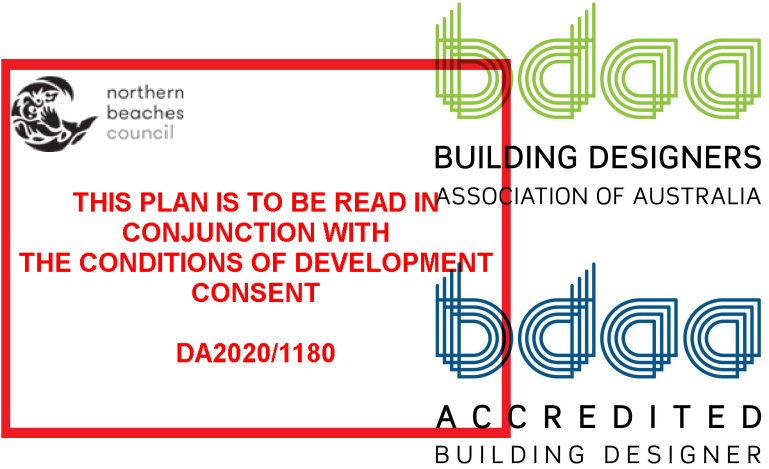


Rapid Plans www.rapidplans.com.au
P.O. Box 6193 Frenchs Forest DC NSW 2086
Fax: (02) 9905-8865 Mobile: 0414-945-024
Email: gregg@rapidplans.com.au



DEVELOPMENT APPLICATION
Alterations & Additions
To Existing Residence

For Marcus Rosenberg and Charlotte Ralph
2/25 Charles Street, Freshwater 2096
Lot 2 S.P. 51300
Project Number: RP0320ROS



DRAWING No.	DESCRIPTION	REV	ISSUED DATE
DA1000	Cover Sheet	1	- 5-2-2021
DA1001	A4 NOTIFICATION PLAN	1	- 5-2-2021
DA1002	SITE SURVEY	1	- 5-2-2021
DA1003	SITE PLAN	1	- 5-2-2021
DA1004	Existing Lower Ground Floor Plan	1	- 5-2-2021
DA1005	Existing Ground Floor Plan	1	- 5-2-2021
DA1006	Existing First Floor Plan	1	- 5-2-2021
DA1007	Existing Roof Plan	1	- 5-2-2021
DA1008	Demolition Lower Ground Floor Plan	1	- 5-2-2021
DA1009	Demolition Ground Floor Plan	1	- 5-2-2021
DA1010	Demolition First Floor Plan	1	- 5-2-2021
DA1011	Demolition Roof Plan	1	- 5-2-2021
DA1012	Landscape Open Space Plan Existing	1	- 5-2-2021
DA1013	Landscape Open Space Plan Proposed	1	- 5-2-2021
DA1014	Landscape Plan	1	- 5-2-2021
DA1015	Sediment & Erosion Plan	1	- 5-2-2021
DA1016	Waste Management Plan	1	- 5-2-2021
DA1017	Stormwater Plan	1	- 5-2-2021
DA2001	LOWER GROUND FLOOR	1	- 5-2-2021
DA2002	GROUND FLOOR	1	- 5-2-2021
DA2003	FIRST FLOOR	1	- 5-2-2021
DA2004	ATTIC FLOOR	1	- 5-2-2021
DA2005	ROOF	1	- 5-2-2021
DA3000	SECTION 1	1	- 5-2-2021
DA3001	SECTION 2	1	- 5-2-2021
DA4000	ELEVATIONS 1	1	- 5-2-2021
DA4001	ELEVATIONS 2	1	- 5-2-2021
DA4002	ELEVATION FRONT FENCE	1	- 5-2-2021
DA5000	PERSPECTIVE	1	- 5-2-2021
DA5001	MATERIAL & COLOUR SAMPLE BOARD	1	- 5-2-2021
DA5002	SHADOW PLAN 21 JUN at 0900h	1	- 5-2-2021
DA5003	SHADOW PLAN 21 JUN at 1200h	1	- 5-2-2021
DA5004	SHADOW PLAN 21 JUN at 1500h	1	- 5-2-2021
DA5005	WALL ELEVATION SHADOWS	1	- 5-2-2021

BASIX[®] Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A383346_03

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Friday, 05, February 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	Rosenberg_03
Street address	2/25 Charles Street Freshwater 2096
Local Government Area	Northern Beaches Council
Plan type and number	Strata Plan 51300
Lot number	2
Section number	
Project type	
Dwelling type	Unit
Type of alteration and addition	My renovation work is valued at \$50,000 or more.

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	Rapid Plans
ABN (if applicable):	43150064592

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2020/1180

NOTE:

THE BOUNDARY INFORMATION SHOWN ON THIS PLAN REGARDING THE LOCATION OF THE PROPERTY BOUNDARIES HAS BEEN TAKEN FROM THE TITLE DEPOSITED PLAN. IT HAS BEEN PLOTTED AS REQUIRED UNDER DIVISION 1, SECTION 9(1) OF THE SURVEYING AND SPATIAL INFORMATION REGULATION 2017 AND IS ACCURATE TO ABOUT ±0.05m. IT HAS NOT BEEN DETERMINED BY AN ACCURATE BOUNDARY SURVEY.

A DETAIL & LEVEL SURVEY IS NOT A "LAND SURVEY" AS DEFINED BY THE SURVEYING AND SPATIAL INFORMATION ACT 2002. IF ANY CONSTRUCTION OR DESIGN WORK, WHICH RELIES ON CRITICAL SETBACKS FROM THE STREET OR BOUNDARIES IS PLANNED IT WOULD BE IMPERATIVE TO CARRY OUT FURTHER SURVEY WORK TO DETERMINE THE BOUNDARY DIMENSIONS.

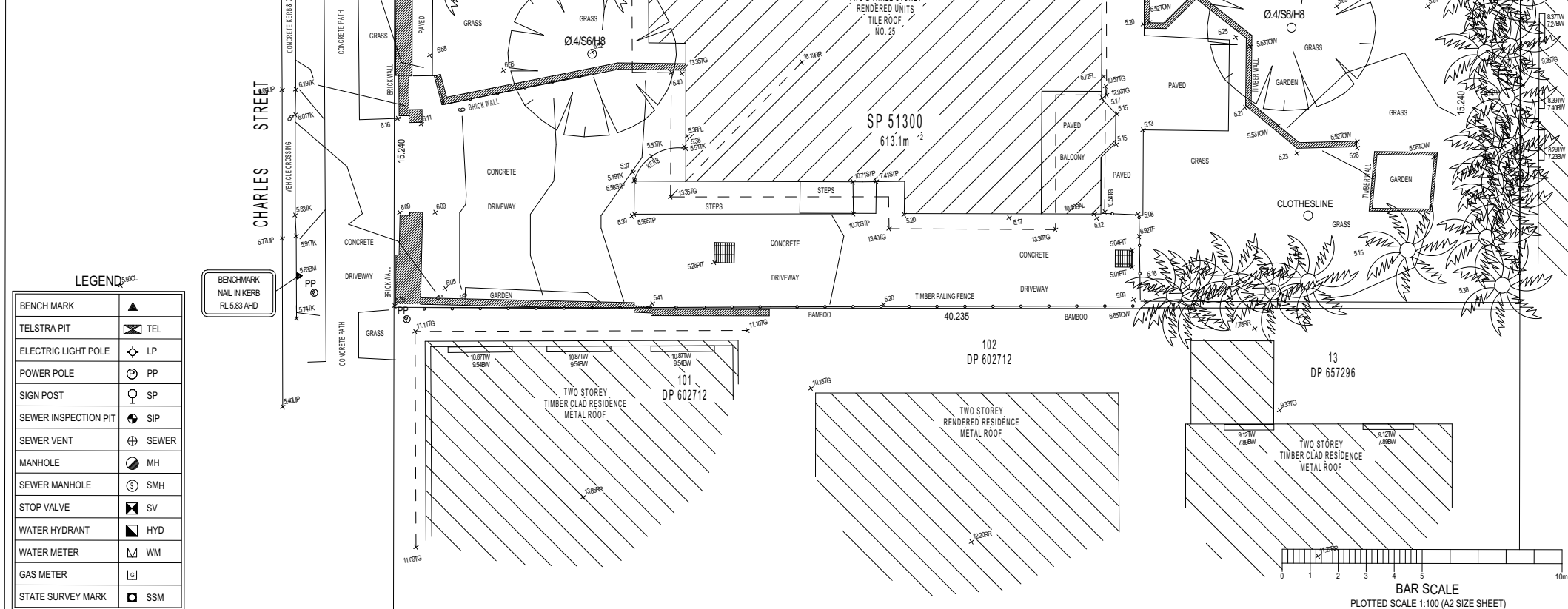
PRIOR TO ANY CONSTRUCTION WORK, SURVEY MARKS SHOULD BE PLACED TO DEFINE THE PROPERTY BOUNDARIES.

SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SURFACE INDICATORS LOCATED DURING FIELD SURVEY. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.

LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD) USING PM 2253 WITH RL 10.706 (AHD).

RIDGE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY INDIRECT METHOD AND ARE ACCURATE TO ±0.05m.

CONTOURS SHOWN DEPICT THE TOPOGRAPHY, EXCEPT AT SPOT LEVELS SHOWN. THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. THE SPOT LEVELS ARE TRUE FOR THEIR POSITION, AND ARE INTENDED TO BE USEFUL TO REPRESENT THE GENERAL TERRAIN. CARE SHOULD BE TAKEN IF EXTRAPOLATING.



**TSS TOTAL SURVEYING
SOLUTIONS**
LANE COVE NORTH | CAMDEN | MANLY VALE

NOTE:

INFORMATION CONTAINED IN THIS PLAN IS THE COPYRIGHT OF TOTAL SURVEYING SOLUTIONS. THE USE OR DUPLICATION WITHOUT THE WRITTEN CONSENT OF TOTAL SURVEYING SOLUTIONS CONSTITUTES AN INFRINGEMENT OF COPYRIGHT.

LEGEND

EC - EDGE OF CONCRETE
EG - EDGE OF GARDEN
TK - TOP OF KERB
TW - TOP OF WINDOW
BW - BOTTOM OF WINDOW
TG - TOP OF GUTTER
RR - ROOF RIDGE
AWN - AWNING
BAL - BALCONY
FL - FLOOR LEVEL
PL - POWER LINE
Ø.4/S10/H16 - TREE DIAMETER/SPREAD/HEIGHT

**PLAN SHOWING DETAIL & LEVELS
OVER SP 51300**

CLIENT: MARILYN BOURNE
PROJECT: FRESHWATER
ADDRESS: 1/25 CHARLES STREET, FRESHWATER

JOB No.: 191852
PLAN No.: 191852_A
DATE: 16/08/2019
DRAWN: SF
CHK: GS
LGA: NORTHERN BEACHES
DATUM: AHD
SCALE: 1:100@A2
CONT. INTERVAL: 0.25m
SHEET 1 OF 1

1

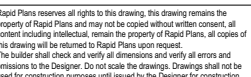
**SURVEY PLAN
1:200**

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**



Denotes Existing Wall

DA2020/1180



25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
25 Charles Street, Freshwater 2096 is not considered a heritage item
Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
Construction
timber Frame Floor, timber Frame Cid Walls
R10 timber Frame to have R1.24 Insulation
Insulation to External Timber Frame Cid Walls R1.70
Refer to Engineers drawing for structural details
all work to Engineers Specification and BCA
timber framing to BCA and AS 1884
Termite Management to AS 3660.1
glazing to BCA and AS1028/28-74
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 5 compact fluorescent lamps
Roofing and materials shall be in accordance with the
requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Access Certificate Number AS938436_03

Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required for the new or altered construction if it is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Shading device overshading specifications must be satisfied for each window and glazed door:

- for projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door or
- no more than 2400 mm above the sill.

Overhead shading devices must be installed at a height of the height and distance from the centre and the base of the window and glazed door.

**Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancies
to Rapid Plans**


A circle with a shaded sector. The central angle is labeled N .

Client:	Marcus Rosenberg and Charlotte Ralph
Site:	2/25 Charles Street, Freshwater 2096

PROJECT NAME :

REVISION NO.	REVISION NO.
--------------	--------------

DA1003



2

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.24 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

NO EXCAVATION AND FILL PLAN
DUE TO NO EXCAVATION OR FILL

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

<p>These plans are for DA Application purposes only. These plans are not to be used for construction certificate applications without the written permission of Rapid Response.</p>	<p>2096</p>
	<p>DRAWING TITLE :</p> <p>SITE AND LOCATION</p> <p>SITE PLAN</p>
	<p>PROJECT NAME :</p> <p>Alterations &</p>



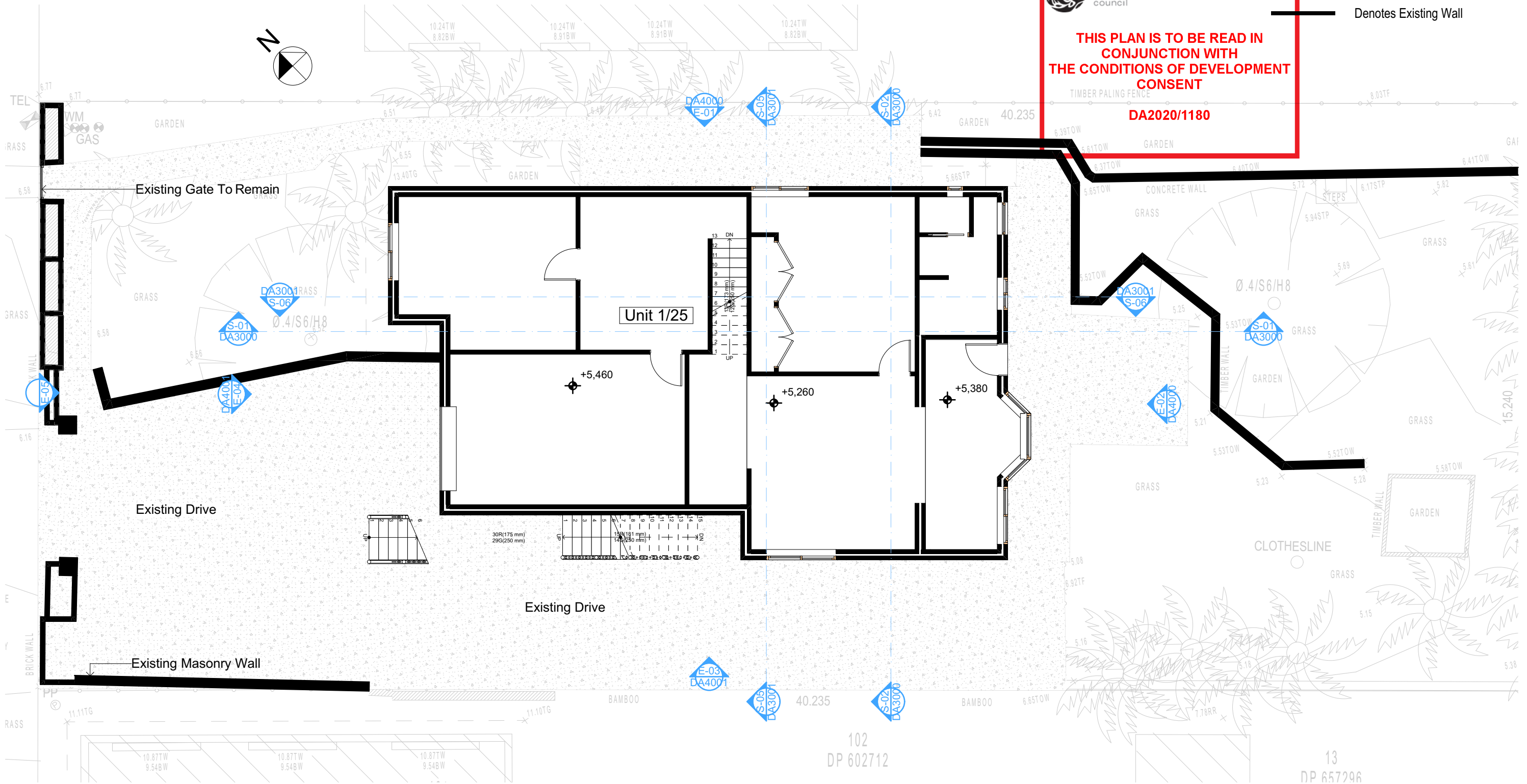
northern
beaches
council

Wall Legend

Denotes Existing Wall

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2020/1180



1 EXISTING BASEMENT/LOWER GROUND
1:100

Builder To Check & Confirm Existing Measurements Prior to Commencement

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

NOTES

2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential.
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
2/25 Charles Street, Freshwater 2096 is not considered a heritage item.
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Construction

Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.24 Insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A383346_03
All Plans to be read in conjunction with Basix Certificate
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For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



Rapid Plans
www.rapidplans.com.au
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Mobile: 0414-945-024
Email: greg@rapidplans.com.au
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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

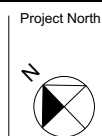


BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



ACCREDITED
BUILDING DESIGNER

Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Project North

Checked
Plot Date:
Project NO.
Project Status

GBJ
5/02/2021
RP0320ROS
DA Rev2

Client
Site:
Sheet Size: A3

DRAWING TITLE :

SITE AND LOCATION
**Existing Lower Ground
Floor Plan**

PROJECT NAME :

Alterations & Additions

REVISION NO.

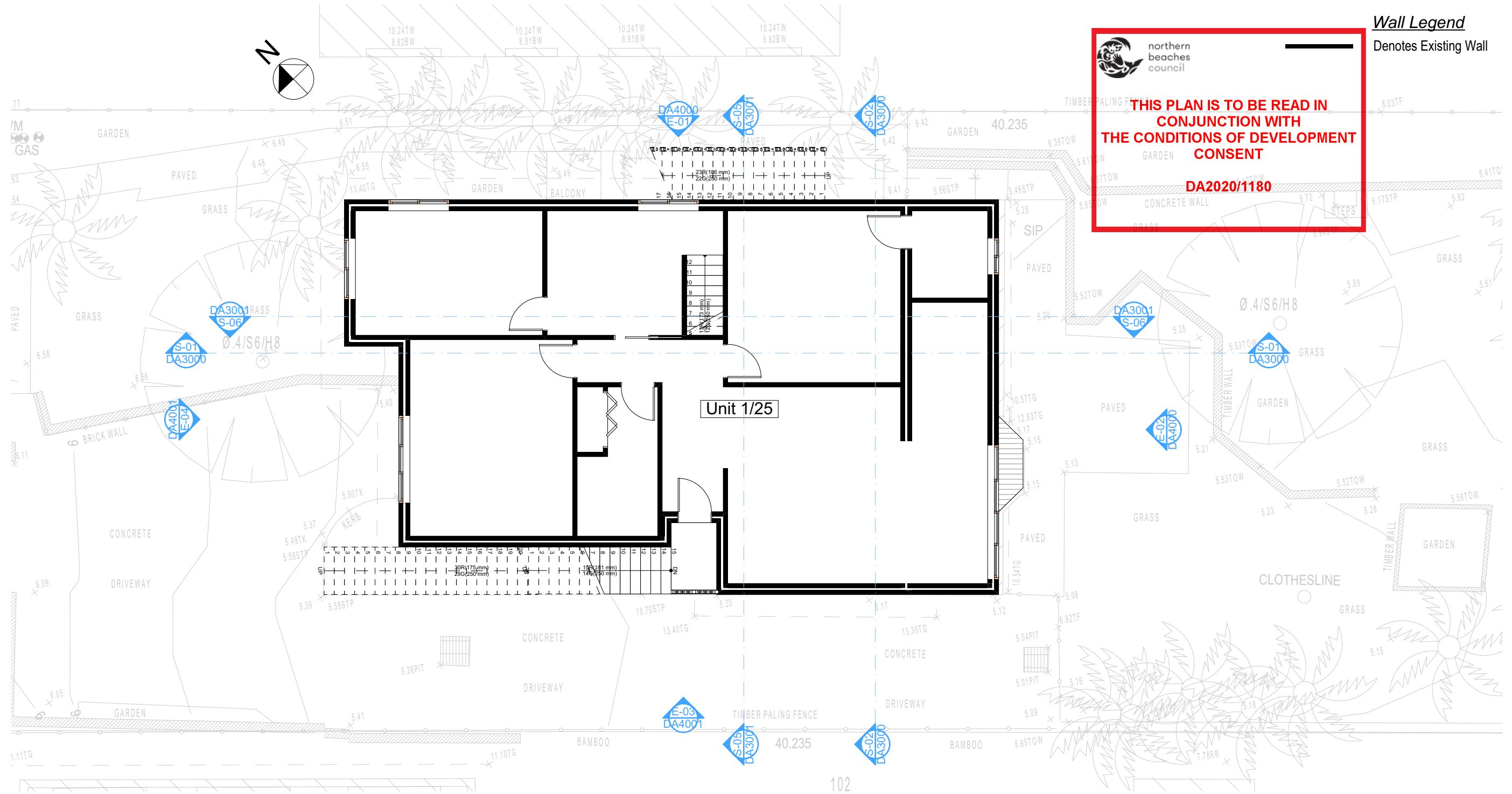
1

DATE:

5-2-2021

DRAWING NO.

