

STATEMENT OF ENVIRONMENTAL EFFECTS

**PROPOSED CONSTRUCTION OF ALTERATIONS AND ADDITIONS TO AN
EXISTING DWELLING INCLUDING A NEW CARPORT AND DECKS**

LOCATED AT

18 PARR PARADE, NARRAWEENA

FOR

BRAD WADE & BELINDA WADE



**Prepared
February 2020**

Table of Contents

1.0 Introduction.....	3
2.0 Property Description	3
3.0 Site Description	3
4.0 The Surrounding Environment	7
5.0 Proposed Development.....	8
6.0 Zoning and Development Controls.....	9
6.1 State Environmental Planning Policy No. 55 – Remediation of Land.....	9
6.2 State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004.....	9
6.3 Warringah Local Environmental Plan 2011	9
6.4 Warringah Development Control Plan	11
7.0 Matters for Consideration under Section 4.15 of The Environmental Planning and Assessment Act, 1979.....	23
7.1 The provisions of any environmental planning instrument	23
7.2 Any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Planning Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and.....	23
7.3 Any development control plan.....	23
7.4 Any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4.....	24
7.5 The regulations (to the extent that they prescribe matters for the purposes of this paragraph), 24	
7.6 The likely impacts of that development, including environmental impacts on both the natural and built environments, and the social and economic impacts in the locality.	24
7.7 The suitability of the site for the development.....	24
7.8 Any submissions made in accordance with this Act or the regulations.....	24
7.9 The public interest.....	24
8.0 Conclusion	25

1.0 Introduction

This Statement of Environmental Effects accompanies architectural plans prepared on behalf of Brad & Belinda Wade by Ukalovic Design, Revision A dated 6 February 2020, Project No 1911, Sheets No's. 1 – 9, detailing the proposed construction of alterations and additions to an existing dwelling at **18 Parr Parade, Narraweena**.

This Statement describes the subject site and the surrounding area, together with the relevant planning controls and policies relating to the site and the type of development proposed. As a result of this assessment it is concluded that the development of the site in the manner proposed is considered to be acceptable and is worthy of the support of the Council.

In preparation of this document, consideration has been given to the following:

- *The Environmental Planning and Assessment Act, 1979 as amended*
- *The Environmental Planning and Assessment Regulation 2000*
- *State Environmental Planning Policy No. 55 – Remediation of Land*
- *State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004*
- *Warringah Local Environmental Plan 2011*
- *Warringah Development Control Plan*

2.0 Property Description

The subject allotment is described as 18 Parr Parade, Narraweena, being Lot 29 within Deposited Plan 16969 and is zoned R2 Low Density Residential within the provisions of the Warringah Local Environmental Plan 2011.

The site is not listed as a heritage item, nor is it located within a conservation area.

The site is identified as Landslip Risk Area A on Council's Landslip Risk Map. This matter will be discussed in further detail within this statement.

No other hazards have been identified.

3.0 Site Description

The property is a regular shaped allotment located on the northern side of Parr Parade. The front portion of the site falls to the north-east, and the rear portion of the site falls to the north, with a total fall of approximately 2m over its length. The site has a width of 11.67m, a depth of 39.929m, and a total site area of 466m².

Stormwater from the site is currently dispersed within the rear yard and the proposal is to be supported by a Concept Drainage Plan prepared by E2 Civil and Structural design Pty Ltd, which will include a charged line drainage system to direct roofwater to the street gutter in Parr Parade. Parade.

The site is currently developed with an single storey vinyl clad dwelling with a tile roof. A metal shed is located in the rear, north-western corner. Vehicular access is currently available via a concrete driveway from Parr Parade to a brick carport.

The details of the site are as indicated on the survey plan prepared by Rennie Golledge Pty Ltd, Reference No. 185.19, dated 28 May 2019, which accompanies the DA submission.

