



36 CLONTARF STREET SEAFORTH

STATEMENT OF ENVIRONMENTAL EFFECTS FOR ALTERATIONS AND ADDITIONS TO A DWELLING



Report prepared for
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October 2023

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1. Introduction

- 1.1 This is a statement of environmental effects for alterations and additions to an existing dwelling, including a new double carport.
- The report describes how the application addresses and satisfies the objectives and standards of the Manly Local Environmental Plan 2013, the Manly Development Control Plan 2013 and the heads of consideration listed in Section 4.15 of the Environmental Planning and Assessment Act 1979 (as amended).
- 1.2 This statement of environmental effects has been prepared with reference to the following:
- ◆ Site visit
 - ◆ Survey Plan prepared by CMS Surveyors
 - ◆ Architectural drawings prepared by Action Plans
 - ◆ BASIX Certificate prepared by Action Plans
 - ◆ Waste Management Plan/Sediment Erosion Plan/Stormwater Concept Plan prepared by Action Plans
- 1.3 In July 2018 Development Consent DA2018/0384 was granted for Alterations and additions to the existing dwelling and construction of a secondary dwelling. The approved development also included a swimming pool, carport and a first floor level addition.
- 1.4 The proposed development is consistent with the objectives of all Council controls, considerate of neighbouring residents and will result in improved amenity for the residents of the site. It is an appropriate development worthy of Council consent.

2. The site and its locality

- 2.1 The subject site is located on the eastern side of Clontarf Street, approximately 260 metres south of its intersection with Lister Avenue in Seaforth. It is legally described as Lot 18 DP 13750 Sec. 2 and is known as 36 Clontarf Street.
- 2.2 It is a rectangular shaped lot with front and rear boundaries of 13.715 metres (east and west) and side boundaries of 57.91 metres (north and south).
- 2.3 The site has an area of 794.3m² and is currently occupied by a two storey clad house with a metal roof, with a single car garage, swimming pool and secondary dwelling at the rear. The site slopes slightly from the front of the property to the rear.
- 2.4 The property is surrounded by detached residential dwellings in all directions. It is located in close proximity to transport services on the Wakehurst Parkway, Clontarf Street and Frenchs Forest Road. Seaforth Public School is located to the south-east.



