

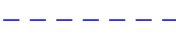
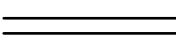
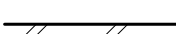
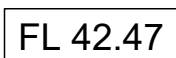
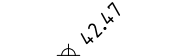
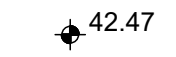
DRAWING SCHEDULE

00	DRAWING SCHEDULE
01	SITE PLAN
02	EXISTING LOWER FLOOR PLAN
03	PROPOSED LOWER PLAN
04	PROPOSED UPPER FLOOR PLAN
05	PROPOSED ROOF PLAN
06	NORTH & SOUTH ELEVATIONS
07	EAST & WEST ELEVATIONS
08	SECTIONS
09	FRONT BDY FENCE ELEVATION

AREA CALCULATIONS

EXISTING SITE AREA	502.8 m ²
PROPOSED GROSS FLOOR AREA	UPPER FLOOR 129.5 LOWER FLOOR 128.5 258.0 m ²
REQUIRED LANDSCAPED SITE AREA (2 METRE MIN DIMENSION)	201.0 m ²
PROPOSED LANDSCAPED SITE AREA	201.0 m ²
PROPOSED PRIVATE OPEN SPACE AREA (REAR DECK + REAR YARD AREA)	173.0 m ²
SWIMMING POOL WATER VOLUME	35 kL

LEGEND

	EXISTING WALLS ETC. RETAINED
	EXISTING WALLS ETC. REMOVED
	NEW TIMBER STUD WALLS
	NEW BRICKWORK WALLS
	FLOOR LEVEL (AHD)
	EXISTING REDUCED LEVEL (AHD)
	PROPOSED REDUCED LEVEL (AHD)

GENERAL SPECIFICATION

- ALL STRUCTURAL SUPPORT DETAILS TO BE PROVIDED BY A STRUCTURAL ENGINEER.
- ALL DEMOLITION TO BE CARRIED OUT IN ACCORDANCE WITH AS2601-2001 - DEMOLITION OF STRUCTURES.
- ALL CONSTRUCTION MATERIALS SHALL BE NEW UNLESS NOTED OTHERWISE.
- ALL MASONRY WORK IN ACCORDANCE WITH AS 3700.
- REINFORCED CONCRETE SLAB ON GROUND, MEMBRANE, SAND & COMPACTED SUBGRADE TO COMPLY WITH AS2870.
- TERMITE PROTECTION TO BE INSTALLED IN ACCORDANCE WITH AS3660.1 AND THE CURRENT NCC.
- PLUMBING SERVICES TO BE CARRIED OUT ONLY BY LICENSED TRADESPERSONS AND IN ACCORDANCE WITH AS3500.1.2, AS3500.2.2, AS3500.3.2, AG 601 AND OTHER ASSOCIATED STANDARDS AND CODES.
- ALL ELECTRICAL SERVICES TO BE INSTALLED BY LICENSED ELECTRICIANS AND IN ACCORDANCE WITH AS 3000. TELECOMMUNICATIONS CABLING TO BE INSTALLED IN ACCORDANCE WITH AS/ACIF S009:2000 AND ASSOCIATED STANDARDS AND GUIDELINES. UPGRADE SAFETY SWITCHES AND SMOKE ALARMS AS REQUIRED TO MEET RELEVANT STANDARDS.
- SMOKE DETECTOR ALARMS HARDWIRED TO THE CONSUMER POWER MAINS & INTERCONNECTED TO EACH OTHER TO BE INSTALLED IN ACCORDANCE WITH AS3786 AND THE BUILDING CODE OF AUSTRALIA.
- ALL SEWER WASTE TO BE CONNECTED TO THE EXISTING MAINS SERVICE IN ACCORDANCE WITH AS3500.
- ALL WALL & ROOF FRAMING TO BE F7 STRUCTURAL GRADE MINIMUM AND FRAMED IN ACCORDANCE WITH THE TIMBER FRAMING CODE AS1684.
- ALL INSULATION TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH AS4859.1, AS3999 (BULK INSULATION), AS 1904 (FOIL INSULATION) AND ASSOCIATED STANDARDS AND CODES.
- ALL ROOF WATER & STORMWATER RUNOFF TO BE CONNECTED TO A COUNCIL APPROVED SYSTEM OF COLLECTION AND/OR DISPOSAL.
- ALL INTERNAL WALLS TO BE TIMBER STUD FRAME LINED WITH PLASTERBOARD WITH NEW SKIRTING, ARCHITRAVES AND CEILING CORNICES
- NEW EXTERNAL WINDOWS AND DOORS TO BE ALUMINIUM FRAMED.
- SWIMMING POOL WASTE WATER TO BE CONNECTED TO THE EXISTING SITE SEWER SYSTEM.
- POOL FENCING TO COMPLY WITH AS 1926.1 - 2012 SAFETY BARRIERS FOR SWIMMING POOLS.
- ALL WORKMANSHIP AND MATERIALS TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE AND RELEVANT AUSTRALIAN STANDARDS AND COUNCIL REQUIREMENTS.
- BUILDER TO CHECK AND VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION.