DA1004



2 EXISTING GROUND FLOOR
1:100

Builder To Check & Confirm Existing Measurements Prior to Commencement

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES

2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential.
All Plans to be read in conjunction with Basix Certificate.
New Works to be constructed shown in Shaded/Blue.
2/25 Charles Street, Freshwater 2096 is not considered a heritage item.
DA Application Only
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Construction

Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.24 Insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A383346_03
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Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

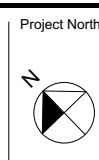


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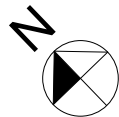
Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked
Plot Date: 5/02/2021
Project No: RP0320ROS
Project Status: DA Rev2
Client: Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater 2096
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Existing Ground Floor Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
1
DATE:
5-2-2021
DRAWING NO.
DA1005



Wall Legend

Denotes Existing Wall

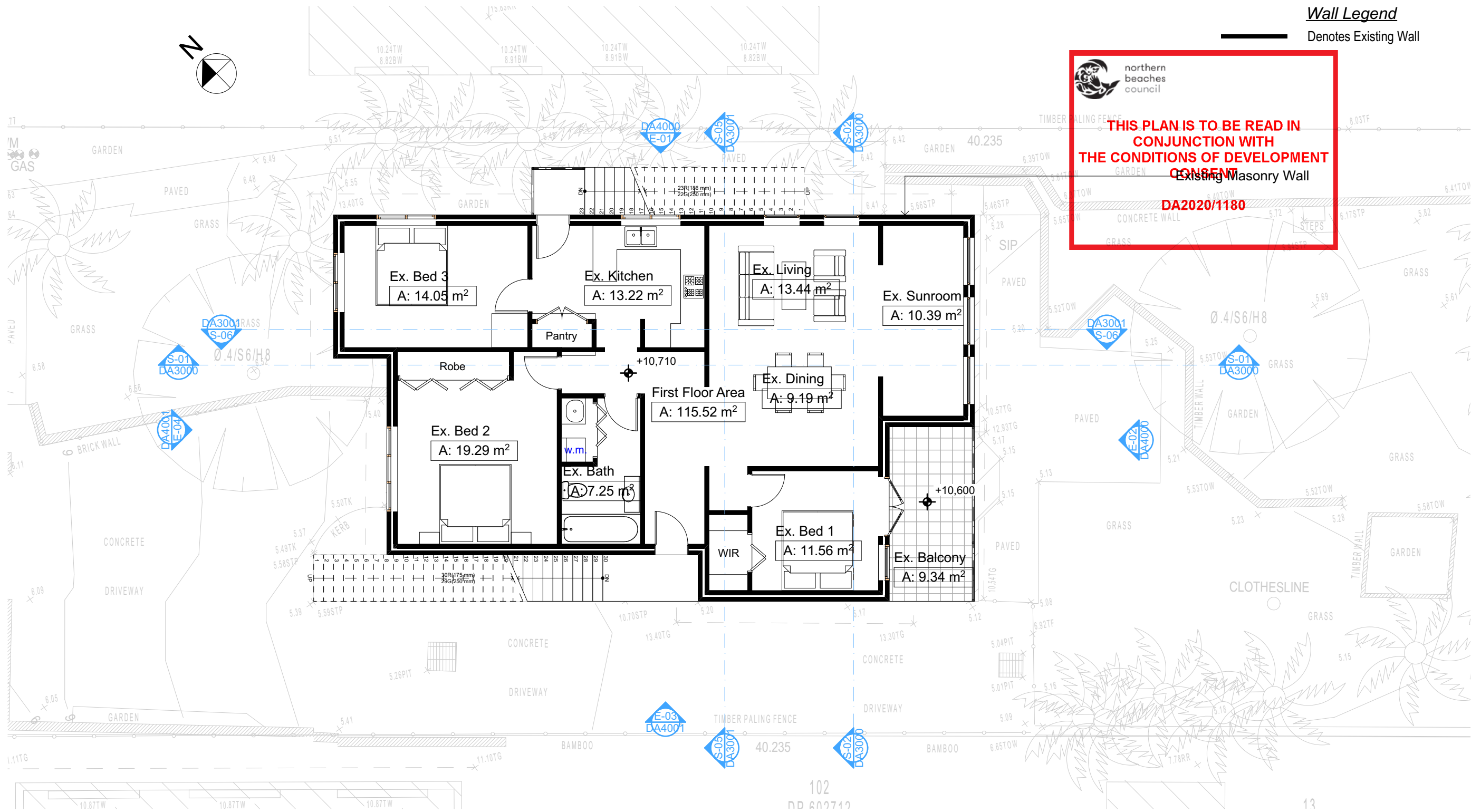


northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

Existing Masonry Wall

DA2020/1180



3

EXISTING FIRST FLOOR

1:100

Builder To Check & Confirm Existing Measurements Prior to Commencement

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

NOTES

2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

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Roof Timber Frame to have R1.24 Insulation
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Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A383346_03
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	613.1m²	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

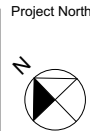


Rapid Plans
www.rapidplans.com.au
PO Box 6193 Freshwater Forest
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Email: greg@rapidplans.com.au

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Builder To Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status

GBJ
5/02/2021
RP0320ROS
DA Rev2

Client
Site:
Sheet Size: A3

DRAWING TITLE :

SITE AND LOCATION
Existing First Floor Plan

PROJECT NAME :

Alterations & Additions

REVISION NO.

1

DATE

5-2-2021

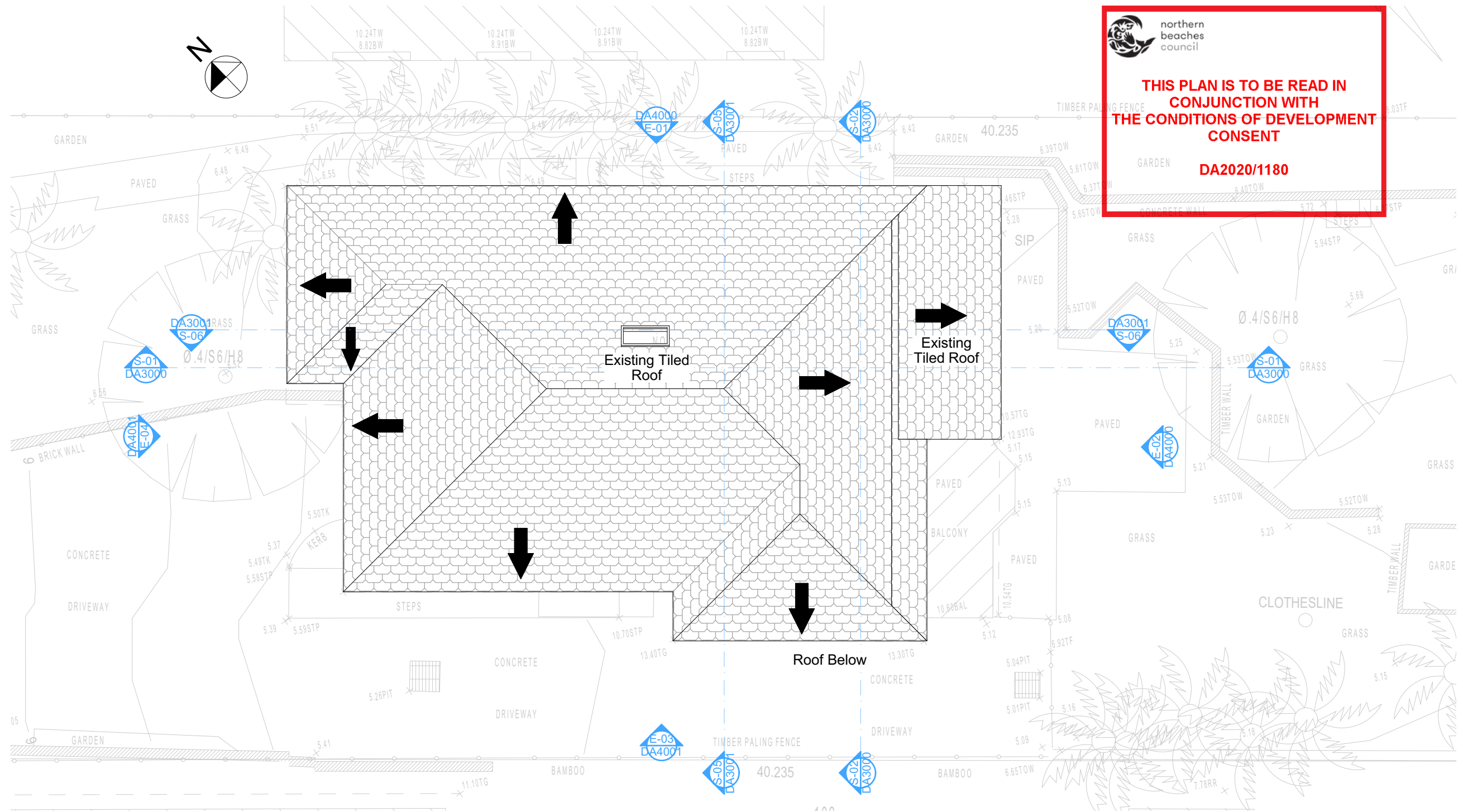
DRAWING NO.

DA1006



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/1180



4
-

EXISTING ROOF
1:100

Builder To Check & Confirm Existing Measurements Prior to Commencement

NOTES

2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential.
All Plans to be read in conjunction with Basix Certificate.
New Works to be constructed shown in Shaded/Blue.
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Certifying
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Site Area	613.1m ²	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into grd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

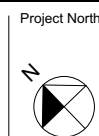


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Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status

GBJ
5/02/2021
RP0320ROS
DA Rev2

Client
Site:
Sheet Size: A3

DRAWING TITLE :

SITE AND LOCATION
Existing Roof Plan

PROJECT NAME :

Alterations & Additions

REVISION NO.

1
DATE:
5-2-2021
DRAWING NO.
DA1007

Wall Legend

Denotes Existing Wall
Denotes Demolished Item



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/1180

Unit 1/25

+5,460

+5,260

+5,380

Existing Gate To Remain

Existing Drive

Demolish Items Shown Red Dashed

Existing Masonry Wall

Existing Drive

DEMOLITION BASEMENT/LOWER GROUND
1:100

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

NOTES

2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.24 Insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A383346_03
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor/s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m².
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into grd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

DA APPLICATION ONLY
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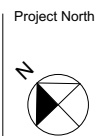


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Checked
Plot Date: 5/02/2021
Project NO: RP0320ROS
Project Status: DA Rev2
Client: Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater 2096
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Demolition Lower Ground Floor Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
1
DATE:
5-2-2021
DRAWING NO.
DA1008

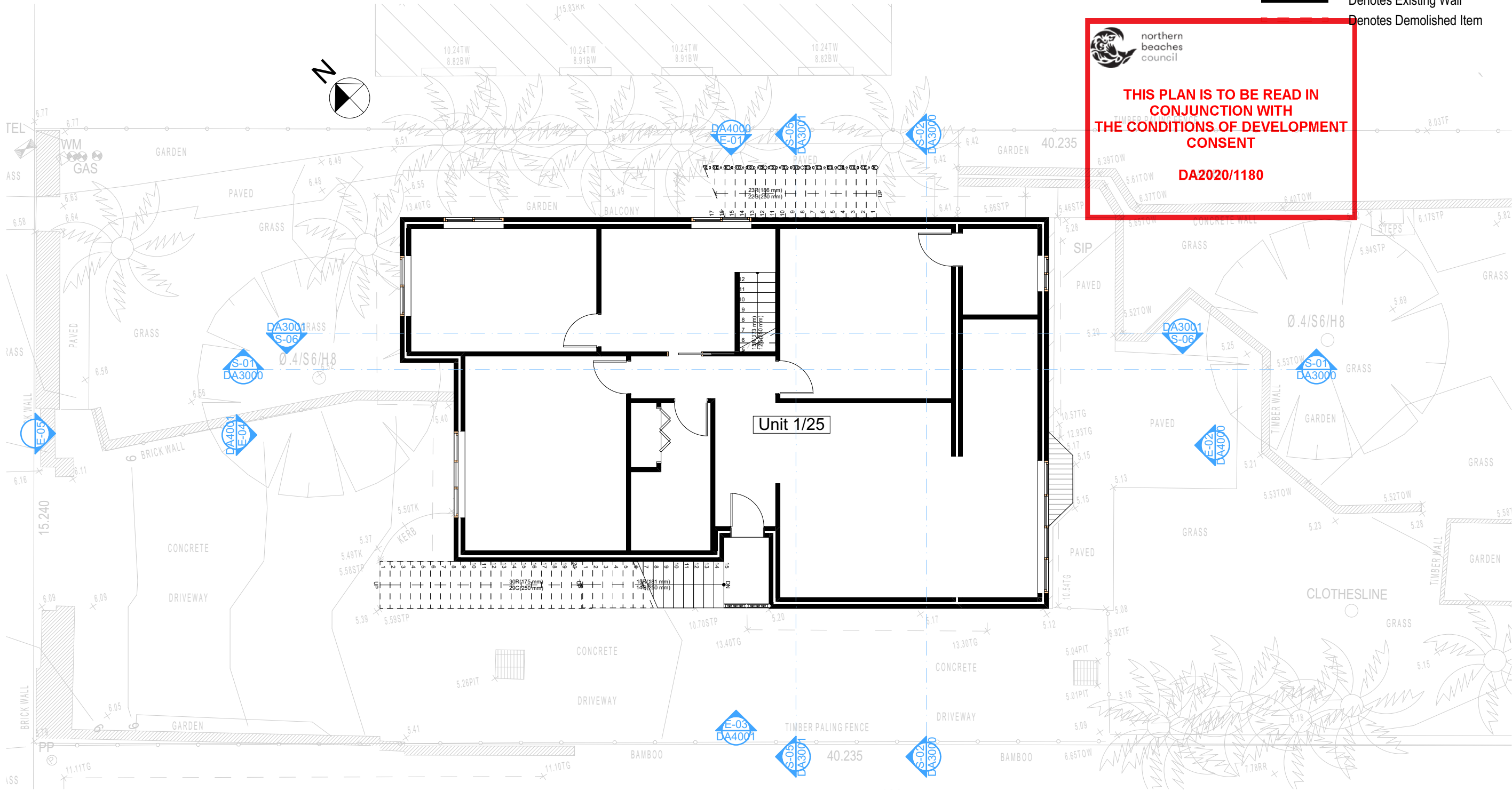
Wall Legend

Denotes Existing Wall
Denotes Demolished Item



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/1180



2

DEMOLITION GROUND FLOOR
1:100

All Demolition to be done in Accordance with Australian
Standards, BCA and Workcover Regulations

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

NOTES

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2/25 Charles Street, Freshwater 2096 is not considered a heritage item
Certifying
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Construction

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Roof Timber Frame to have R1.24 Insulation
Insulation to External Timber Frame Clad Walls R1.70
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Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

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Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into grd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



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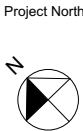


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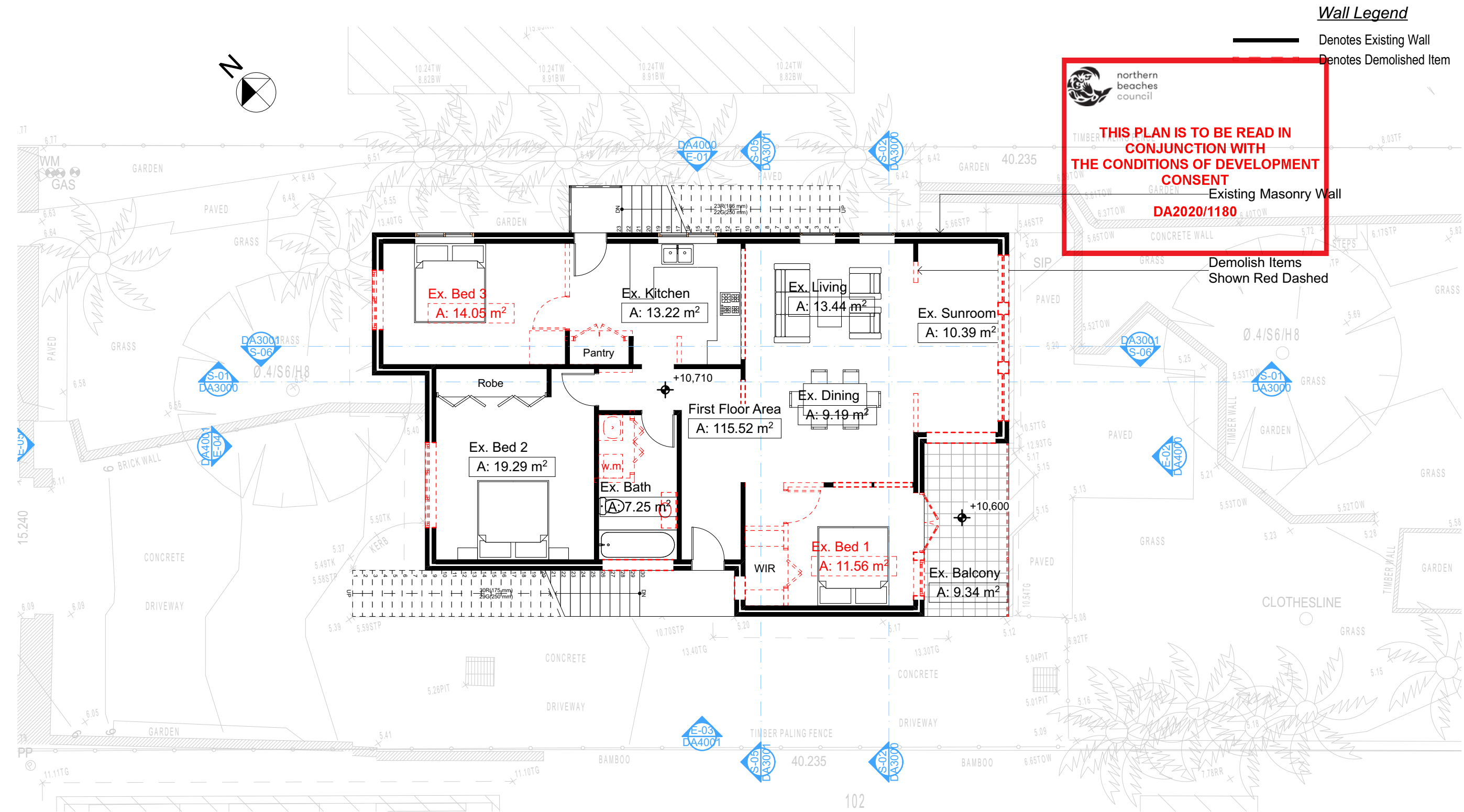
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Checked
Plot Date: 5/02/2021
Project NO. RP0320ROS
Project Status: DA Rev2
Client: Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater
2096
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Demolition Ground Floor
Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
1
DATE: 5-2-2021
DRAWING NO.
DA1009



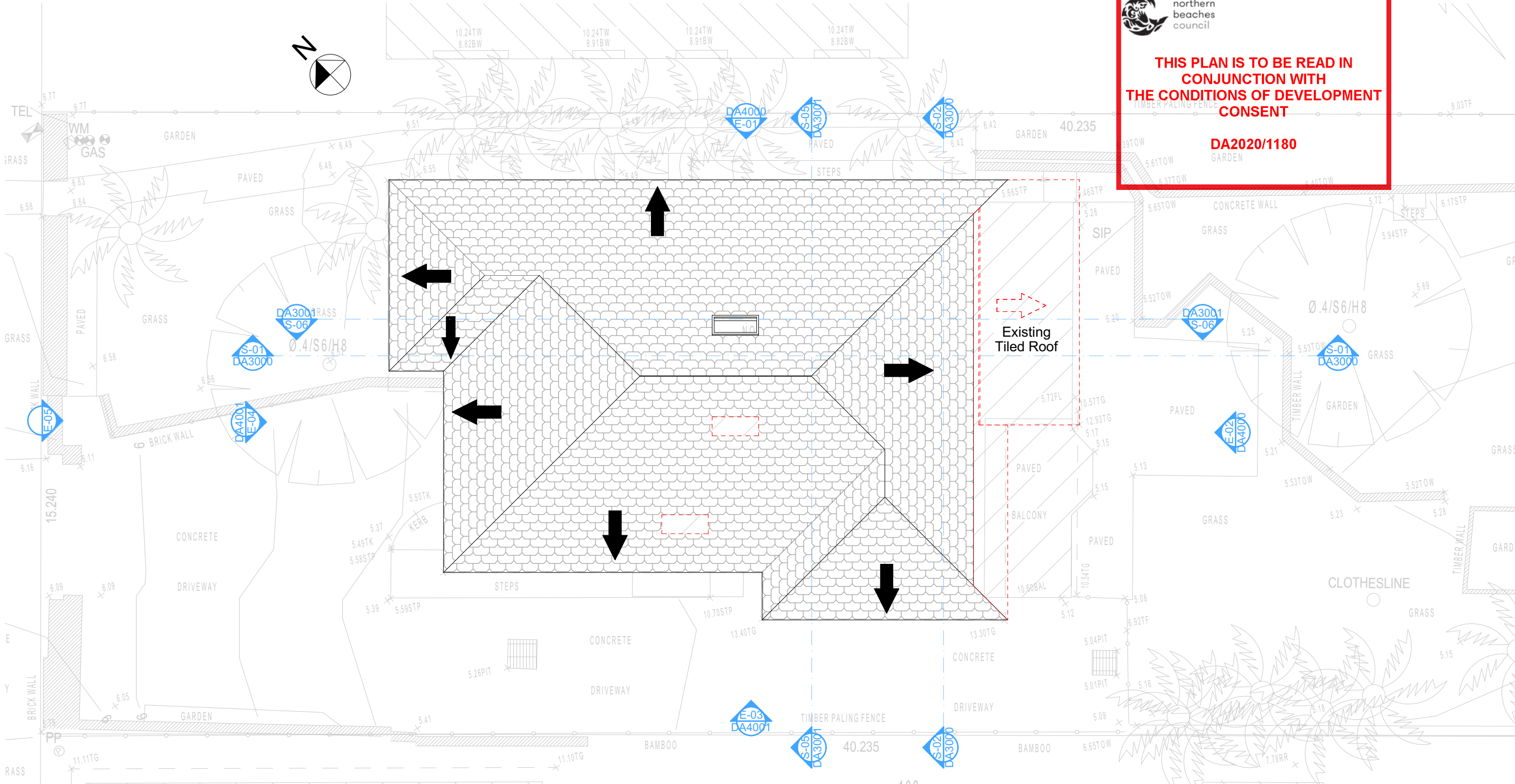
Wall Legend

Denotes Demolished Item



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/1180



DEMOLITION ROOF
1:100

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES

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Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

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Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



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Checked
Plot Date: 5/02/2021
Project NO. RP0320ROS
Project Status: DA Rev2
Client: Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater 2096
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Demolition Roof Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
1
DATE: 5-2-2021
DRAWING NO.
DA1011

Denotes Impervious Area

Denotes Pervious Area



northern
beaches
council

THIS PLAN IS TO BE READ IN
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CONSENT

DA2020/1180



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NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate

Construction
Timber Frame Floor, Timber Frame Clad Walls
Rood Timber Frame to have R1.24 insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1884
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS0128-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a full Construction Certificate drawings by Rapid Plans.