Figure 1. The site and its immediate surrounds

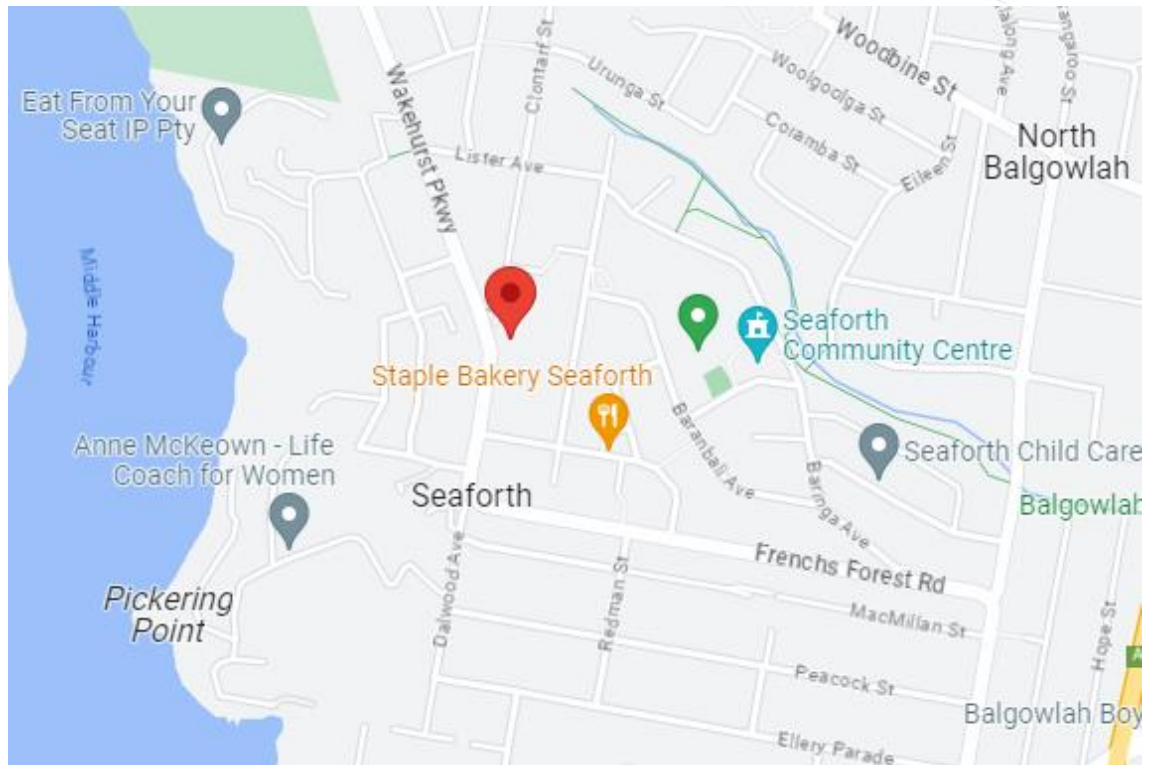


Figure 2. The site within the locality

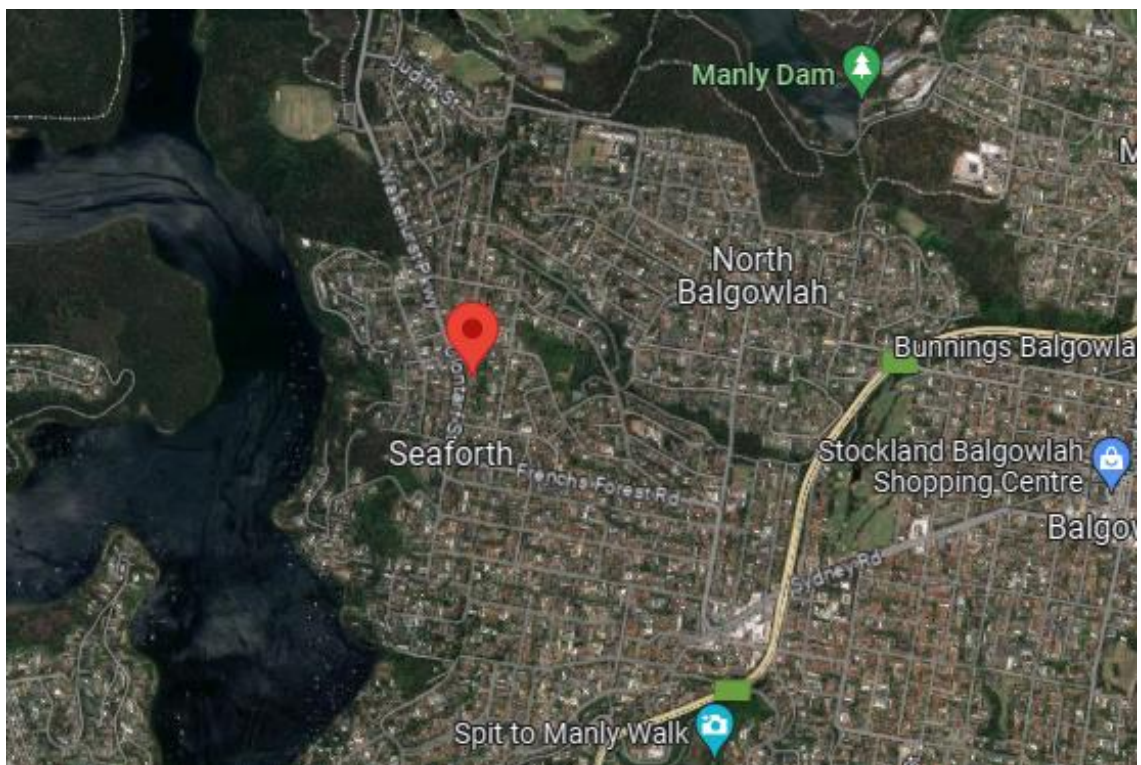


Figure 3. Aerial image of the site within the locality

3. Site Photos



Figure 4. The existing dwelling, looking east from Clontarf Street



Figure 5. Looking north-east, the front yard and location of front ground level extension



Figure 6. Looking east, the existing single car garage and carport on the northern side of the dwelling



Figure 7. Looking east from Clontarf Street, the subject site and the neighbouring property to the north at 38 Clontarf Street



Figure 8. The rear of the dwelling (no works are proposed at the rear)



Figure 9. Looking north- east, the secondary dwelling at the rear of the site

4. Proposed Development

The proposed development is for alterations and additions to the existing dwelling, including a front ground floor level extension and a double carport within the front setback to the dwelling.

The proposal is consistent with Council controls and ensures privacy is maintained for both neighbours and the subject site.