EXTERNAL FINISHES

EXTERNAL WALLS OF DWELLING

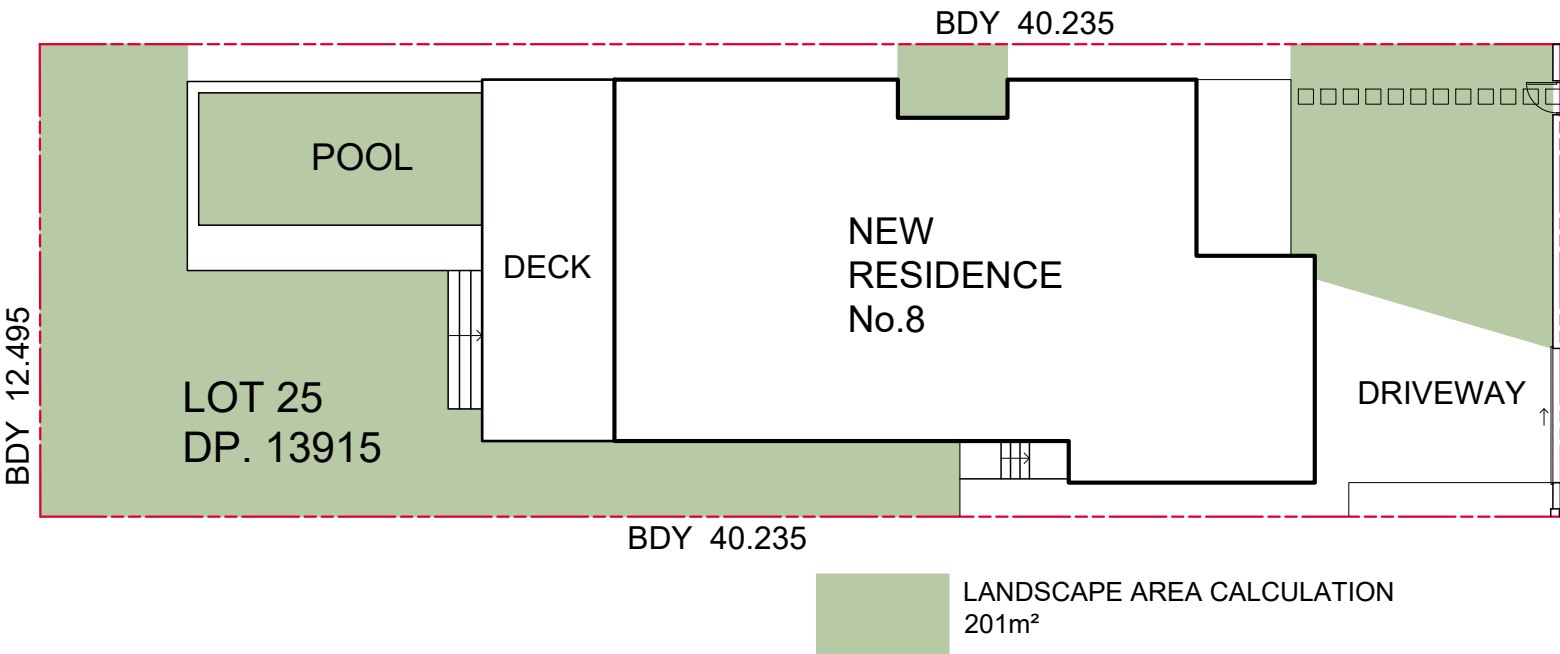
- PAINTED CEMENT RENDER FINISH TO BRICKWORK & PAINTED WEATHERBOARD CLADDING TO STUD FRAMING.

ROOF CLADDING

- COLORBOND CORRUGATED METAL SHEET ROOFING

GUTTERS & DOWNPIPES

- COLORBOND METAL GUTTERS AND DOWNPIPES TO MATCH ROOF COLOUR.



