



ACTION PLANS

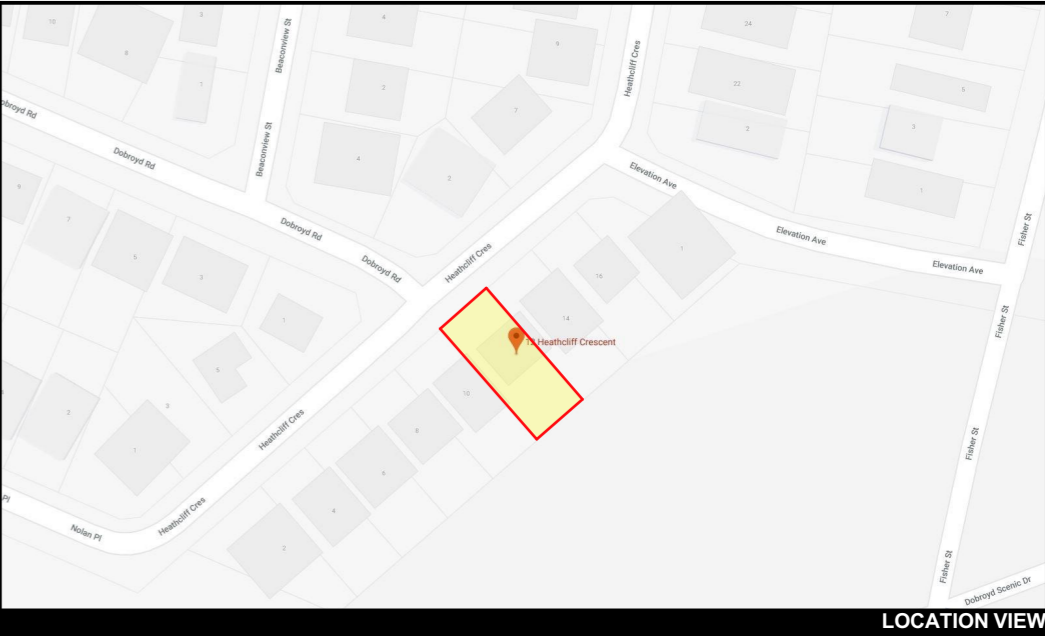
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DEVELOPEMENT APPLICATION FOR DEVELOPMENT APPROVAL ONLY

SHEET NUMBER	SHEET NAME	DATE PUBLISHED
DA00	COVER	25/09/2019
DA01	NOTATION	25/09/2019
DA02	SITE ANALYSIS	25/09/2019
DA03	SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN	25/09/2019
DA04	EXISTING LOWER GROUND FLOOR PLAN	25/09/2019
DA05	EXISTING GROUND FLOOR PLAN	25/09/2019
DA06	PROPOSED LOWER GROUND FLOOR PLAN	25/09/2019
DA07	PROPOSED GROUND FLOOR PLAN	25/09/2019
DA08	NORTH / EAST ELEVATION	25/09/2019
DA09	SOUTH / WEST ELEVATION	25/09/2019
DA10	LONG / CROSS SECTION	25/09/2019
DA11	AREA CALCULATIONS	25/09/2019
DA12	SAMPLE BOARD	25/09/2019
DA13	WINTER SOLSTICE 9AM / 12PM / 3PM	25/09/2019
DA14	BASIX COMMITMENTS	25/09/2019

ITEM DETAILS	DEVELOPMENT APPLICATION			
ADDRESS	12 HEATHCLIFF CRESENT, BALGOWLAH HEIGHTS, NSW, 2093			
LOT & DP/SP	LOT 4 SECTION 29 DP 758044			
COUNCIL	NORTHERN BEACHS COUNCIL (MANLY)			
SITE AREA	556.4m²			
FRONTAGE	15.24m			
CONTROLS	PERMISSIBLE / REQUIRED	EXISTING	PROPOSED	COMPLIANCE
	m / m² / %	m / m² / %	m / m² / %	
LEP				
LAND ZONING	R2 – LOW DENSITY RESIDENTIAL	R1	R1	YES
MINIMUM LOT SIZE	500m²	556.4m²	UNCHANGED	YES
FLOOR SPACE RATIO	0.45 : 1 (250.38m²)	0.23 : 1 (127.49m²)	0.29 : 1 (161.32m²)	YES
MAXIMUM BUILDING HEIGHT	8.5m	5.72m	UNCHANGED	YES
HAZARDS				
ACID SULFATE SOILS	NOT IDENTIFEID	N/A	N/A	N/A
FLOOD PLANNING	NOT IDENTIFEID	N/A	N/A	N/A
WATERCOURSE	NOT IDENTIFEID	N/A	N/A	N/A
WETLANDS	NOT IDENTIFEID	N/A	N/A	N/A
LANDSLIP RISK	NOT IDENTIFEID	N/A	N/A	N/A
BIODIVERSITY	NOT IDENTIFEID	N/A	N/A	N/A
FORESHORE SCENIC PRO. AREA	NOT IDENTIFEID	N/A	N/A	N/A
BUSHFIRE PRONE LAND	BUFFER 30M - 100M	N/A	N/A	N/A
DCP				
RESIDENTIAL OPEN SPACE	AREA OS3	N/A	N/A	YES
TOTAL OPEN SPACE (TOS)	55% (306.20m²)	69.35% (385.86m²)	67.63% (376.27m²)	YES
LANDSCAPE AREA	35% OF TOS (55%) : 107.11m²	208.76m²	215.52m²	YES
PRINCIPAL PRIVATE OPEN SPACE	18m²	237.16m²	227.57m²	YES
FRONT SETBACK	PREVALING BULDING LINE: 10.09m	10.09m	UNCHANGED	YES
REAR SETBACK	8.0m	14.15m	UNCHANGED	YES
SIDE SETBACKS - 1/3 WALL HEIGHT	N: 1.560m S: 1.360m	N: 1.010m S: 0.793m	N: UNCHANGED S: UNCHANGED	YES
WALL HEIGHT	6.5m	5.455m	UNCHANGED	YES
CAR PARKING SPACES	Required: 1	2	1	YES

12 HEATHCLIFF CRES, BALGOWLAH HEIGHTS, NSW, 2093



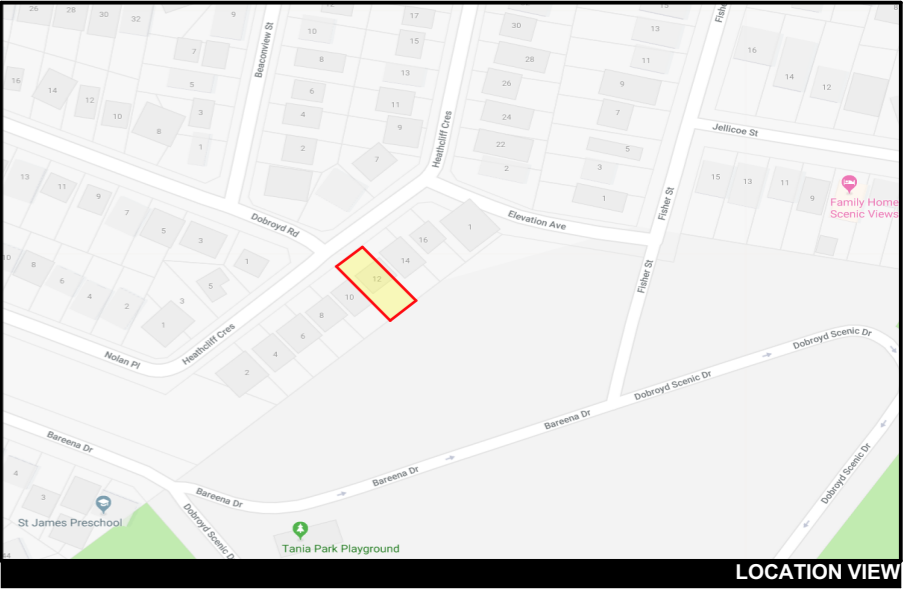
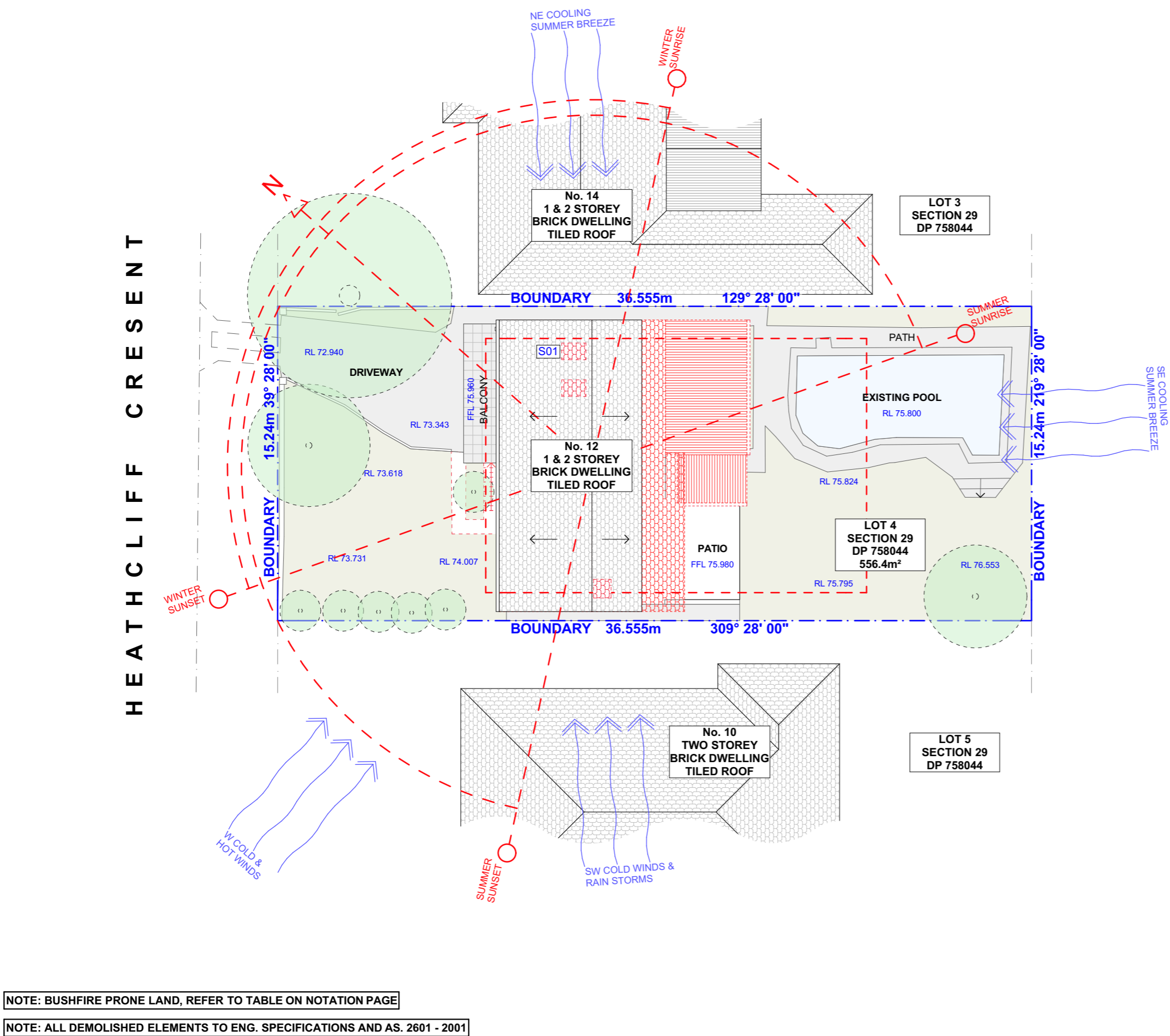
NCC & AS COMPLIANCES SPECIFICATIONS