The development will be made up as follows:

Ground Floor Level:

- Demolition of the existing carport and entry porch
- Conversion of the existing single garage to a storage room
- Extension to include a guest bedroom and ensuite
- Conversion of the existing gym to an office and dwelling entry
- Conversion of the existing office to a gym
- New porch entry

First Floor Level:

- Conversion of Bed 1 and Master Bedroom to Master Bedroom only, with WIR and ensuite
- Reconfiguration of two windows on northern elevation to provide high sill windows
- Two skylights

Site:

- Construction of a timber framed double carport (open on two sides)
- New masonry front wall and entry gate to modified driveway

5. Statutory Framework

5.1 State Environmental Planning Policies

State Environmental Planning Policy (Biodiversity and Conservation) 2021

Chapter 2 Vegetation in Non-Rural Areas

This chapter aims to protect biodiversity values and preserve the amenity of non-rural areas, through the preservation of trees and other vegetation. The development remains consistent with the provisions of the SEPP as it does not propose to remove any significant vegetation.

State Environmental Planning Policy (Resilience and Hazards) 2021

Chapter 4 Remediation of Land

The subject site has historically been used for residential purposes and no change of use is proposed. There is no known reason to suspect the site may be contaminated and the consent authority can be satisfied that the land is suitable for the continued residential use.

State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

Schedule 1 of the Environmental Planning and Assessment Regulation (2000) sets out the requirement for a BASIX certificate to accompany any BASIX affected building, being any building that contains one or more dwellings, but does not include a hotel or motel. SEPP BASIX applies to the proposal and a compliant BASIX certificate is provided with this application.

5.2 Manly Local Environmental Plan 2013

The relevant clauses of the Manly Local Environmental Plan 2013 are addressed below.

Zoning

The site is zoned R2 Low Density Residential pursuant to the provisions of the Manly Local Environmental Plan 2013. The proposed development is for alterations and additions to an existing dwelling and dwelling houses, including swimming pools, are permitted with development consent in the R2 Zone.

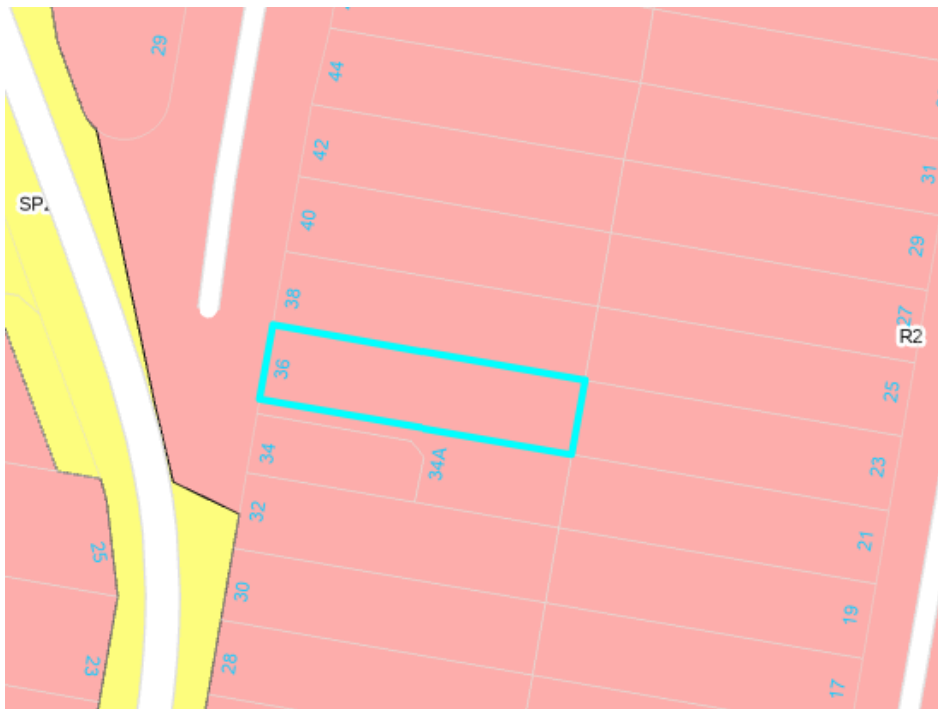


Figure 10. Extract from Manly LEP 2013 zoning map

Demolition

Demolition works are proposed, as described above and illustrated in the attached DA plan set, to allow for the construction of the proposed alterations and additions.