LANDSCAPED AREA CALCULATIONS

REAR YARD
21 WYADRA
AVENUE

ADJACENT
RESIDENCE
No.6

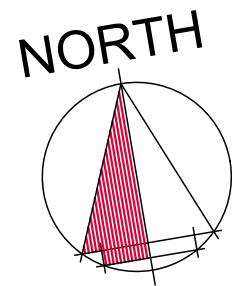
3500	POOL
------	------

LOT²⁵
DP. 13915
502.8m²

NEW
RESIDENCE
No.8↓ 

DRIVEWAY

COOKSEY AVENUE



ISSUE A 03/10/2019 DA SUBMISSION

freshwater
**blue**
PTY LTD

39 Johnson Street
Freshwater 2096
Tel: 02 9938 5553
ABN 96 093 800 616

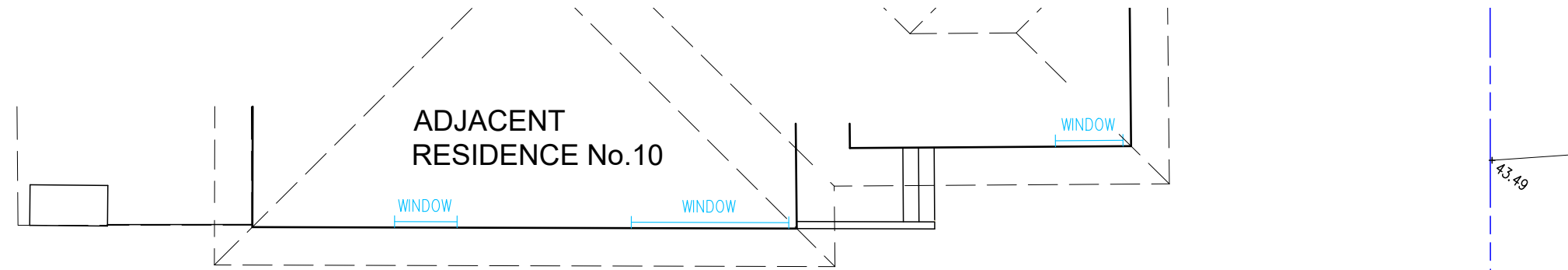
PROPOSED NEW RESIDENCE AT No 8 COOKSEY AVENUE, FRESHWATER FOR WESLEY DOSE

TITLE:
DATE: OCTOBER 2019
DRAWING No: 2019-01

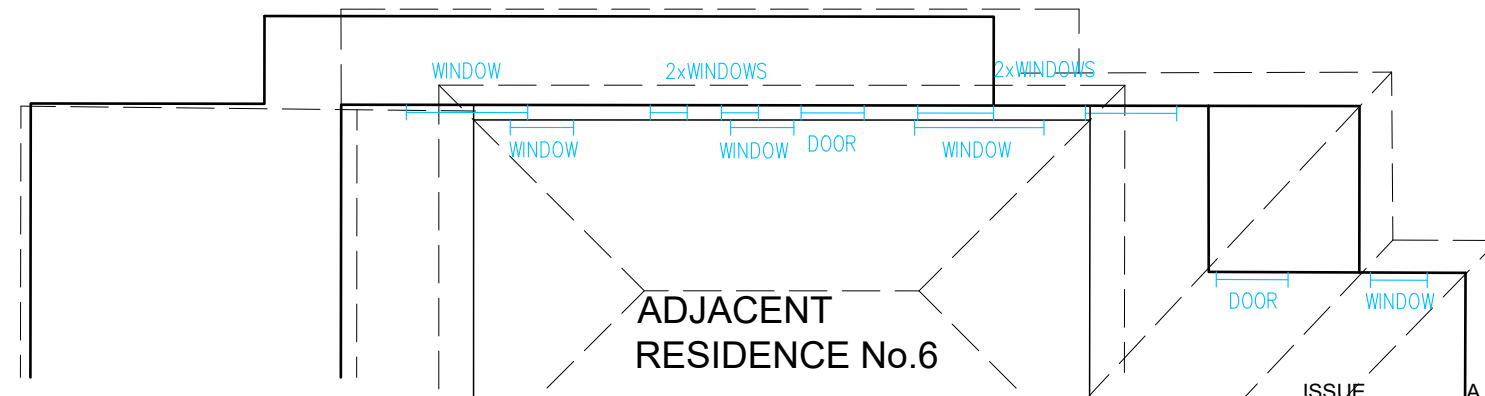
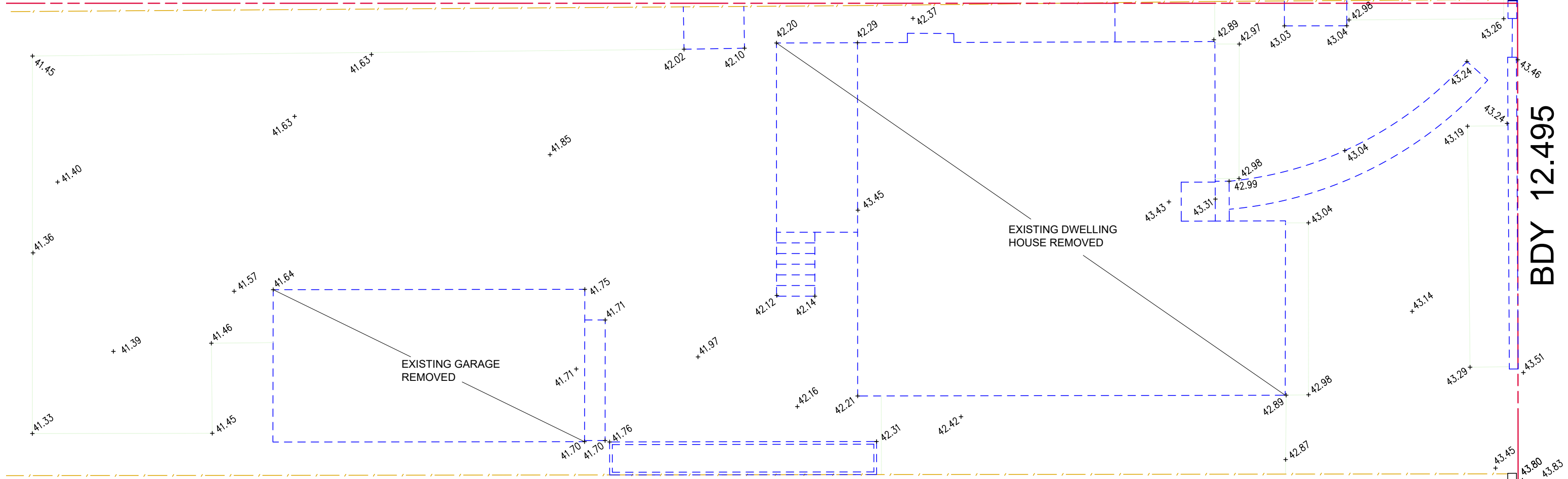
SITE PLAN

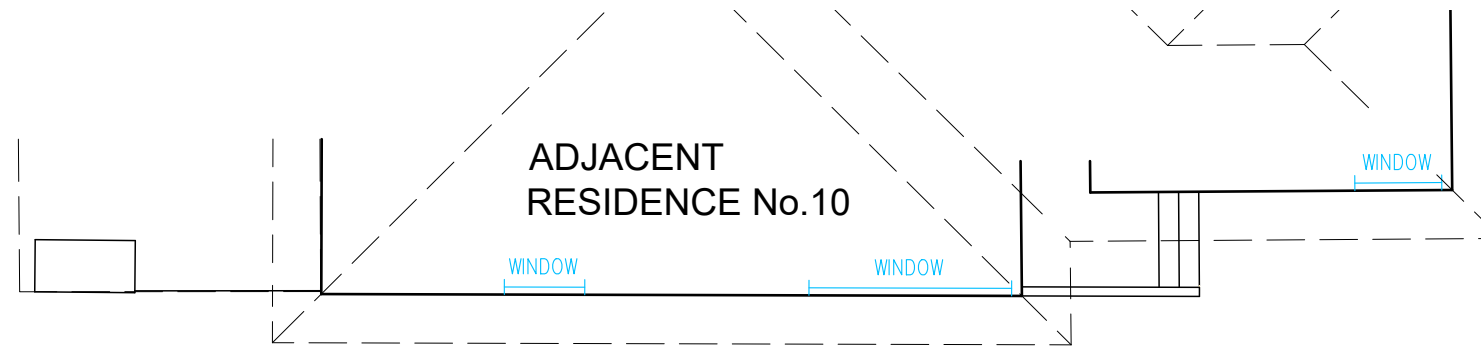
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ISSUE: A