- EARTHWORKS: METHOD OF EXCAVATIONAND FILL - PART 3.1.1 OF NCC
 - SURFACE SUBSOIL-STORMWATER DRAINAGE - PART 3.1.2 OF NCC
 - TERMITE-RISK MANAGEMENT - PART 3.1.3 OF NCC
 - FOOTINGS & SLAB - PART 3.2 OF NCC INCLUDING AS2870
- MASONRY CONSTRUCTION - PART 3.3 OF NCC INCLUDING AS3700
 - SUB FLOOR VENTILATION - PART 3.4.1 OF NCC
 - FRAMING - PART 3.4 OF NCC
- ROOF, WALL-CLADDING, GUTTERS & DOWNPIPES - PART 3.5 OF NCC
 - GLAZING - PART 3.6 OF NCC INCLUDING AS1288
 - FIRE SEPARATION - PART 3.7.1 OF NCC
 - SMOKE ALARMS - PART 3.7.2 OF NCC
 - HEATING APPLIANCES - PART 3.7.3 OF NCC
- WET AREAS-PROTECTION OF WALLS & FLOORS - PART 3.8.1 OF NCC
 - MINIMUM ROOF HEIGHTS - PART 3.8.3 OF NCC
- FACILITIES REQUIRRED & SANITARY DOOR CONSTRUCTION - PART 3.8.3 OF NCC
 - LIGHT: NATURAL AND ARTIFICIAL - PART 3.8.4 OF NCC
 - VENTILATION & LOCATION OF TOILETS - PART 3.8.5 OF NCC
 - SOUND INSULATION - PART 3.8.6 OF NCC
- STAIR CONSTRUCTION INCLUDING DIMENSIONS - PART 3.9.1 OF NCC
 - BALUSTRADES & OTHER BARRIERS - PART 3.9.2 OF NCC
 - FENCING & OTHER PROVISIONS - REGS & AS1926
- DEMOLITION WORKS - AS2601-1991 THE DEMOLITION OF STRUCTURES.
- ALL WATERPROOF MEMBRANES TO COMPLY WITH WITH AS 3740-2004
 - ALL PLUMBING & DRAINAGE WORK TO COMPLY WITH AS 3500
 - SITE CLASSIFICATION AS TO AS 2870
 - ALL PLASTERBOARD WORK TO COMPLY WITH AS 2588-1998
- ALL STRUCTURAL STEEL WORK TO COMPLY WITH AS 4100 & AS 1554
 - ALL CONCRETE WORK TO COMPLY WITH AS 3600
 - ALL ROOF SHEETING WORK TO COMPLY WITH AS 1562-1992
 - ALL SKYLIGHTS TO COMPLY WITH WITH AS 4285-2007
- ALL CERAMIC TILING TO COMPLY WITH AS 3958.1-2007 & 3958.2-1992
 - ALL GLAZING ASSEMBLIES TO COMPLY WITH AS2047 & 1288
- ALL TIMBER RETAINING WALLS ARE TO COMPLY WITH AS 1720.1-2010, AS 1720.2-2006, AS 1720.4-2006, AS 1170.1-1989 & AS 1170.4-1993
- ALL RETAINING WALLS ARE TO COMPLY WITH 3700 - 2011 & AS 3600 -2001
 - ALL CONSTRUCTION TO COMPLY TO AS3959- 1991

NOTES


- APPROVED MEANS BY THE ‘RELEVANT LOCAL AUTHORITY’ OR COUNCIL
- THE OWNER WILL DIRECTLY PAY THE FEES ASSOCIATED WITH THE FOLLOWING:
BUILDING APPROVAL FROM COUNCIL, FOOTPATH AND KERB DEPOSITS WITH THE LOCAL COUNCIL, INSURANCE FEE TO BUILDING SERVICES CORPORATION, LONG SERVICE LEAVE SERVICE LEVY FEE AND APPROVAL FEE BY WATER AND SEWERAGE AUTHORITY. ALL OTHER FEES ARE TO BE PAID BY THE BUILDER. THE AMOUNT OF ANY LOCAL AUTHORITY DEPOSITS WHICH ARE FORFEITED DUE TO DAMAGE OR OTHER CAUSE WILL BE DEDUCTED FROM THE PAYMENTS DUE TO THE BUILDER.
- THE BUILDER IS TO PROVIDE AT HIS/HER OWN EXPENSE ADEQUATE PUBLIC RISK INSURANCE AND ARRANGE INDEMNIFICATION UNDER THE WORKERS COMPENSATION ACT. WORKS INSURANCE TO BE STATED IN THE CONTRACT CONDITIONS.
- ALL WORK TO BE CARRIED OUT IN A TRADESMEN LIKE MANNER AND IN ACCORDANCE WITH THE STANDARDS CODES AND REGULATIONS OF THE STANDARDS ASSOCIATION OF AUSTRALIA, BUILDING CODE OF AUSTRALIA AND ANY STATUTORY AUTHORITY HAVING JURISDICTION OVER THE WORK.
- ALL TENDERERS ARE TO VISIT THE SITE TO SATISFY THEMSELVES AS TO THE NATURE AND EXTENT OF THE WORKS, FACILITIES AVAILABLE AND DIFFICULTIES ENTAILED IN THE WORKS AS VARIATIONS WILL NOT BE ALLOWED DUE TO WORK ARISING OWING TO NEGLIGENCE OF THIS CLAUSE.
- ALL WORK AND MATERIALS TO COMPLY WITH THE CURRENT AUSTRALIAN STANDARDS AT THE TIME OF COMMENCEMENT WERE APPLICABLE.
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL STRUCTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH ANY SUCH WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.
- SET OUT DIMENSIONS SHOWN ON THIS DRAWING SHALL BE VARIFIED BY THE BUILDER ON SITE BEFORE COMMENCEMENT OF ANY WORK. DIMENSIONS SHOULD NOT BE OBTAINED BY SCALING THE DRAWINGS. USE ONLY FIGURED DIMENSIONS. ALL DIMENSIONS ARE IN MILLIMETRES.
- THE BUILDER IS TO ENSURE ALL CONSTRUCTION, LEVELS AND OTHER ITEMS COMPLY WITH THE CONDITIONS OF THE BUILDING APPROVAL.
- THE BUILDER IS TO COMPLY WITH ALL ORDINANCES, LOCAL AUTHORITY REGULATIONS AND THE REQUIREMENTS OF ALL SERVICES SUPPLY AUTHORITIES HAVING JURISDICTION OVER THE WORKS.
- ALL PLUMBING AND DRAINAGE WORK TO BE INSTALLED AND COMPLETED BY A LICENCED TRADESMAN AND IN ACCORDANCE WITH THE STATUTORY BODY HAVING AUTHORITY OVER THE WORKS. CONNECT ALL WASTE TO SYDNEY WATER SEWER LINE
- ALL NEW DOWNPIPES ARE TO BE CONNECTED TO THE EXISTING STORM WATER SYSTEM.
- ALL POWER AND STORMWATER OUTLET LOCATIONS SHALL BE DETERMINED ONSITE BY THE OWNER.
- SMOKE DETECTOR ALARM TO BE INSTALLED IN ACCORDANCE WITH AS3786 AND THE BUILDING CODE OF AUSTRALIA.
- ELECTRICAL WORK TO BE IN ACCORDANCE WITH SAA WIRING RULES AND BE DONE BY A LICENCED TRADESMAN
- ANY DETAILING IN ADDITION TO WHAT IS SUPPLIED SHALL BE RESOLVED BETWEEN THE OWNER AND THE BUILDER TO THE OWNERS APPROVAL, EXCEPT FOR ANY STRUCTURAL DETAILS OR DESIGN WHICH IS SUPPLIED BY THE ENGINEER.
- ALL TIMBER SIZES AND CONCRETE DETAILS TO BE CONFIRMED BY THE BUILDER PRIOR TO COMMENCEMENT OF ANY WORK.
- ALL STRUCTURAL WORK IS TO BE IN ACCORDANCE WITH THE STRUCTURAL DETAILS PREPARED BY A STRUCTURAL ENGINEER (i.e.) PIERS, FOOTINGS, CONCRETE SLABS, RETAINING WALLS, STEELWORK, FORMWORK, UNDERPINNING, ADDITIONAL STRUCTURAL LOADS, TIMBER FRAMING, WIND BRACING AND ASSOCIATED CONNECTIONS. BUILDER TO OBTAIN PRIOR TO FINALISING TENDER.
- ANY WORK INDICATED ON THE PLANS BUT NOT SPECIFIED, AND ANY ITEM NOT SHOWN ON THE PLAN WHICH IS OBVIOUSLY NECESSARY AS A PART OF CONSTRUCTION AND/OR FINISH IS TO BE CONSIDERED AS SHOWN AND SPECIFIED, AND IS TO BE DONE AS PART OF THE CONTRACT. VARIATIONS WILL NOT BE PERMITTED WITHOUT THE WRITTEN CONSENT OF THE OWNER.
- THE BUILDER SHALL PROVIDE SEDIMENT AND SILTRATION CONTROL MEASURES AS REQUIRED BY COUNCIL AND MAINTAIN THEM THROUGH THE DURATION OF THE WORKS.
- A LEGIBLE COPY OF THE PLANS BEARING APPROVAL STAMPS MUST BE MAINTAINED ON THE JOB AT ALL TIMES. HOURS OF CONSTRUCTION WILL BE RESTRICTED TO THE TIMES AS REQUIRED BY THE BUILDING APPROVAL.
- THE BUILDER IS TO ARRANGE FOR ALL INSPECTIONS REQUIRED BY THE AUTHORITIES AND LENDING INSTITUTIONS TO THEIR REQUIREMENTS.
- THE BUILDER IS TO OBTAIN APPROVAL FOR INTERRUPTIONS TO EXISTING SERVICES AND MINIMISE THE DURATION AND NUMBER OF INTERRUPTIONS. ANY INTERRUPTIONS WITH EXISTING SERVICES AND EQUIPMENT TO BE ATTENDED TO BY THE APPROPRIATELY SKILLED TRADESMEN.
- THE BUILDER SHALL RESTORE, REINSTATE OR REPLACE ANY DAMAGE CAUSED TO EXISTING STRUCTURES OR LANDSCAPING BY CONSTRUCTION WORK OR WORKMEN. PROVIDE PROTECTION TO EXISTING TREES TO REMAIN AS REQUIRED BY APPROVAL CONDITIONS.
- ALL BRICKWORK IS TO BE SELECTED BY OWNER AND IS TO COMPLY WITH AS1640
- ALL MASONRY TO COMPLY WITH AS3700
- ALL METALWORK AND FLASHING ITEMS NECESSARY TO SATISFACTORY COMLPETE WORK SHALL BE PROVIDED.
- ALL GUTTERS, DOWNPIPES TO BE COLORBOND.
- ALL TIMBER CONSTRUCTION TO BE IN ACCORDANCE WITH THE AUSTRALIAN STANDARD 1684 “TIMBER FRAMING CODE”
- ALL GLAZING INSTALLED TO COMPLY WITH AS1288, 2047 AND IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATION
- ALL WALL AND CEILING LININGS TO BE PLASTERBOARD OR CEMENT RENDER AS SELECTED AND VILLA BOARD IN WET AREAS, TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS OR INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION.
- ALL BATHROOMS AND WET AREAS TO BE ADEQUATELY WATERPROOFED TO MANUFACTURERS SPECIFATION AND AS3740 AND PART 3.8.1 OF THE BUILDING CODE OF AUSTRALIA HOUSING PROVISIONS
- STAIRS AND BALUSTRADES TO COMPLY WITH PART 3.9.1 & 3.9.2 OF THE BUILDING CODE OF AUSTRALIA HOUSING PROVISION.
- TERMITE PROTECTION MEASURES TO COMPLY WITH AS 3660 AND BE INSTALLED TO MANUFACTURERS SPECIFICATION.
- ANY DETAILING ADDITIONAL TO THAT SUPPLIED , SHALL BE RESOLVED BETWEEN THE OWNER AND THE BUILDER TO THE OWNERS APPROVAL. EXCEPT FOR ANY STRUCTURAL DETAILS OR DESIGN WHICH IS TO BE SUPPLIED BY THE STRUCTURAL ENGINEER.

