

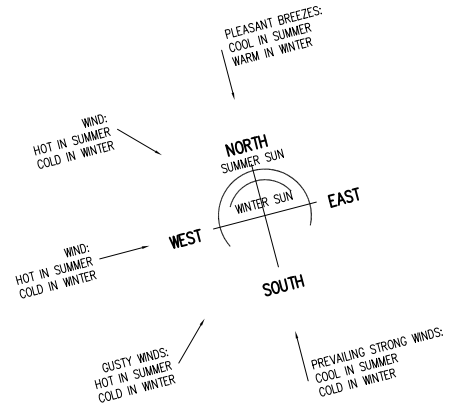
PROPOSED BOUNDARY RETAINING WALL WITH ALUMINUM FENCE AND DRIVEWAY SLAB EXTENSION



KEY

- CAR ENTRY POINT
- SUN DIRECTION - 22 JUNE
- NOISE SOURCE
- DISTRICT VIEWS OVER ADJOINING HOUSES

- NEW WALL
- NEW CONCRETE SLAB
- DEMOLISH OR RELOCATED DWELLING



SITE PLAN AND SITE ANALYSIS PLAN
1:200



GENERAL NOTES:

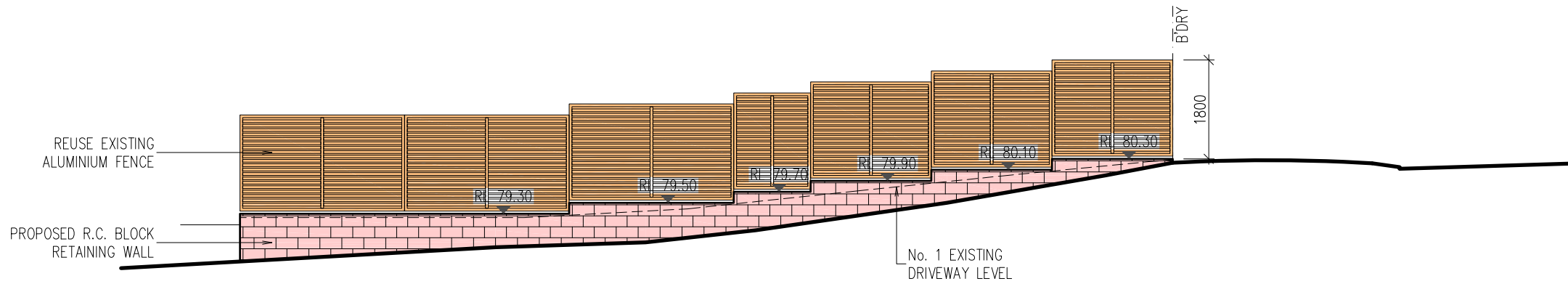
- 1 Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
- 2 All dimensions that relate to site boundaries and easements are subject to verification by site survey.
- 3 All work to be in accordance with BUILDING CODE OF AUSTRALIA & to the satisfaction of local council requirements & other authorities.
- 4 All timber construction to be in accordance with the "TIMBER FRAMING" code.
- 5 Any detailing in addition to what is supplied shall be resolved between the owner and the builder to the owner's approval, except for any structural details or design which is to be supplied by Structural Engineer.
- 6 Roof water & sub-soil drainage to be disposed of in the approved manner or as directed by local council inspectors.
- 7 All electrical power & light outlets to be determined by owner.
- 8 Make good and repair all existing finishes damaged by new work. Reuse existing material where possible.