Minimum Lot Size

The site is mapped with a minimum subdivision lot size of 500m². The subject site comprises of a compliant area of 794.3m² and no subdivision is proposed.

Height of Buildings

The LEP restricts the height of any development on the subject site to 8.5 metres. The development will retain the existing maximum building height of the dwelling, being 8.438 metres.

The development proposes a compliant maximum building height of 5.326 metres for the ground floor level extension and 4.525 metres for the carport.

Floor Space Ratio

A maximum floor space ratio of 0.45:1 is permitted for the site which equates to 357.43m² for the site area of 794.3m². The existing dwelling has a compliant FSR of 0.32:1 or gross floor area of 256.99m².

The development proposes a compliant FSR of 0.37:1 or GFA of 290.4m², representing an overall increase in 33.41m² for the site.

Heritage Conservation

The site is not a heritage item, located within a heritage conservation area, or located in proximity to any heritage items.

Flood Planning

The site is not identified on the Northern Beaches Council Flood Hazard Map.

Acid Sulfate Soils

The site is not mapped with acid sulfate soils.

Earthworks

Minimal earthworks are proposed to allow for the construction of the proposed alterations and additions. Standard erosion and sediment control measures will be implemented to ensure best practice procedures are followed.

Stormwater Management

Stormwater from the site will be directed to existing drainage infrastructure on the site and will be in accordance with Council requirements.

Essential Services

All essential services are existing on the site.

5.3 Manly Development Control Plan 2013.

The relevant sections of the DCP are addressed below.

3. General Principles of Development

3.1 Streetscape and Townscapes

Streetscape (Residential areas)

The subject site has frontage to and is visible from Clontarf Street and is located at the southern end of the street within the cul-de-sac. Clontarf Street is characterised by one and two storey single residential dwellings and the proposed development is in keeping with the residential character of the locality.

The development proposes the removal of the existing single carport and the construction of a double carport, for compliant and weather protected on-site parking for two vehicles. The design of the ground floor extension ensures that the dwelling remains consistent with the existing dwelling and the residential character of Clontarf Street.

Accordingly, the proposed roof form, materials and finishes of the proposed works are consistent with the existing dwelling. The proposal also allows for adequate soft landscaping within the front setback.

Garbage Areas

The existing dwelling has a compliant bin storage area which will be retained.

Complementary Design and Visual Improvement

The proposed development remains consistent with the local character and streetscape in the locality. The proposed works will be constructed of materials consistent with the residential use and are of an appropriate scale for the locality. Details are provided in the attached External Finishes Schedule (Architectural Drawing DA17 Revision A).

Front Fences and Gates

The DCP permits a maximum solid front fence height of 1 metre or open front fencing to a maximum height of 1.5 metres.

The development proposes a compliant masonry front fence and vertical slatted entry gate to the driveway/carport.

Roof and Dormer Windows

No change is proposed to the existing first floor level roof of the dwelling and no dormer windows are proposed. The roof to the ground floor extension and carport will have a roof pitch of 20.5° to compliment the existing roof pitch of the dwelling and adjacent dwellings.

Garages, Carports and Hardstand Areas

As stated above, the proposed design and appearance of the carport will ensure that it complements the existing dwelling. It is considered that due to the site being located within a cul-de-sac, the proposed carport will have a minimal impact on the streetscape character of Clontarf Street. As stated above, the double carport provides weather protected on-site parking for two vehicles that is more functional than the tandem parking currently provided.

3.2 Heritage Considerations

The subject site is not a heritage item, located in a heritage conservation area and is not located in proximity to a heritage item.

3.3 Landscaping

The development retains the existing total open space at the front of the dwelling and proposes stepping stones to the front porch and entry to the dwelling. The proposal does not require the removal of any significant vegetation on the site. Further, the proposed carport is to be located across the existing driveway and gravel path on the northern side of the site.

3.4 Amenity (Views, Overshadowing, Overlooking/Privacy, Noise)

Overshadowing

The DCP requires that new development not eliminate more than 1/3 of existing sunlight to the private open space of adjoining properties between 9am and 3pm on 21 June.

In addition, as the subject site and adjoining lots have an east-west orientation, the DCP requires a minimum 2 hours of solar access be maintained to the glazing in living rooms of adjacent properties, between 9am and 3pm on 21 June.

The following observations are made of the shadow diagrams included with this application:

9am – The development will result in minor shadowing across the front of the subject site and to a small portion of the front yard of the neighbouring property at 34 Clontarf Street.