This is a summary of the minimum specifications in ‘Planning for Bushfire Protection 2006’ as amended in 2010 and ‘AS 3959 2009 – Construction of buildings in bushfire-prone areas’ which are recommended in this report. It is included as a courtesy, is a guide only, and may not be complete. In addition, the contents of the documents from which this information was extracted may have changed between the dates of preparation of this report, and its use or application. Specifications in other documents such as the Building Code of Australia (BCA) may apply. It is the user’s responsibility to comply with all statutory conditions as well as those specified by the approving authority with particular reference to this report. The appropriate source documents should be consulted to determine the full specifications abbreviated in this table.									
		BAL-12.5	BAL-19		BAL-29		BAL-40		
Floor	Slab OK	FRT or lined or enclosed					Non-combustible or FRT or enclosed		
	Timber <400mm ag								
	Timber >400mm ag	OK							
Floor posts		FRT or enclosed					Enclosed or non-combustible		
External walls		400mm FRT or non-combustible			FRT or non-combustible		Non-combustible		
Windows	Frame	FRT or metal					Metal		
	Screens	Al, Fe or Br mesh on all openable			Fe or Br mesh on all openable, 5mm toughened glass, or shutters		Fe or Br mesh on all, 6mm toughened glass, or shutters		
External doors	Sliding	Safety glass	5mm toughened glass	6mm toughened glass or full mesh			6mm toughened glass plus full mesh or shutter		
	Screens	Al, Fe or Br, if fitted					Fe or Br		
	Timber frames	FRT					Metal only		
	Garage	Lower 400mm FRT or non-combustible			FRT or non-combustible		Non-combustible		
	Vents etc	Mesh	Al, Fe or Br mesh 2mm					Fe or Br mesh 2mm	
Roofs	Tiled	Fully sarked (Flammability Index <5)							
	Sheeted Non	-combustible, fully sarked (Flammability Index <5)							
	Rooflights	Non-combustible sleeve/lining, 4mm safety glass					FRL -/30/-		
Verandahs, decks etc	Enclosed	Any supports, <3mm spaced deck, FRT or non-combustible					Any supports, unspaced deck, non-combustible		
	Unenclosed	FRT or non-combustible, <3mm spaced deck					All non-combustible, unspaced deck		
	<300mm to glass	300mm wide FRT or non-combustible			FRT or non-combustible		Non-combustible		
Services		Exposed water & gas pipes to metal							
Ag	Above ground	FRT	Fire Resistant Timber	Al	Aluminium	Fe	Stainless steel	Br	Bronze



NOTE: BUSHFIRE PRONE LAND, REFER TO TABLE ON NOTATION PAGE

NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001



ACTION PLANS

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REV.	DATE	COMMENTS	DRWN
A	05/10/2018	INITIAL DESIGN PLAN	DLR
B	23/11/2018	FIRST DESIGN AMENDMENT	DLR
C	01/04/2019	DA REVIEW SET	AJF

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LEGEND

	LANDSCAPING		EXISTING METAL ROOF
	PAVING		EXISTING TILED ROOF
	WALLS		PROPOSED METAL ROOF
	DEMOLISHED		PROPOSED TILE ROOF

CLIENT

BEN & LEIGHANNE FARMER

PROJECT ADDRESS

12 HEATHCLIFF CRES,
BALGOWLAH HEIGHTS,
NSW, 2093

DRAWING NO.

DA02

DATE

Wednesday, 25
September 2019

DRAWING NAME

SITE ANALYSIS

SCALE

1:200 @A3



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LEGEND

	LANDSCAPING		EXISTING METAL ROOF
	PAVING		EXISTING TILED ROOF
	WALLS		PROPOSED METAL ROOF
	DEMOLISHED		PROPOSED TILE ROOF

CLIENT

BEN & LEIGHANNE FARMER

PROJECT ADDRESS

12 HEATHCLIFF CRES,
BALGOWLAH HEIGHTS,
NSW, 2093

DRAWING NO.

DA03

DATE

Wednesday, 25
September 2019

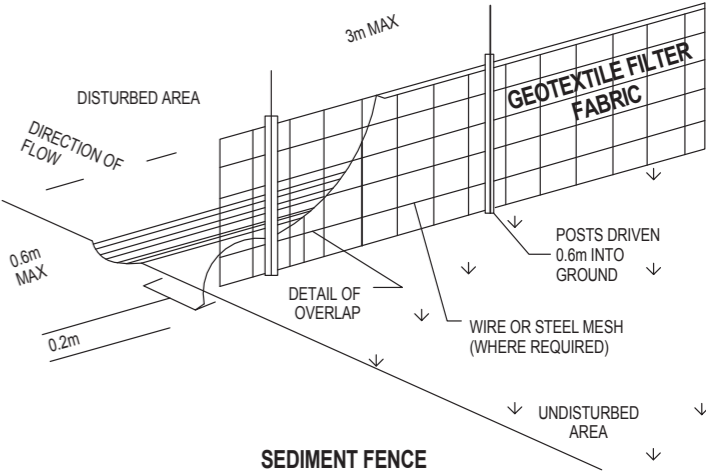
DRAWING NAME

SITE / ROOF / SEDIMENT
EROSION / WASTE
MANAGEMENT / STORMWATER
CONCEPT PLAN

SCALE

1:200 @A3

NOTE: BUSHFIRE PRONE LAND, REFER TO TABLE ON NOTATION PAGE



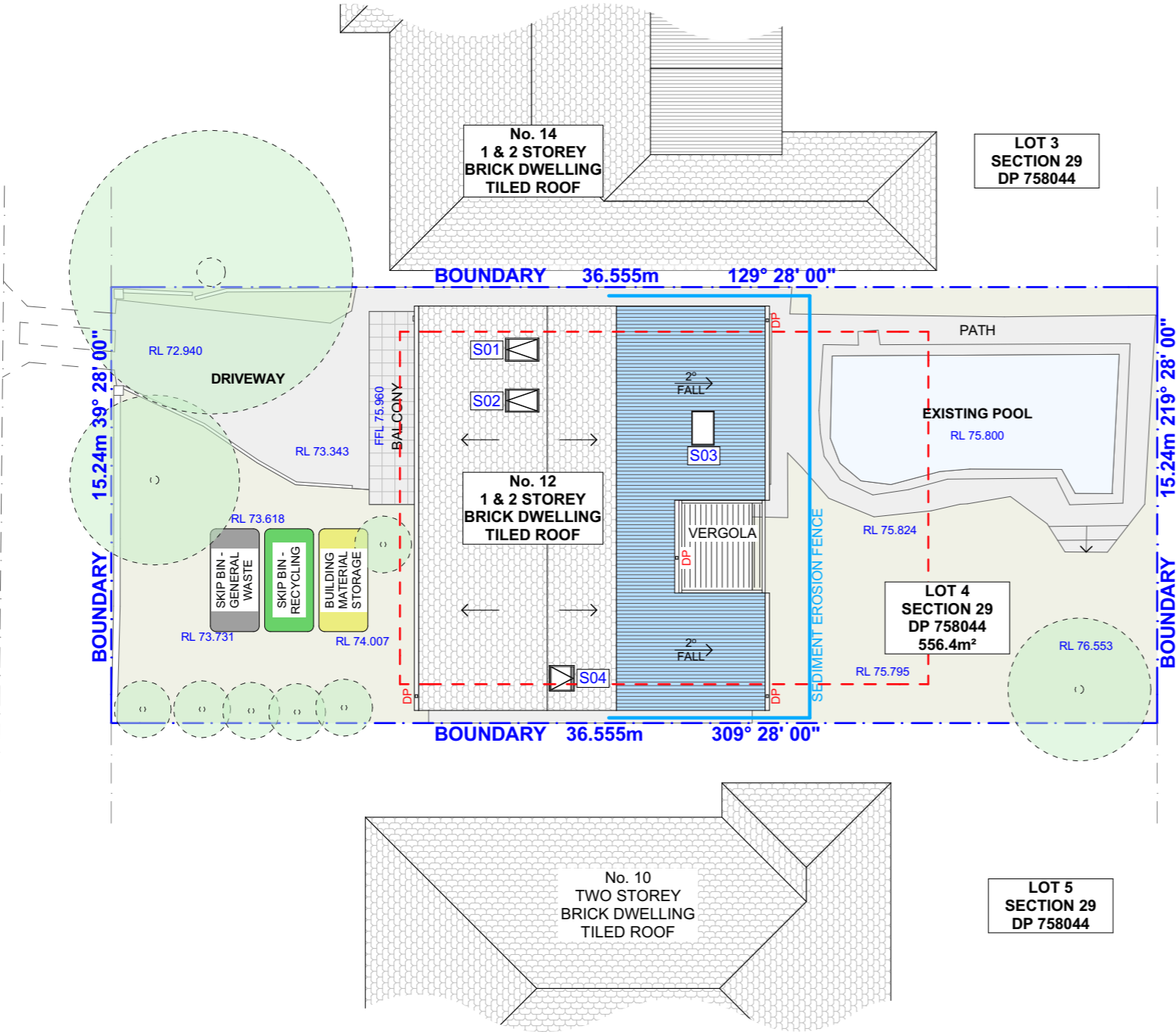
DUST CONTROL :
TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METALAND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

SEDIMENT NOTE :
1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.
2. MINIMISE DISTURBED AREAS, REMOVE EXCESS SOIL FROM EXCAVATEDAREA AS SOON AS POSSIBLE.
3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.
4. DRAINAGE TO BE CONNECTED TO STORMWATERAS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS.
5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