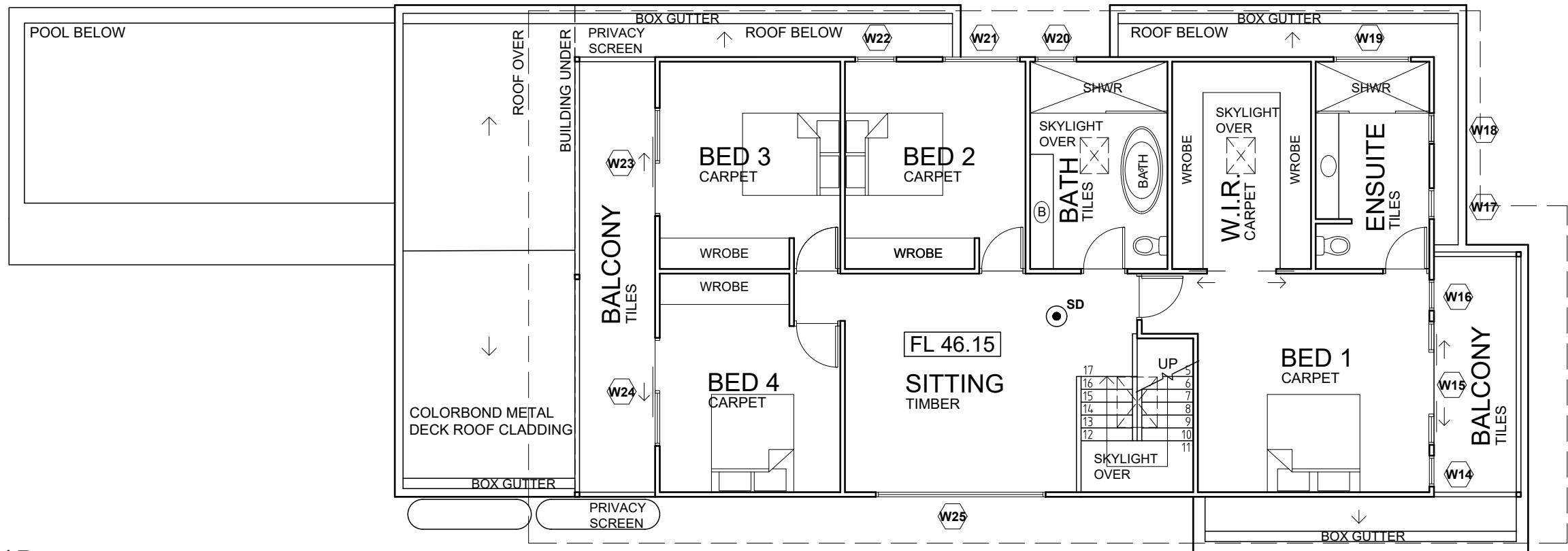


BDY 40.235





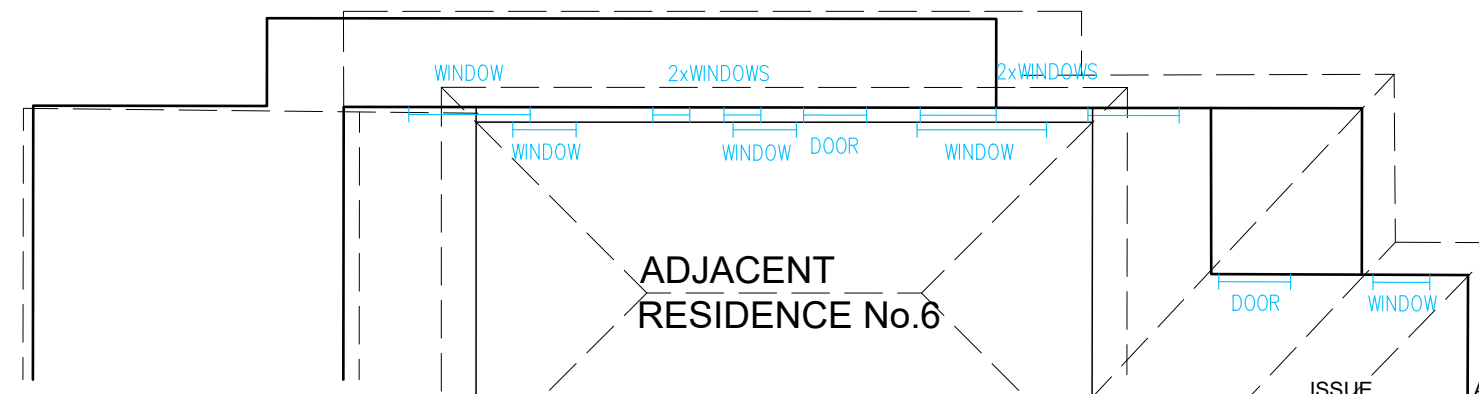
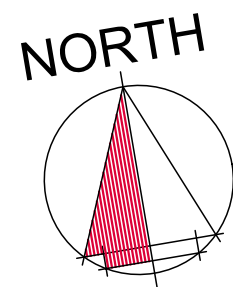
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