1	ISSUED FOR DA	12/11/24
No.	AMENDMENT	DATE
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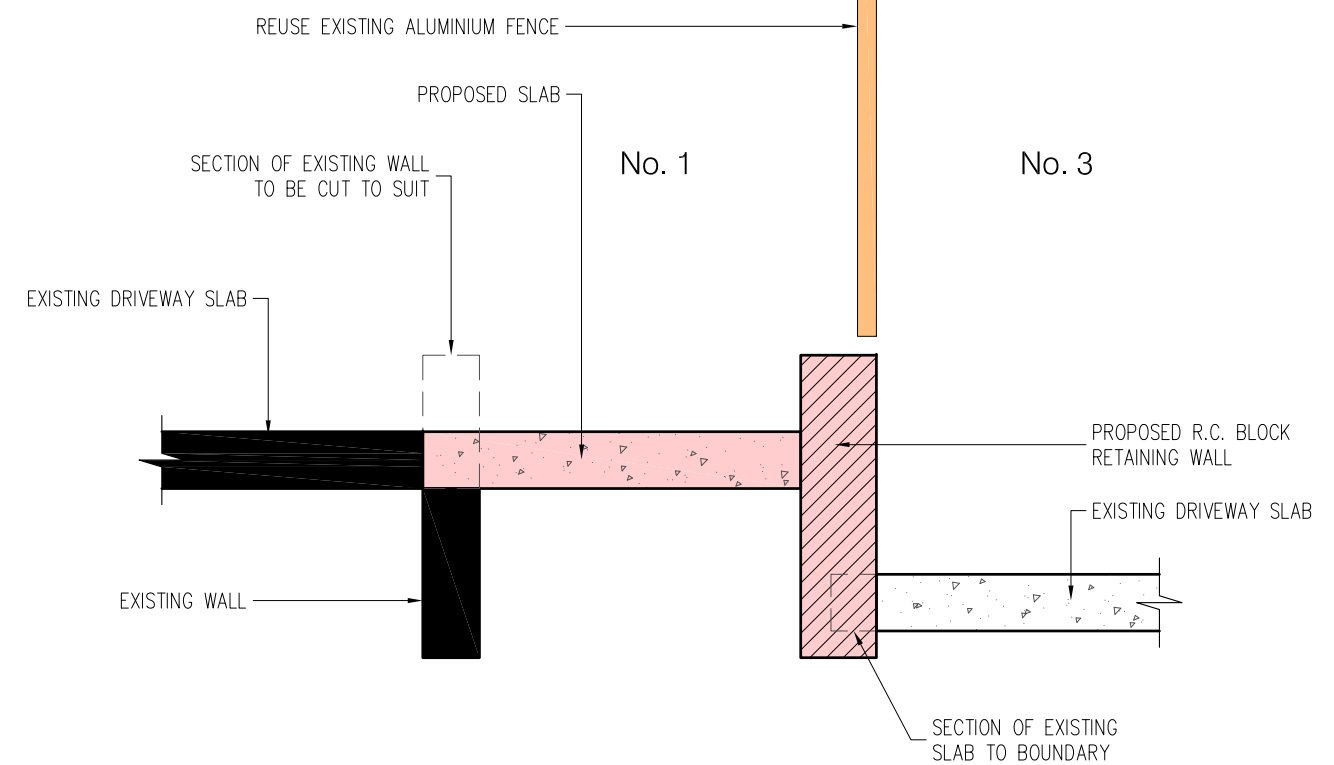
DESIGN BY:
MICHAL KORECKY
21 NALYA ROAD, NARRAWEENA NSW 2099
ABN: 79 393 130 294
Email: koreckym@gmail.com
Mob: 0438 148 944