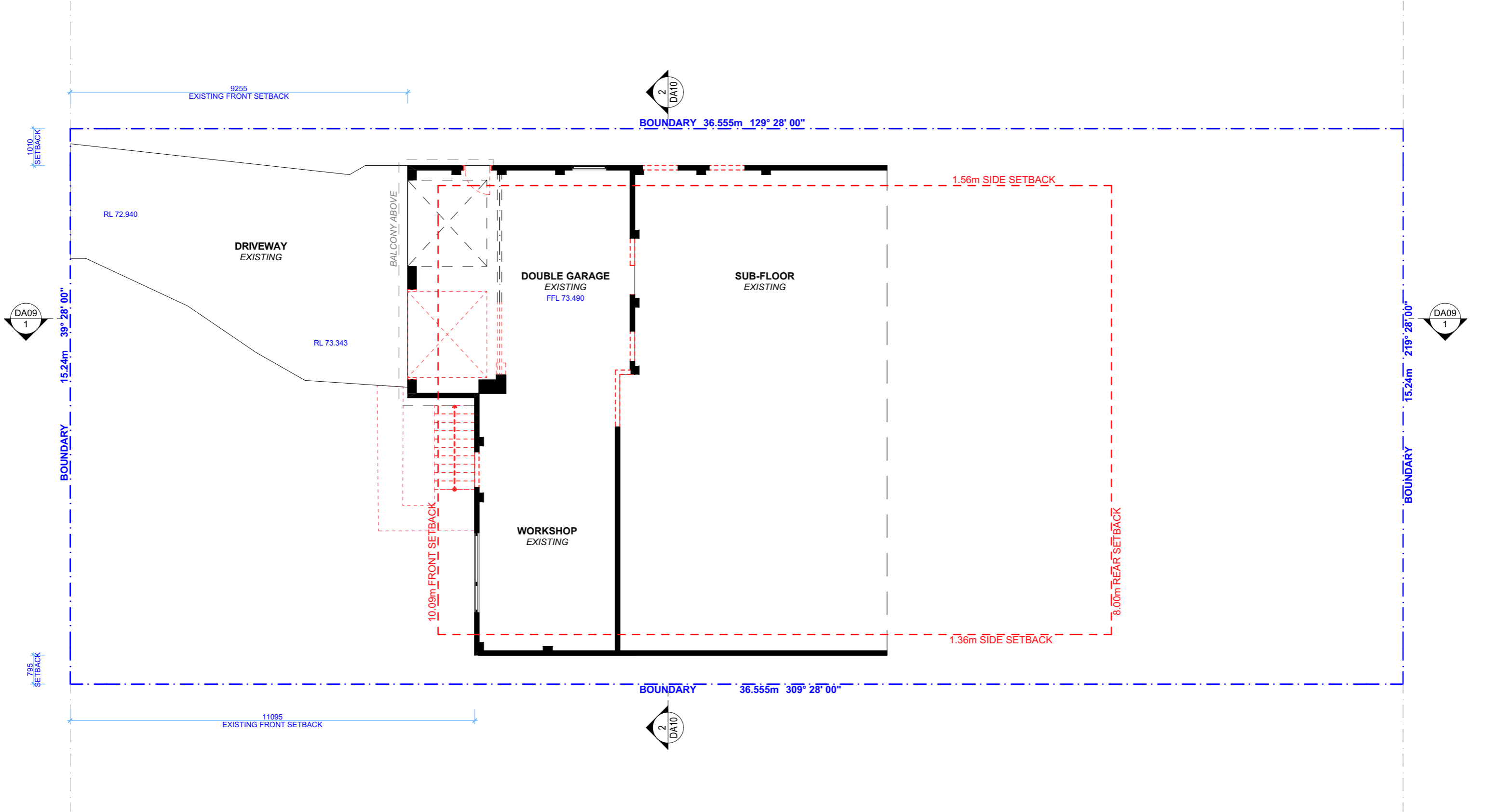
STOCKPILES :
ALL STOCKPILES ARE TO BE KEPT ON-SITE WHERE POSSIBLE. ANY MATERIALS PLACED ON THE FOOTPATHS OR NATURE STRIPS REQUIRE COUNCIL'S PERMISSION.
ALL STOCKPILES ARE TO BE PLACED AWAYFROM THE DRAINAGE LINES AND STREET GUTTERS. IT IS BEST TO LOCATE THESE ON THE HIGHEST PART OF THE SITE IF POSSIBLE. PLACE WATERPROOF COVERING OVER STOCKPILES.
IF REQUIRED PROVIDE DIVERSION DRAIN & BANK AROUND STOCKPILES.

GUTTER PROTECTION :
PROVIDE PROTECTION TO DOWNHILL GRATE IN GUTTER BY MEANS OF SAND BAGS OR BLUE METAL WRAPPED IN GEOTEXTILE FABRIC. WHEN SOIL OR SAND BUILDS UP AROUND THIS SEDIMENT BARRIER, THE MATERIAL SHOULD BE RELOCATED BACK TO THE SITE FOR DISPOSAL.

NOTE: ALL PROPOSED STORMWATER TO CONNECT WITH EXISTING



HEATHCLIFF CRES



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NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001



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D	10/04/2019	DA SUBMISSION	DLR

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LEGEND

- EXISTING ELEMENTS
- PROPOSED ELEMENTS
- DEMOLISHED

CLIENT

BEN & LEIGHANNE
FARMER

PROJECT ADDRESS

12 HEATHCLIFF CRES,
BALGOWLAH HEIGHTS,
NSW, 2093

DRAWING NO.

DA04

DATE

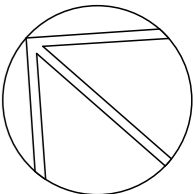
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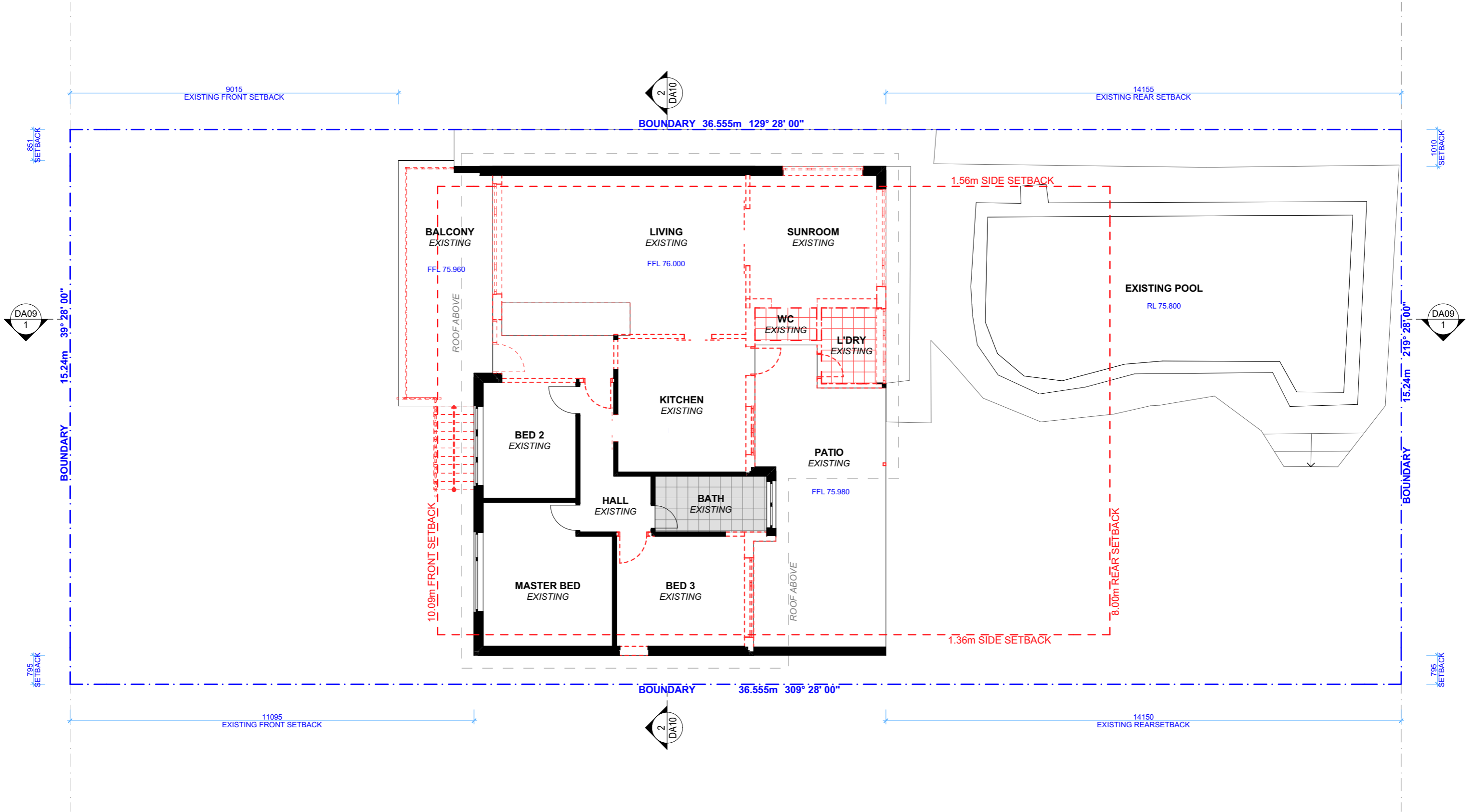
DRAWING NAME

EXISTING LOWER GROUND
FLOOR PLAN

SCALE

1:100 @A3





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- PROPOSED ELEMENTS
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DRAWING NO.

DA05

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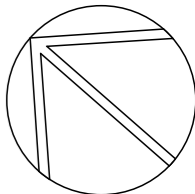
Wednesday, 25
September 2019

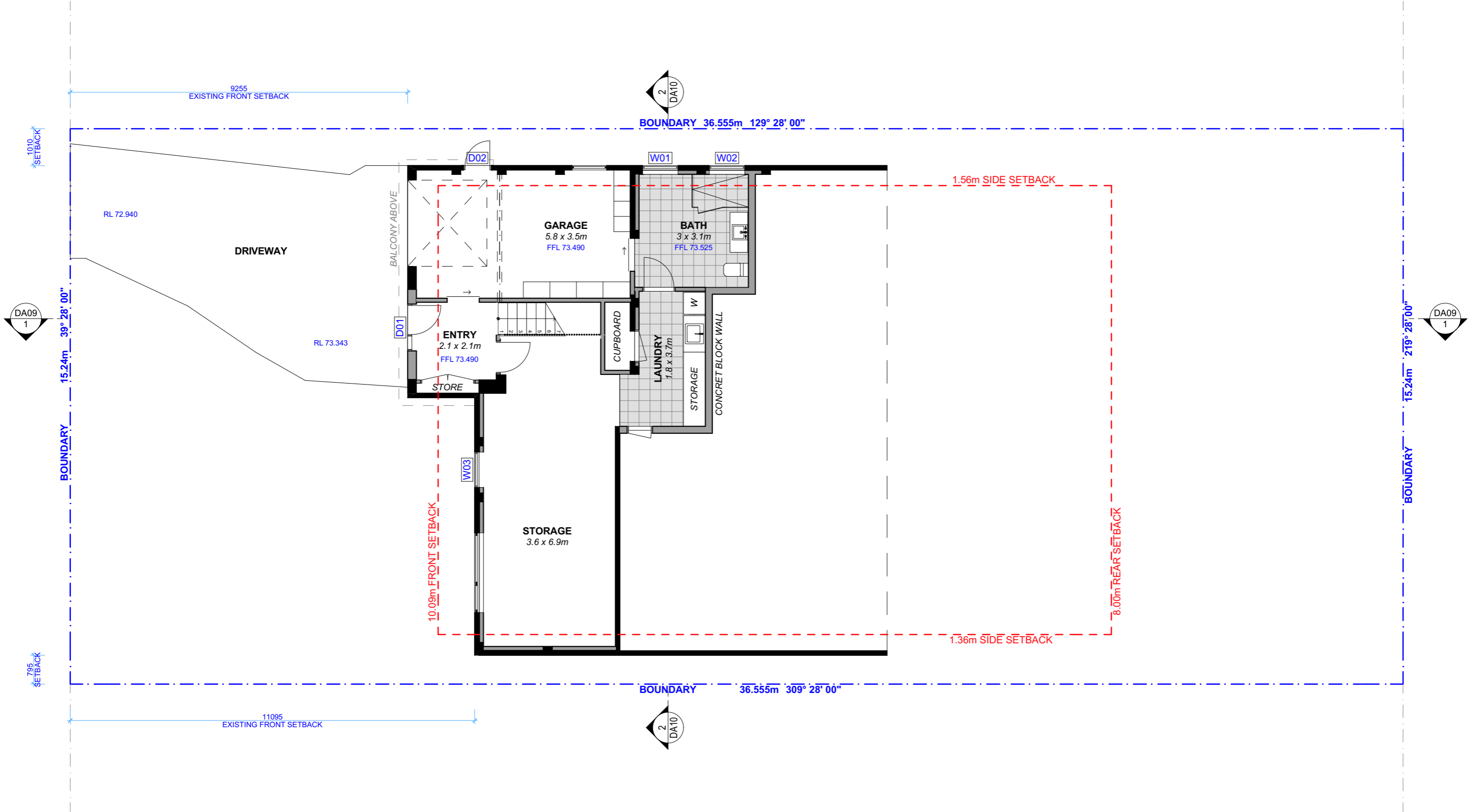
DRAWING NAME

EXISTING GROUND FLOOR
PLAN

SCALE

1:100 @A3





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- EXISTING ELEMENTS
- PROPOSED ELEMENTS
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BEN & LEIGHANNE
FARMER

PROJECT ADDRESS

12 HEATHCLIFF CRES,
BALGOWLAH HEIGHTS,
NSW, 2093

DRAWING NO.