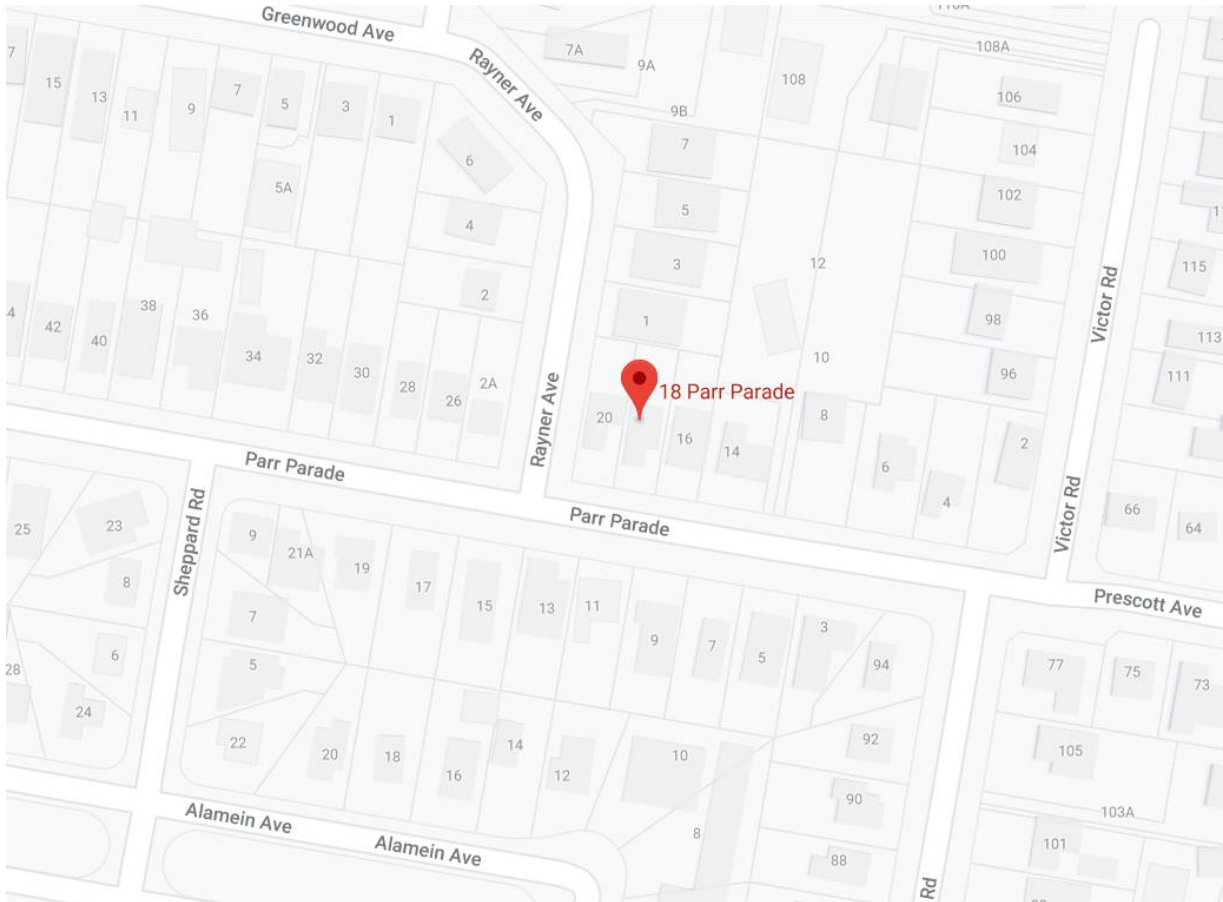


Fig 1: Location of Subject Site
(Source: Google Maps)



Fig 2: View of the subject site, looking north-west from Parr Parade



Fig 3: View of neighbouring dwelling at No 16 Parr Parade, looking north from Parr Parade



Fig 4: View of neighbouring dwelling at No 20 Parr Parade, looking north from Parr Parade

4.0 The Surrounding Environment

The general vicinity of the site is characterised by a mix of single detached dwellings and associated ancillary structures such as garages, storage sheds and swimming pools.

The sites immediately to the north and south comprise one and two storey dwellings.

