

# **Statement of Environmental Effects**

FOR

**PROPOSED FIRST FLOOR DECK TO EXISTING  
RESIDENTIAL DWELLING**

AT

**5 FISHBOURNE ROAD, ALLAMBIE HEIGHTS NSW 2100  
(Lot 7/DP11373)**

Statement of Environmental Effects  
5 Fishbourne Road, Allambie Heights, NSW 2100

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## **1. Introduction**

This statement of environmental effects has been prepared by Glen Fowlie to accompany a development application for a first floor deck addition to an existing residential dwelling at 5 Fishbourne Road, Allambie Heights, NSW 2100 (Lot 7/DP11373).

The proposal has been designed to achieve the relevant provisions of Warringah Local Environmental Plan 2011. The site is zoned R2 Low Density Residential with no identified heritage or identified hazards.

This statement has been prepared having regard to the following documentation:

- Architectural Plans
- Geotechnical Report
- Site Survey

## 2. Site description and analysis

### 2.1 Location and property description

The subject site is legally identified as Lot 7/DP11373 and is known as 5 Fishbourne Road, Allambie Heights. The site is located on the corner of Fishbourne Road and Pozieres Road. The site has an area of 749m<sup>2</sup> and is rectangular in shape with a street frontage to Fishbourne Road (front boundary) of 16.07m, eastern side boundary of 45.32m, western side boundary of 46.12m, and a rear boundary of 16.24m. The site slopes from north west to south east.



Figure 1: Subject Site at 5 Fishbourne Road

### 2.2 Site characteristics

The property currently accommodates a two storey dwelling with the ground floor containing a garage and the first floor containing all living spaces. The existing house is constructed in brick veneer on the first floor and double brick on the lower floor with a colorbond steel roof. The proposal keeps the existing dwelling as is on site with the proposed deck addition to the rear of the dwelling.

All landscaping and trees are to be retained as existing and unchanged.

All new gutters are an extension of the existing gutters with connections to existing downpipes.



Figure 2: Site photo as currently seen from Pozieres Road viewing zone of proposed addition

### **2.3 Adjoining Properties**

The surrounding area consists of single and two storey residential dwellings. These are predominately red brick dwellings or painted timber weatherboard with either tiled or steel roofs.

To the east stands a single storey dwelling set back 1m from the side boundary which is painted brick. All other dwellings are in excess of 30m from the subject property.

### 3. Details of proposal

#### 3.1 Proposed works

The proposal seeks consent for alterations and additions to the existing dwelling including:

- First story deck addition to the rear of the existing dwelling covered by a roof matching existing.
- New stair connecting the new deck to the ground level.
- Timber privacy screen to western elevation of the existing dwelling.

The proposed addition has a total area of 37.35m<sup>2</sup>.

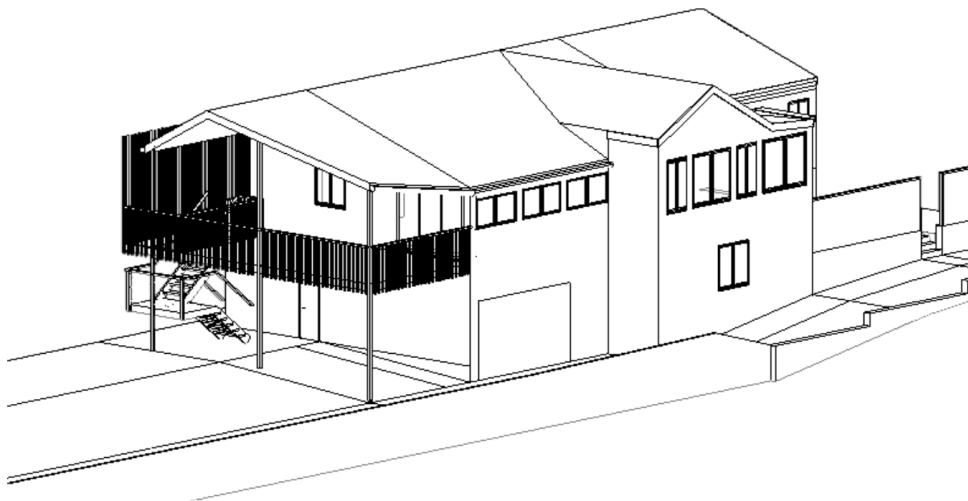


Figure 3: 3D view of proposed first floor deck addition

#### 3.2 Materials

The proposed deck and privacy screen will be timber framed with natural timber decking and battens. The external finishes will be predominately natural timber with a protective clear coating, with new aluminium framed window / door, and non-reflective colorbond roof sheeting (matching existing roof colour).

#### 3.3 Environmental Impact

The proposed deck addition and privacy screen has been designed in considerable detail to fit into the area without adversely affecting the local environment. No existing vegetation is being removed as part of the additions and natural Australian timbers are being utilised throughout the construction to blend the existing red brick into the new addition.

#### 3.4 Privacy

The proposed development has been sympathetically designed to reduce privacy impact upon the adjoining properties. Existing planting along the boundary between the adjoining properties of 5 Fishbourne Road and 3 Fishbourne prevents direct view lines between the proposed addition and the dwelling on 3 Fishbourne. On all other elevations there are also no adverse impacts to privacy.

### **3.5 Shadowing**

Due to the site orientation and the very large offset from the adjoining properties the proposed shadow casting at the early hours of the morning to the western side will have no impact. On the eastern side the adjoining property is more than 6m from the proposed addition so there is no impact on the eastern side during the late afternoon.

### **4. Conclusion**

The proposed first floor addition demonstrates a sympathetic and environmentally sensitive response to the additional development capacity available on site. The design of the proposal has been considered in extensive detail in order that the dwelling will fit into the area without adversely affecting the local environment.

The design and location of the proposed first floor addition is in keeping with the adjoining dwellings. The proposal has ensured the retention of private open space, limited the impact of overshadowing and ensured a minimal loss of privacy to the adjoining residents.