DA06

DATE

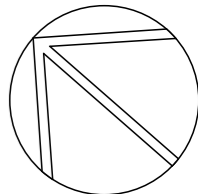
Wednesday, 25
September 2019

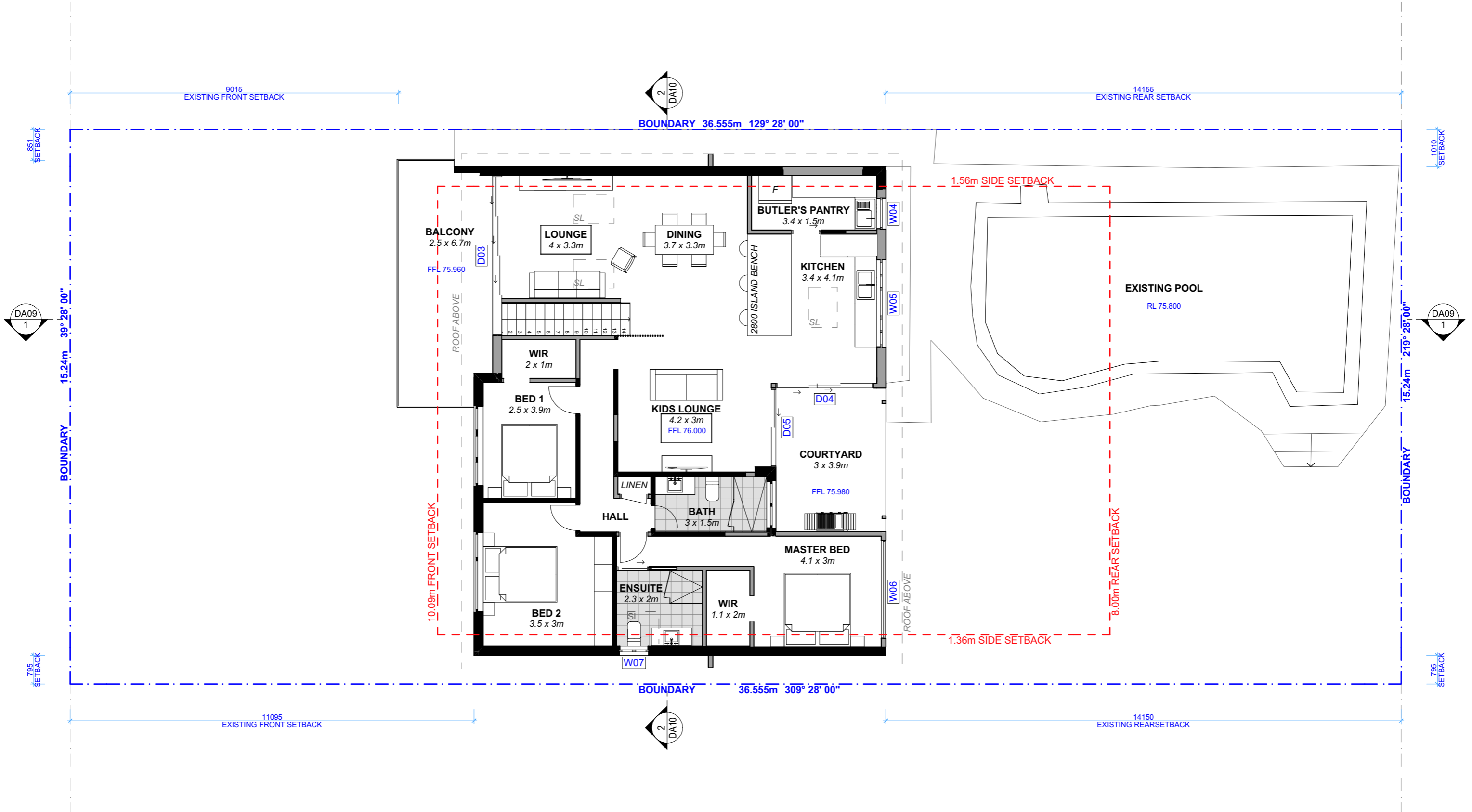
DRAWING NAME

PROPOSED LOWER GROUND
FLOOR PLAN

SCALE

1:100 @A3





NOTE: BUSHFIRE PRONE LAND, REFER TO TABLE ON NOTATION PAGE



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C	01/04/2019	DA REVIEW SET	AJF
D	10/04/2019	DA SUBMISSION	DLR

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LEGEND

- EXISTING ELEMENTS
- PROPOSED ELEMENTS
- DEMOLISHED

CLIENT

BEN & LEIGHANNE
FARMER

PROJECT ADDRESS

12 HEATHCLIFF CRES,
BALGOWLAH HEIGHTS,
NSW, 2093

DRAWING NO.

DA07

DATE

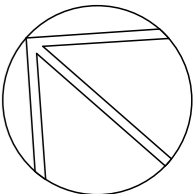
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September 2019

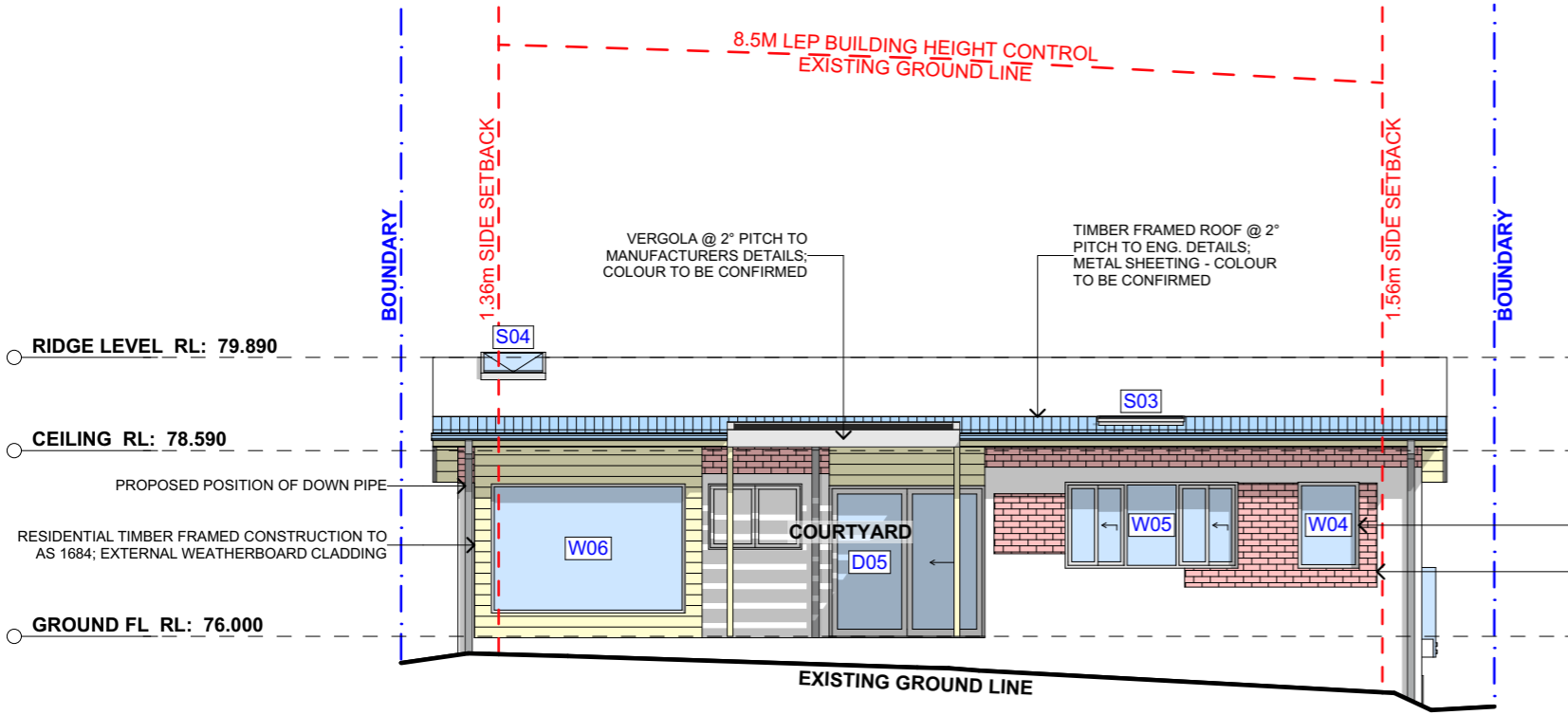
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PROPOSED GROUND FLOOR
PLAN

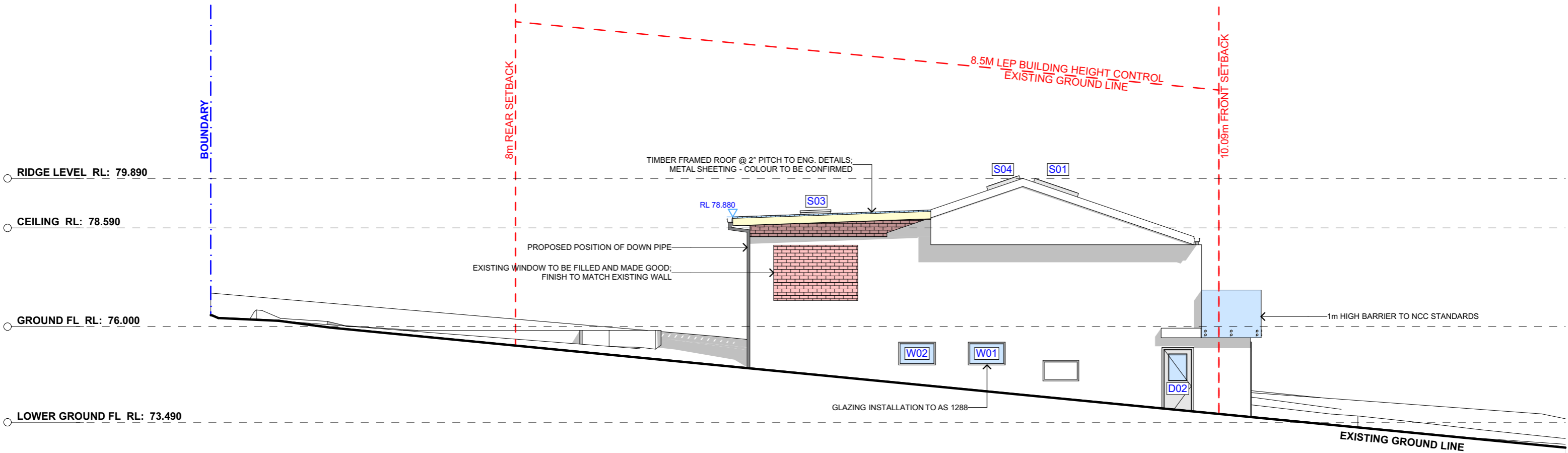
SCALE

1:100 @A3






2 EAST ELEVATION 1:100



1 NORTH ELEVATION 1:100

NOTE: BUSHFIRE PRONE LAND, REFER TO TABLE ON NOTATION PAGE



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LEGEND

EXISTING

DEMOLISHED

TIMBER

METAL

GLAZING

METAL ROOF

TILE ROOF

WEATHERBOARD

BRICKWORK

RENDER

CLIENT

BEN & LEIGHANNE FARMER

PROJECT ADDRESS

12 HEATHCLIFF CRES,
BALGOWLAH HEIGHTS,
NSW, 2093

DRAWING NO.