The site and its surrounds are depicted in the following aerial photograph:

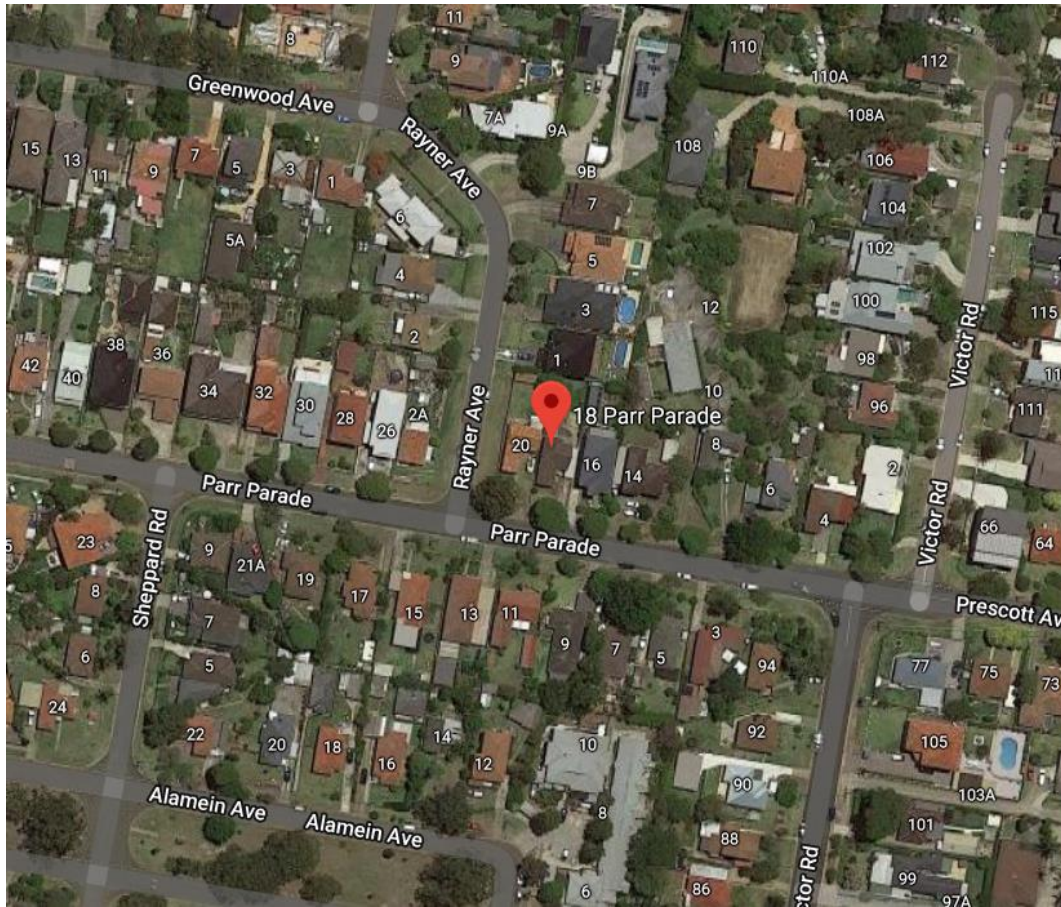


Fig 5: Aerial view of locality
(Source: Google Maps)

5.0 Proposed Development

As detailed within the accompanying plans, the proposal seeks consent for additions and alterations to the existing dwelling.

The proposed works comprise alterations and additions to the existing dwelling to provide for new front porch with timber steps, single carport, Bedroom 1 with ensuite and walk-in robe, bathroom, 2 x linen cupboards, Bedroom 3, laundry, open plan family, dining and kitchen with breakfast bar and walk-in pantry, guest room, powder, rumpus, and rear alfresco with timber steps

The proposed new works to the dwelling will comprise horizontal cladding and a colorbond roof.

The dwelling will continue to present a modest single storey appearance to Parr Parade, with an articulated façade which reduces the visual impact of the development on the streetscape.

Stormwater from the site is currently dispersed within the rear yard and the proposal is supported by a Concept Drainage Plan prepared by E2 Civil and Structural design Pty Ltd, which will include a charged line drainage system to direct roofwater to the street gutter in Parr Parade. Parade.

The proposal results in the following development indices:

Site Area:	466m ²
Required Landscaped Area:	40% or 186.4m ²
Proposed Landscaped Area:	32.12% or 149.68m ² (See DCP discussion)

6.0 Zoning and Development Controls

6.1 State Environmental Planning Policy No. 55 – Remediation of Land

SEPP 55 – Remediation of Land and in particular Clause 7(1)(a) suggests that a consent authority must not grant consent to the carrying out of any development on land unless it has considered whether the land is contaminated.