Basic
Basic Certificate Number A383346_03
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m². b) insulation specified is not required for parts of altered construction where insulation already exists.
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	613.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancies
to Rapid Plans

Project North



Drawn | Checked GBJ
Plot Date: 5/02/2021
Project NO.: RPD320R0S
Project Status DA Rev2

Client Marcus Rosenberg and
Charlotte Ralph

Site: 2/25 Charles Street, Freshwater
2096

DRAWING TITLE SITE AND LOCATION
**Landscape Open Space
Plan Existing**

PROJECT NAME:
**Alterations &
Additions**

REVISION NO. REVISION NO.
1 5-2-2021

DRAWING NO.
DA1012

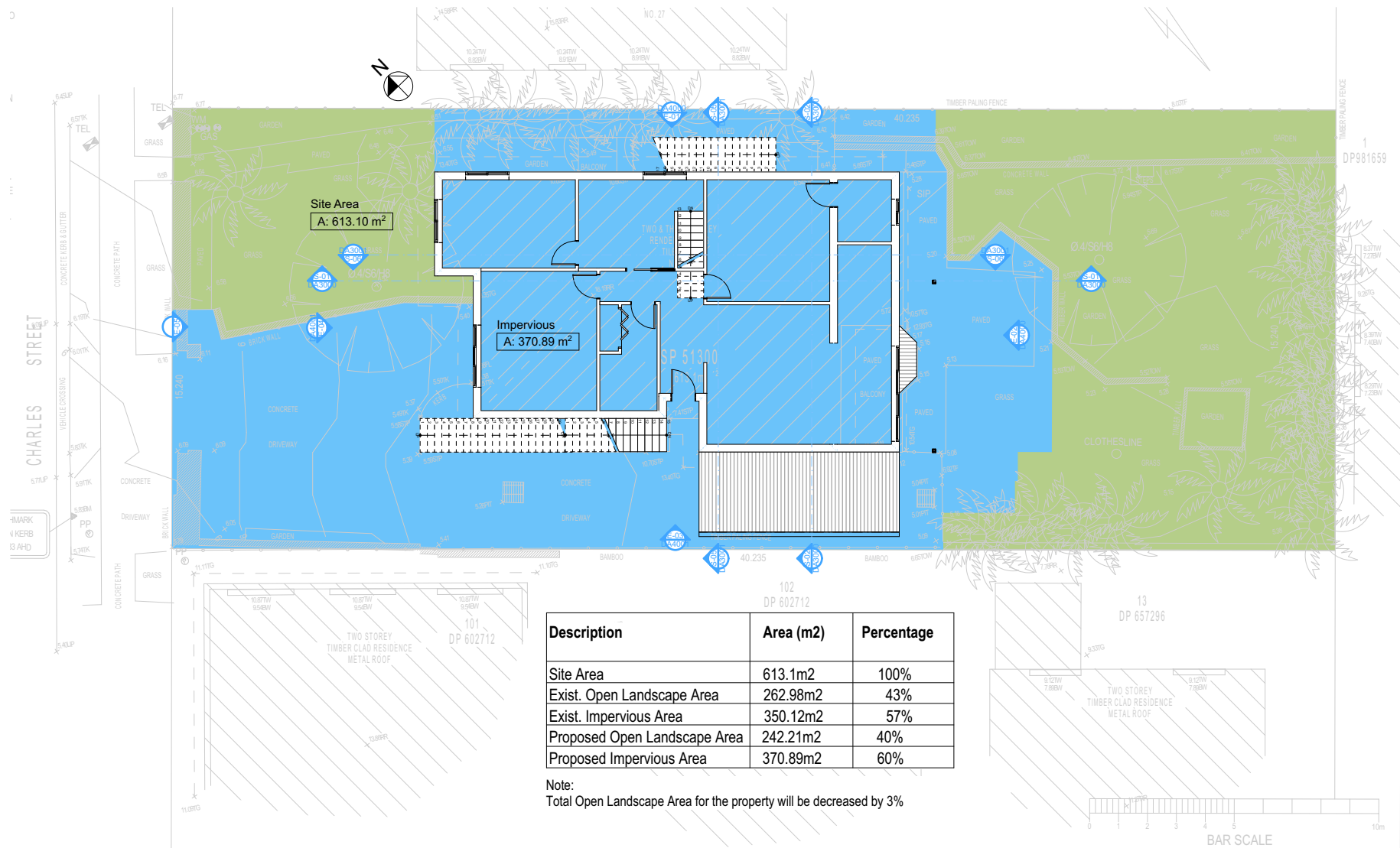
Sheet Size: A3

LANDSCAPE OPEN SPACE EXISTING
1:200

2

Description	Area (m2)	Percentage
Site Area	613.1m2	100%
Exist. Open Landscape Area	262.98m2	43%
Exist. Impervious Area	350.12m2	57%
Proposed Open Landscape Area	242.21m2	40%
Proposed Impervious Area	370.89m2	60%

Note:
Total Open Landscape Area for the property will be decreased by 3%



2 LANDSCAPE OPEN SPACE PROPOSED
1:200

Denotes Impervious Area

Denotes Pervious Area

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2020/1180

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Rapid Plans
Building Design and Architectural Drafting

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Ph: (02) 9369-8845 Mob: 0414-946-024
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NOTES
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2/25 Charles Street, Freshwater 2096 is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue
Construction
Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.24 insulation
Insulation to External Timber Frame Clad Walls R1.70
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All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660, 1
Glazing to BCA and AS1288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Setbacks
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Basic Certificate
Basic Certificate Number A383346_03
All Plans to be read in conjunction with Basic Certificate
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	613.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 5/02/2021
Project NO.: RP0320R0S
Project Status DA Rev2

Client: Marcus Rosenberg and Charlotte Ralph

Site: 2/25 Charles Street, Freshwater 2096

DRAWING TITLE SITE AND LOCATION
Landscape Open Space Plan Proposed

PROJECT NAME:
Alterations & Additions

REVISION NO.	REVISION NO.
1	5-2-2021

DRAWING NO.
DA1013

Sheet Size: A3

BOUNDARIES HAS BEEN TAKEN FROM THE TITLE DEPOSITED PLAN. IT HAS BEEN PLOTTED AS REQUIRED UNDER DIVISION 1, SECTION 3.1(1) OF THE SURVEYING AND SPATIAL INFORMATION REGULATION 2017, AND IS ACCURATE TO ABOUT 40.00m. IT HAS NOT BEEN DETERMINED BY AN ACCURATE BOUNDARY SURVEY.

A DETAIL & LEVEL SURVEY IS NOT A "LAND SURVEY" AS DEFINED BY THE SURVEYING AND SPATIAL INFORMATION ACT, 2002. IF ANY CONSTRUCTION OR DESIGN WORK, WHICH RELIES ON CRITICAL SETBACKS FROM THE STREET OR BOUNDARIES IS PLANNED, IT WOULD BE IMPERATIVE TO CARRY OUT FURTHER SURVEY WORK TO DETERMINE THE BOUNDARY DIMENSIONS.

PRIOR TO ANY CONSTRUCTION WORK, SURVEY MARKS SHOULD BE PLACED TO DEFINE THE PROPERTY BOUNDARIES.

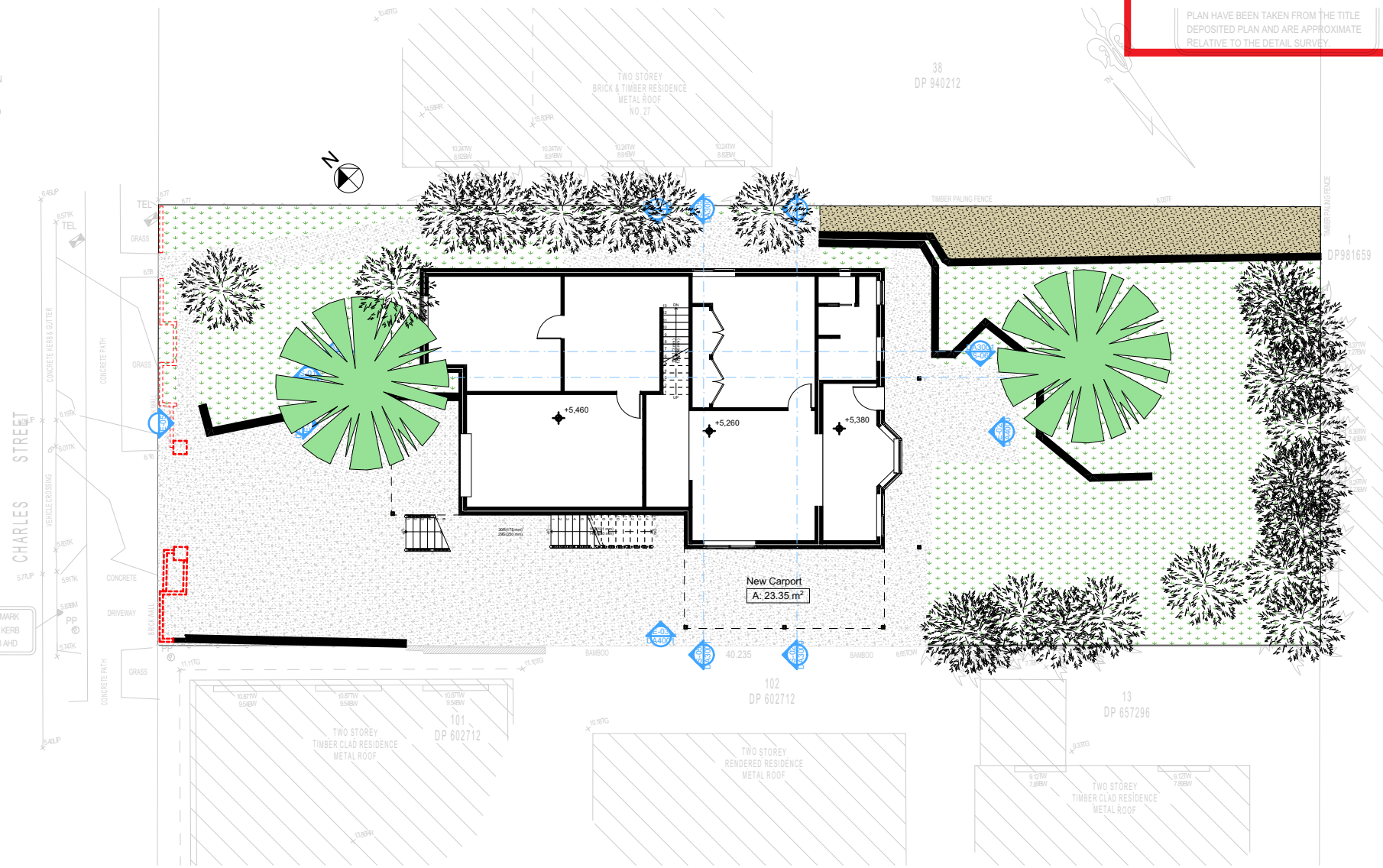
SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SURFACE INDICATOR(S) LOCATED DURING FIELD SURVEY. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.

Landscape Legend	
Ground Covers Schedule	
Symbol	Common Name
	Garden Area
	Existing Concrete
	New Vertical Timber Fence
	New Masonry Wall
	Existing Tree To Remain
	Existing Palms To Remain
	Existing Grass To Remain

TELSTRA PIT	TEL
ELECTRIC LIGHT POLE	LP
POWER POLE	PP
SIGN POST	SP
SEWER INSPECTION PIT	SIP
SEWER VENT	SEWER
MANHOLE	MH
SEWER MANHOLE	SMH
STOP VALVE	SV

1
-

LANDSCAPE PLAN
1:200



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/1180

PLAN HAVE BEEN TAKEN FROM THE TITLE DEPOSITED PLAN AND ARE APPROXIMATE RELATIVE TO THE DETAIL SURVEY.

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NOTES

2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential

2/25 Charles Street, Freshwater 2096 is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in ShadedBlue

Construction

Timber Frame Floor, Timber Frame Clad Walls

Road Timber Frame to have R1.24 insulation

Insulation to External Timber Frame Clad Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1884

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1728-2017

Waterproofing to BCA and AS 3740

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Basic

Basic Certificate Number A383346_03

All Plans to be read in conjunction with Basic Certificate

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	613.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
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Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 5/02/2021
Project NO.: RPO320R0S
Project Status DA Rev2

Client: Marcus Rosenberg and Charlotte Ralph

Site: 2/25 Charles Street, Freshwater 2096

DRAWING TITLE:
SITE AND LOCATION
Landscape Plan

PROJECT NAME:
Alterations & Additions

REVISION NO.	REVISION NO.
1	5-2-2021

DRAWING NO.: **DA1014**

Sheet Size: A3

Denotes New Works



northern
beaches
COUNCIL

Wall Legend

Denotes Existing Wall

Denotes Demolished Item

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2020/1180

SURVEY. THE BOUNDARIES SHOWN ON THIS
PLAN HAVE BEEN TAKEN FROM THE TITLE
DEPOSITED PLAN AND ARE APPROXIMATE
RELATIVE TO THE DETAIL SURVEY.

THE BOUNDARY INFORMATION SHOWN ON THIS PLAN
REGARDING THE LOCATION OF THE PROPERTY
BOUNDARIES HAS BEEN TAKEN FROM THE TITLE
DEPOSITED PLAN. IT HAS BEEN PLOTTED AS REQUIRED

Sediment Control Fence

DETERMINE THE BOUNDARY DIMENSIONS

PRIOR TO ANY CONSTRUCTION WORK, SURVEY MARKS
SHOULD BE PLACED TO DEFINE THE PROPERTY
BOUNDARIES.

SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS
ARE BASED ON SURFACE INDICATORS LOCATED
DURING FIELD SURVEY. CONFIRMATION OF THE EXACT
POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION
WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT
SHOWN.

LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM
(AHD) USING PM 2253 WITH RL 10.706 (AHD).

RIDGE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY
INDIRECT METHOD AND ARE ACCURATE TO $\pm 0.09m$.

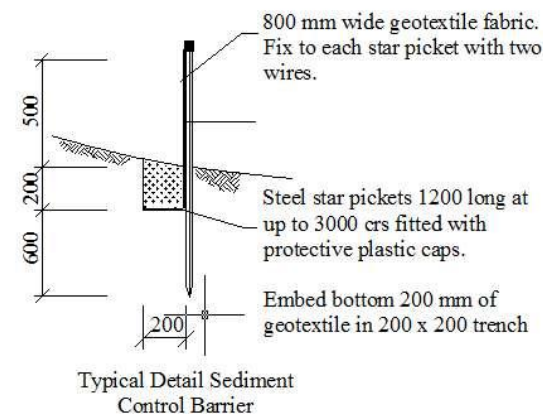
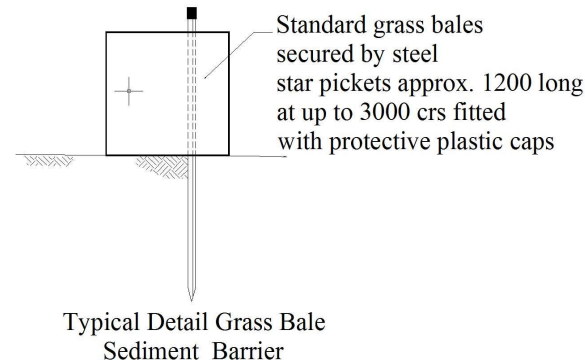
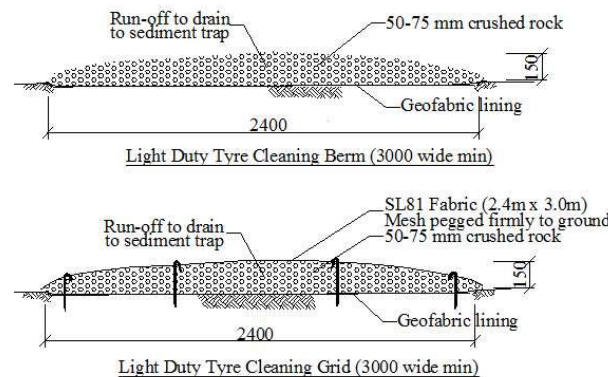
CONTOURS SHOWN DEPICT THE TOPOGRAPHY. EXCEPT
AT SPOT LEVELS SHOWN THEY DO NOT REPRESENT THE
EXACT LEVEL AT ANY PARTICULAR POINT. THE SPOT
LEVELS ARE TRUE FOR THEIR POSITION, AND ARE
INTENDED TO BE USEFUL TO REPRESENT THE GENERAL
TERRAIN. CARE SHOULD BE TAKEN IF EXTRAPOLATING.

Site Safety Fence

LEGEND	
BENCH MARK	▲
TELSTRA PIT	TEL
ELECTRIC LIGHT POLE	LP
POWER POLE	PP

BENCHMARK
NAIL IN KERB
RL 5.83 AHD

1 - SEDIMENT & EROSION PLAN 1:200



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only. These plans are not to be used for
construction certificate application without
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**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

Building Design and Architectural Drafting

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.24 insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Noting
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a written Construction Certificate drawings by Rapid Plans.

Basic
Basic Certificate Number A383346_03
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 200. b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, parapet, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 5/02/2021
Project NO.: RP0320R0S
Project Status DA Rev2

Client: Marcus Rosenberg and Charlotte Ralph

Site: 2/25 Charles Street, Freshwater 2096

DRAWING TITLE: SITE AND LOCATION
Sediment & Erosion Plan

PROJECT NAME: **Alterations & Additions**

REVISION NO.	REVISION NO.
1	5-2-2021

DRAWING NO.: **DA1015**

Sheet Size: A3

Denotes New Works



northern
beaches
COUNCIL

Wall Legend

Denotes Existing Wall

Denotes Demolished Item

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2020/1180

BOUNDARIES HAVE NOT BEEN LOCATED BY
SURVEY. THE BOUNDARIES SHOWN ON THIS
PLAN HAVE BEEN TAKEN FROM THE TITLE
DEPOSITED PLAN AND ARE APPROXIMATE
RELATIVE TO THE DETAIL SURVEY.

