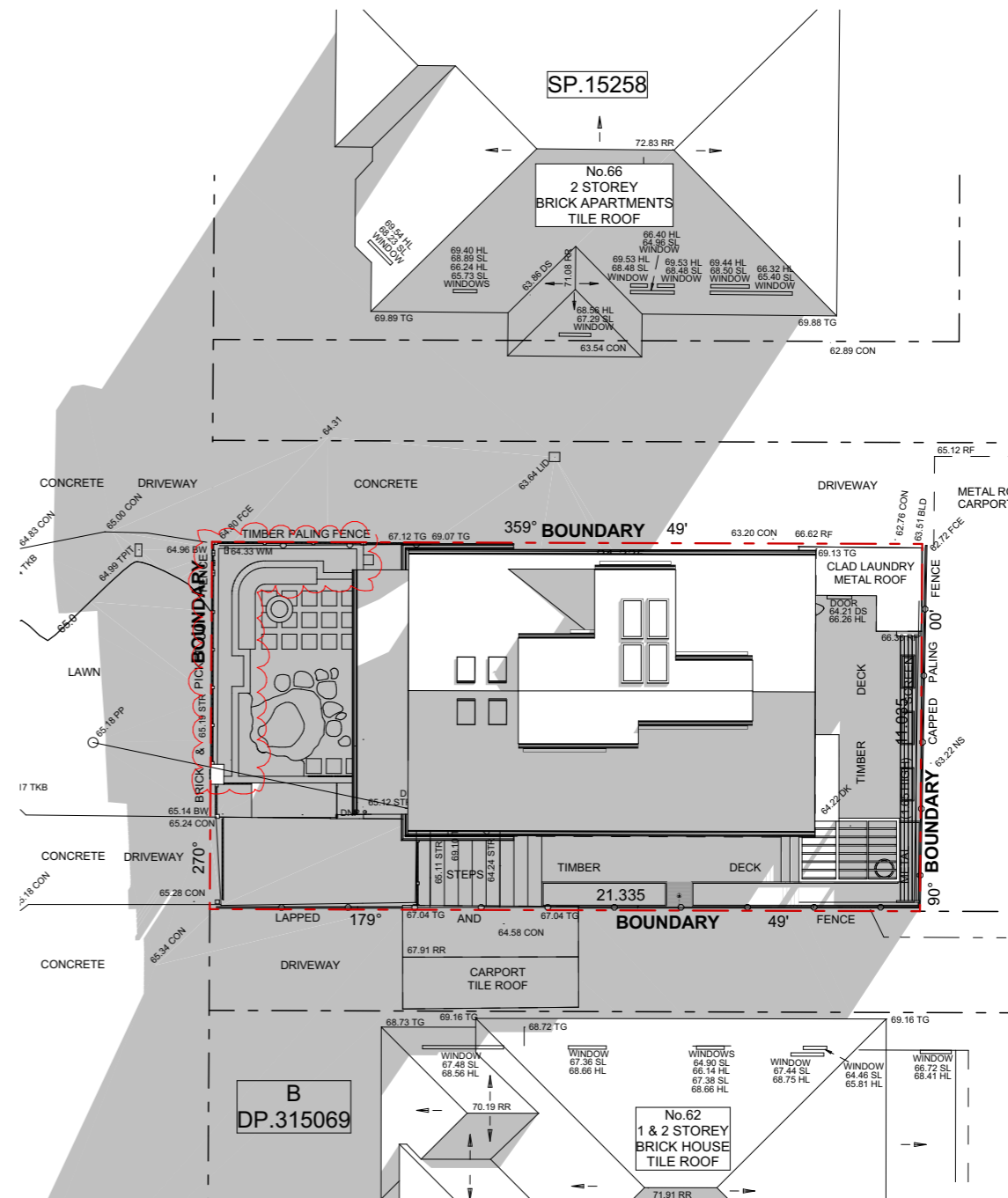
**64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094**