DA08

DATE

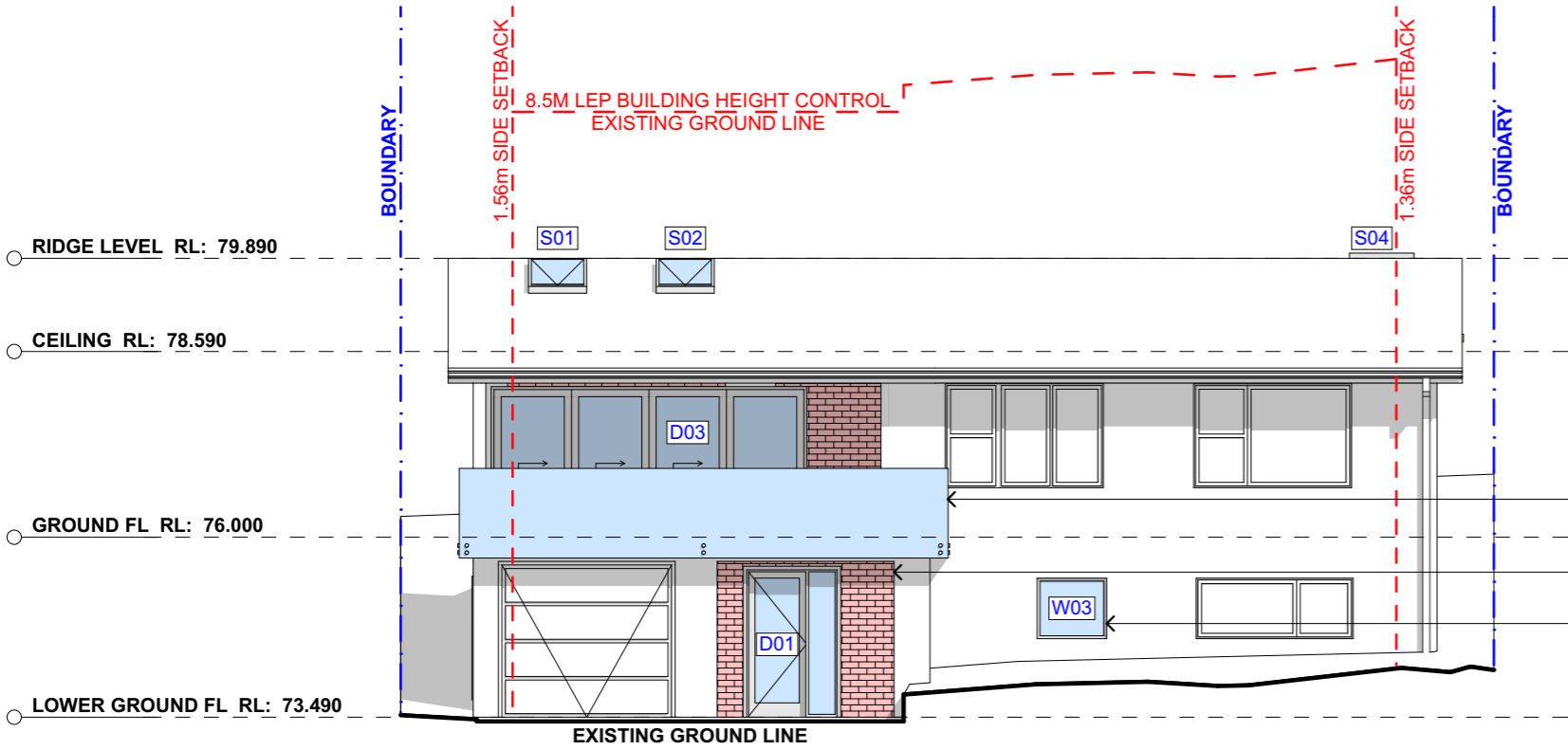
Wednesday, 25
September 2019

DRAWING NAME

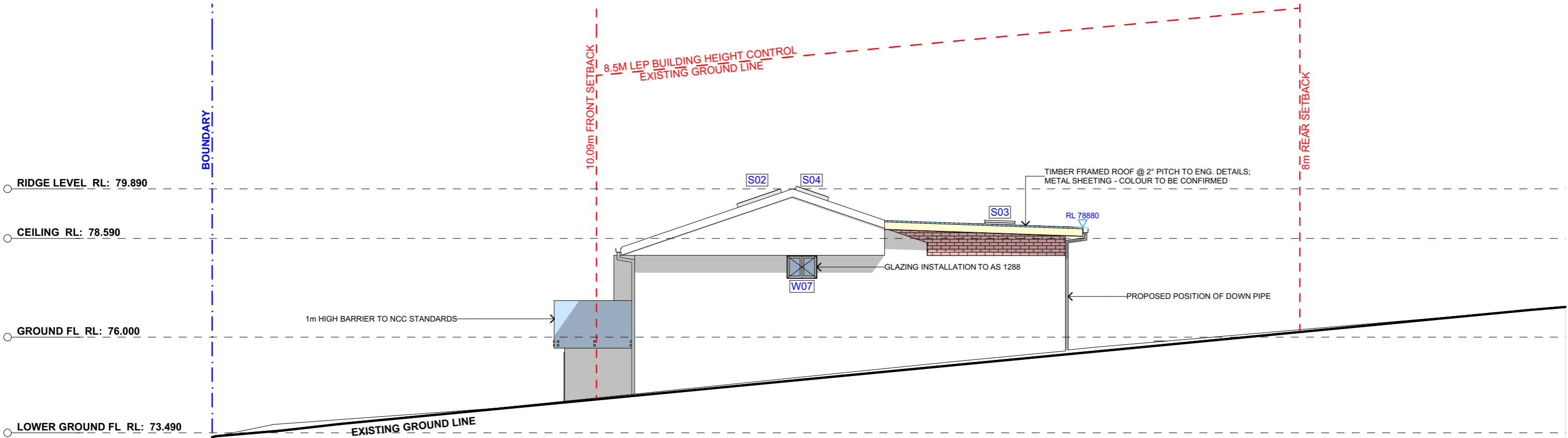
NORTH / EAST ELEVATION

SCALE

1:100 @A3




2 WEST ELEVATION 1:100



1 SOUTH ELEVATION 1:100

NOTE: BUSHFIRE PRONE LAND, REFER TO TABLE ON NOTATION PAGE



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





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LEGEND

	EXISTING		METAL ROOF
	DEMOLISHED		TILE ROOF
	TIMBER		WEATHERBOARD
	METAL		BRICKWORK
	GLAZING		RENDER

CLIENT

BEN & LEIGHANNE FARMER

PROJECT ADDRESS

12 HEATHCLIFF CRES,
BALGOWLAH HEIGHTS,
NSW, 2093

DRAWING NO.