12pm - The development will result in shadowing to a portion of the front lawn at the subject site, and negligible shadowing across the driveway access for 34a Clontarf Street.

3pm – The development will result in minor shadowing across the driveway at the subject site only. No impact to neighbouring properties.

It is concluded that the development retains easily compliant solar access to adjoining private open space at 9am, 12pm and 3pm. The proposal will also not increase shadowing to living room glazing of adjoining properties.

Overshadowing Solar Collector Systems

The proposed development will not overshadow neighbouring solar collector systems.

Overshadowing Clothes Drying Areas

The development will not overshadow neighbouring clothes drying areas.

Excessive Glare or Reflectivity Nuisance

All external material and finishes will be constructed of non-reflective materials in keeping with this clause. Refer to the attached Samples Board (Architectural Drawing DA17).

Privacy and Security

Privacy will be retained for neighbours with appropriate setbacks and no direct overlooking into any key living areas.

A number of privacy measures have been incorporated into the design including the conversion of windows on the northern elevation at first floor level to high sill windows and the provision of high sill windows on the northern side of the ground floor level extension. Existing dense vegetation along the shared boundary between the subject site and the adjacent dwelling at 38 Clontarf Street will provide natural privacy screening to the open carport.

Acoustical Privacy (Noise Nuisance)

The development will not result in noise levels inappropriate to a residential area. The site is not located in proximity to a noise generating activity.

Maintenance of Views

A site visit has been undertaken and it is considered the proposed development will not result in any view loss impacts.

3.5 Sustainability

A compliant BASIX Certificate is provided with the attached plan set. The proposed alterations and additions provide compliant solar access and ventilation.

3.7 Stormwater Management

As mentioned above, stormwater from the site will be directed to existing drainage infrastructure.

3.8 Waste Management

Appropriate waste management will be undertaken during the demolition and construction process. All demolished materials will be recycled where possible which is detailed in the accompanying Waste Management Plan.

The existing bin storage area for the dwelling will be retained, with waste collected by Councils regular service.

3.10 Safety and Security

The property maintains clear property boundaries and visual surveillance of the street, which is of benefit to the safety and security of residents.

Part 4 - Development Controls and Development Types

4.1 Residential Development Controls

Dwelling Density, Dwelling Size and Subdivision

The subject site is mapped with a residential density of 1 unit per 500m². The development will retain the existing, compliant density of 1 dwelling on the 794.3m² lot.

Height of Buildings (incorporating wall height, number of storeys and roof height)

Wall height

The maximum wall height for the site is calculated at 6.7 metres on the northern side of the dwelling. The development proposes a compliant maximum wall height to the ground floor level extension of 3.871 metres, as illustrated on Architectural Drawing DA09 North / East Elevation. No changes are proposed to the existing wall height on the southern side of the dwelling.

Number of stories

The DCP permits a maximum of 2 stories on the subject site and the development proposes a compliant two storey dwelling.

Floor Space Ratio (FSR)

As described above the site is mapped with a maximum floor space ratio of 0.45:1, which equates to 357.43m² for the site area of 794.3m².

The development proposes a compliant gross floor area of 0.37:1 or 290.4m².

Setback (front, side and rear) and Building Separation

Street Front setbacks

A front setback consistent with neighbouring properties or a minimum 6 metres, is required on the site by the DCP.

The development proposes a non-compliant front setback of 3.47 metres to the double carport and a compliant 9.079 metres to the ground floor level extension (to align with the existing front setback to the dwelling).

Side setbacks and secondary street frontages

A side boundary setback equivalent of 1/3 of the wall height is required on the site, which equates to:

North:

Required -

1.29 metres (ground floor level, eastern end of new extension, based on a maximum wall height of 3.871m)

1.09 metres (northern side of carport, based on an approximate maximum wall height of 3.26 metres).

Provided –

A compliant 1.434 metres to ground floor level extension

A non-compliant 150mm to carport posts

South:

The proposed development does not involve any changes to the existing southern (side) setbacks to the dwelling.

It is considered that the double carport in the proposed location will not adversely affect the amenity of neighbouring properties and or detract from the current surrounding streetscape. The proposal is consistent with the objectives of Clause 4.1.4 as outlined below.

Objectives of the control:

1. *To maintain and enhance the existing streetscape including the desired spatial proportions of the street, the street edge and the landscape character of the street.*

Comment

The new double carport will be constructed 3.469 metres from the front property boundary, across the existing driveway and gravel path to the front of the dwelling, with no soft landscaping being lost within the front yard. A variation to the front setback control allows for a better planning outcome to be achieved, through the provision of compliant and more functional carparking on site.