NOTE:

THE BOUNDARY INFORMATION SHOWN ON THIS PLAN
REGARDING THE LOCATION OF THE PROPERTY
BOUNDARIES HAS BEEN TAKEN FROM THE TITLE
DEPOSITED PLAN. IT HAS BEEN PLOTTED AS REQUIRED
UNDER DIVISION 1, SECTION 9.1(1) OF THE SURVEYING
AND SPATIAL INFORMATION REGULATION 2017 AND IS
ACCURATE TO ABOUT +0.05m. IT HAS NOT BEEN
DETERMINED BY AN ACCURATE BOUNDARY SURVEY.

A DETAIL & LEVEL SURVEY IS NOT A "LAND SURVEY" AS
DEFINED BY THE SURVEYING AND SPATIAL INFORMATION
ACT, 2002. IF ANY CONSTRUCTION OR DESIGN WORK
WHICH RELIES ON CRITICAL SETBACKS FROM THE
STREET OR BOUNDARIES IS PLANNED, IT WOULD BE
IMPERATIVE TO CARRY OUT FURTHER SURVEY WORK TO
DETERMINE THE BOUNDARY DIMENSIONS.

PRIOR TO ANY CONSTRUCTION WORK, SURVEY MARKS
SHOULD BE PLACED TO DEFINE THE PROPERTY
BOUNDARIES.

SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS
ARE BASED ON SURFACE INDICATOR(S) LOCATED
DURING FIELD SURVEY. CONFIRMATION OF THE EXACT
POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION
WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT
SHOWN.

LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM
(AHD) USING PM 2253 WITH RL 10.706 (AHD).

E BEEN OBTAINED BY
CURATE TO ± 0.05m.

E TOPOGRAPHY EXCEPT
DO NOT REPRESENT THE
AS POINT. THE SPOT
LEVELS ARE TRUE FOR THEIR POSITION, AND ARE
INTENDED TO BE USEFUL TO REPRESENT THE GENERAL
TERRAIN. CARE SHOULD BE TAKEN IF EXTRAPOLATING.

Material Storage Area

Sediment Control Fence

**Vehicle Access For
Removal Of Waste By
Builder During Work Hours**

Site Safety Fence

ELECTRIC LIGHT POLE	LP
POWER POLE	PP
IT	SP
INSPECTION PIT	SIP
MANHOLE	MH
SEWER MANHOLE	SMH
STOP VALVE	SV
WATER HYDRANT	HYD
WATER METER	WMT

**Residential Garbage
Bin Storage**

**Approximate Location
Of Building Waste &
Recycling Area**

WASTE MANAGEMENT PLAN
1:200

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only. These plans are not to be used for
construction certificate application without
the written permission of Rapid Plans

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this drawing will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and
omissions to the Designer. Do not scale the drawings. Drawings shall not be
used for construction purposes until issued by the Designer for construction.

NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density
Residential
2/25 Charles Street, Freshwater 2096 is not considered a heritage
item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue

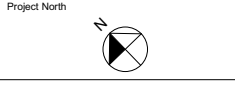
Construction
Timber Frame Floor, Timber Frame Clad Walls
Rust Timber Frame to have R1.24 insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1854
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the
requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These
plans are not to be used for the construction certificate application by any
Certifying Authority without the written permission of Rapid Plans or the
supply of a full Construction Certificate drawings by Rapid Plans.

Basic
Basic Certificate Number A383346_03
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor
(s), walls, and ceilings/roofs) in accordance with the specifications
listed in the table below, except that a) additional insulation is not
required where the area of new construction is less than 20m², b)
insulation specified is not required for parts of altered construction
where insulation already exists.
The applicant must install the windows, glazed doors and shading
devices, in accordance with the specifications listed in the table
below.
Relevant overshadowing specifications must be satisfied for each
window and glazed door.
For projections described in millimetres, the leading edge of each
eave, pergola, verandah, balcony or awning must be no more
than 500 mm above the head of the window or glazed door and
no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and
distance from the centre and the base of the window and glazed
door.

Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancies
to Rapid Plans**



Drawn | Checked GBJ
Plot Date: 5/02/2021
Project NO.: RPD2020R05
Project Status DA Rev2

Client: Marcus Rosenberg and
Charlotte Ralph
Site: 2/25 Charles Street, Freshwater
2096

DRAWING TITLE:
SITE AND LOCATION
Waste Management Plan

PROJECT NAME:
**Alterations &
Additions**

REVISION NO.	REVISION NO.
1	5-2-2021
DRAWING NO.	DA1016

Sheet Size: A3

Denotes New Works



northern
beaches
council

Wall Legend

Denotes Demolished Item

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/1180

Proposed Stormwater
Line To Be Fed Into The
Existing Drainage System

ON SHOWN ON THIS PLAN
OF THE PROPERTY
EN FROM THE TITLE
EN PLOTTED AS REQUIRED
19(1) OF THE SURVEYING
REGULATION 2017, AND IS
TO IT HAS NOT BEEN
ATE BOUNDARY SURVEY.

3 NOT A "LAND SURVEY" AS
2 AND SPATIAL INFORMATION
CTION OR DESIGN WORK
SETBACKS FROM THE
PLANNED. IT WOULD BE
FURTHER SURVEY WORK TO
' DIMENSIONS.

ON WORK SURVEY MARKS
VE THE PROPERTY

TRALIAN HEIGHT DATUM
L 10.706 (AHD).
HAVE BEEN OBTAINED BY
ACCURATE TO ± 0.05m.

THE TOPOGRAPHY, EXCEPT
EY DO NOT REPRESENT THE
PULAR POINT, THE SPOT
R POSITION, AND ARE
REPRESENT THE GENERAL
TAKEN IF EXTRAPOLATING.

- TEL
- LP
- PP
- SP
- SIP
- SEWER
- MH
- SMH
- SV

BENCHMARK
NAIL IN KERB
RL 5.83 AHD

Assumed Existing Stormwater.
Plumber To Confirm Location
Prior To Commencement

STORMWATER PLAN
1:200

4

Plumber To Confirm Location Of Existing
Stormwater/Sewer Prior To Commencement

BOUNDARIES HAVE NOT BEEN INDICATED BY
SURVEY. THE BOUNDARIES SHOWN ON THIS
PLAN HAVE BEEN TAKEN FROM THE
DEPOSITED PLAN AND ARE APPROXIMATE
RELATIVE TO THE DETAIL SURVEY.



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this drawing will be returned to Rapid Plans upon request.

NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density
Residential
2/25 Charles Street, Freshwater 2096 is not considered a heritage
item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.24 insulation
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1884
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1728-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the
requirements of Building Codes of Australia.

Carrying
The DA Application Only plans are for DA Application purposes only. These
plans are not to be used for the construction certificate application by any
Carrying Authority without the written permission of Rapid Plans or the
supply of a written Construction Certificate drawings by Rapid Plans.

Basic Certificate Number A383346_03
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor
(s), walls, and ceilings/roofs) in accordance with the specifications
listed in the table below, except that a) additional insulation is not
required where the area of new construction is less than 20m². b)
insulation specified is not required for parts of altered construction
where insulation already exists.
The applicant must install the windows, glazed doors and shading
devices, in accordance with the specifications listed in the table
below.
Relevant overshadowing specifications must be satisfied for each
window and glazed door.
For projections described in millimetres, the leading edge of each
eave, parapet, verandah, balcony or awning must be no more
than 500 mm above the head of the window or glazed door and
no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and
distance from the centre and the base of the window and glazed
door.

Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancies
to Rapid Plans



Drawn | Checked GBJ
Plot Date: 5/02/2021
Project NO.: RPO320R0S
Project Status DA Rev2

Client Marcus Rosenberg and
Charlotte Ralph

Site: 2/25 Charles Street, Freshwater
2096

DRAWING TITLE:
SITE AND LOCATION
Stormwater Plan

PROJECT NAME:
Alterations &
Additions

REVISION NO. REVISION NO.
1 5-2-2021


DRAWING NO.
DA1017

Sheet Size: A3

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only. These plans are not to be used for
construction certificate application without
the written permission of Rapid Plans

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ONLY
NOT FOR CONSTRUCTION

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.24 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

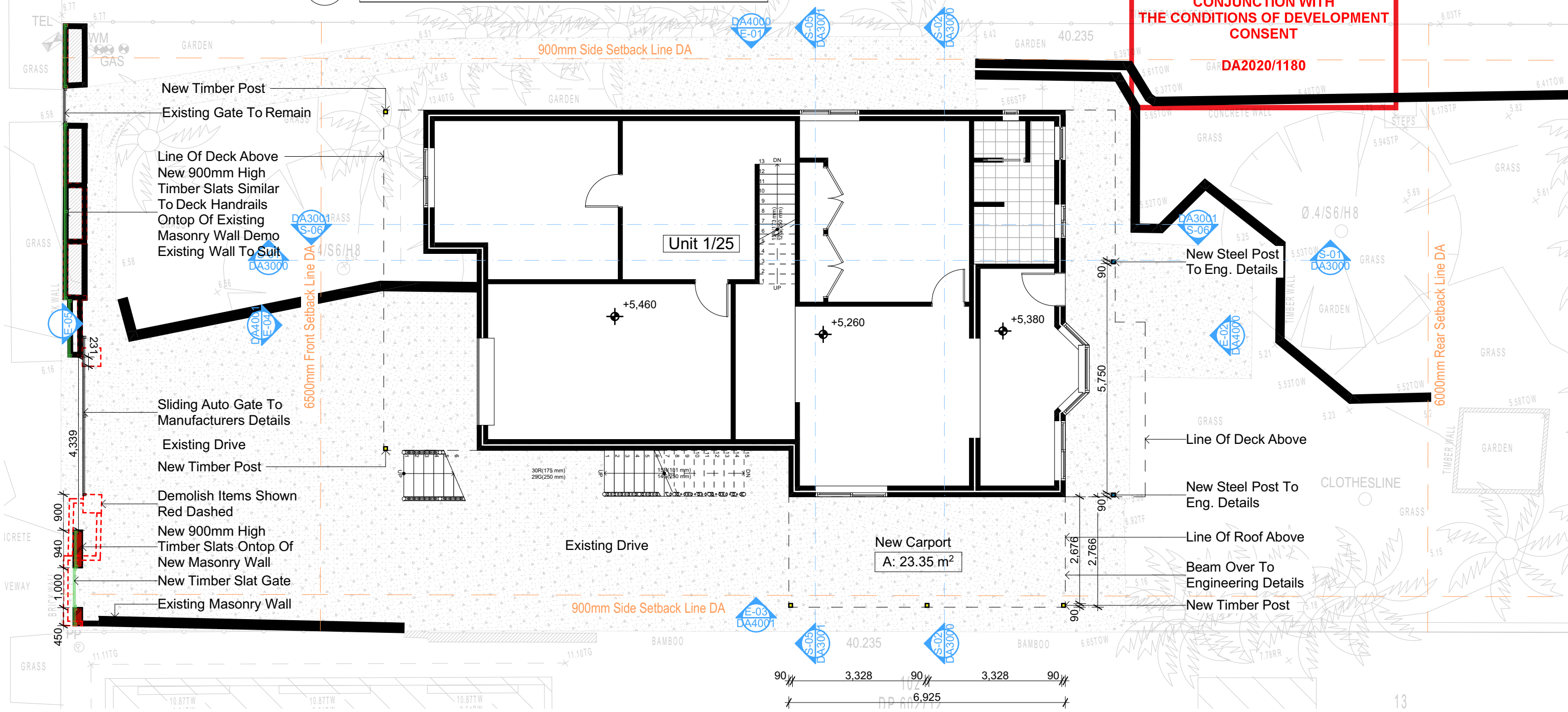


northern
beaches
council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/1180

- Wall Legend**
- Denotes New Works
 - Denotes New Timber Post
 - Denotes New Masonry Wall
 - Denotes Existing Wall
 - Denotes Demolished Item



1 BASEMENT/LOWER GROUND 1:100

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.24 Insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A383346_03
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into grd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

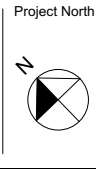


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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked
Plot Date: 5/02/2021
Project NO: RP0320ROS
Project Status: DA Rev2
Client: Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater 2096
Sheet Size: A3

DRAWING TITLE :
PLANS
LOWER GROUND FLOOR
PROJECT NAME :
Alterations & Additions

REVISION NO.
1
DATE:
5-2-2021
DRAWING NO.
DA2001

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.24 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

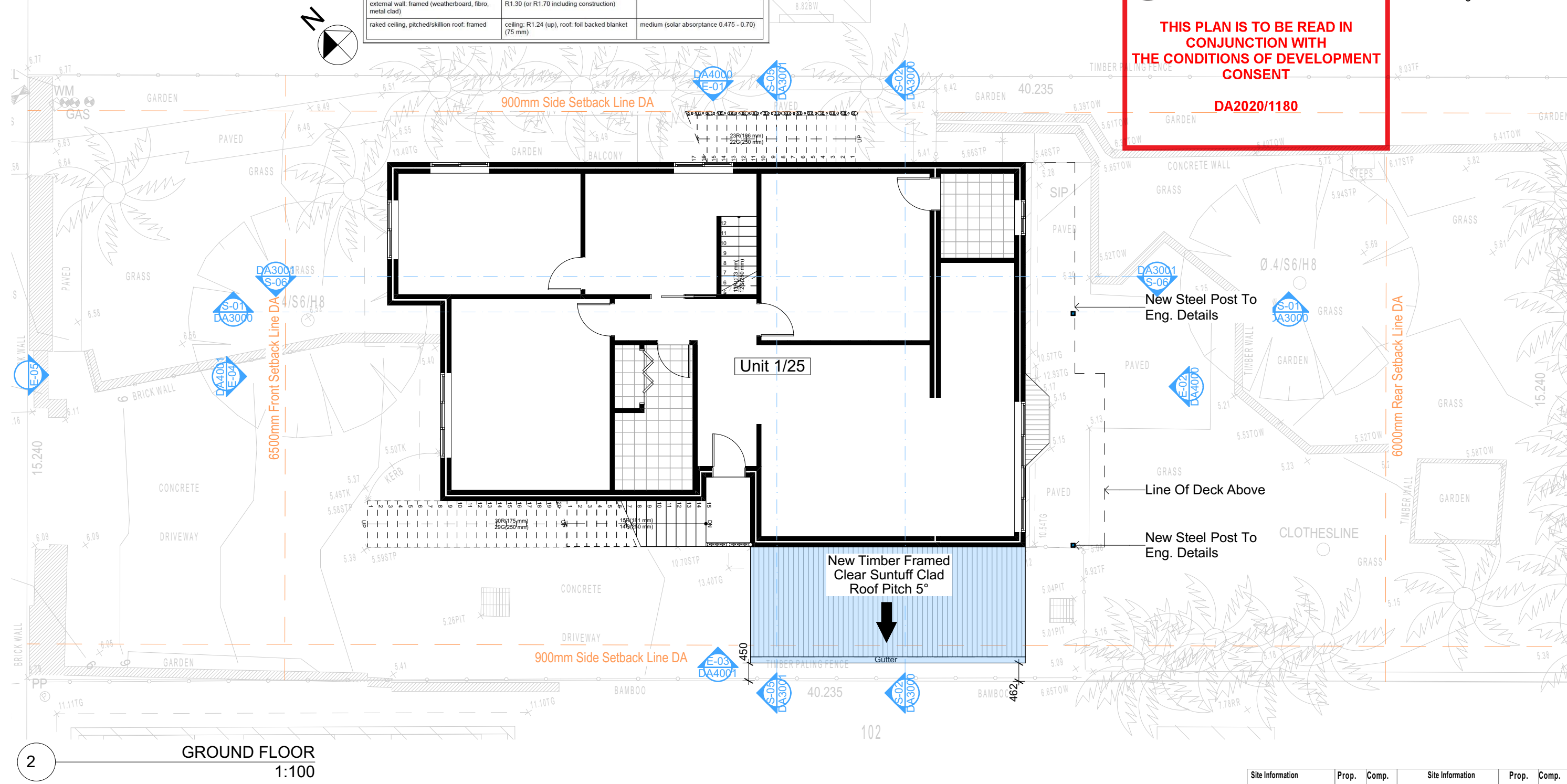
Denotes New Works

Denotes Existing Wall

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/1180

Wall Legend



2

GROUND FLOOR

1:100

NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.24 Insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A383346_03
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	613.1m2	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m2)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into grd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

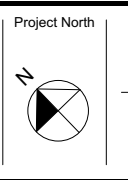


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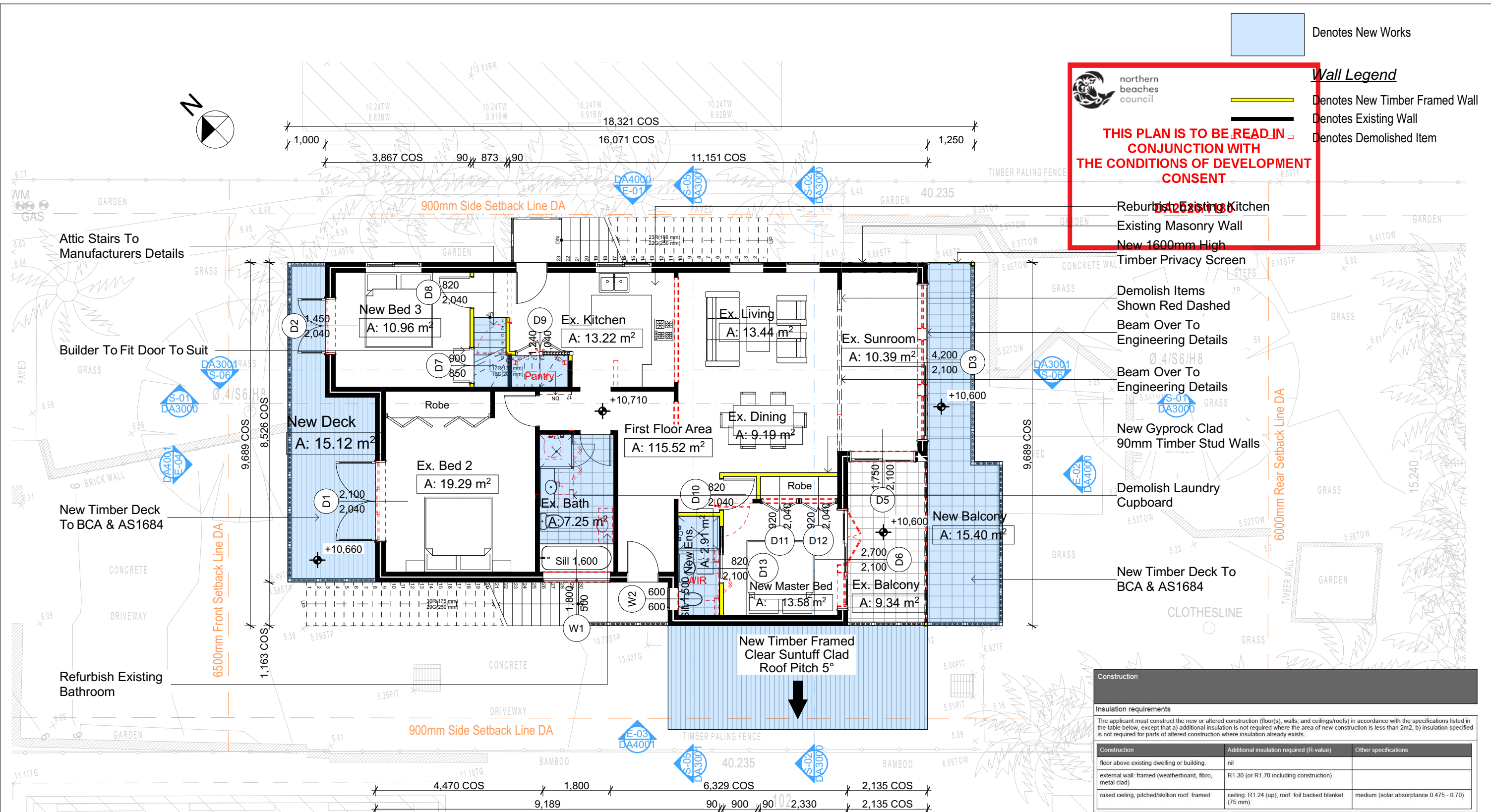
Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked
Plot Date: 5/02/2021
Project NO: RP0320ROS
Project Status: DA Rev2
Client: Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater 2096
Sheet Size: A3

DRAWING TITLE :
PLANS
GROUND FLOOR
PROJECT NAME :
Alterations & Additions

REVISION NO.
1
DATE:
5-2-2021
DRAWING NO.
DA2002



3

FIRST FLOOR
1:100

NOTES

2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.24 Insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A383346_03
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

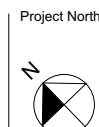
DA APPLICATION ONLY
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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked
Plot Date: 5/02/2021
Project NO: RP0320ROS
Project Status: DA Rev2

Client: Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater 2096
Sheet Size: A3

DRAWING TITLE :

PLANS
FIRST FLOOR

PROJECT NAME :

Alterations & Additions

REVISION NO.