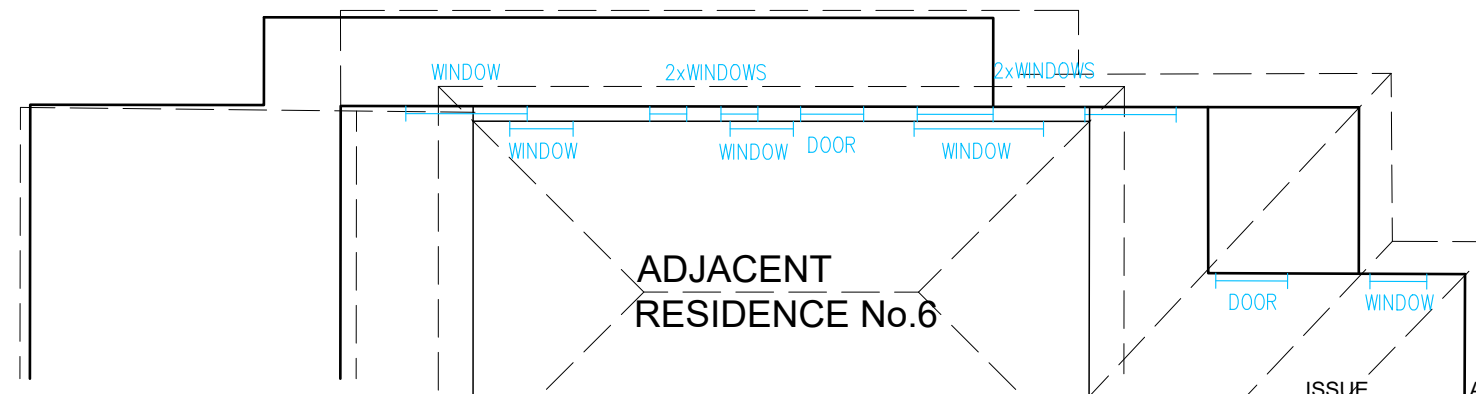
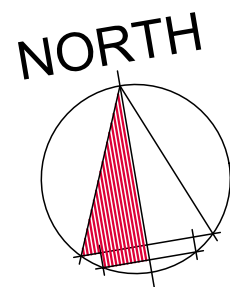
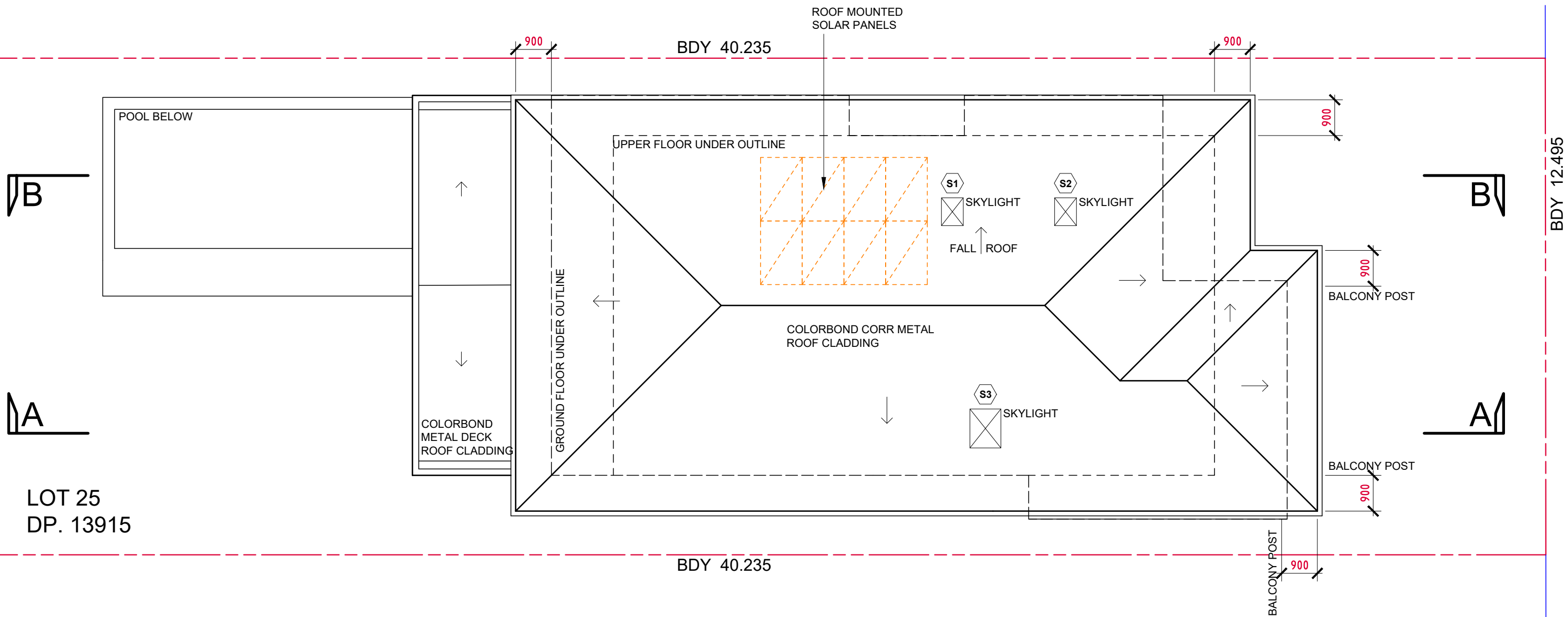
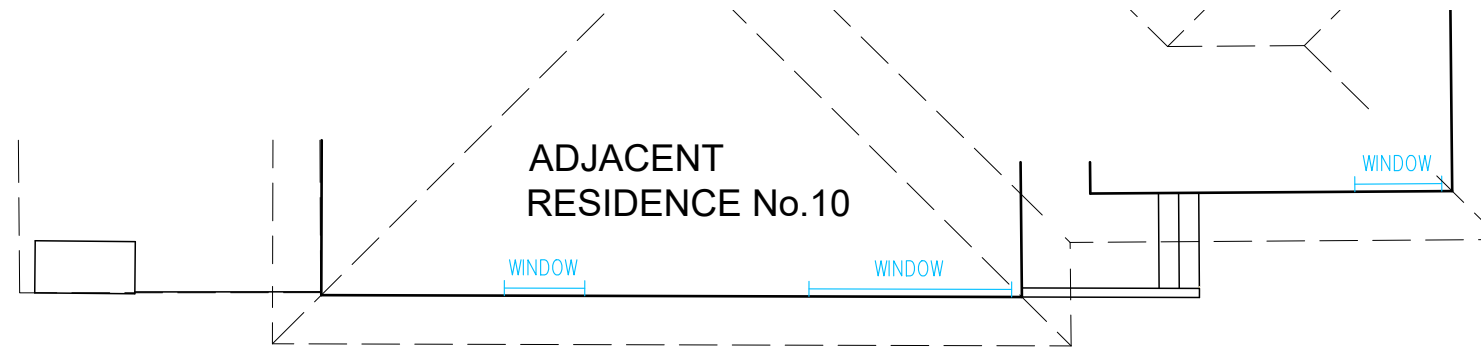