The design remains complementary to the existing dwelling. As stated above, due to the site being located at the end of Clontarf Street within a cul-de-sac, there will be a minimal impact on the wider streetscape of Clontarf Street. The proposed development also complies with the building height and floor space ratio controls, resulting in a development which is consistent with the desired spatial proportions of the street.

2. To ensure and enhance local amenity by:

- *providing privacy;*
- *providing equitable access to light, sunshine and air movement; and*
- *facilitating view sharing and maintaining adequate space between buildings to limit impacts on views and vistas from private and public spaces.*
- *defining and adding character to the streetscape including the provision of adequate space between buildings to create a rhythm or pattern of spaces; and*
- *facilitating safe and adequate traffic conditions including levels of visibility around corner lots at the street intersection.*

Comment

As described above, the design of the alterations and additions, including the carport ensures that privacy and solar access is maintained at a reasonable level for both the subject site and adjoining properties. There will be no view impacts and the proposal remains consistent with the residential density in the locality.

The variation will allow for compliant, functional and weather protected car parking on the site (replacing tandem parking), also minimising any impact on street parking.

3. To promote flexibility in the siting of buildings.

Comment

Flexibility in the application of the front setback control is considered appropriate, in this case, as the development proposes secure, functional and compliant onsite carparking for this larger family home.

The development allows for the modernisation of the residential use of the site and the front setback variation maintains the amenity of adjoining neighbours.

4. *To enhance and maintain natural features by:*

- *accommodating planting, including deep soil zones, vegetation consolidated across sites, native vegetation and native trees;*
- *ensuring the nature of development does not unduly detract from the context of the site and particularly in relation to the nature of any adjoining Open Space lands and National Parks; and*
- *ensuring the provisions of State Environmental Planning Policy No 19 - Urban Bushland are satisfied.*

Comment

The proposed front setback variation will have a negligible impact on the landscaped area in this location as it is being constructed over what is largely a paved area within the front setback. The development proposes compliant total open space and landscaped area within the site and does not require the removal of any significant trees. The wide front grassed verge to Clontarf Street also adds to the landscaped setting.

5. *To assist in appropriate bush fire asset protection zones.*

Comment

Not relevant. The subject site is not bushfire prone land.

It is concluded that the proposed variation will have no adverse impact on neighbouring properties or the streetscape and remains consistent with the objectives of this clause, despite the non-compliance.

Rear Setbacks

A minimum rear setback of 8 metres is required on the site. The existing secondary dwelling at the rear of the subject site has an approved setback of 1.355 metres and no change is proposed. No works are proposed at the rear of the dwelling.

Open Space and Landscaping

Minimum Residential Total Open Space Requirements

The subject site is located in Open Space Area OS3, as such the DCP requires a total of 55% of the site to be open space with a minimum 35% of that open space to be landscaped area and a maximum 25% of total open space located above ground.

This equates to a minimum 436.86m² of total open space for the site area of 794.3m², a minimum 152.9m² of landscaped area and maximum 109.21m² of open space above ground level.

The development proposes a compliant total open space area of 437.02m² or 55%, a compliant landscaped area of 255.29m² or 58% and open space area above ground is easily < 109.21m².

Parking, Vehicular Access and Loading (including bicycle facilities)

The DCP requires 2 carparking spaces for a dwelling house.

The development proposes a double carport, with compliant dimensions of 5.61 metres x 5.5 metres. A modified crossover is proposed to provide access to the carport from Clontarf Street, with a driveway width of 4.516 metres at the western property boundary.