Given the history of residential use of the land, the site is not considered to be subject to contamination and further investigation is not required at this stage.

6.2 State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

The proposal meets water, thermal and energy standards required by BASIX. A BASIX certificate has been submitted with the development application.

6.3 Warringah Local Environmental Plan 2011

The land is zoned R2 Low Density Residential under the provisions of the WLEP 2011.

The proposed works to the dwelling are permissible in this zone under the WLEP 2011.

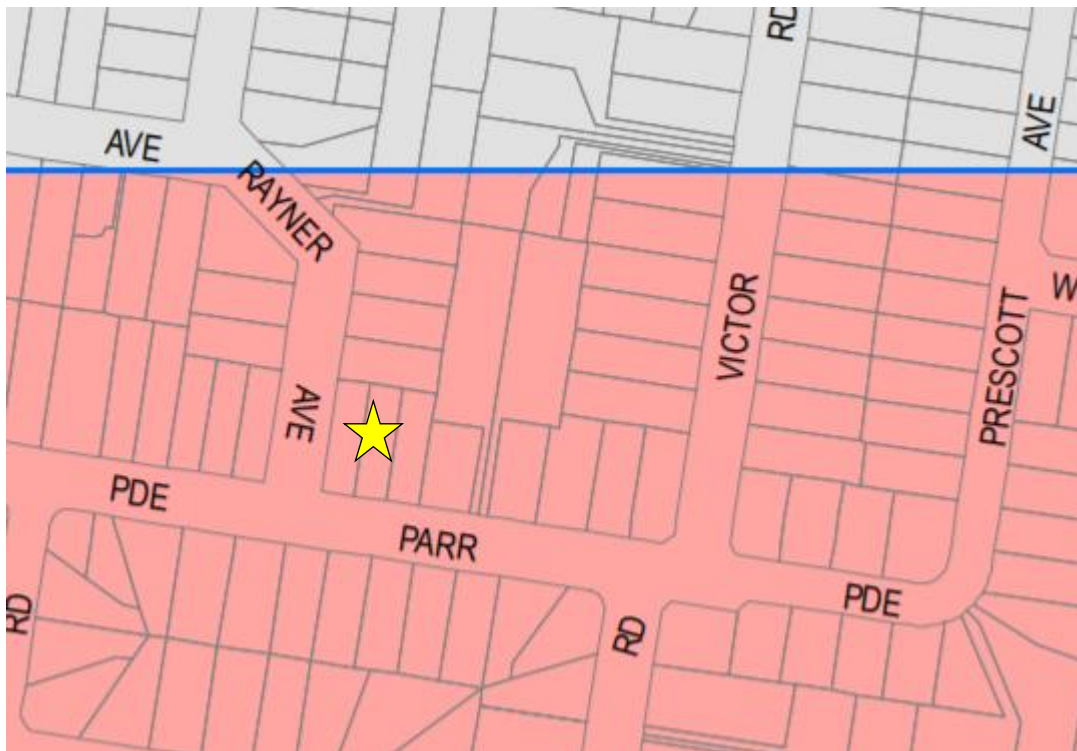


Fig 6: Extract of Warringah Local Environmental Plan 2011

The development of and use of the land for residential purposes is consistent with the zone objectives, which are noted as:

- *To provide for the housing needs of the community within a low density residential environment.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
- *To ensure that low density residential environments are characterised by landscaped settings that are in harmony with the natural environment of Warringah.*

It is considered that the proposed alterations and additions to the dwelling will be consistent with the desired future character of the surrounding locality for the following reasons:

- The proposal will be consistent with and complement the existing detached style housing within the locality.
- The proposed development respects the scale and form of other new development in the vicinity and therefore compliments the locality.
- The setbacks are compatible with the existing surrounding development.
- The proposal does not have any significant impact on the existing landscaped area or long distance views.

Clause 4.3 provides controls relating to the height of buildings.

The dictionary supplement to the LEP notes building height to be:

building height (or height of building) means the vertical distance between ground level (existing) and the highest point of the building, including plant and lift overruns, but excluding communication devices, antennae, satellite dishes, masts, flagpoles, chimneys, flues and the like.