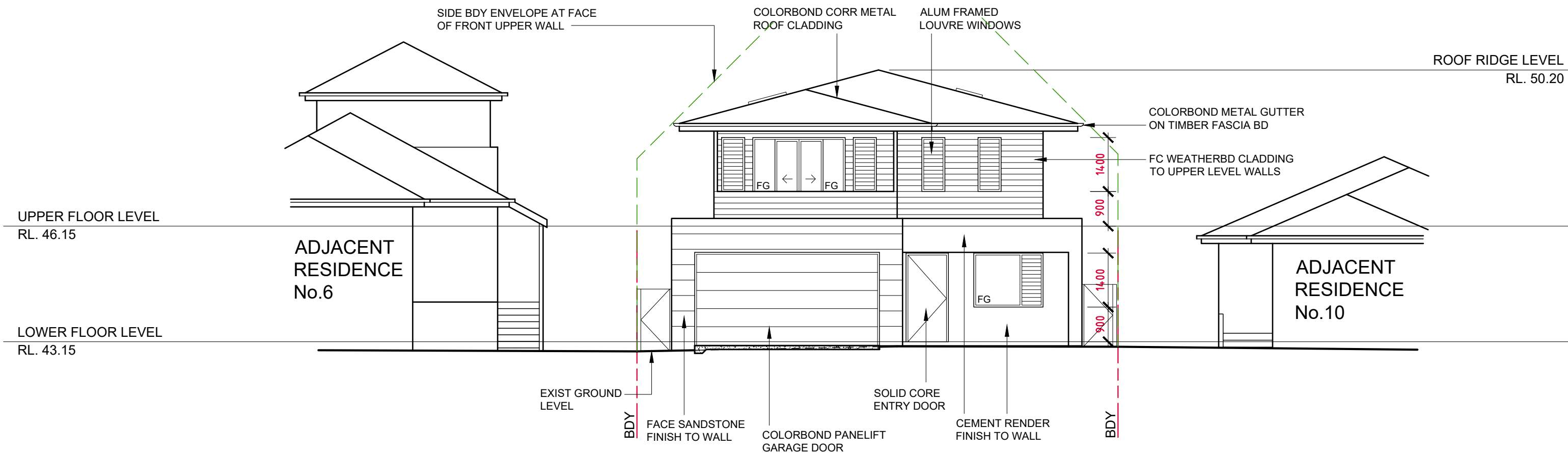
BDY 12.495

LOT 25
DP. 13915

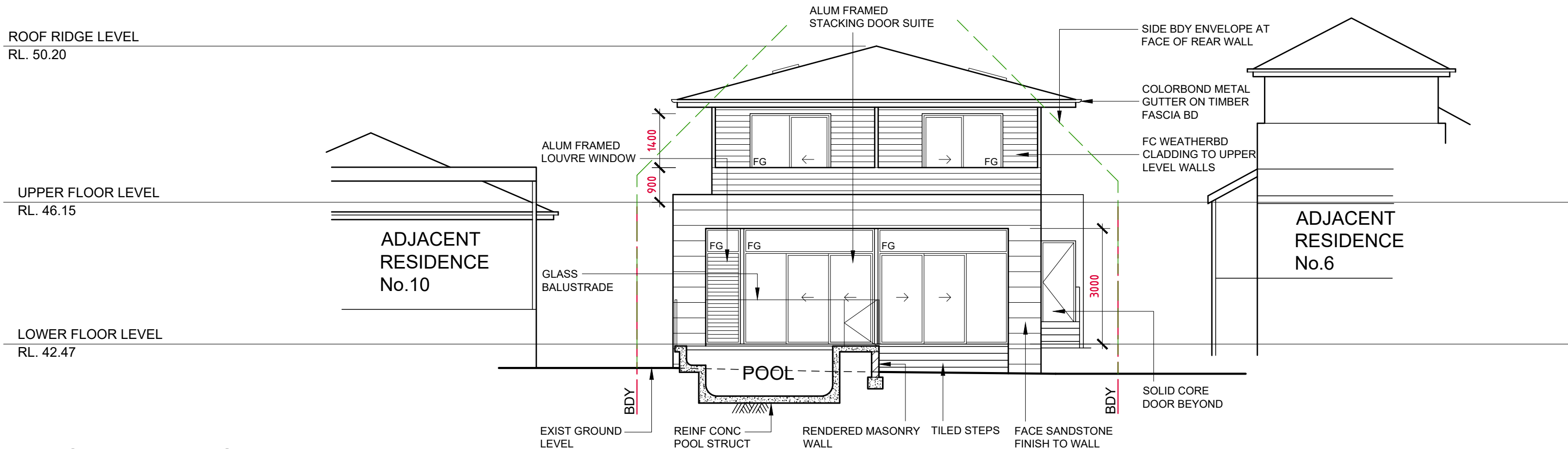
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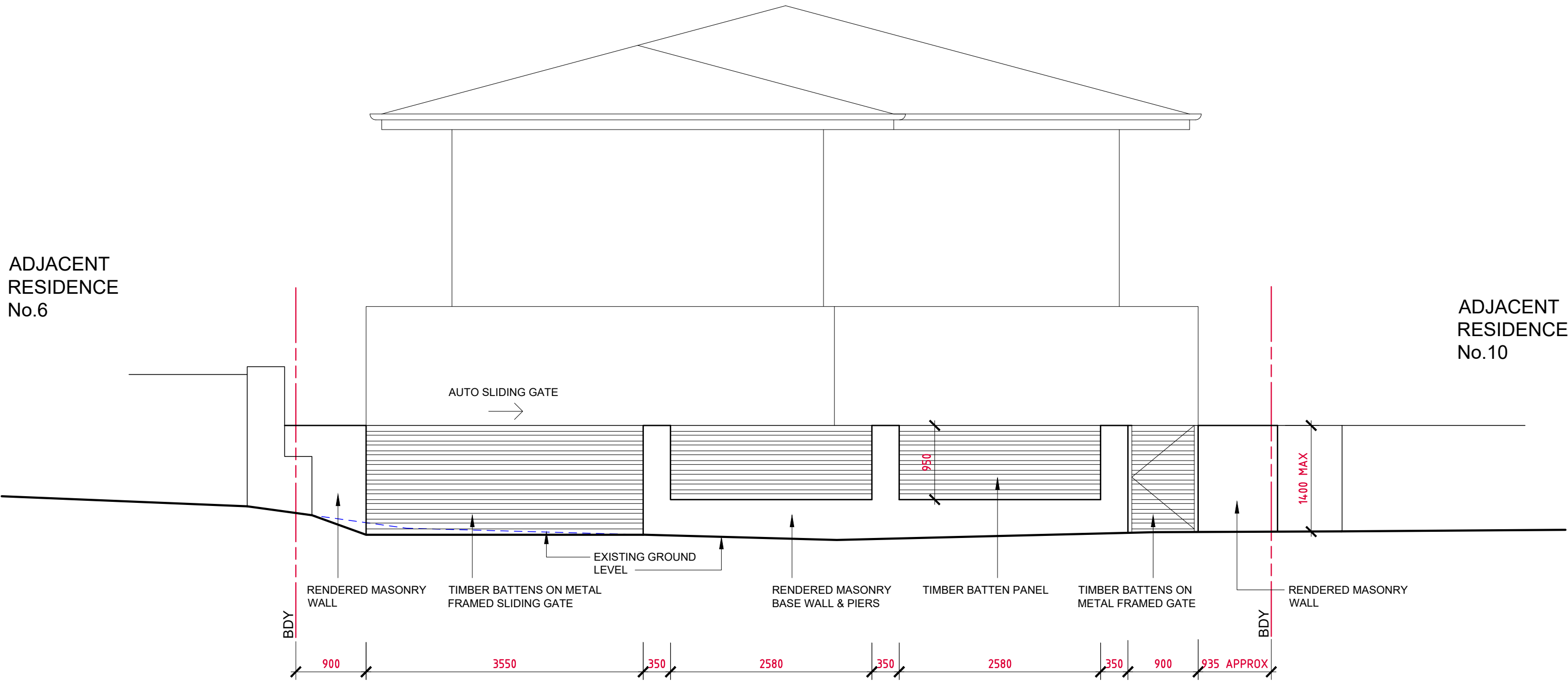