TITLE: **SHADOW DIAGRAMS - 21 JUNE - 12PM**

SCALE: 1:200	DRAWING NO: <b>DA32</b> ISSUE: <b>F</b>
DRAWN: VAC	
DATE: 9/08/2022	
JOB NO: <b>1915</b>	



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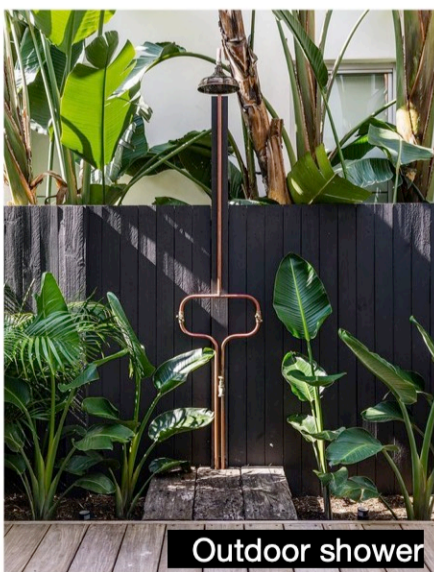
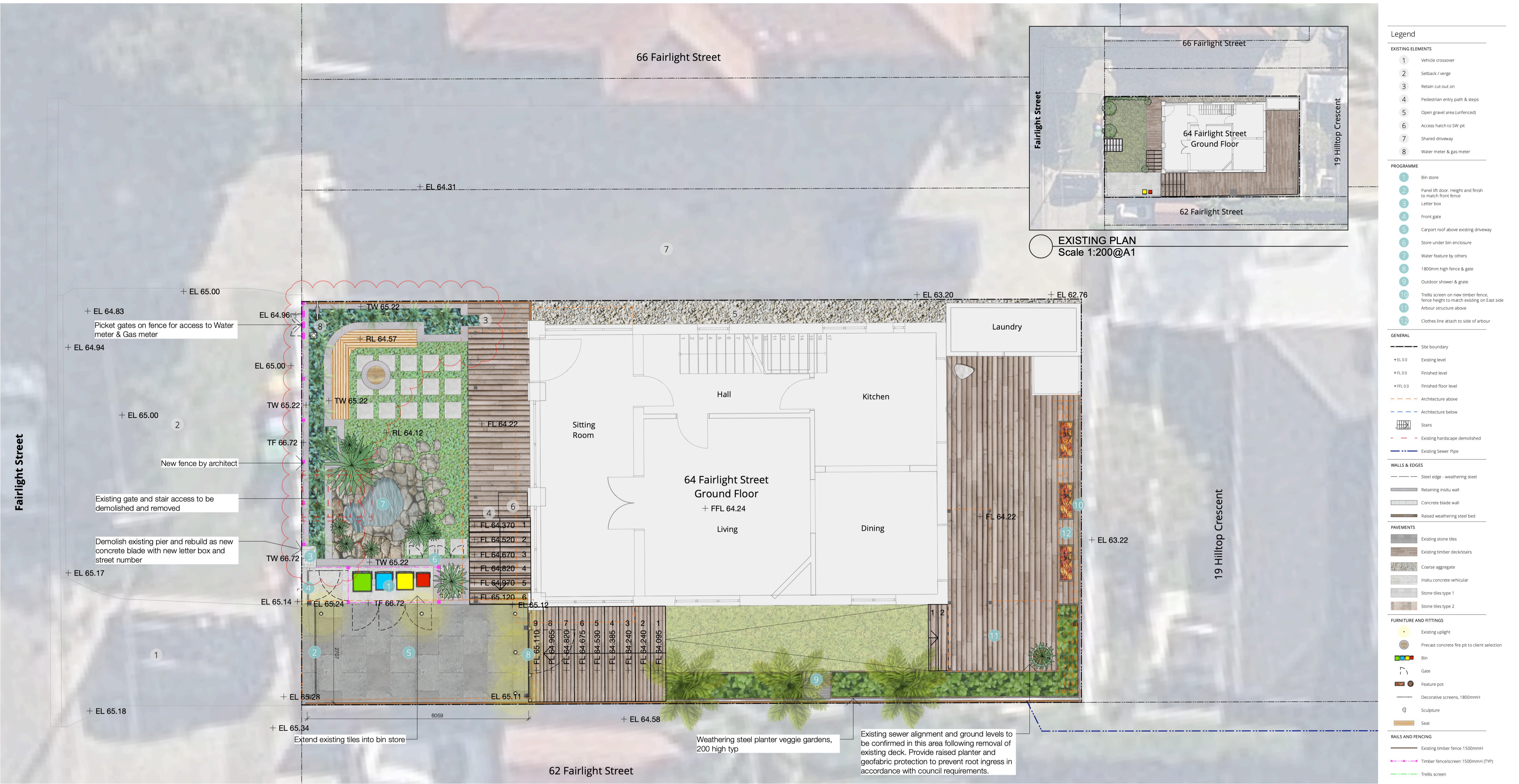