The building height limit for development in this portion of Narraweena is 8.5m. The works to the dwelling will result in a maximum height of approximately 5.45m above existing ground level and complies with Council's maximum building height.

Clause 6.2 relates to earthworks. The proposal will not require any substantial disturbance of the existing site conditions.

The works will be carried out in accordance with the recommendations of a qualified Structural Engineer, and will therefore satisfy the provisions of this clause.

Clause 6.4 relates to development on sloping land. The site is noted on Council's Landslip Risk Map as being within Area A. The works will be carried out in accordance with the recommendations of the qualified Structural Engineer, and will therefore satisfy the provisions of this clause.

There are no other clauses of the WLEP 2011 that are considered to be relevant to the proposed development. It is considered that the proposal achieves the requirements of the WLEP.

6.4 Warringah Development Control Plan

The relevant numerical and performance based controls under WDCP are discussed below:

Part B - Built Form Controls			
Standard	Required	Proposed	Compliance
B1 – Wall heights	Max 7.2m	The maximum proposed wall height is approximately 2.7m and readily complies with this control.	Yes
B2 – Number of storeys	No requirement identified on map		N/A
B3 – Side Boundary Envelope and Side Setback	Building envelope 45 degrees from 5m. Setback 0.9m	<p>The proposal maintains a single storey height and observes Council's building envelope and the additions to the dwelling exceed the 900mm setback.</p> <p>The proposed open carport will stand from 480mm to the eastern side boundary, which is a permitted variation for open style structures. The proposed carport adjoins the garage and driveway to the adjacent site at No 16 Parr Parade and as such, will not have any significant impact on the amenity of the neighbour.</p>	Yes
B4 – Site Coverage	No requirement identified on map		N/A
B5 – Side Boundary setbacks	R2 zoned land 0.9m Consent may be granted to allow a	Proposed additions to stand a minimum of 1.05m and 0.911m from eastern and	Yes – on merit

	<p>single storey outbuilding, carport, pergola or the like that to a minor extent does not comply with the requirements of this clause</p>	<p>western side boundaries respectively.</p> <p>However, the proposed carport will stand between 480mm and 542mm from the eastern side boundary and therefore does not comply with this control.</p> <p>The objectives of this control are as follows:</p> <ul style="list-style-type: none"> • <i>To provide opportunities for deep soil landscape areas.</i> • <i>To ensure that development does not become visually dominant.</i> • <i>To ensure that the scale and bulk of buildings is minimised.</i> • <i>To provide adequate separation between buildings to ensure a reasonable level of privacy, amenity and solar access is maintained.</i> • <i>To provide reasonable sharing of views to and from public and private properties.</i> <p>The proposal maintains a generous area of soft landscaping.</p> <p>The proposed additions maintain a modest single storey</p>	
--	--	---	--

		<p>scale to Parr Parade, which readily complies with the statutory height limit.</p> <p>The proposed new works have been designed to maximise privacy, amenity and solar access for neighbouring properties. The modest single storey scale of the works maintain a modest single storey scale.</p>	
B6 – Merit assessment of Side Boundary Setbacks	No requirement identified on map		N/A
B7 – Front Boundary Setbacks	Minimum 6.5m	Minimum proposed setback to the new works is 6.57m and meets this control.	Yes
B8 – Merit assessment of front boundary setbacks	No requirement identified on map		N/A
B9 – Rear Boundary Setbacks	<p>Min 6m rear setback</p> <p>R2 Zoned land swimming pool not to exceed 50% of rear setback area.</p>	<p>Minimum proposed setback 8.3m from the rear boundary and complies with this control.</p> <p>N/A</p>	<p>Yes</p> <p>N/A</p>
B10 – Merit Assessment of rear boundary setbacks	No requirement identified on map		N/A
B11 – Foreshore Building Setback	No requirement identified on map		N/A
B12 – National Parks Setback	No requirement identified on map		N/A
B13 – Coastal Cliffs Setback	No requirement identified on map		N/A