PROJECT:
PROPOSED ADDITIONS AND ALTERATIONS
No 1 WESLEY STREET
ELANORA HEIGHTS
CLIENT:
MR. & MRS. FENNEL

DATE: 12/11/24	SCALE: AS NOTED
DRAWN: MK	ISSUE: 1
DRAWING Nr : 24089	SHEET: 1



PROPOSED NORTH ELEVATION
1:100



SECTION A
1:100

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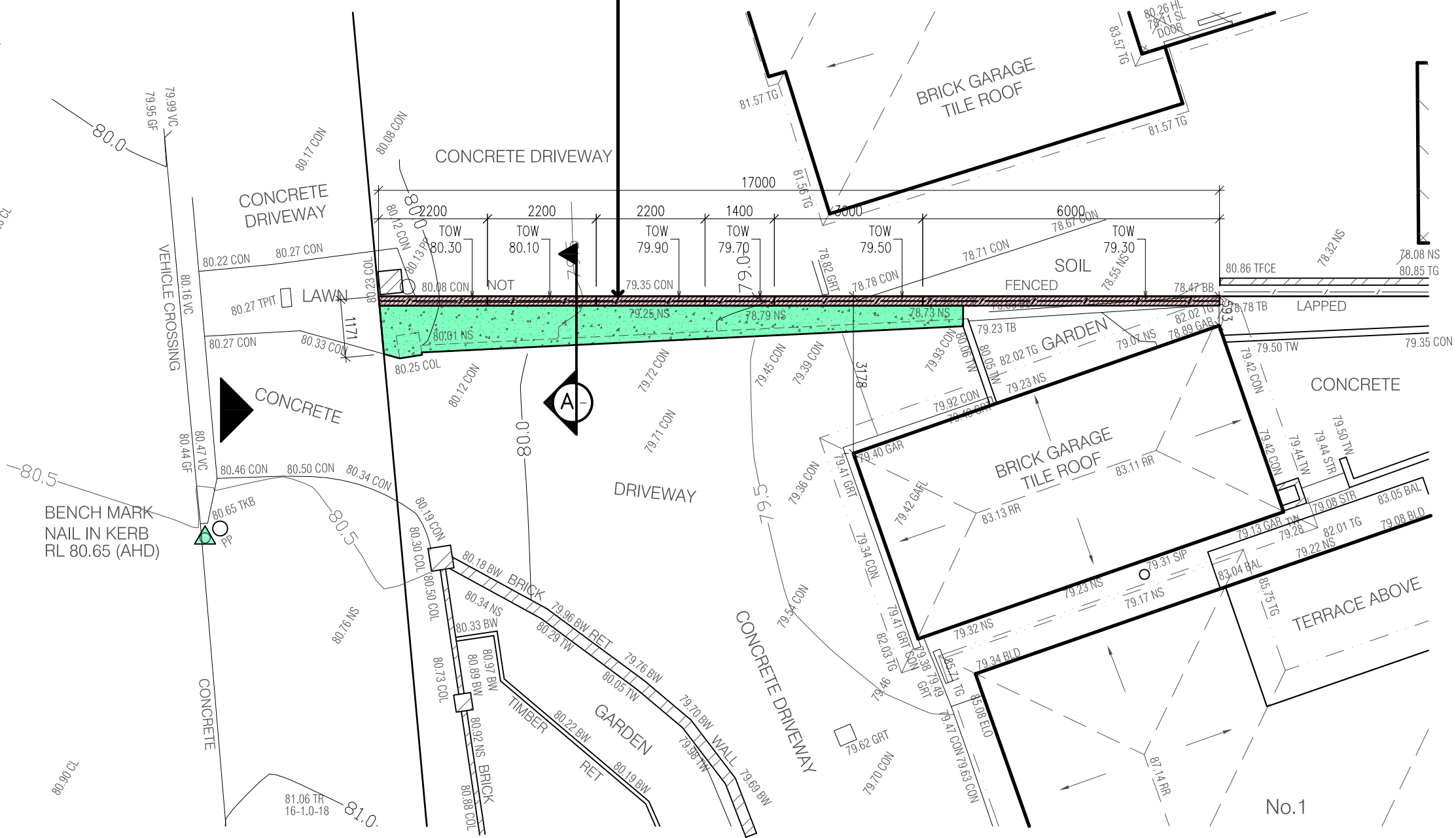
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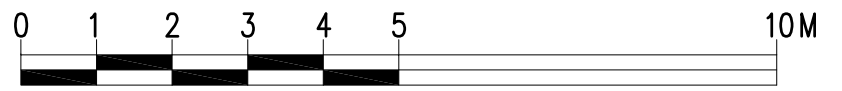
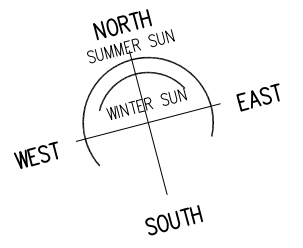
DATE: 12/11/24	SCALE: AS NOTED
DRAWN: MK	ISSUE: 1
DRAWING Nr : 24089	SHEET: 3

WESLEY

PROPOSED BOUNDARY R.C. RETAINING WALL WITH ALUMINUM FENCE AND DRIVEWAY SLAB EXTENSION



PROPOSED PLAN
1:100



SCALE 1:100

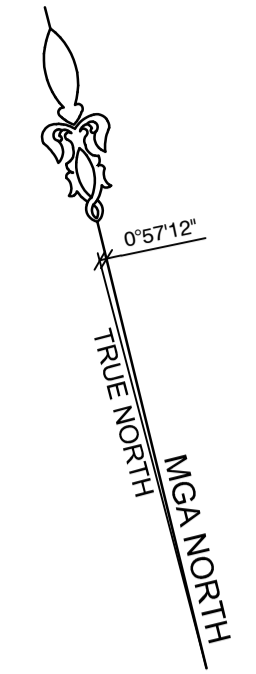
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PROJECT:
PROPOSED ADDITIONS AND ALTERATIONS
No 1 WESLEY STREET
ELANORA HEIGHTS
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DATE: 12/11/24	SCALE: AS NOTED
DRAWN: MK	ISSUE: 1
DRAWING Nr : 24089	SHEET: 2



LEGEND:

- AW = AWNING
- BAL = BALCONY
- BB = BOTTOM OF BANK
- BLD = EXTERNAL BUILDING
- BW = BOTTOM WALL
- CL = CENTRELINE
- COL = COLUMN
- CON = CONCRETE
- ELO = ELECTRICITY LINE OVERHEAD
- FCE = FENCE
- FL = FLOOR LEVEL
- GAFL = GARAGE FLOOR LEVEL
- GAR = GARAGE
- GDN = GARDEN
- GF = GUTTER LEVEL
- GM = GAS METER
- GRT = GRATE
- HL = HOOD LEVEL
- NS = NATURAL SURFACE
- PAT = PATIO
- PAV = PAVING
- PP = POWER POLE
- RF = TOP OF ROOF
- RR = ROOF RIDGE
- SIP = SEWER INSPECTION PIT
- SL = SILL LEVEL
- SMH = SEWER MAN HOLE
- STR = STAIRS
- TB = TOP OF BANK
- TFCE = TOP OF FENCE
- TG = TOP OF GUTTER
- TKB = TOP OF KERB
- TPT = TELSTRA PIT
- TR = TREE
- TW = TOP OF WALL
- VC = VEHICLE CROSSING