1

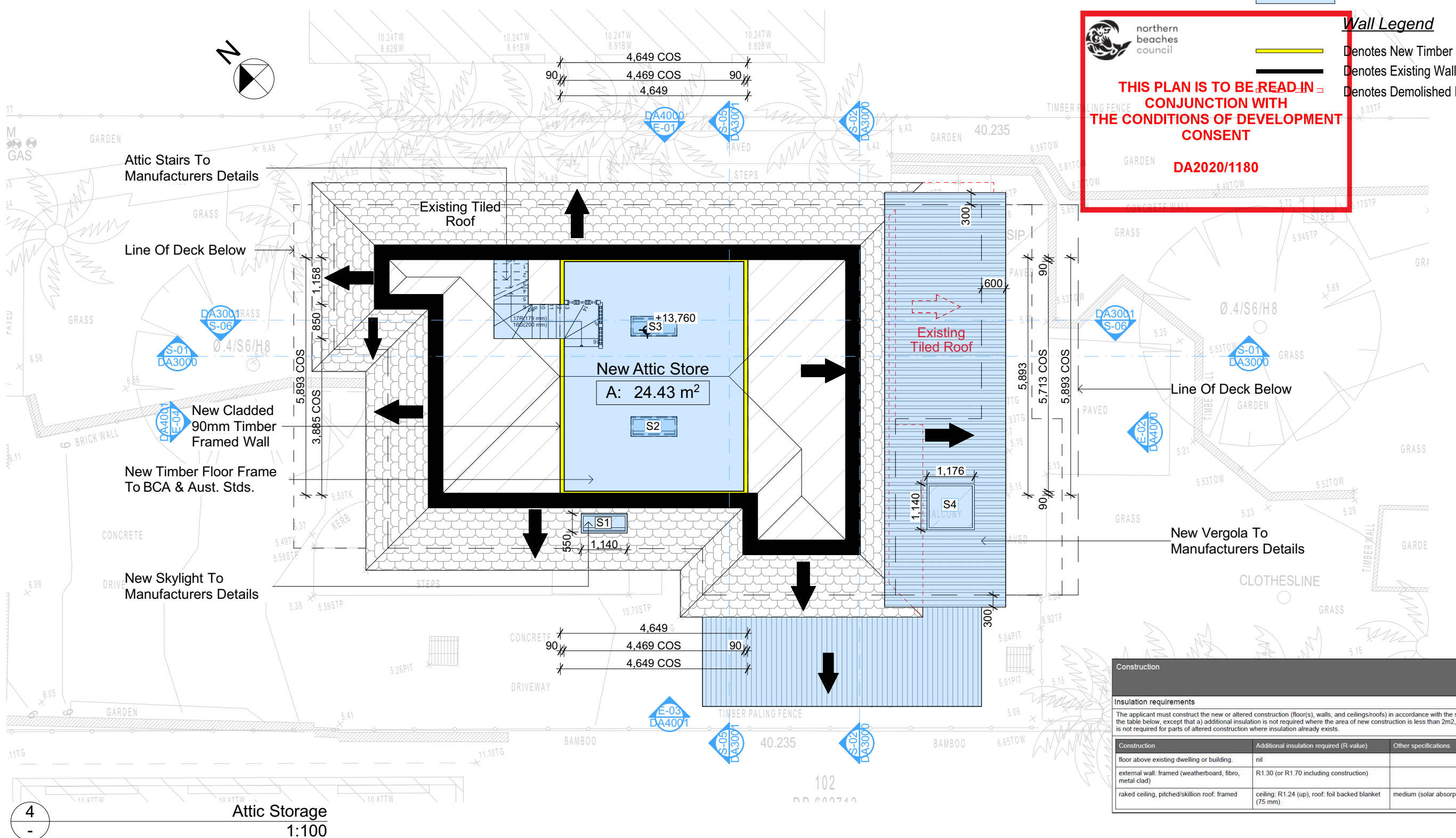
DATE:

5-2-2021

DRAWING NO.

DA2003

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into grd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



Denotes New Works

Denotes New Timber Framed Wall

Denotes Existing Wall

Denotes Demolished Item



northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/1180

Wall Legend

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.24 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	613.1m2	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m2)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into grd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

NOTES

2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential

All Plans to be read in conjunction with Basix Certificate

New Works to be constructed shown in Shaded/Blue

2/25 Charles Street, Freshwater 2096 is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Timber Frame Floor, Timber Frame Clad Walls

Roof Timber Frame to have R1.24 Insulation

Insulation to External Timber Frame Clad Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A383346_03

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

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b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



Rapid Plans

Building Design and Architectural Drafting

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Email: greg@rapidplans.com.au

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BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

ACCREDITED BUILDING DESIGNER

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Checked

Plot Date:

Project NO.

Project Status

Client

Site:

Sheet Size: A3

GBJ

5/02/2021

RP0320ROS

DA Rev2

Marcus Rosenberg and Charlotte Ralph

2/25 Charles Street, Freshwater

2096

A3

DRAWING TITLE :

PROJECT NAME :

PLANS

ATTIC FLOOR

Alterations & Additions

REVISION NO.

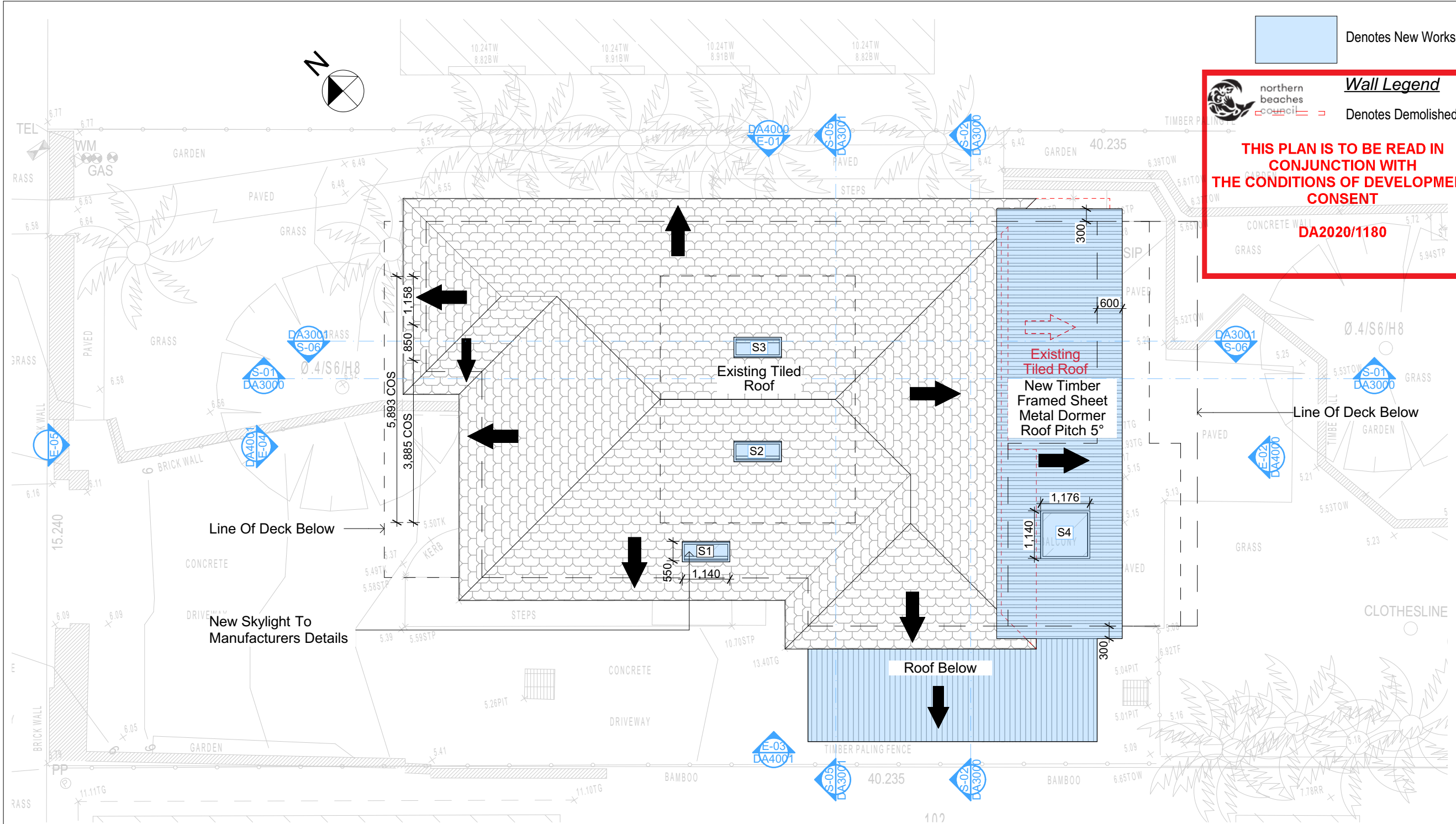
1

DATE

5-2-2021

DRAWING NO.

DA2004



Denotes New Works

Denotes Demolished Item

Wall Legend

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/1180

World Plans

PO Box 6239 Paradise Forest QLD 4155

Ph: (07) 5505-8545 Mob: 0414-545-024

Email: info@rapidplans.com.au

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NOTES

2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential

2/25 Charles Street, Freshwater 2096 is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in ShadedBlue

Construction

Timber Frame Floor, Timber Frame Clad Walls

Roof Timber Frame to have R1.24 insulation

Insulation to External Timber Frame Clad Walls R1.70

Refer to Engineers Drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1854

Termite Management to AS 3660.1

Glazing to BCA and AS01288-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Setbacks

The DA Application only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Counciling Authority without the written permission of Rapid Plans or the supply of a valid Construction Certificate drawn by Rapid Plans

Basic

Basic Certificate Number A383346_03

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Site Information	Prop.	Comp.
Site Area	613.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works.

Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ

Plot Date: 5/02/2021

Project NO.: RP0320RQS

Project Status DA Rev2

Client

Marcus Rosenberg and Charlotte Ralph

Site:

2/25 Charles Street, Freshwater 2096

DRAWING TITLE:

PLANS ROOF

PROJECT NAME:

Alterations & Additions

REVISION NO.

1

REVISION NO.

5-2-2021

DRAWING NO.

DA2005

Sheet Size: A3

4

Roof Plan

1:100

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or tinted/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W1	SW	0.9	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	NW	0.36	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D1	NW	4.46	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.48)
D2	NW	3.11	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.48)
D3	SE	8.8	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
D5	SW	3.68	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D6	SE	5.67	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Skylights

The applicant must install the skylights in accordance with the specifications listed in the table below.

The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

Skylights glazing requirements			
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	0.7	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)

Construction

Insulation requirements

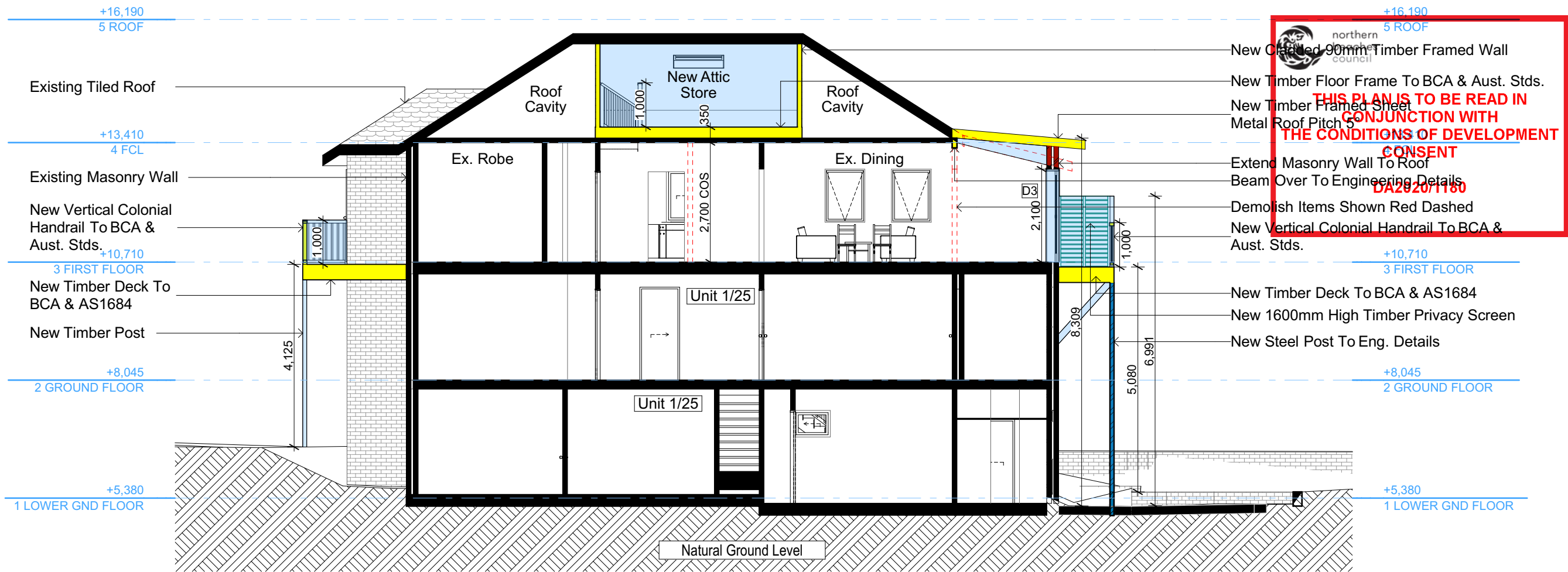
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Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.24 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

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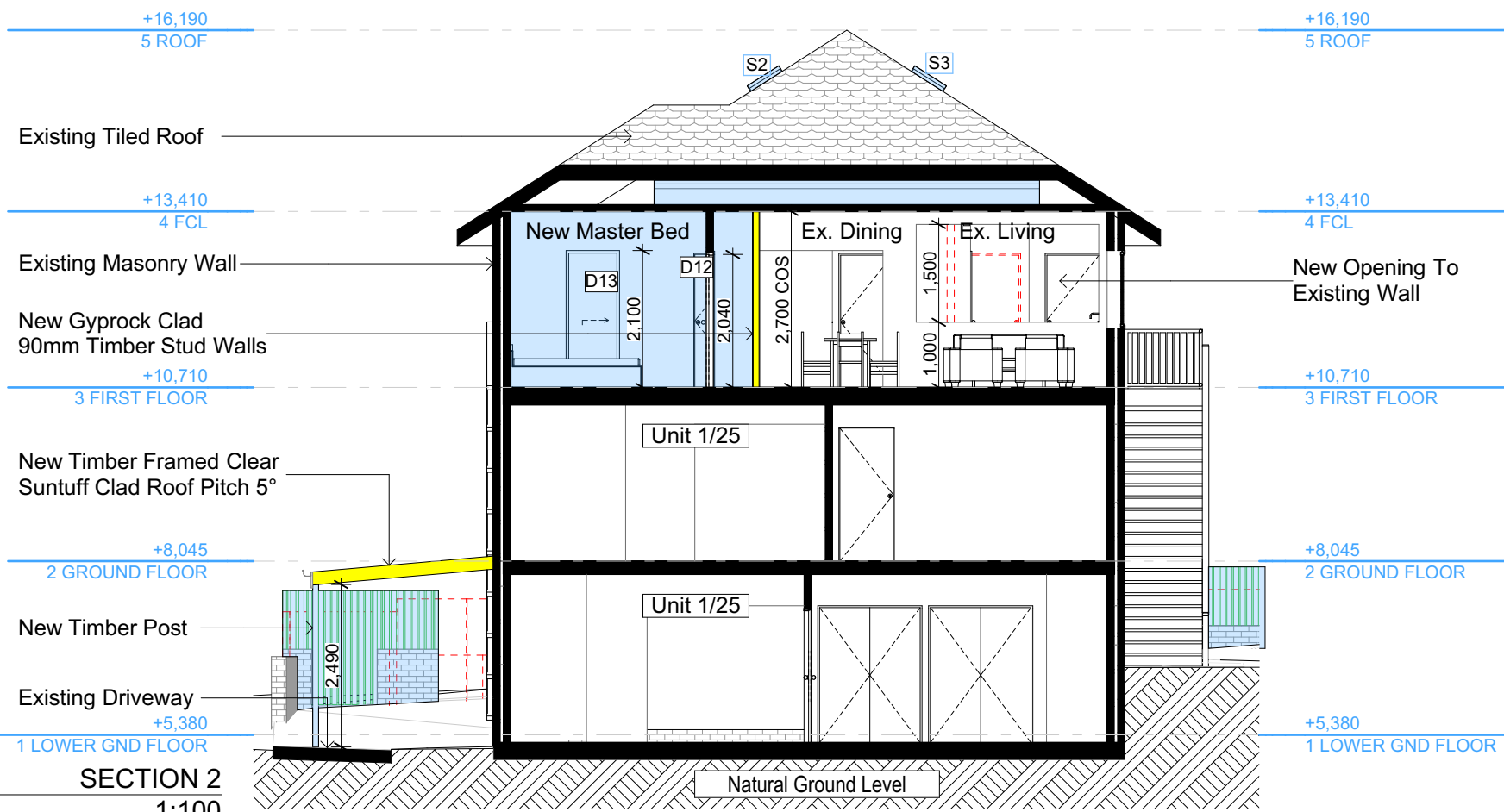
DA APPLICATION ONLY

NOT FOR CONSTRUCTION



SECTION 1
1:100

S-01



SECTION 2
1:100

S-02

- Denotes New Works
- Wall Legend**
- Denotes New Timber Framed Wall
 - Denotes New Masonry Wall
 - Denotes New Concrete Block Wall
 - Denotes New Concrete
 - Denotes Existing Wall
 - Denotes Demolished Item

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DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Building Design and Architectural Drafting

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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

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BUILDING DESIGNER

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NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential.
2/25 Charles Street, Freshwater 2096 is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate.
New Works to be constructed shown in Shaded/Blue.
Construction
Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.24 insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 1728-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basic
Basic Certificate Number A383346_03
All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m². b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gable, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 5/02/2021
Project NO.: RP0320R0S
Project Status DA Rev2

Client: Marcus Rosenberg and Charlotte Ralph

Site: 2/25 Charles Street, Freshwater 2096

DRAWING TITLE: SECTIONS
SECTION 1

PROJECT NAME: **Alterations & Additions**

REVISION NO.	REVISION NO.
1	5-2-2021

DRAWING NO.: **DA3000**

Sheet Size: A3

+16,190
5 ROOF

Demolish Existing Roof
To Suit New Attic Store

+13,410
4 FCL

Existing Masonry Wall
New Gyprock Clad 90mm
Timber Stud Walls

+10,710
3 FIRST FLOOR

New Timber Framed Clear
Suntuff Clad Roof Pitch 5°

+8,045
2 GROUND FLOOR

New Timber Post

Existing Driveway

+5,380
1 LOWER GND FLOOR

S-05
-
Section Attic 1
1:100

New Skylight To
Manufacturers Details

+16,190
5 ROOF

New Cladded 90mm Timber Framed Wall

New Timber Floor Frame
To BCA & Aust. Stds.

New Timber Framed Sheet
Metal Roof Pitch 5°

+13,410
4 FCL

Extend Masonry Wall To Roof

Beam Over To
Engineering Details

New Vertical Colonial Handrail
To BCA & Aust. Stds.