EAST ELEVATION



WEST ELEVATION



FRONT BOUNDARY FENCE ELEVATION

CORELLA
STREET
RESERVE

REAR YARD
21 WYADRA
AVENUE

CONTINUOUS 600 MIN HIGH
GEO-TECH FABRIC TO BASE OF
EXIST TIMBER PALING FENCING

ADJACENT
RESIDENCE
No.10

BDY 40.235

LOT 25
DP. 13915

POOL

TURF

NEW
RESIDENCE
No.8

BDY 40.235

OUTLINE OF EXIST HOUSE
TO BE DEMOLISHED

OUTLINE OF EXIST
GARAGE TO BE
DEMOLISHED

ADJACENT
RESIDENCE
No.6

TURF

DRIVEWAY

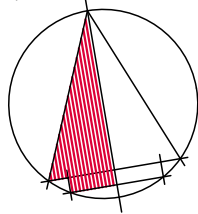
PLANTING

SANDBAG BERM
IN GUTTER

SITE
ENTRY
& EXIT

COOKSEY AVENUE

NORTH



LANDSCAPE SPECIFICATIONS:

1. EXCAVATION
- ALL GARDEN AREAS ARE TO BE STRIPPED OF UNWANTED PLANTS, BUILDING MATERIAL AND OTHER MATTER.
- a. EXCAVATE-
- ALL PAVED AREAS TO A DEPTH OF 200MM BELOW FINISHED LEVEL.
- ALL LAWN AREAS TO A DEPTH OF 100MM BELOW FINISHED LEVEL.
- ALL GARDEN BED AREAS TO A DEPTH OF 250MM BELOW FINISHED LEVEL.
2. SOIL PREPARATION
- ALL GARDEN AREAS ARE TO BE CULTIVATED AND AERATED PRIOR TO APPLICATION OF TOP SOILS GYPSUM SHALL BE APPLIED TO ALL HEAVY CLAY AREAS AT THE RATE OF 1.5KG PER SQ. METRE.
3. TOP SOIL
- IMPORT 5 WAY ORGANIC GARDEN SOIL BLEND TO FILL ALL RETAINING WALLS AND GARDEN BEDS. ENSURE MIN. 250MM LAYER SOIL IS IMPORTED TO ALL PLANTED AREAS.
4. MULCH
- A 50MM LAYER 'MULCH-MASTER' COMPOST SHALL BE SPREAD EVENLY OVER ALL GARDEN AREAS AFTER PLANTING.
5. FERTILISING
- ADDITION OF A SUITABLE FERTILISER (EG. OSMOCOTE) WILL BE APPLIED TO ALL PLANTS AS PER MANUFACTURERS' SPECIFICATIONS AT TIME OF PLANTING. SLOW AND QUICK RELEASE FERTILISERS WILL BE APPLIED TO LAWN AREAS AND WELL WATERED IN AT TIME OF PLANTING.
6. PLANT MATERIAL
- TO BE VIGOROUS, WELL-ESTABLISHED OF GOOD FORM AND NOT ROOT BOUND.
7. PLANTING
- BEFORE PLANTING, THOROUGHLY WATER PLANTS AND PLANTING AREAS. WATER AGAIN IMMEDIATELY AFTER PLANTING.
8. DRAINAGE
- THE FOLLOWING IS INTENDED AS A GUIDE ONLY:
- a. A.G. DRAINAGE
- A SINGLE A.G. DRAINAGE LINE SHALL BE INSTALLED BEHIND ALL RETAINING WALLS AND PARALLEL LINES AT 3 METRE INTERVALS THROUGH LAWN AREAS. 90MM DIAM. SLOTTED PVC PIPE SHALL BE LAID AT A MINIMUM DEPTH OF 600MM WITH A 400MM LAYER OF 20MM SCREENINGS SHALL SURROUND ALL LINES. INSTALL FLUSHING POINTS AT THE END OF EACH LINE IN THE FORM OF 90MM DIAM. STORMWATER RISERS WITH END CAPS IN NEAREST GARDEN BED.
- b. DRAINAGE OF PAVED AREAS
- ALL PAVED AREAS ARE TO BE GRADED AWAY FROM HOUSE, SURFACE WATER IS TO BE COLLECTED BY PITS THROUGHOUT. ENSURE EVEN FALL ON PAVING TOWARDS PITS, PITS SHALL BE CONNECTED TO STORMWATER LINE.
9. RETAINING WALLS
- PLEASE NOTE - FOOTING SIZES WILL VARY DEPENDING ON HEIGHT OF WALLS:
- POUR 400-500MM WIDE, 450-650MM DEEP 25MPA CONCRETE FOOTINGS WITH 2 LAYERS 12MM TRENCH MESH, Y12 STARTER BARS TO BE INSERTED AT 400 CENTRES. LAY 190 WIDE REINFORCED CEMENT BLOCK WALLS. IN ALL FOOTINGS, EXTENDING BARS THROUGH WALL CAVITIES TO TOP OF WALLS. FILL WALL CAVITIES WITH 20MPA CONCRETE. APPLY 2 COATS 'GRIPSET' BITUMEN-BASED MEMBRANE TO ALL BURIED SURFACES OF WALL, COVERING 150MM OF FOOTINGS ALSO.
10. SPRINKLER SYSTEM
- A FULLY AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED. 20MM PVC SHALL BE USED FOR ALL LATERAL PIPING. DRIP LINE SYSTEM TO BE USED THROUGHOUT GARDEN BEDS WITH GEAR DRIVEN POP UP SPRINKLERS FOR LAWN AREAS.