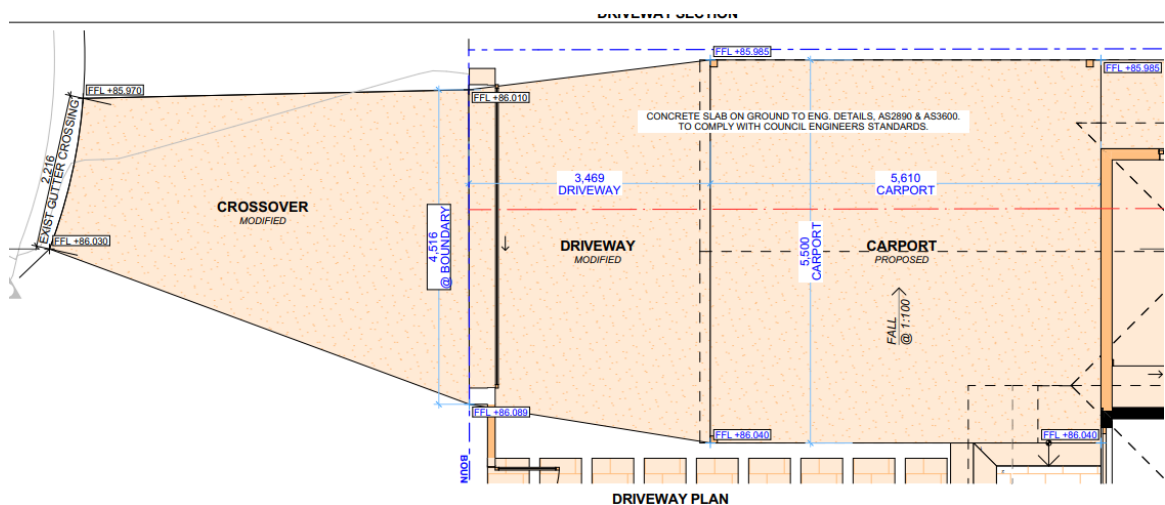


Figure 11. Extract from Architectural Drawing DA12 Driveway Plan, showing proposed driveway and double carport dimensions

First Floor and Roof Additions

The development proposes only changes to the windows on the northern elevation at first floor level, to include high sill windows, and a skylight.

Fencing

The DCP permits a maximum front fence height of 1 metre, or up to 1.5 metres if 30% transparent above 1 metre height.

The development proposes a new masonry fence along the front boundary, including vertical slatted entry gates to the driveway and pedestrian entry.

Earthworks (Excavation and Filling)

The DCP generally limits excavation and filling to a maximum 1 metre below or above existing natural ground level.

The development requires minimal earthworks to prepare for the proposed alterations and additions. Standard erosion and sediment control measures will be implemented to ensure best practice procedures are followed.

6. Numerical Control Table

	Standard	Proposed	Compliance
Manly LEP 2013			
Zoning	R2 Low Density Residential	Alterations and additions	Yes
Proposed Zoning	No Change	-	N/A
Lot Size	500m ²	Existing – 794.3m ²	Yes
Building Height	8.5m	Existing – 8.438m Carport – 4.525m Ground floor level extension – 5.326m	Yes – no change Yes Yes
Floor Space Ratio	0.45:1 (357.43)	0.37:1 (290.4m ²)	Yes
Manly DCP			
Residential Density/ Dwelling Size	Area D5 - 1/500m ²	Existing 1 Dwelling	Yes – no change
Wall Height	Maximum Wall Height Determined by the Slope <i>Slope = 0.83m (approx.).</i> <i>Length = 22.75 (approx.)</i> <i>1:27 = 6.7m max wall height</i>	Northern side addition - 3.871m No change to existing on the southern side.	Yes Yes – no change to existing
Number of Stories	2	Existing 2 stories	No change to existing
Side Boundary Setbacks	One third of wall height North: 1.29m (<i>based on proposed wall height of 3.871m for the ground floor extension</i>) South: N/A	Front ground level extension: North – 1.434m South – Existing is 1.32m Carport – Min 150mm	Yes Yes – no change to existing Compliance with objectives achieved

Primary Front Boundary Setback	6.0m or consistent with streetscape	3.47m to double carport 9.079m to front ground level extension (to align with existing setback to entry & office)	Compliance with objectives achieved Yes
Rear Boundary Setbacks	8m	Existing – 1.355m	Yes – no change
Parking	2 spaces	2 spaces within double carport	Yes
Open Space O/S Area 3	Total O/S – 55% = 436.86m ² Landscaped Area 35% of O/S = 152.90m ² Above Ground - Maximum 25% of open space = Max 109.21m ²	55% (437.02m ²) 58% (255.29m ²) Complies	Yes Yes Yes
Solar Access (adjoining P o/s)		Complies	Yes
Solar Access (Living rooms)		Complies	Yes

7. Section 4.15 Considerations

The following matters are to be taken into consideration when assessing an application pursuant to section 4.15 of the Environmental Planning and Assessment Act 1979 (as amended). Guidelines to help identify the issues to be considered have been prepared by the former Department of Urban Affairs and Planning. The relevant issues are:

7.1 **The provision of any planning instrument, draft environmental planning instrument, development control plan or regulations**

This report clearly and comprehensively addresses the statutory regime applicable to the application and demonstrates that the proposed land use is complimentary and compatible with adjoining development. The proposal achieves the aims of the Manly LEP and DCP. The development is permissible in the zone.