+10,710
3 FIRST FLOOR

New Timber Deck To
BCA & AS1684

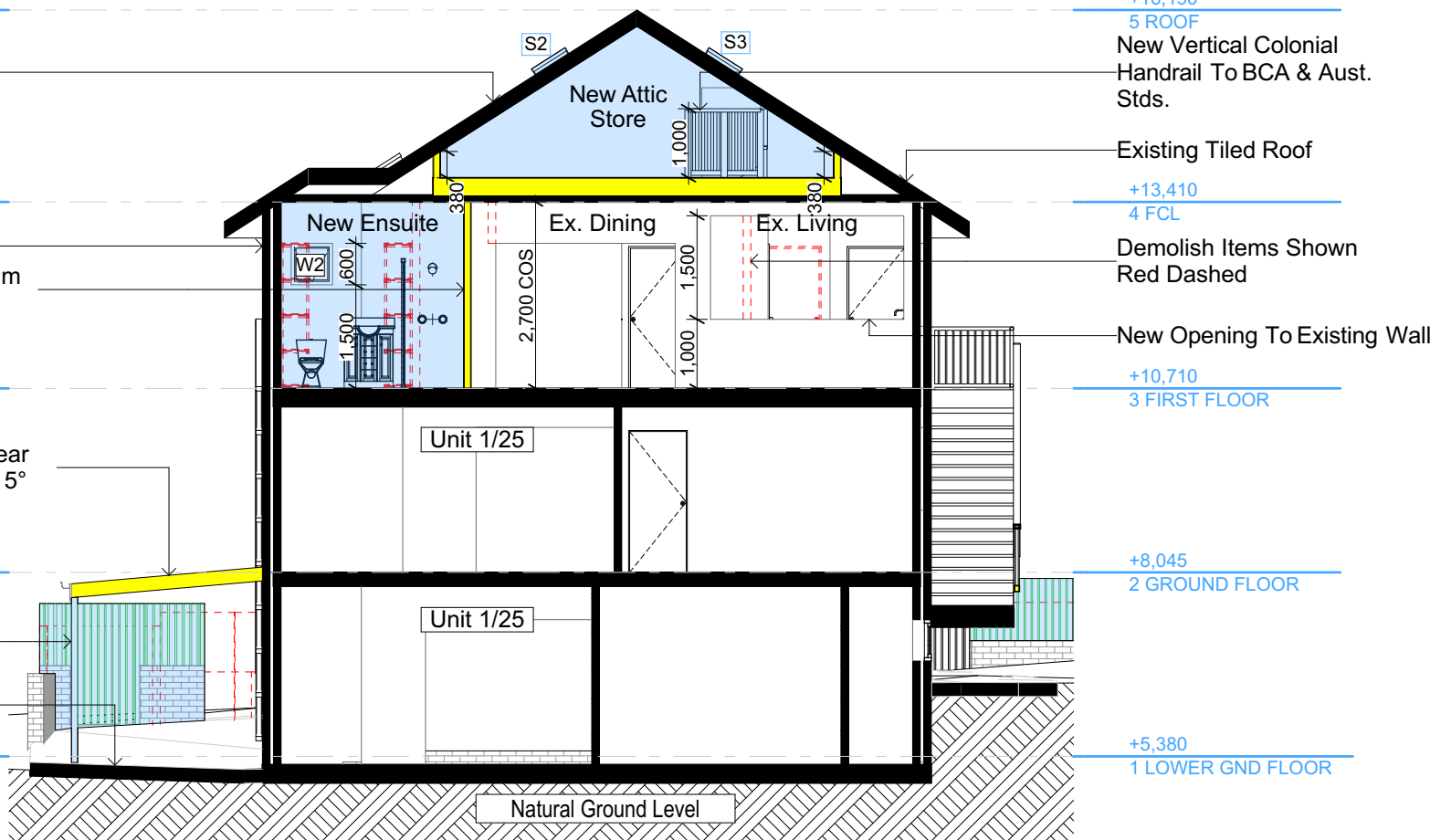
Angled Bracing To
Eng. Details

+8,045
2 GROUND FLOOR

New Steel Post To
Eng. Details

+5,380
1 LOWER GND FLOOR

S-06
-
Section Attic 2
1:100



+16,190
5 ROOF
New Vertical Colonial
Handrail To BCA & Aust.
Stds.

Existing Tiled Roof

+13,410
4 FCL

Demolish Items Shown
Red Dashed

New Opening To Existing Wall

+10,710
3 FIRST FLOOR

+8,045
2 GROUND FLOOR

+5,380
1 LOWER GND FLOOR

Denotes New Works



northern
beaches
council

Wall Legend

Denotes New Timber Framed Wall

Denotes Existing Wall

Denotes Demolished Item

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2020/1180

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building,	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.24 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Demolish Existing Roof To Suit New Attic Store

+16,190
5 ROOF

New Vertical Colonial Handrail To
BCA & Aust. Stds.

Demolish Items Shown Red Dashed

Existing Tiled Roof

+13,410
4 FCL

Attic Stairs To Manufacturers Details

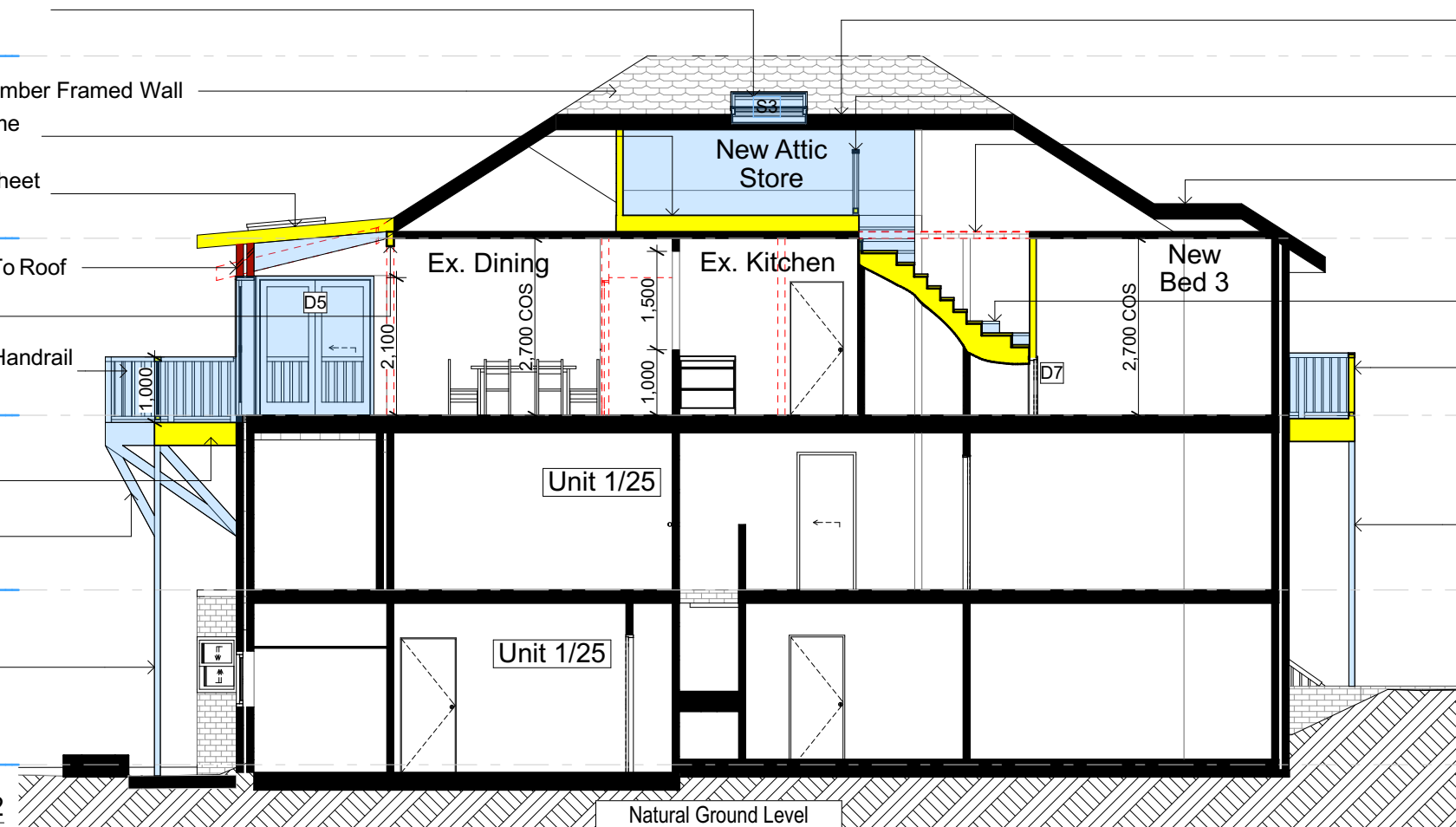
New Vertical Colonial Handrail To BCA &
Aust. Stds.

+10,710
3 FIRST FLOOR

New Timber Post

+8,045
2 GROUND FLOOR

+5,380
1 LOWER GND FLOOR



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ONLY
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Building Design and Architectural Drafting

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NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.24 insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Table 1: Site Information

Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 5/02/2021
Project NO.: RP0320R0S
Project Status DA Rev2

Client: Marcus Rosenberg and Charlotte Ralph

Site: 2/25 Charles Street, Freshwater 2096

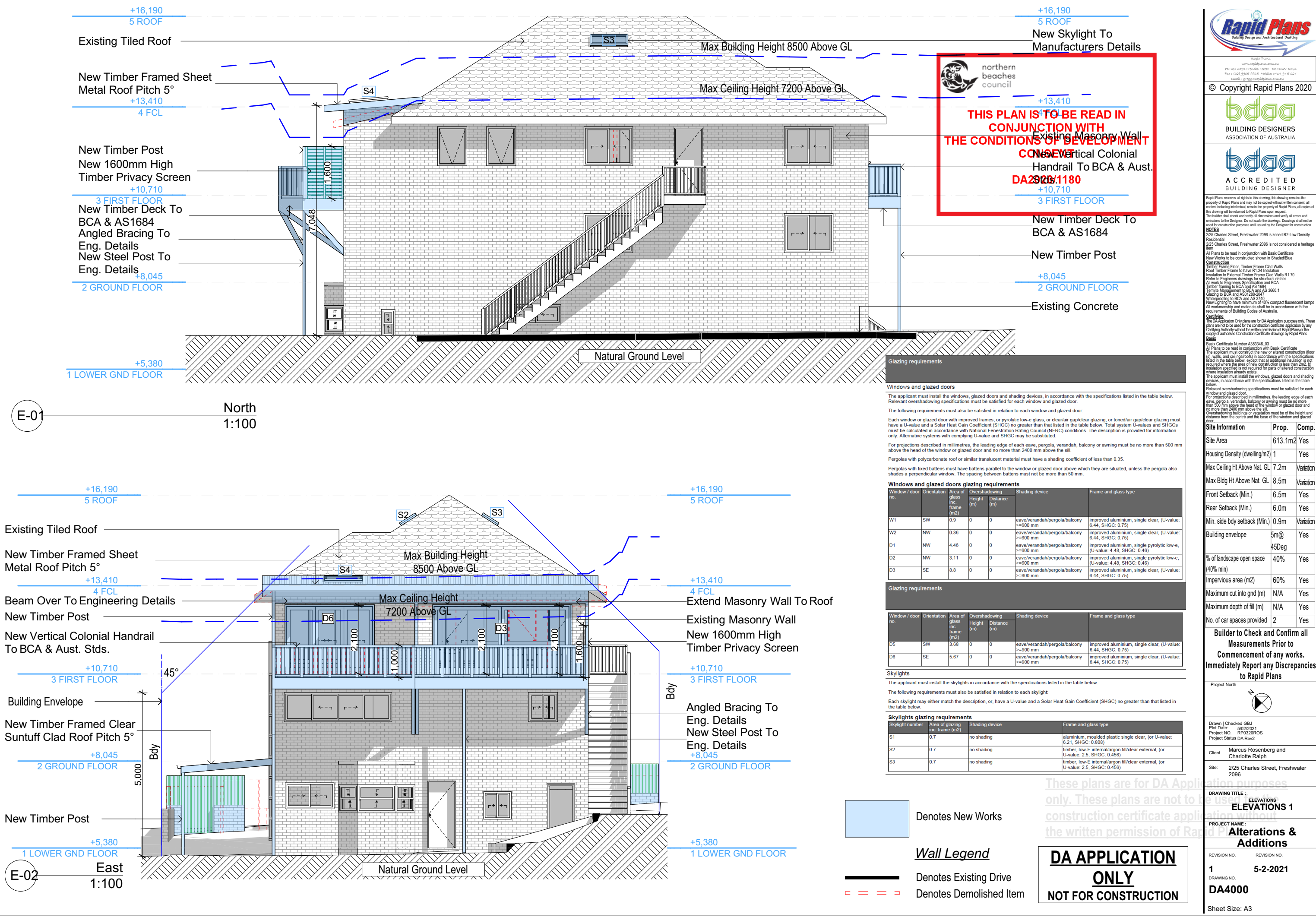
DRAWING TITLE:
SECTIONS
SECTION 2

PROJECT NAME:
Alterations & Additions

REVISION NO. REVISION NO.
1 **5-2-2021**

DRAWING NO.
DA3001

Sheet Size: A3



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NOTES
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2/25 Charles Street, Freshwater 2096 is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue
Construction
Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.24 insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certification
The DA Application only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a valid Construction Certificate drawn by Rapid Plans.
Basic
Basic Certificate Number A383346_03
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 5/02/2021
Project NO.: RP0320R0S
Project Status DA Rev2

Client: Marcus Rosenberg and Charlotte Ralph

Site: 2/25 Charles Street, Freshwater 2096

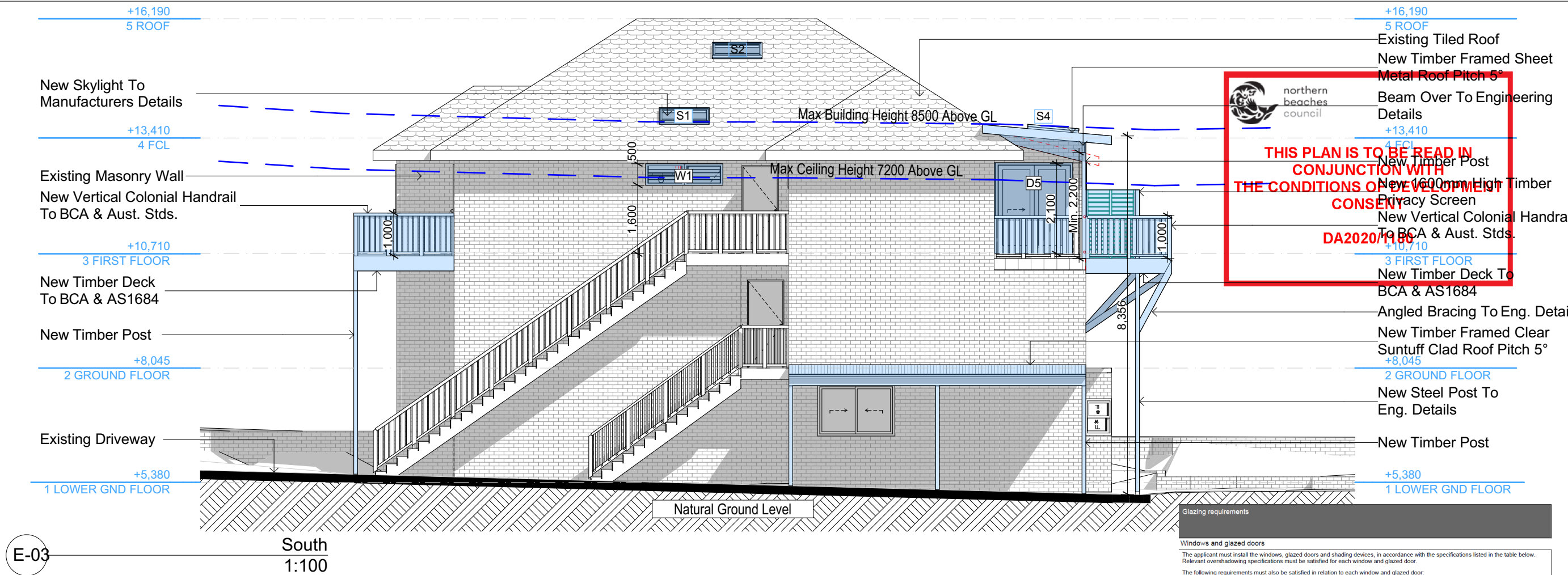
DRAWING TITLE: ELEVATIONS 1

PROJECT NAME: Alterations & Additions

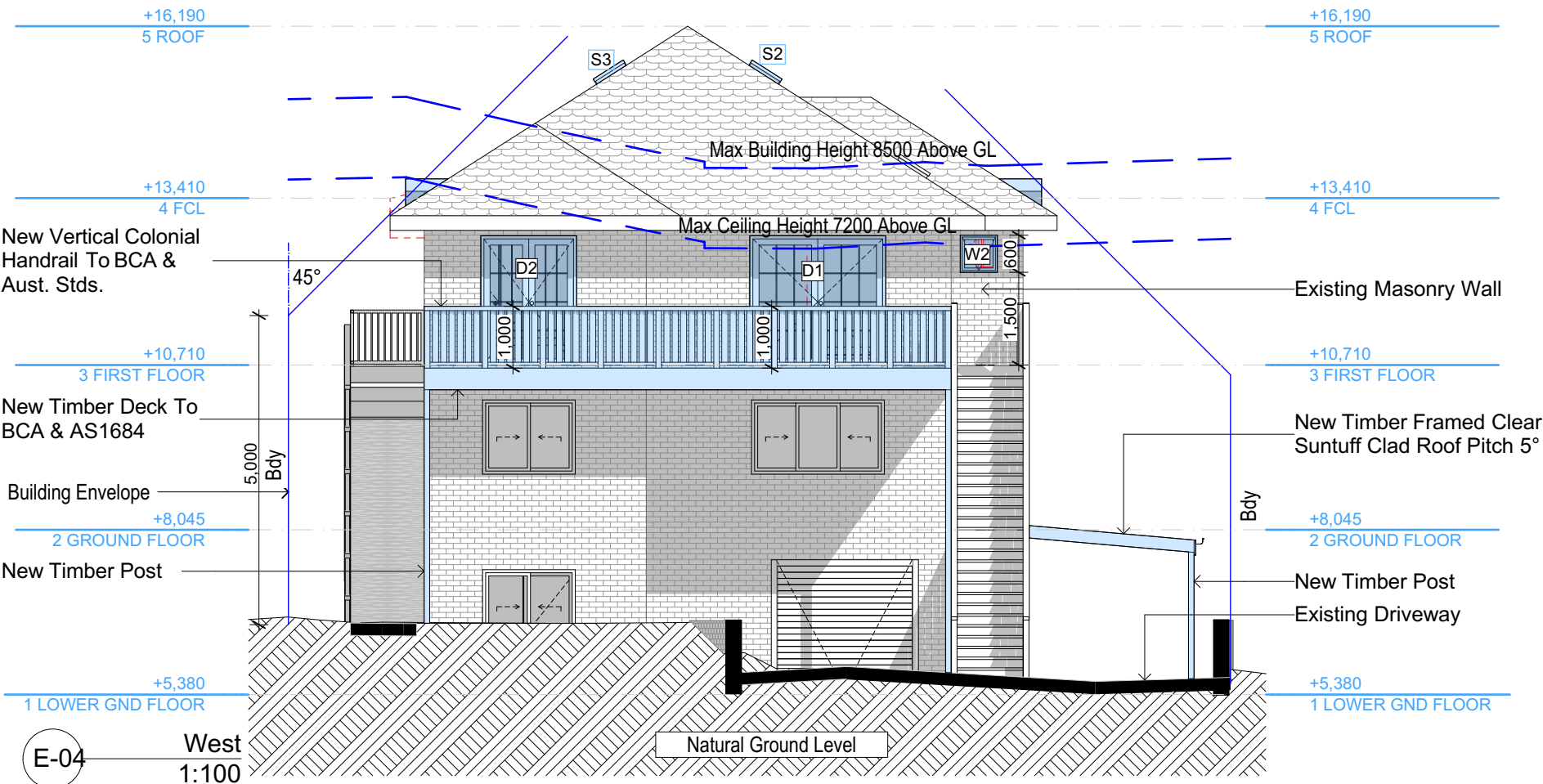
REVISION NO. 1
REVISION NO. 5-2-2021

DRAWING NO. DA4000

Sheet Size: A3



E-03 South 1:100



E-04 West 1:100

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W1	SW	0.9	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	NW	0.36	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D1	NW	4.46	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D2	NW	3.11	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D3	SE	8.8	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
D5	SW	3.68	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D6	SE	5.67	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Skylights

The applicant must install the skylights in accordance with the specifications listed in the table below.