— ELO = ELECTRICITY OVERHEAD
— S = SEWER UNDERGROUND

TREE
 S = SPREAD-DIAMETER-HEIGHT
 M = MULTIPLE TRUNKS

- NOTES:**
- BOUNDARY IDENTIFICATION HAS BEEN UNDERTAKEN.
 - WALL TO BOUNDARY DIMENSIONS SHOWN HEREON MUST NOT BE USED FOR CONSTRUCTION.
 - IF CONSTRUCTION IS INTENDED TO BE UNDERTAKEN ON OR ADJACENT TO PROPERTY BOUNDARIES THE BOUNDARIES OF THE LAND MUST BE MARKED OR THE BUILDING SETOUT.
 - THIS SURVEY IS FOR DESIGN PURPOSES OF THE SUBJECT LAND ONLY. THIS PLAN MUST NOT BE USED FOR ANY OTHER MATTER, PURPOSE OR CONSTRUCTION SETOUT.
 - TREE SIZES ARE ESTIMATES ONLY.
 - THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF PETER FENNELL.
 - RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.
 - EXCEPT WHERE SHOWN BY DIMENSION LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY.
 - ONLY VISIBLE SERVICES HAVE BEEN LOCATED. UNDERGROUND SERVICES HAVE NOT BEEN LOCATED. BEFORE YOU DIG AUSTRALIA (www.youdig.com.au) SHOULD BE USED AND A FULL UTILITY INVESTIGATION, INCLUDING A UTILITY LOCATION SURVEY, SHOULD BE UNDERTAKEN BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA.
 - SEWER MAIN PLOTTED FROM SYDNEY WATER SEWER DIAGRAM. LOCATION SHOULD BE MARKED ON SITE IF CRITICAL.
 - CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR.
 - CONTOURS SHOWN DEPICT THE TOPOGRAPHY. THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.
 - CONTOUR INTERVAL - 0.5 metre. - SPOT LEVELS SHOULD BE ADOPTED.
 - POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY (NOT TO SCALE).
 - THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:100.
 - DO NOT SCALE OFF THIS PLAN. FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS.
 - COPYRIGHT © CMS SURVEYORS 2024.
 - NO PART OF THIS SURVEY MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED IN ANY FORM, WITHOUT THE WRITTEN PERMISSION OF THE COPYRIGHT OWNER EXCEPT AS PERMITTED BY THE COPYRIGHT ACT 1968.
 - ANY PERMITTED DOWNLOADING, ELECTRONIC STORAGE, DISPLAY, PRINT, COPY OR REPRODUCTION OF THIS SURVEY SHOULD CONTAIN NO ALTERATION OR ADDITION TO THE ORIGINAL SURVEY.
 - THIS NOTICE MUST NOT BE ERASED.

MURRAY LEARMONT
 REGISTERED SURVEYOR BOSSI NUMBER 1462

1 FIRST ISSUE 4/11/2024

Zero Damage - Zero Harm

SCALE 1:100

HORIZONTAL DATUM:
 CO-ORDINATE SYSTEM: ASSUMED
 MARKS ADOPTED: N/A

VERTICAL DATUM:
 DATUM: AUSTRALIAN HEIGHT DATUM (AHD)
 B.M. ADOPTED: SSM 3520
 R.L. 78.745 (CLASS LC)
 SOURCE: S.C.I.M.S. (18/10/2024)

CLIENT:
 PETER FENNELL

LGA: NORTHERN BEACHES

**BOUNDARY IDENTIFICATION
 AND DETAIL & LEVEL SURVEY
 OVER LOT 19 IN DP30255
 No.1 WESLEY STREET
 ELANORA HEIGHTS, NSW, 2101**

CMS SURVEYORS PTY LTD
 ACN 096 240 201
 PO Box 463 Dee Why, NSW, 2099
 2/99A South Creek Road, Dee Why, NSW, 2099
 (02) 9971 4802
 info@cmsurveyors.com.au
 www.cmsurveyors.com.au

SURVEYED LP	DRAWN ABS	CHECKED LP	APPROVED RM
SURVEY INSTRUCTION 23908	SCALE 1:100@A1	DATE OF SURVEY 23/10/2024	
DRAWING NAME 23908detail	SHEET 1 OF 1		ISSUE 1
CAD FILE 23908detail.1.dwg			

TITLE INDICATES THAT LOT 19 IN D.P.30255 IS SUBJECT TO:
 - RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
 - J292089 COVENANT (NOT INVESTIGATED)