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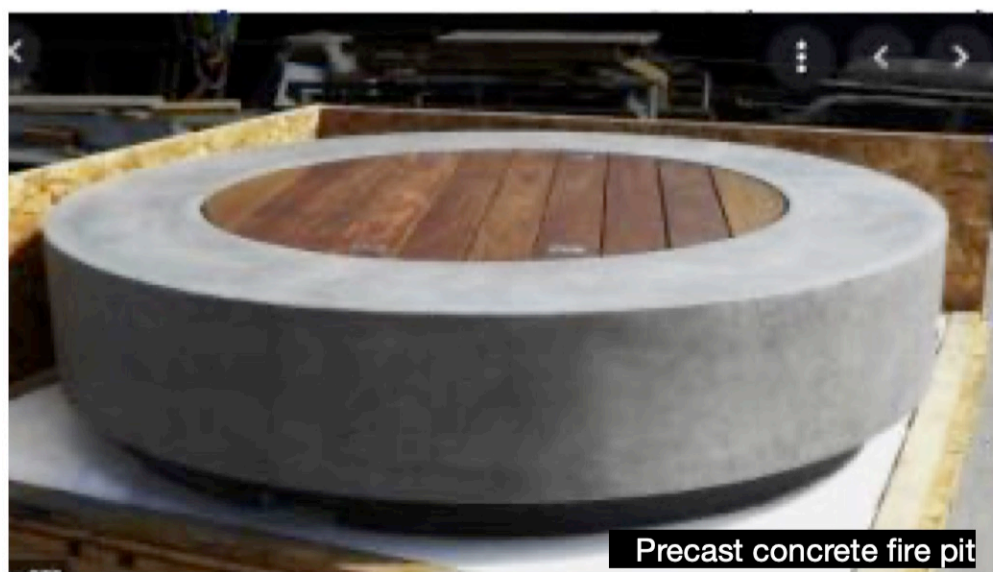
 N	NOTES: This drawing is and remains copyright and is the property of mm+j architects p/l. It may not be used or copied in whole or in part without written consent. All dimensions to be verified on site. This drawing is not to be used for construction purposes.	REV A B C D E F	DATE 03.10.2019 07.01.2019 08.01.2020 30.09.2021 15.12.2021 08.08.2022	DESCRIPTION DEVELOPMENT APPLICATION ISSUE FOR CLIENT APPROVAL REVISED DEVELOPMENT APPLICATION ISSUE AMMENDMENT: S455 AMENDMENT: REMOVAL OF CARPORT & TILT-LIFT GATE AMENDMENT S:455 1A	  SUITE 8, 21 SYDNEY RD, MANLY NSW 2095 Nom. arch. Luisa Manfredini   NSW ARB 6666 admin@mmjarchitects.com.au	CLIENTS: LUCY SHEPHERD & IAN DONALDSON	SCALE: 1:200	DRAWING NO:  DA33		
	<b>SECTION 4.55 1A DEVELOPMENT APPLICATION</b>			PROJECT: ALTERATIONS AND ADDITIONS TO DETACHED DWELLING  <b>64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094</b>		DRAWN: VAC	DATE: 9/08/2022		JOB NO:  <b>1915</b>	ISSUE:  F
				TITLE: SHADOW DIAGRAMS - 21 JUNE - 3PM						

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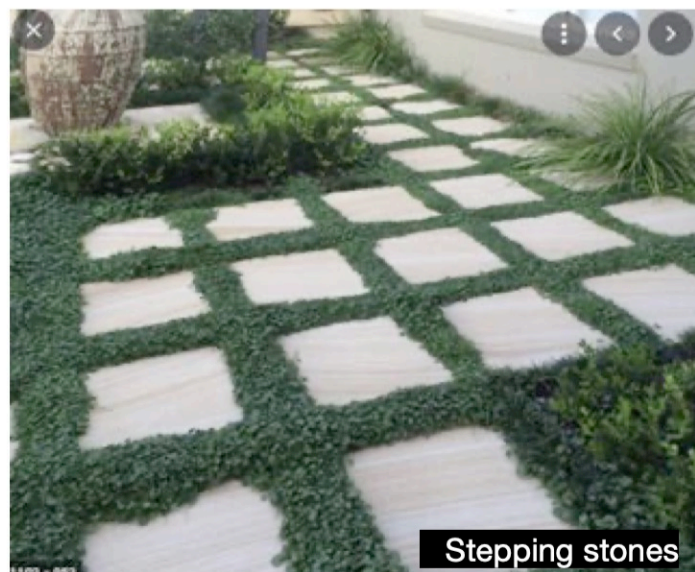
Outdoor shower