B14 – Main Roads Setback	No requirement identified on map		N/A
B15 – Minimum Floor to Ceiling Height	No requirement identified on map		N/A
Part C – Siting Factors			
C2 – Traffic, Access and Safety	Vehicular crossing to be provided in accordance with Council's Vehicle Crossing Policy	The existing vehicle crossing will be maintained.	Yes
C3 – Parking Facilities	Garages not to visually dominate façade Parking to be in accordance with AS/NZS 2890.1	<p>The proposal will see the construction of a new attached single carport. The proposed carport is modest in scale and will not visually dominate the dwelling's façade.</p> <p>Area is retained forward of the carport for a second vehicle within the driveway.</p> <p>The parking and access design will meet the relevant standards.</p>	Yes
C4 – Stormwater	Hydraulic Design to be provided in accordance with Council's Stormwater Drainage Design Guidelines for Minor Developments and Minor Works Specification	Stormwater from the site is currently dispersed within the rear yard and the proposal is to be supported by a Concept Drainage Plan prepared by E2 Civil and Structural design Pty Ltd, which will include a charged line drainage system to direct roofwater to the street gutter in Parr Parade. Parade.	Yes

C5 – Erosion and Sedimentation	Soil and Water Management required	The proposal is accompanied by a sediment and erosion control plan detailed within the Site Plan + Site Analysis Plan prepared by Ukalovic Design.	Yes
C6 – Building over or adjacent to Constructed Council Drainage Easements	N/A		N/A
C7 – Excavation and Landfill	Site stability to be maintained	Minimal excavation is required to accommodate the proposed new works. All works will be carried out in accordance with the recommendations of the consulting Structural Engineer and will therefore satisfy the provisions of this clause.	Yes
C8 – Demolition and Construction	Waste management plan required	Waste management measures to be employed	Yes
C9 – Waste Management	Waste storage area to be provided	Bins storage available adjacent to garage	Yes
Part D – Design			
D1 – Landscaped Open Space and Bushland	Min 40% Landscaped Area to be maintained	The proposal will maintain a landscaped area that observes a minimum width of 2m of 149.68m ² or 32.12% and therefore will not comply with the control. The site will have a total landscaped area, inclusive of areas that are less than 2m in	Yes

		<p>width of 198.03m² or 42.9%.</p> <p>The development within the site will continue to achieve the Objectives of the controls, which are noted as:</p> <p>Objectives</p> <ul style="list-style-type: none">• <i>To enable planting to maintain and enhance the streetscape.</i>• <i>To conserve and enhance indigenous vegetation, topographical features and habitat for wildlife.</i>• <i>To provide for landscaped open space with dimensions that are sufficient to enable the establishment of low lying shrubs, medium high shrubs and canopy trees of a size and density to mitigate the height, bulk and scale of the building.</i>• <i>To enhance privacy between buildings.</i>• <i>To accommodate appropriate outdoor recreational opportunities that meet the needs of the occupants.</i>• <i>To provide space for service functions, including clothes drying.</i>• <i>To facilitate water management, including on-site</i>	
--	--	---	--

		<p><i>detention and infiltration of stormwater.</i></p> <p>The proposal will provide for sufficient area for the private open space and recreational requirements of the owners, whilst maintaining good areas of deep soil planting within the front and rear yard area.</p>	
D2 – Private Open Space	<p>Dwelling houses with three or more bedrooms</p> <p>Min 60m² with min dimension 5m</p>	<p>The private open space is directly accessible from the dwelling. The majority of the private open space is within the rear yard and the north-facing alfresco, with good access to the northern sun.</p>	Yes
D3 – Noise	<p>Mechanical noise is to be attenuated to maintain adjoining unit amenity.</p> <p>Compliance with NSW Industrial Noise Policy Requirements</p>	<p>Given the residential nature of the proposal, no noise impacts are anticipated.</p>	Yes
D4 – Electromagnetic Radiation	N/A to proposed development		N/A
D5 – Orientation and Energy Efficiency	<p>Dwellings to be orientated to receive northern sun</p> <p>Appropriate construction to enhance thermal properties and ventilation/natural cooling</p> <p>Compliance with SEPP (BASIX) requirements</p>	<p>The site enjoys good access to northern sun to the rear yard.</p>	Yes