DA09

DATE

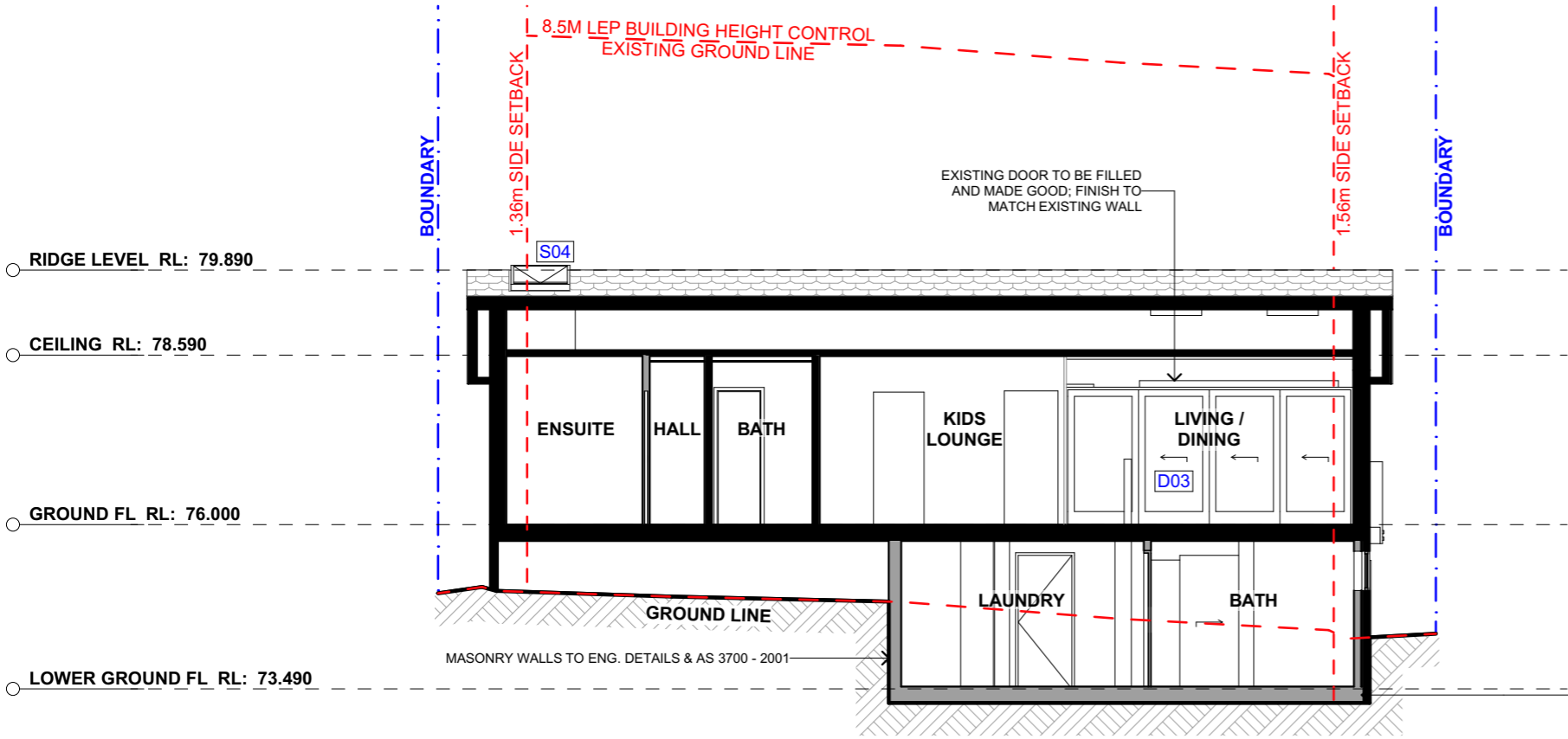
Wednesday, 25
September 2019

DRAWING NAME

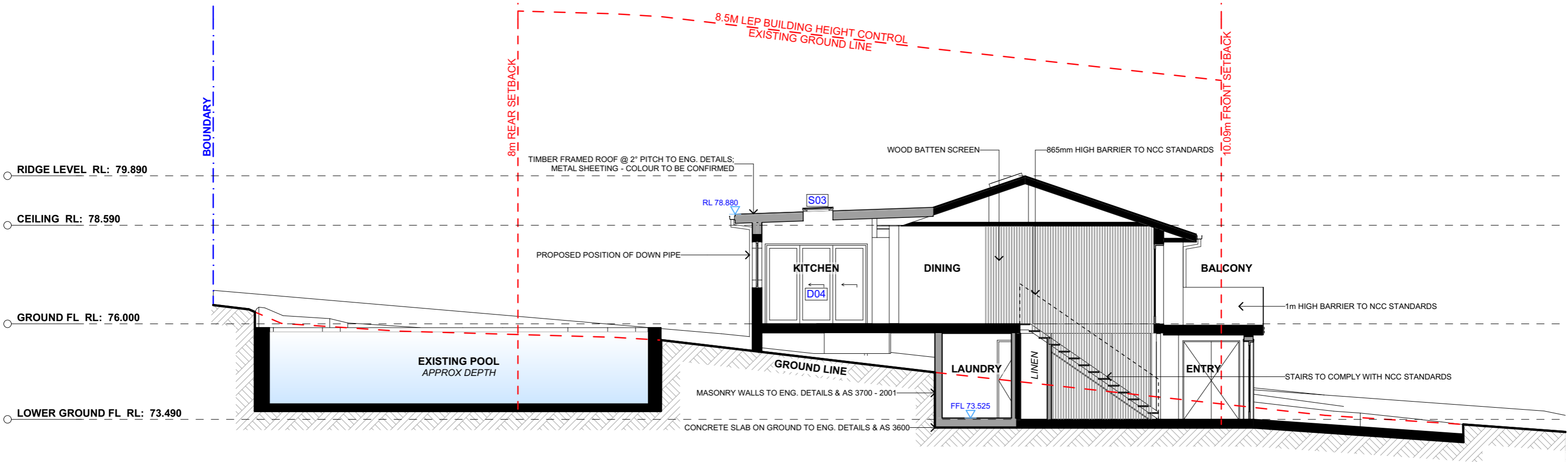
SOUTH / WEST ELEVATION

SCALE

1:100 @A3

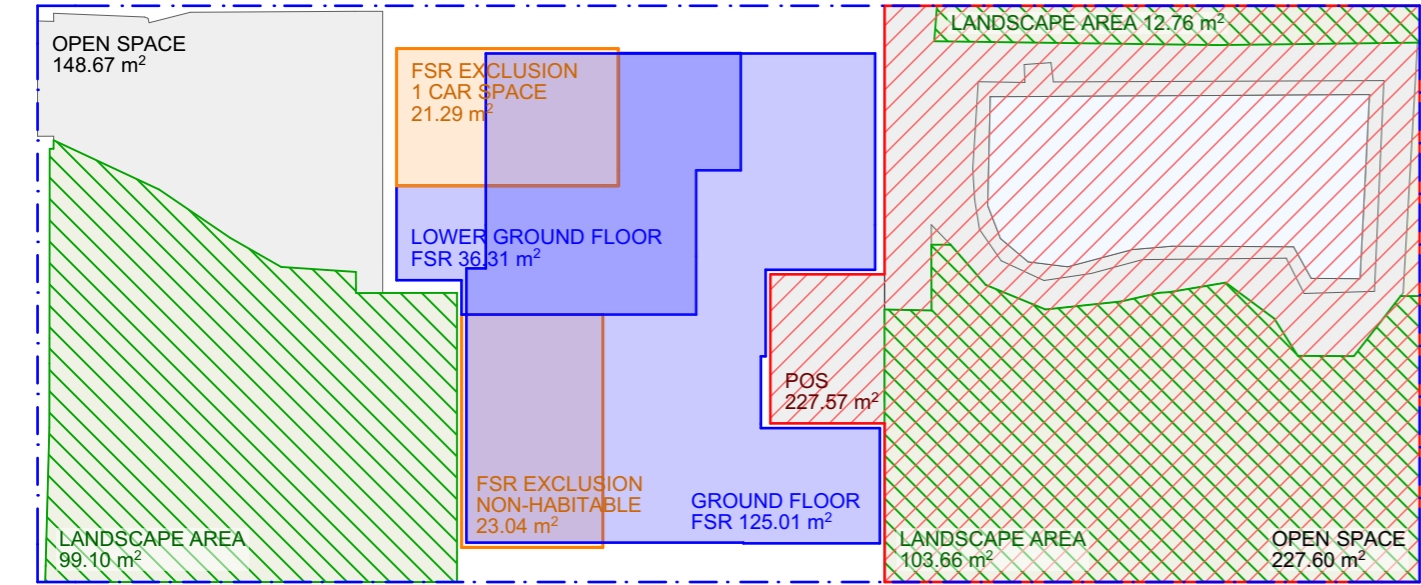


2 CROSS SECTION 1:100

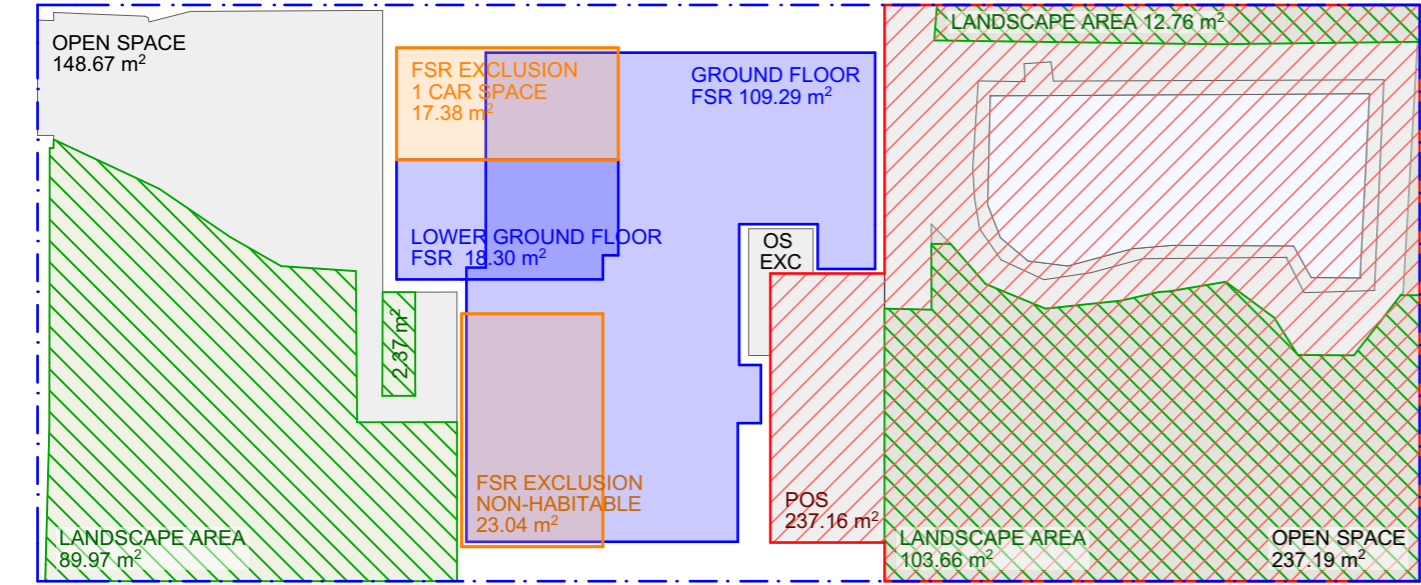


1 LONG SECTION 1:100


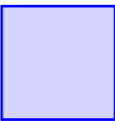
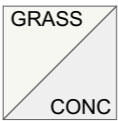
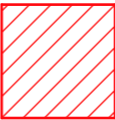

NOTE: BUSHFIRE PRONE LAND, REFER TO TABLE ON NOTATION PAGE



2 PROPOSED AREA CALCULATIONS 1:200



1 EXISTING AREA CALCULATIONS 1:200

	SITE AREA: 556.40m ²		FLOOR SPACE RATIO: PERMISSABLE 250.38 m ² (0:45 : 1) EXISTING 127.59 m ² (0:23 : 1) PROPOSED 161.32 m ² (0:29 : 1)		TOTAL OPEN SPACE: REQUIRED 55.00% (306.20 m²) EXISTING 69.35% (385.86 m ²) PROPOSED 67.63% (376.27 m ²)
			PRIVATE OPEN SPACE: REQUIRED 18.00 m² EXISTING 237.16 m ² PROPOSED 227.57 m ²		LANDSCAPE AREA: % OF OPEN SPACE REQUIRED 35.00% (76.55 m²) EXISTING 208.76 m ² PROPOSED 215.52 m ²



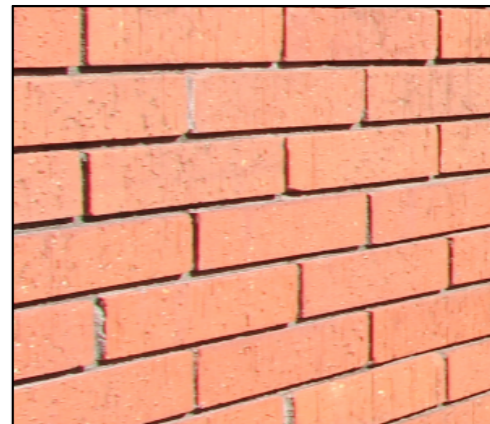
SKYLIGHT WINDOWS
BY VELUX OR SIMILAR



EXTERNAL WEATHERBOARD CLADDING
COLOUR TO BE CONFIRMED BY CLIENT



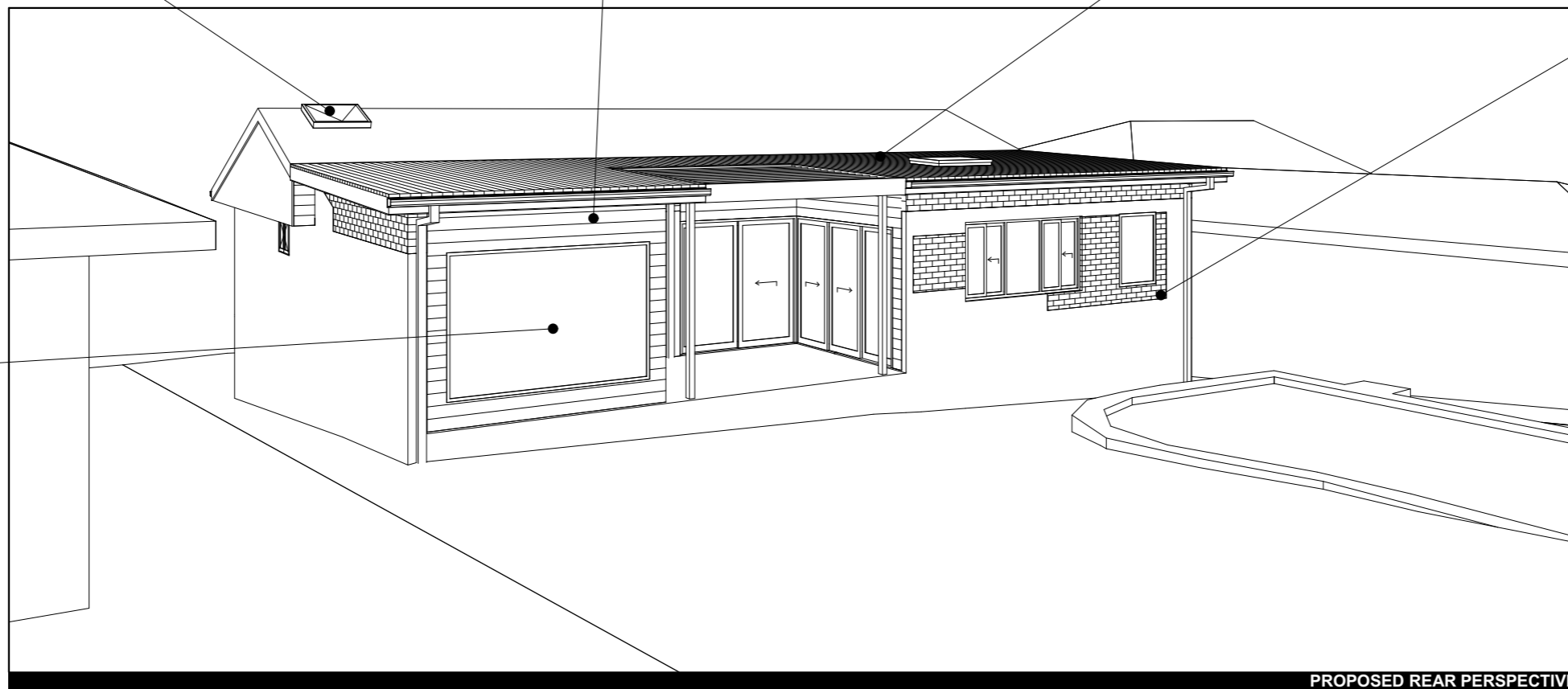
METAL ROOFING
COLOUR TO BE CONFIRMED BY CLIENT