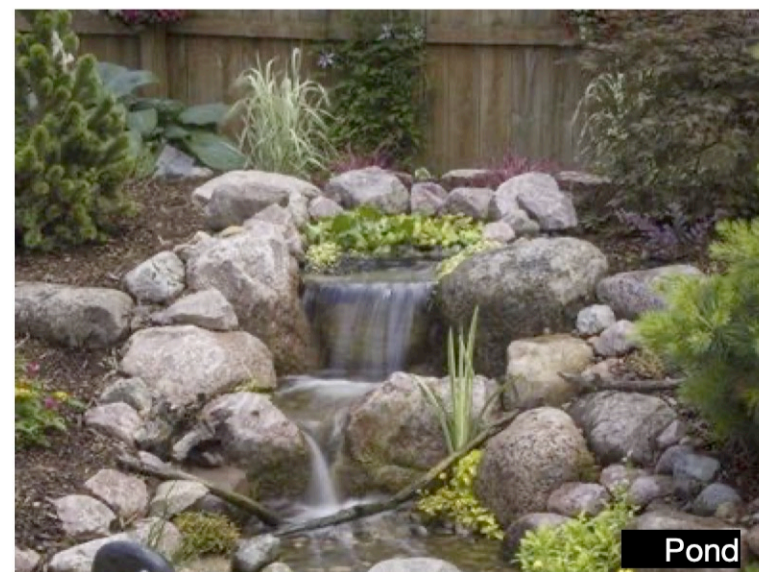
Precast concrete fire pit



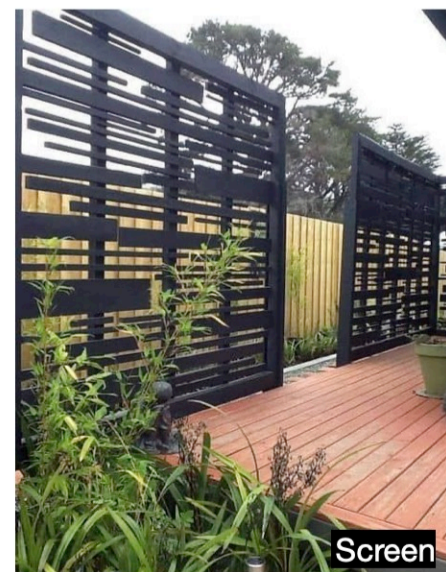
Outdoor seating



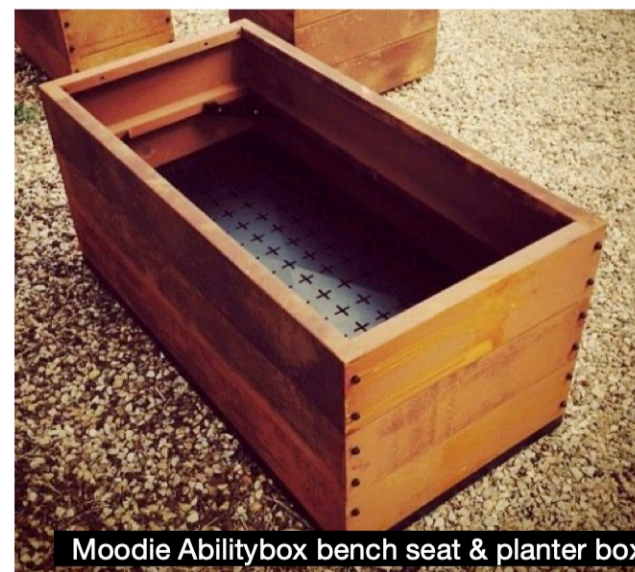
Stepping stones



Pond



Screen



Moodie Abilitybox bench seat & planter box



Timber seating and fire pit

DRAWING NUMBER	DRAWING NAME	REVISION	PROJECT NAME AND ADDRESS	CONSULTANTS	DRAWINGS BY
L.SK.01	Landscape Sketch Plan	I	Private Residence 64 Fairlight Street, Fairlight NSW	ARCHITECTURE mm+ architects Phone 9929 1279 Email admin@mmjarchitects.com.au	LANDSCAPE ARCHITECTURE Suite 8, 37-38 East Esplanade Manly NSW 2095 www.scapedesign.com.au
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