D6 – Access to sunlight	This control requires that sunlight to at least 50% of private open space to adjoining properties is not to be reduced to less than 2 hours between 9am and 3pm on the winter solstice.	Given the modest single storey scale of the proposed additions, the internal and external living areas of neighbouring properties will continue to receive suitable solar access.	Yes
D7 – Views	View sharing to be maintained	<p>The controls require that development should enable the reasonable sharing of views. The works see alterations and additions to the existing dwelling.</p> <p>The subject site and neighbouring properties enjoy district views to the north.</p> <p>The modest roof height and low profile roof form of the new works will ensure that the primary outlook for the surrounding properties is not unreasonably diminished.</p>	Yes
D8 – Privacy	This clause specifies that development is not to cause unreasonable overlooking of habitable rooms and principle private open space of adjoining properties	<p>The proposed rear alfresco incorporates privacy screening along its eastern elevation, and will not unreasonably reduce the privacy enjoyed by the neighbours.</p> <p>The considered location of windows within the side elevations minimises opportunities for</p>	Yes

		<p>overlooking to neighbouring properties.</p> <p>The privacy currently enjoyed by neighbouring properties will therefore remain largely unchanged.</p>	
D9 – Building Bulk	This clause requires buildings to have a visual bulk and architectural scale that is consistent with structures on nearby and adjoining properties and not to visually dominate the street or surrounding spaces	The existing surrounding development comprises a mix of one and two storey dwellings. The form of the proposed development is modest in height and scale, with an articulated façade, and will not visually dominate Parr Parade.	Yes
D10 – Building Colours and materials		The proposed new works will be finished in colours which complement the existing development on site and the locality.	Yes
D11 – Roofs	The LEP requires that roofs should not dominate the local skyline.	The proposed new additions provide for a low profile, skillion roof over the proposed rear extension that does not dominate the skyline. A modest pitched roof form is provided over the front extension. The roof minimises bulk and scale and maximises view retention to adjoining properties.	Yes

D12 – Glare and Reflection	Glare impacts from artificial illumination minimised. Reflective building materials to be minimised	The proposal provides colours and finishes which will complement the existing dwelling, together with existing surrounding development. No significant glare impacts will result from proposed new works.	Yes
D13 – Front Fences and Front Walls	Front fences to be generally to a maximum of 1200mm, of an open style to complement the streetscape and not to encroach onto street	N/A – no new front fencing proposed	N/A
D14 – Site Facilities	Garbage storage areas and mailboxes to have minimal visual impact to the street Landscaping to be provided to reduce the view of the site facilities	Bin storage area is available adjacent to the carport. The existing mailbox is to be maintained.	Yes
D15 – Side and Rear Fences	Side and rear fences to be maximum 1.8m and have regard for Dividing Fences Act 1991	The existing side and rear fencing will be maintained.	N/A
D16 – Swimming Pools and Spa Pools	Pool not to be located in front yard or where site has two frontages, pool not to be located in primary frontage. Siting to have regard for neighbouring trees.	No pool proposed.	N/A
D17 – Tennis Courts	N/A		N/A
D18 – Accessibility	Safe and secure access for persons with a disability to be provided where required	Not applicable to residential development	N/A

D19 – Site Consolidation in the R3 and IN1 Zone	N/A		N/A
D20 – Safety and Security	Buildings to enhance the security of the community. Buildings are to provide for casual surveillance of the street.	The proposed works will not reduce the security of the street area or the subject property. Casual surveillance of the street is available from the dwelling to the street over and through the front landscaped area.	Yes
D21 – Provision and Location of Utility Services	Utility services to be provided	Normal utility services are available to the site	Yes
D22 – Conservation of Energy and Water	Compliance with SEPP BASIX	A BASIX Certificate is provided to support the development	Yes
D23 – Signs	Building identification signage to be appropriate for proposed use and not to impact on amenity of surrounding locality. Signs not to obscure views vehicles, pedestrians or potentially hazardous road features or traffic control devices.	No signage proposed	N/A
Part E – The Natural Environment			
E1 – Private Property Tree Management	Arboricultural report to be provided to support development where impacts to trees are presented	No significant protected trees are affected by the works.	Yes
E2 – Prescribed Vegetation	Not identified on map		N/A
E3 – Threatened species, populations, ecological communities	Not identified on map		N/A
E4 – Wildlife Corridors	Not identified on map		N/A
E5 – Native Vegetation	Not identified on map		N/A