EXTERNAL BRICKWORK
TO MATCH EXISTING



WINDOWS/DOORS
TO MATCH EXISTING



PROPOSED REAR PERSPECTIVE

NOTE: BUSHFIRE PRONE LAND, REFER TO TABLE ON NOTATION PAGE



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CLIENT

BEN & LEIGHANNE
FARMER

PROJECT ADDRESS

12 HEATHCLIFF CRES,
BALGOWLAH HEIGHTS,
NSW, 2093

DRAWING NO.

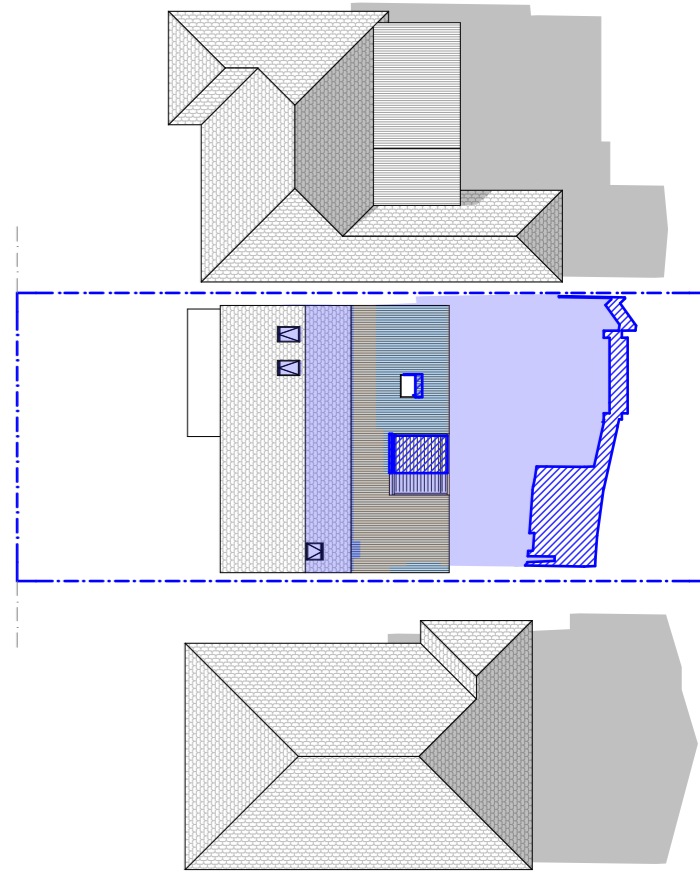
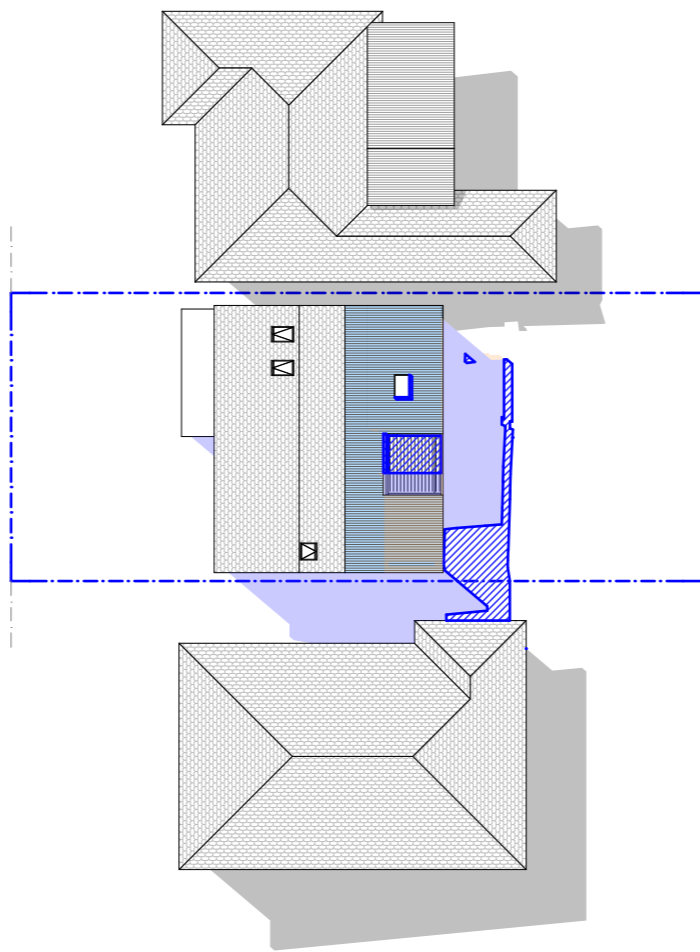
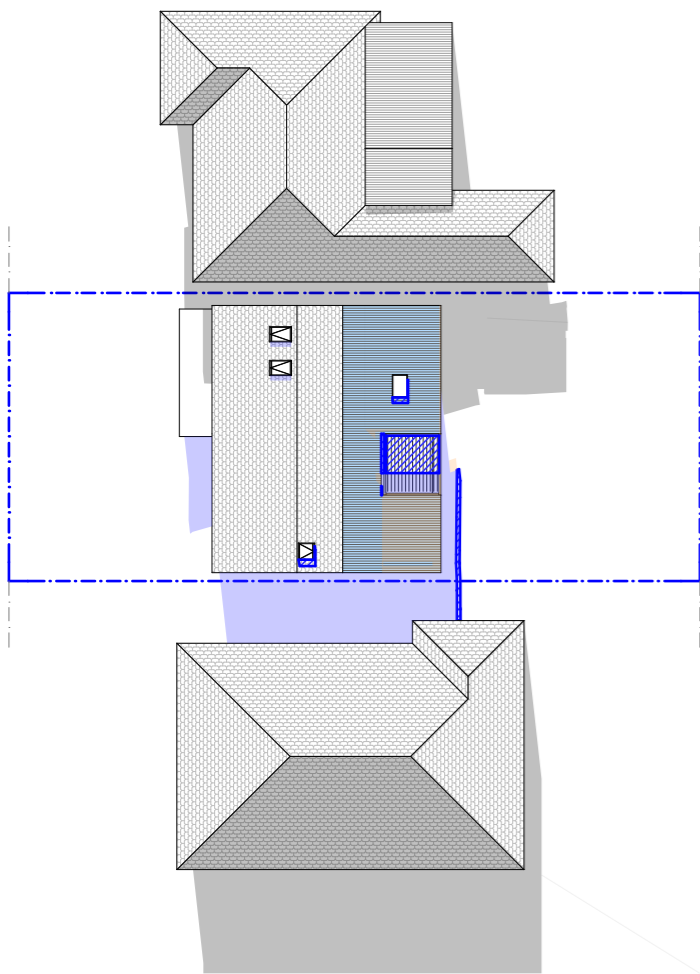
DA12

DATE

Wednesday, 25
September 2019

DRAWING NAME

SAMPLE BOARD



1 WINTER SOLSTICE 9AM 1:400

2 WINTER SOLSTICE 12PM 1:400

3 WINTER SOLSTICE 3PM 1:400



ACTION PLANS





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LEGEND

-  EXISTING SHADOWS - RETAINED
-  EXISTING SHADOWS - REDUCED
-  PROPOSED SHADOWS
-  NEIGHBOURING SHADOWS

CLIENT

BEN & LEIGHANNE
FARMER

PROJECT ADDRESS

12 HEATHCLIFF CRES,
BALGOWLAH HEIGHTS,
NSW, 2093

DRAWING NO.

DA13

DATE

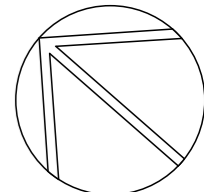
Wednesday, 25
September 2019

DRAWING NAME

WINTER SOLSTICE 9AM / 12PM
/ 3PM

SCALE

1:400 @A3



Alterations and Additions

Certificate number: A344489_03

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 25, September 2019
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	#0446 - Ben & Leighanne Farmer_03
Street address	12 HEATHCLIFF Crescent BALGOWLAH HEIGHTS 2093
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 758044
Lot number	4
Section number	29
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: Action Plans
ABN (if applicable): 17118297587

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting		✓	✓
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.			
Fixtures		✓	✓
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.			
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.			
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.			

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements		✓	✓
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			
Construction	Additional insulation required (R-value)	Other specifications	
concrete slab on ground floor.	nil		
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		
external wall: brick veneer	R1.16 (or R1.70 including construction)		
flat ceiling, flat roof: framed	ceiling: R2.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)	

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors									
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.							✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:								✓	✓
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.								✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.							✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.								✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.								✓	✓
Pergolas with adjustable shading may have adjustable blades or removable shade cloth (not less than 80% shading ratio). Adjustable blades must overlap in plan view.								✓	✓
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.							✓	✓	✓
Windows and glazed doors glazing requirements									
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type			
			Height (m)	Distance (m)					
W01	NE	0.58	2.61	1.44	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W02	NE	0.58	2.61	1.44	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W03	NW	0.82	2.5	1.5	awning (adjustable) >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W04	SE	1.02	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W05	SE	2.89	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W06	SE	4.86	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W07	SW	0.47	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D01	NW	2.66	0	0	awning (adjustable) >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D02	NE	1.46	3.87	1.44	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D03	NW	9.24	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D04	SW	5.64	0	0	pergola (adjustable shade) >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D05	SE	4.56	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
Skylights									
The applicant must install the skylights in accordance with the specifications listed in the table below.							✓	✓	✓
The following requirements must also be satisfied in relation to each skylight:								✓	✓
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.								✓	✓

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
External awnings and louvres must fully shade the skylight above which they are situated when fully drawn or closed.		✓	✓
Skylights glazing requirements			
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S01	0.92	external adjustable awning or blind	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)
S02	0.92	external adjustable awning or blind	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)
S03	0.92	external adjustable awning or blind	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)
S04	0.757	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)



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BEN & LEIGHANNE FARMER

PROJECT ADDRESS

12 HEATHCLIFF CRES,
BALGOWLAH HEIGHTS,
NSW, 2093

DRAWING NO.

DA14

DATE

Wednesday, 25
September 2019

DRAWING NAME

BASIX COMMITMENTS