7.2 **The likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality**

Context and Setting

What is the relationship to the region and local context in terms of:

- *the scenic qualities and features of the landscape?*
- *the character and amenity of the locality and streetscape?*
- *the scale, bulk, height, mass, form, character, density and design of development in the locality?*
- *the previous and existing land uses and activities in the locality?*

These matters have been discussed in detail in the body of the statement.

What are the potential impacts on adjacent properties in terms of:

- *relationship and compatibility of adjacent land uses?*
- *sunlight access (overshadowing)?*
- *visual and acoustic privacy?*
- *views and vistas?*
- *edge conditions such as boundary treatments and fencing?*

The proposed alterations and additions have been designed to complement the site and its surrounds. The development will have a reasonable and appropriate impacts on adjacent properties.

Access, transport and traffic

Would the development provide accessibility and transport management measures for vehicles, pedestrians, bicycles and the disabled within the development and locality, and what impacts would occur on:

- *travel demand?*
- *dependency on motor vehicles?*
- *traffic generation and the capacity of the local and arterial road network?*
- *public transport availability and use (including freight rail where relevant)?*
- *conflicts within and between transport modes?*
- *traffic management schemes?*
- *vehicular parking spaces?*

There will be no impact.

Public domain

The proposed development will have a positive impact on the public domain as the proposal is consistent with the character of the streetscape of the area.

Utilities

There will be no impact on the site, which is already serviced.

Flora and fauna

There will be no impact.

Waste

There will be no impact.

Natural hazards

The site is not constrained by natural hazards.

Economic impact in the locality

There will be no impact, other than the possibility of a small amount of employment during construction.

Site design and internal design

Is the development design sensitive to environmental conditions and site attributes including:

- *size, shape and design of allotments?*
- *the proportion of site covered by buildings?*
- *the position of buildings?*
- *the size (bulk, height, mass), form, appearance and design of buildings?*
- *the amount, location, design, use and management of private and communal open space?*
- *landscaping?*

The proposed alterations and additions are highly appropriate to the site, with regards to all of the above factors. The development fits well within the context of the surrounds and the buildings on the site will remain of minimal scale and well suited to its residential surrounds.

How would the development affect the health and safety of the occupants in terms of:

- *lighting, ventilation and insulation?*
- *building fire risk – prevention and suppression/*
- *building materials and finishes?*
- *a common wall structure and design?*
- *access and facilities for the disabled?*
- *likely compliance with the Building Code of Australia?*

The proposed development will comply with the provisions of the Building Code of Australia. Additionally, finishes, building materials and all facilities will be compliant with all relevant Council controls.

Construction

What would be the impacts of construction activities in terms of:

- *the environmental planning issues listed above?*
- *site safety?*

Site safety measures and procedures compliant with relevant legislation will ensure that no site safety or environmental impacts will arise during construction.

7.3 The suitability of the site for the development

Does the proposal fit in the locality?

- *are the constraints posed by adjacent developments prohibitive?*
- *would development lead to unmanageable transport demands and are there adequate transport facilities in the area?*
- *are utilities and services available to the site adequate for the development?*

The development does not impose any unusual development constraints.

Are the site attributes conducive to development?

The site is appropriate for the additions proposed.

7.4 Any submissions received in accordance with this Act or the regulations

It is envisaged that the consent authority will consider any submissions made in relation to the proposed development.

7.5 The public interest

It is considered that the proposal is in the public interest as it allows for appropriate and positive additions to an existing residential site.

Section 4.15(1) of the Environmental Planning and Assessment Act has been considered and the development is considered to fully comply with all relevant elements of this section of the Environmental Planning and Assessment Act 1979.

8. Conclusions

- 8.1 The proposed development for alterations and additions to the existing dwelling, including a front ground floor level addition and a double carport, at 36 Clontarf Street, Seaforth is appropriate considering all State and Council controls.
- 8.2 When assessed under the relevant heads of consideration of s4.15 of the Environmental Planning and Assessment Act, the proposed development is meritorious and should be granted consent.
- 8.3 Considering all the issues, the development is considered worthy of Council's consent.

Planner Declaration

This report was prepared by:

Senior Planner: Susan May-Roberts

Report Version: Final

Document Control Table

Document Purpose:	Statement of Environmental Effects	
Date	Prepared by	Approved by
05/10/2023	Susan May-Roberts Senior Planner	Sarah McNeilly Director

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