E6 – Retaining unique environmental features	Not identified on map	No significant features within site	Yes
E7 – Development on land adjoining public open space	Not identified on map		N/A
E8 – Waterways and Riparian Lands	Not identified on map		N/A
E9 – Coastline Hazard	Not identified on map		N/A
E10 – Landslip Risk	Identified on map as Area A.	The proposal will be carried out in accordance with the recommendations of the consulting Structural Engineer. No geotechnical assessment is deemed necessary in this instance.	Yes
E11 – Flood Prone Land	Not identified on map		N/A

7.0 Matters for Consideration under Section 4.15 of The Environmental Planning and Assessment Act, 1979

7.1 The provisions of any environmental planning instrument

The proposal is subject to the provisions of the Warringah Local Environmental Plan 2011. It is considered that the provisions of these environmental planning instruments have been satisfactorily addressed within this report and that the proposal achieves compliance with its provisions.

There are no other environmental planning instruments applying to the site.

7.2 Any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Planning Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and

It is not considered that there are any draft environmental planning instruments applying to the site.

7.3 Any development control plan

The development has been designed to comply with the requirements of the WLEP 2011 & the controls of the Warringah Development Control Plan.

It is considered that the proposed design respects the desired character objectives of the DCP in that it reinforces the existing residential character of the area and is compatible with the existing uses in the vicinity.

Key amongst the amendments are requirements to interpret DCPs flexibly and to allow reasonable alternative solutions to achieve the objectives of DCP standards.

The new section 3.42 provides that the 'principal purpose' of DCPs is to 'provide guidance' on:-

- giving effect to the aims of any applicable environmental planning instrument
- facilitating permissible development
- achieving the objectives of the relevant land zones

.The key amendment is the insertion of section 4.15(3A) which:

- prevents the consent authority requiring more onerous standards than a DCP provides,
- requires the consent authority to be 'flexible' and allow 'reasonable alternative solutions' in applying DCP provisions with which a development application does not comply,
- limits the consent authority's consideration of the DCP to the development application(preventing consideration of previous or future applications of the DCP).

We request that Council applies considered flexibility where the application seeks variations to numerical development controls in the DCP as justified in this report. In particular, we consider that the variation to the side setback control for the carport and the landscaped area is a reasonable

alternative solution to compliance where the site conditions results in a challenge to designing for new development which fully respects the side setback and landscaped area criteria.

It is considered that the proposed design respects the desired character objectives of these document sin that the proposal acknowledges the existing residential character of the area and is compatible with the existing uses in the vicinity.

The development respects the streetscape character objectives of the DCP and will provide a cohesive and sympathetic addition to the site which will make a positive contribution to the area.

7.4 Any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4

No matters of relevance are raised in regard to the proposed development.

7.5 The regulations (to the extent that they prescribe matters for the purposes of this paragraph),

No matters of relevance are raised in regard to the proposed development.

7.6 The likely impacts of that development, including environmental impacts on both the natural and built environments, and the social and economic impacts in the locality.

It is considered that the proposal, which seeks consent for the proposed construction of alterations and additions to an existing dwelling, which have been located and designed to appropriately minimise impacts on the amenity of adjoining properties and are compatible with and will complement the character of the area.

The proposal is considered to be well designed having regard for the relevant provisions of the SEPP, Council's LEP and DCP.

7.7 The suitability of the site for the development

The site is considered suitable for the proposed development.

The proposal will provide for the construction of alterations and additions to an existing dwelling.

It is suggested that the proposal will not have a detrimental impact on the amenity of the adjoining properties or any impact on the streetscape.

7.8 Any submissions made in accordance with this Act or the regulations

This is matter for Council in the consideration of this proposal.

7.9 The public interest

The proposal will not impact upon the environment or the character of the locality and the considered location of habitable room windows and decks will mitigate any unreasonable visual impacts on the

amenity of adjoining properties and is therefore considered to be within the public interest.

8.0 Conclusion

The proposal provides for the construction of alterations and additions to an existing dwelling including a carport and decks, which will not have a detrimental impact on the adjoining properties or the locality.

As the proposed development will not have any significant impact on the environment, scenic quality of the area or the amenity of the adjoining allotments, the issue of Development Consent under the delegation of Council is requested.

VAUGHAN MILLIGAN

Town Planner

Grad. Dipl. Urban and Regional Planning (UNE)