The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

Skylight number	Area of glazing inc. frame (m ²)	Shading device	Frame and glass type
S1	0.7	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)
S2	0.7	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S3	0.7	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)

Denotes New Works

Wall Legend

Denotes Existing Wall

Denotes Demolished Item

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Notes:
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential.
2/25 Charles Street, Freshwater 2096 is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate.
New Works to be constructed shown in Shaded/Blue.
Timber Frame Floor, Timber Frame Clad Walls.
Rural Timber Frame to have R1.24 insulation.
Insulation to External Timber Frame Clad Walls R1.70.
Refer to Engineers Specification and BCA.
All work to Engineers Specification and BCA.
Timber framing to BCA and AS 1684.
Termite Management to BCA and AS 3660.1.
Glazing to BCA and AS01288-2047.
Waterproofing to BCA and AS 3740.
New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Site Information

Site Area	Prop.	Comp.
613.1m ²	Yes	
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 5/02/2021
Project NO.: RP0320R0S
Project Status DA Rev2

Client Marcus Rosenberg and Charlotte Ralph

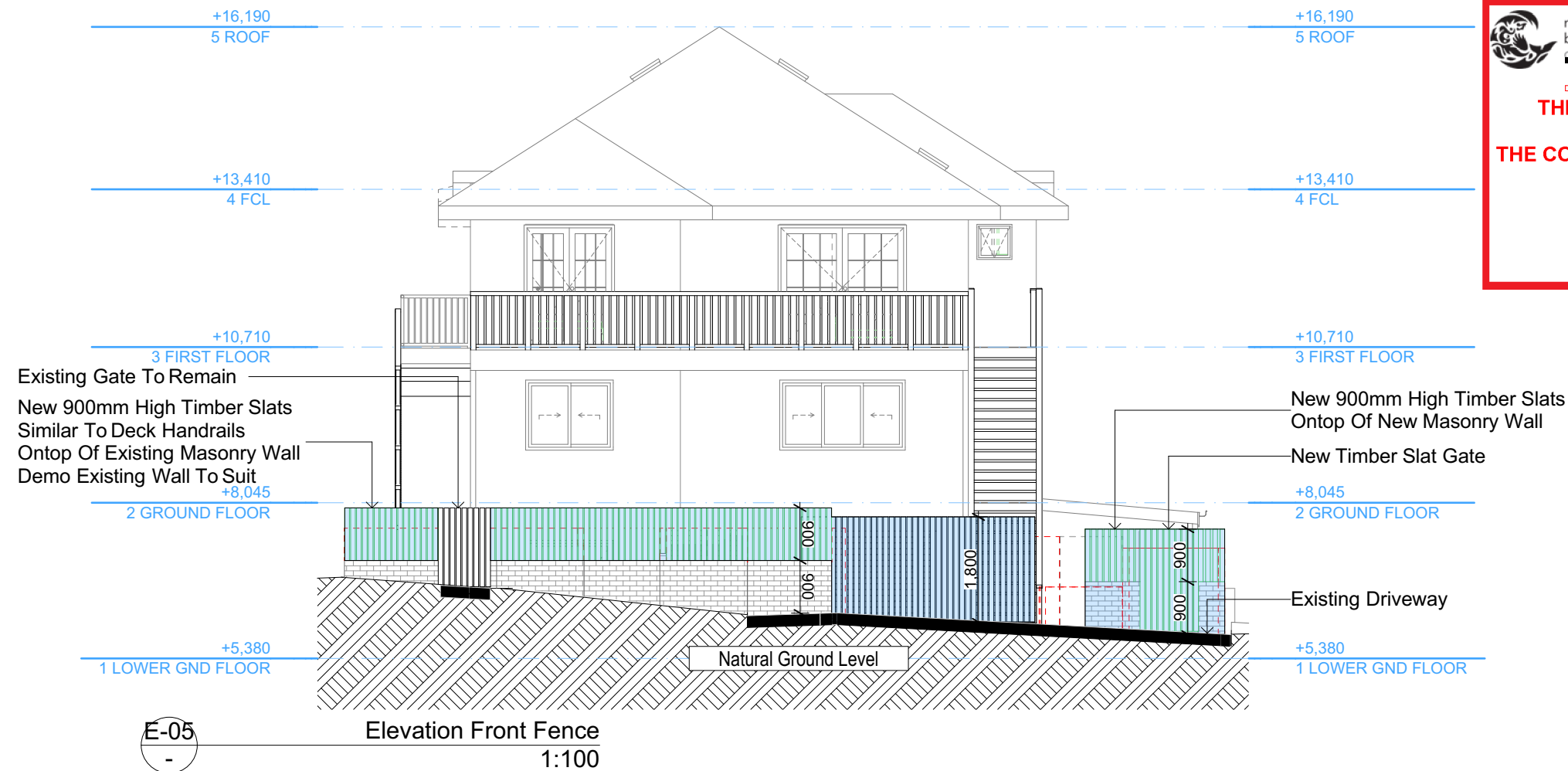
Site: 2/25 Charles Street, Freshwater 2096

DRAWING TITLE: ELEVATIONS 2

PROJECT NAME: Alterations & Additions

REVISION NO. 1
REVISION NO. 5-2-2021
DRAWING NO. DA4001

Sheet Size: A3



Denotes New Works



northern
beaches
council

Wall Legend

Denotes Existing Drive

Denotes Demolished Item

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2020/1180



Typical Type Sliding Gate
System. Easy Gate or
Similar

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NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue
Construction
Timber Frame Floor, Timber Frame Clad Walls
Rust Timber Frame to have R1.24 insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1864
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a full Construction Certificate drawings by Rapid Plans.
Basic
Basic Certificate Number A383346_03
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m². b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gable, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 5/02/2021
Project NO.: RP0320R0S
Project Status DA Rev2

Client: Marcus Rosenberg and Charlotte Ralph

Site: 2/25 Charles Street, Freshwater 2096

**DRAWING TITLE: ELEVATIONS
ELEVATION FRONT
FENCE**

**PROJECT NAME:
Alterations & Additions**

REVISION NO.	REVISION NO.
1	5-2-2021

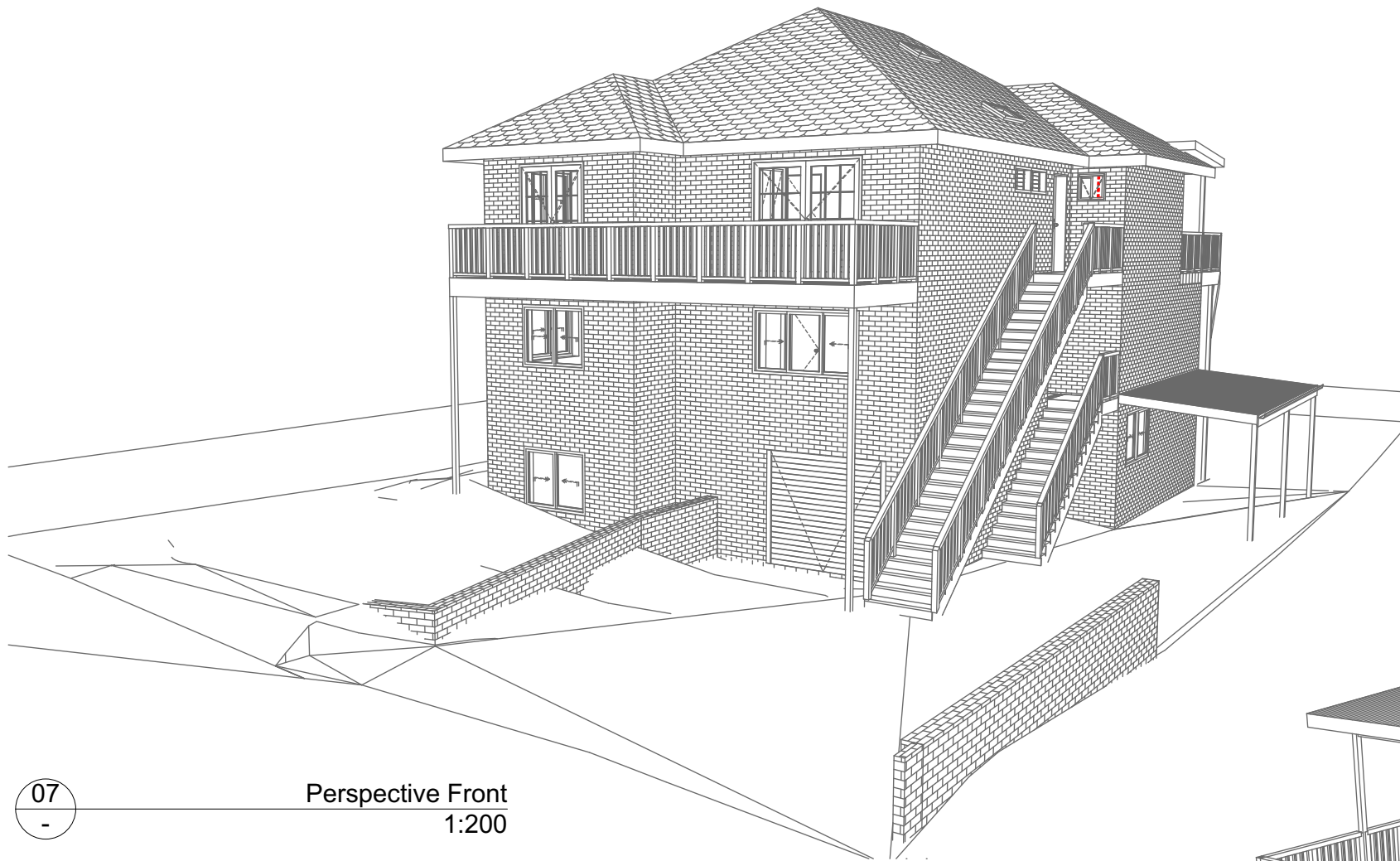
DRAWING NO.: **DA4002**

Sheet Size: A3



**THIS PLAN IS TO BE READ IN
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THE CONDITIONS OF DEVELOPMENT
CONSENT**

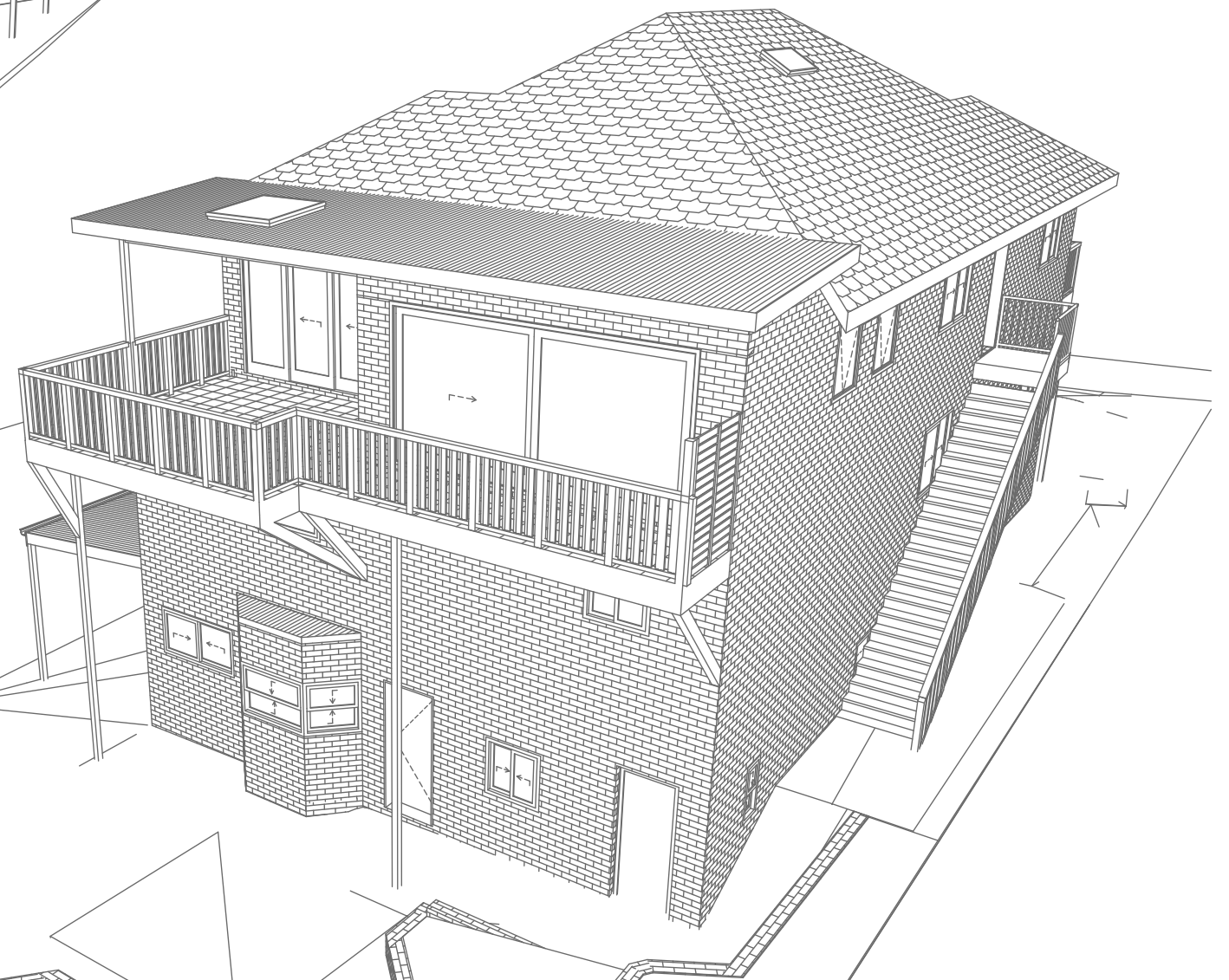
DA2020/1180



07

-

**Perspective Front
1:200**



07

-

**Perspective Rear
1:200**

**DA APPLICATION
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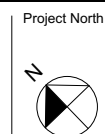
Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 2086
Fax: (02) 9905-8865
Mobile: 0414-945-024
Email: greg@rapidplans.com.au

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**Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



Checked GBJ
Plot Date: 5/02/2021
Project NO: RP0320ROS
Project Status: DA Rev2
Client: Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater
2096
Sheet Size: A3

DRAWING TITLE :
**SHADOW PLANS
PERSPECTIVE**
PROJECT NAME :
Alterations & Additions

REVISION NO.
1
DATE:
5-2-2021
DRAWING NO.
DA5000



Denotes Masonry Wall With Vertical Timber Fence (Typical). Owner To Confirm Type & Colour



Denotes Tiled Timber Deck (Typical). Owner To Confirm Type & Colour



Denotes Sheet Metal Roof (Typical). Owner To Confirm Type & Colour



Denotes Timber Deck (Typical). Owner To Confirm Type & Colour



Denotes Deck Handrail (Typical). Owner To Confirm Type & Colour



northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/1180

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Rapid Plans

Building Design and Architectural Drafting

Website: www.rapidplans.com.au
PO Box 6239 Freshwater NSW 2096
Fax : (02) 9369-8845 Mobile: 0414-945-024
Email: info@rapidplans.com.au

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NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue
Construction
Timber Frame Floor, Timber Frame Clad Walls
Rust Timber Frame to have R1.24 insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
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Glazing to BCA and AS1288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basic
Basic Certificate Number A383346_03
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor sl, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20C, b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopple, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	613.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North


Drawn | Checked GBJ
Plot Date: 5/02/2021
Project NO.: RP0320R0S
Project Status DA Rev2

Client
Marcus Rosenberg and
Charlotte Ralph

Site:
2/25 Charles Street, Freshwater
2096

DRAWING TITLE SHADOW PLANS
MATERIAL & COLOUR
SAMPLE BOARD

PROJECT NAME:
Alterations & Additions

REVISION NO.
1

REVISION NO.
5-2-2021

DRAWING NO.
DA5001

Sheet Size: A3

Denotes Existing Shadow

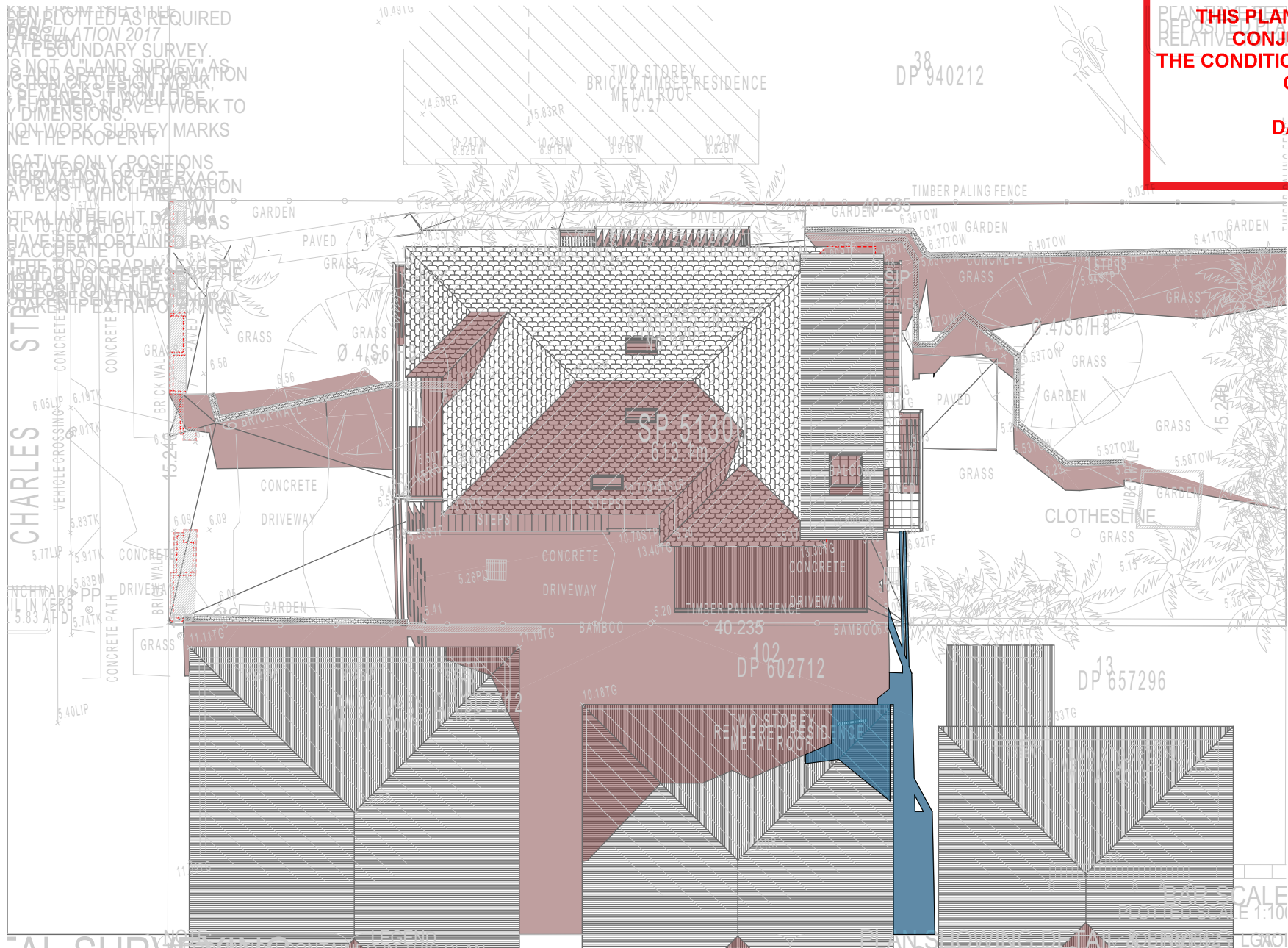
Denotes Proposed Shadow



northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/1180



01 SHADOW PLAN 21 JUN at 0900h
1:200

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

NOTES

2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.24 Insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A383346_03
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m².
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

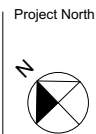


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Builder to Check and Confirm
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Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date: GBJ
Project NO: 5/02/2021
Project Status: RP0320ROS
DA Rev2
Client: Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater
2096
Sheet Size: A3

DRAWING TITLE : SHADOW PLANS
SHADOW PLAN 21 JUN at
0900h
PROJECT NAME : Alterations & Additions

REVISION NO.
1
DATE: 5-2-2021
DRAWING NO.
DA5002



Denotes Existing Shadow

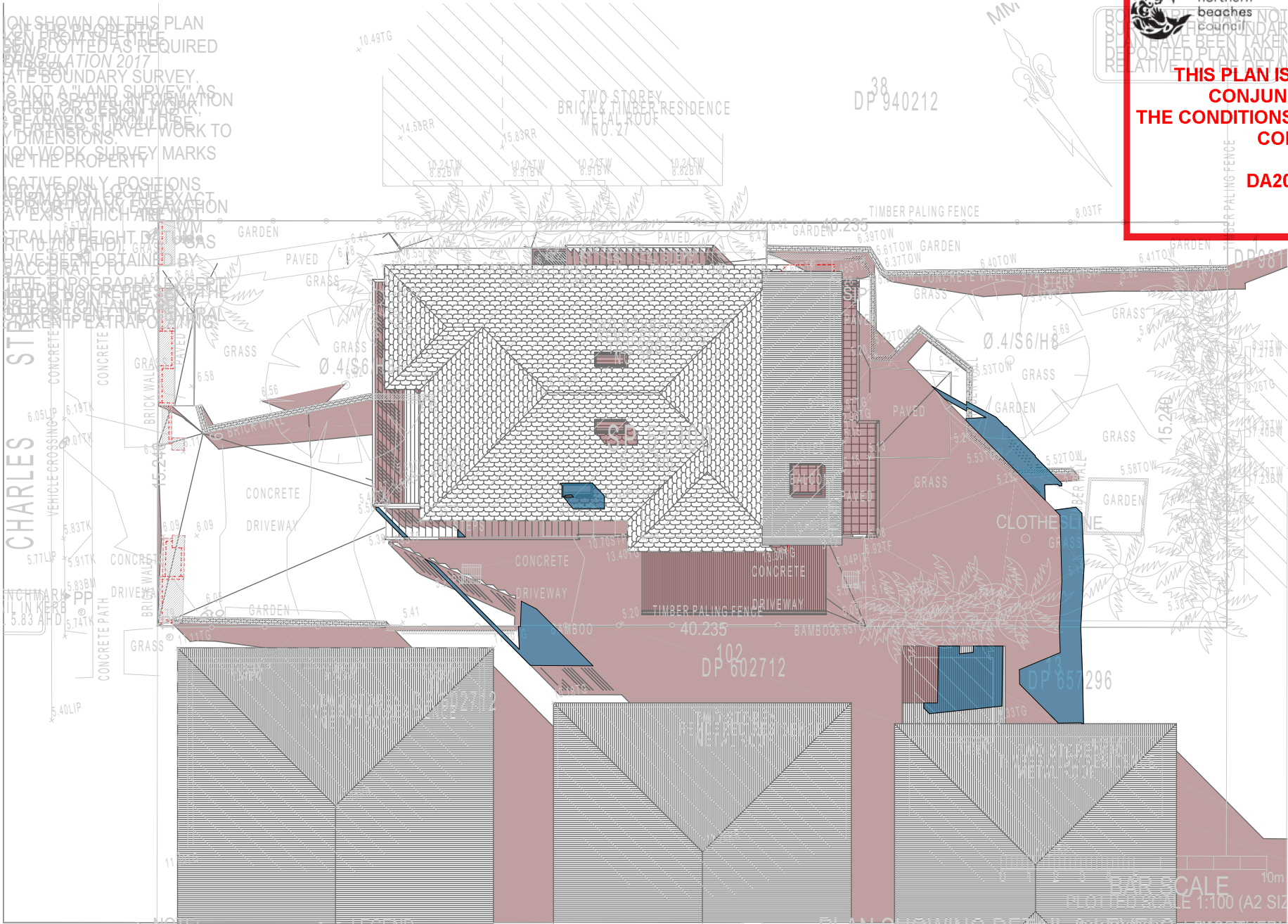


Denotes Proposed Shadow



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/1180



02

SHADOW PLAN 21 JUN at 1200h
1:200

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES

2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.24 Insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A383346_03
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor/s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m².
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

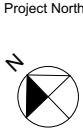


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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked
Plot Date: 5/02/2021
Project NO: RP0320ROS
Project Status: DA Rev2
Client: Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater 2096
Sheet Size: A3

DRAWING TITLE : SHADOW PLANS
SHADOW PLAN 21 JUN at 1200h
PROJECT NAME : Alterations & Additions

REVISION NO.
1
DATE: 5-2-2021
DRAWING NO.
DA5003

Denotes Existing Shadow

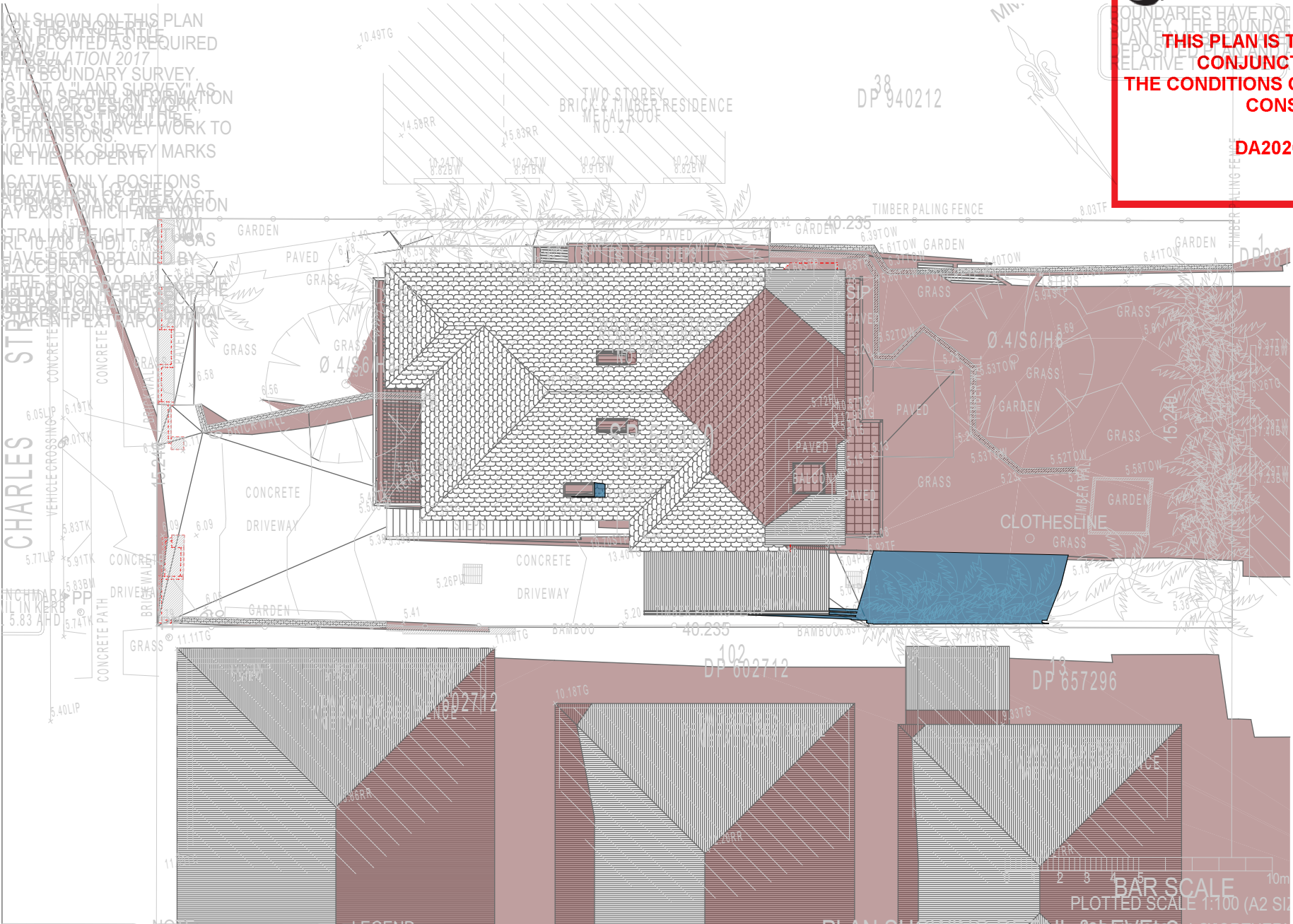
Denotes Proposed Shadow



northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/1180



03 SHADOW PLAN 21 JUN at 1500h
1:200

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

NOTES

2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Timber Frame Floor, Timber Frame Clad Walls
Roof Timber Frame to have R1.24 Insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A383346_03
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m².
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes	Building envelope	5m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variation	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



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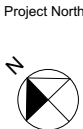


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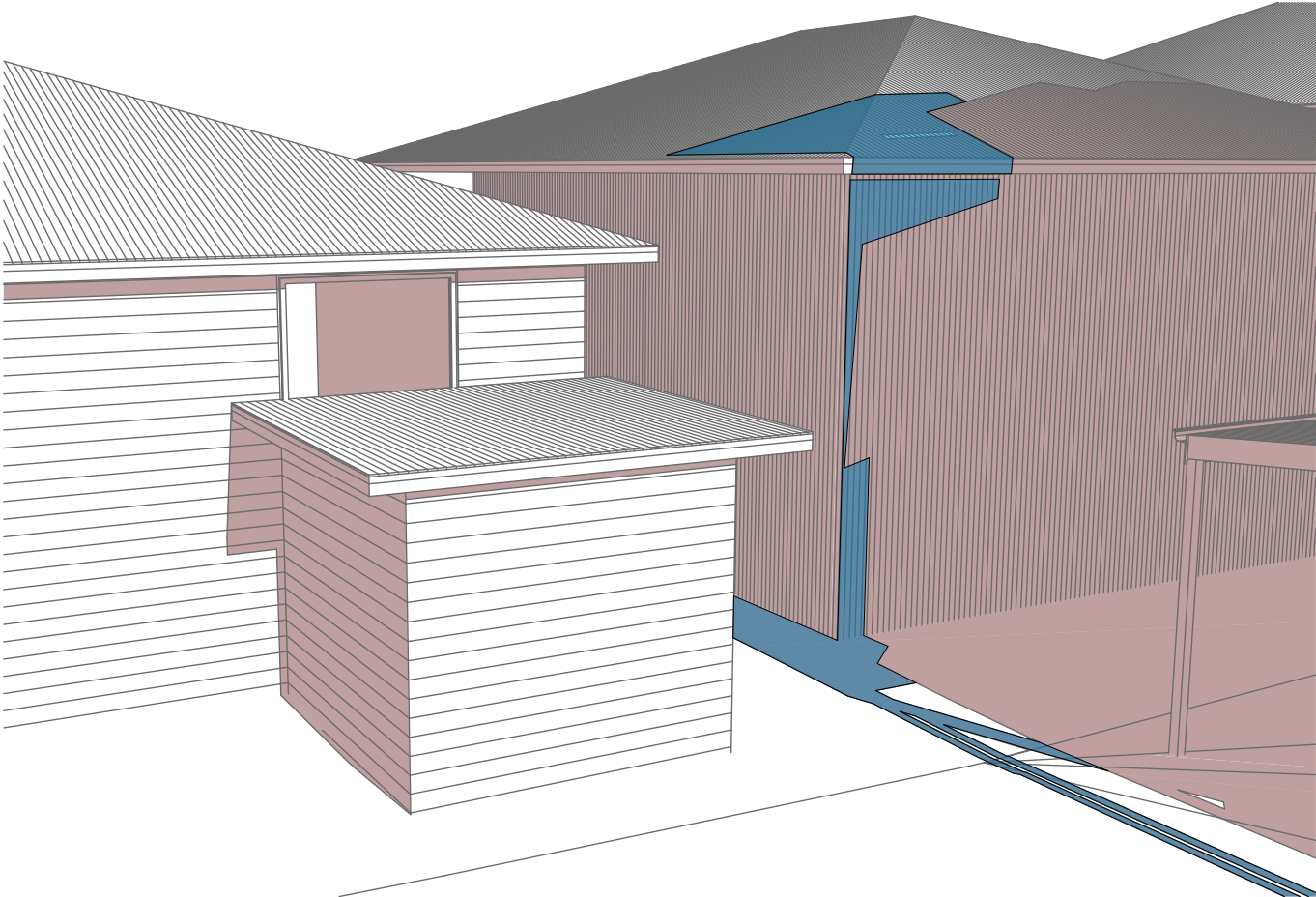
Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



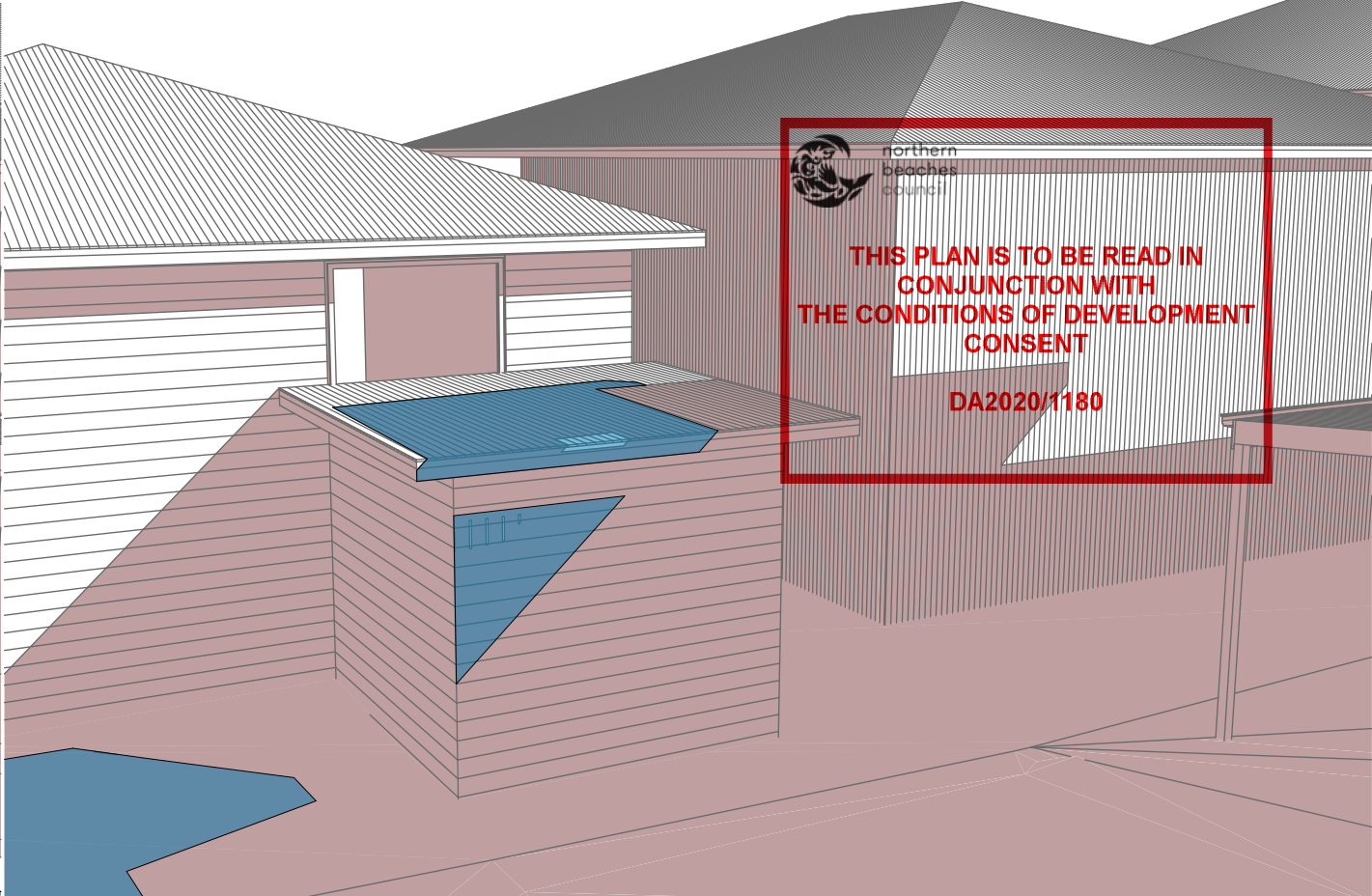
Checked
Plot Date: 5/02/2021
Project NO: RP0320ROS
Project Status: DA Rev2
Client: Marcus Rosenberg and Charlotte Ralph
Site: 2/25 Charles Street, Freshwater
2096
Sheet Size: A3

DRAWING TITLE : SHADOW PLANS
SHADOW PLAN 21 JUN at
1500h
PROJECT NAME : Alterations & Additions

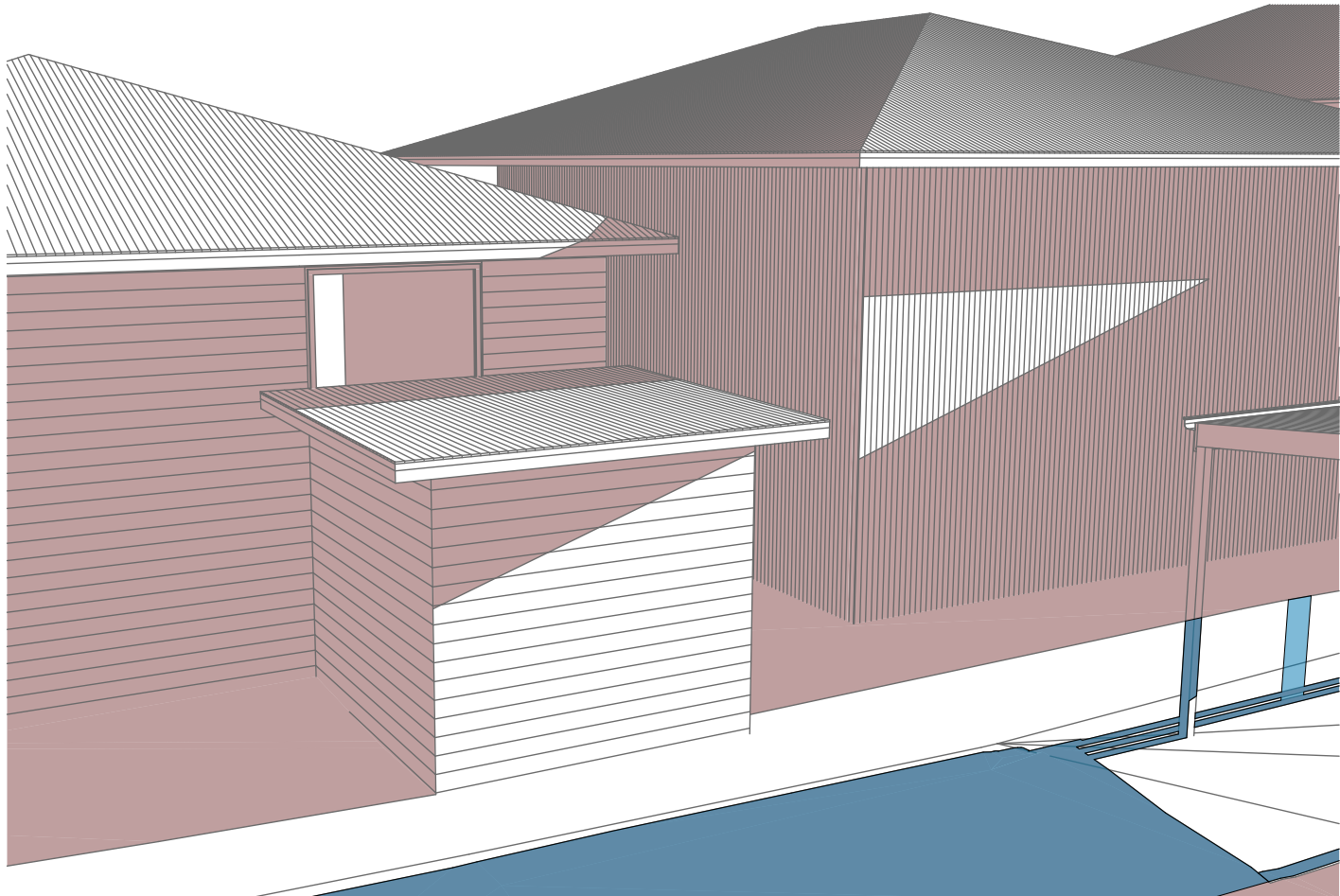
REVISION NO.
1
DATE: 5-2-2021
DRAWING NO.
DA5004



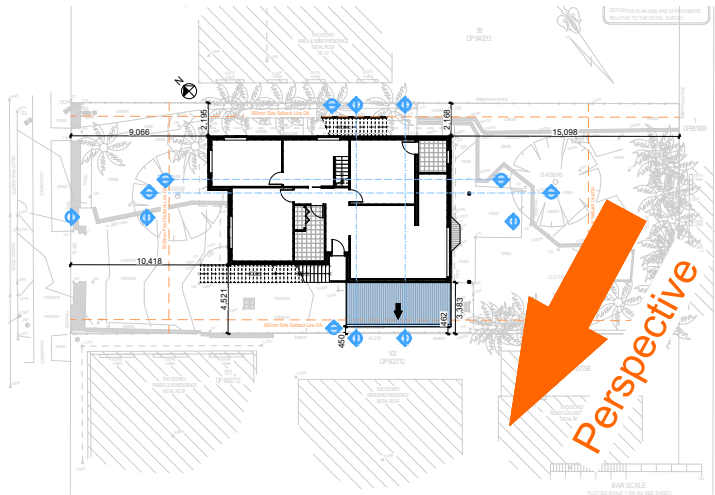
1 WALL ELEVATION 21 JUN at 0900h
1:200



2 WALL ELEVATION 21 JUN at 1200h
1:200



3 WALL ELEVATION 21 JUN at 1500h
1:200



2 SITE PLAN
1:500

Denotes Existing Shadow

Denotes Proposed Shadow

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
2/25 Charles Street, Freshwater 2096 is zoned R2-Low Density Residential
2/25 Charles Street, Freshwater 2096 is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue
Construction
Timber Frame Floor, Timber Frame Clad Walls
Rust Timber Frame to have R1.24 insulation
Insulation to External Timber Frame Clad Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1864
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a full Construction Certificate drawings by Rapid Plans.

Basic Certificate
Basic Certificate Number A383346_03
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m². b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gable, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	613.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variation
Max Bldg Ht Above Nat. GL	8.5m	Variation
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	5m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 5/02/2021
Project NO.: RP0320R0S
Project Status DA Rev2

Client: Marcus Rosenberg and Charlotte Ralph

Site: 2/25 Charles Street, Freshwater 2096

DRAWING TITLE SHADOW PLANS
WALL ELEVATION SHADOWS

PROJECT NAME: Alterations & Additions

REVISION NO.	REVISION NO.
1	5-2-2021

DRAWING NO.: **DA5005**

Sheet Size: A3