ALL TREES TO BE HEALTHY, WELL-GROWN SPECIMENS FREE OF PEST & DISEASE. TREE ROOT BALL TO BE WATERED THE DAY PRIOR TO PLANTING.

SOIL BERM FORMING A WATERING SAUCER AROUND IMMEDIATE CROWN OF PLANT TO HOLD AT LEAST 5~10% OF ROOTBALL SIZE OF WATER.

TREES TO BE PLACED TOP ENSURE TOP OF THE ROOTBALL IS AT THE SAME LEVEL AS FINISHED SOIL LEVEL. SOIL OR MULCH SHOULD NOT COVER THE PLANTS TRUNK TO AVOID COLLAR ROT.

RE-CONDITION SOIL TO 300mm DEEP WITH COMPOSTED WEED-FREE GARDEN SOIL.

STAKE TREES WITH 3 CHISEL POINTED HARDWOOD STAKES 2.4m X 50 X 50mm, DRIVEN 800MM INTO GROUND TO OUTSIDE OF ROOT BALL. TIE TREES IMMEDIATELY AFTER PLANTING WITH HESSIAN.

40mm LAYER OF FINE COMPOSTED MULCH.

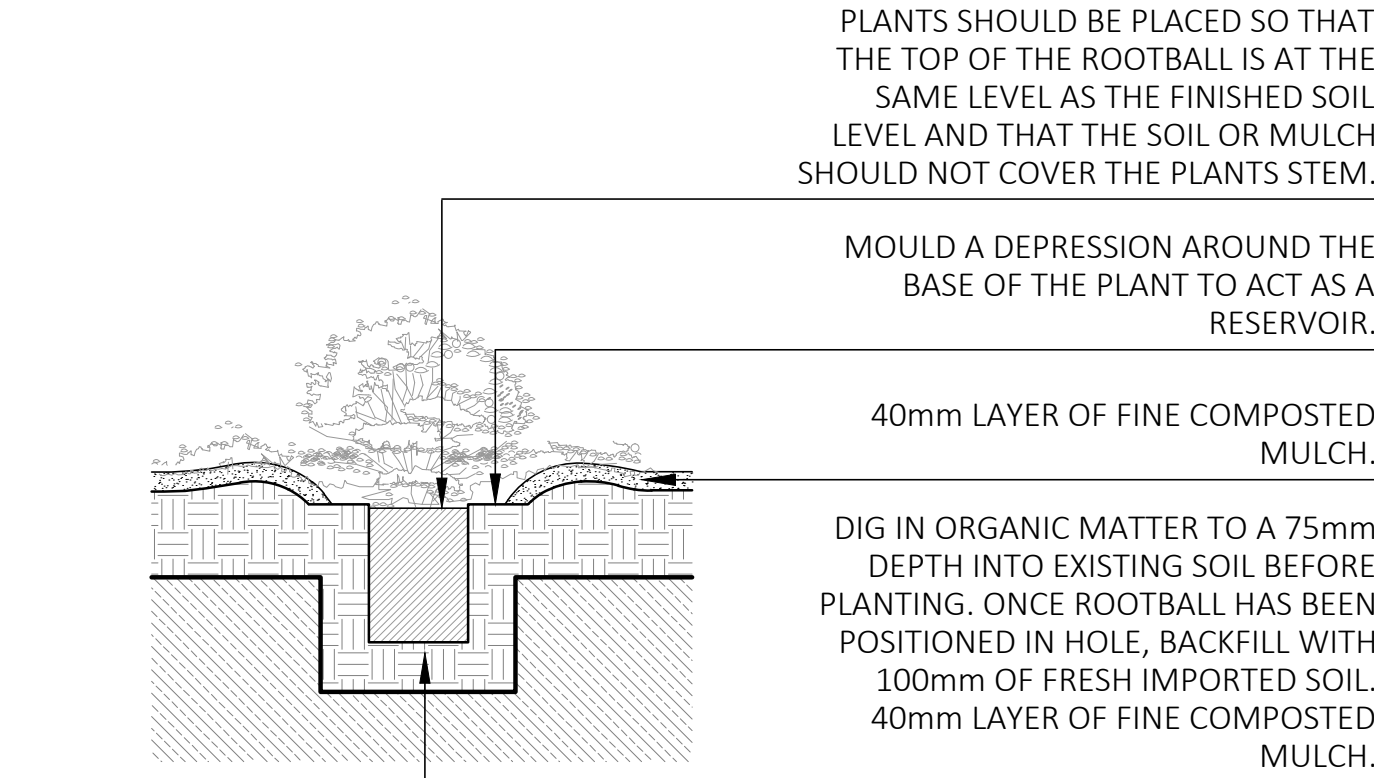
APPLY DYNAMIC LIFE FERTILISER WATER STORING CRYSTALS (AT MANUFATURER'S RECOMMENDED RATES) INTO SOIL SURROUNDING TREE.

NOTES:

GARDEN BED TO BE WELL DRAINED WITH DRAINAGE AS PER DRAWING. BEFORE PLANTING, THOROUGHLY WATER TREES TO BE TRANSPLANTED. AFTER PLANTING WATER IS TO BE CONCENTRATED WITH DIPPERS PLACED DIRECTLY ON TOP OF ROOT BALL. AFTER PLANTING IT IS ESSENTIAL MOISTURE LEVELS OF ROOTBALL ARE REGULARLY CHECKED TO ENSURE ROOTBALL DOES NOT DRY OUT.

1

TREE PLANTING DETAIL
SECTION NTS

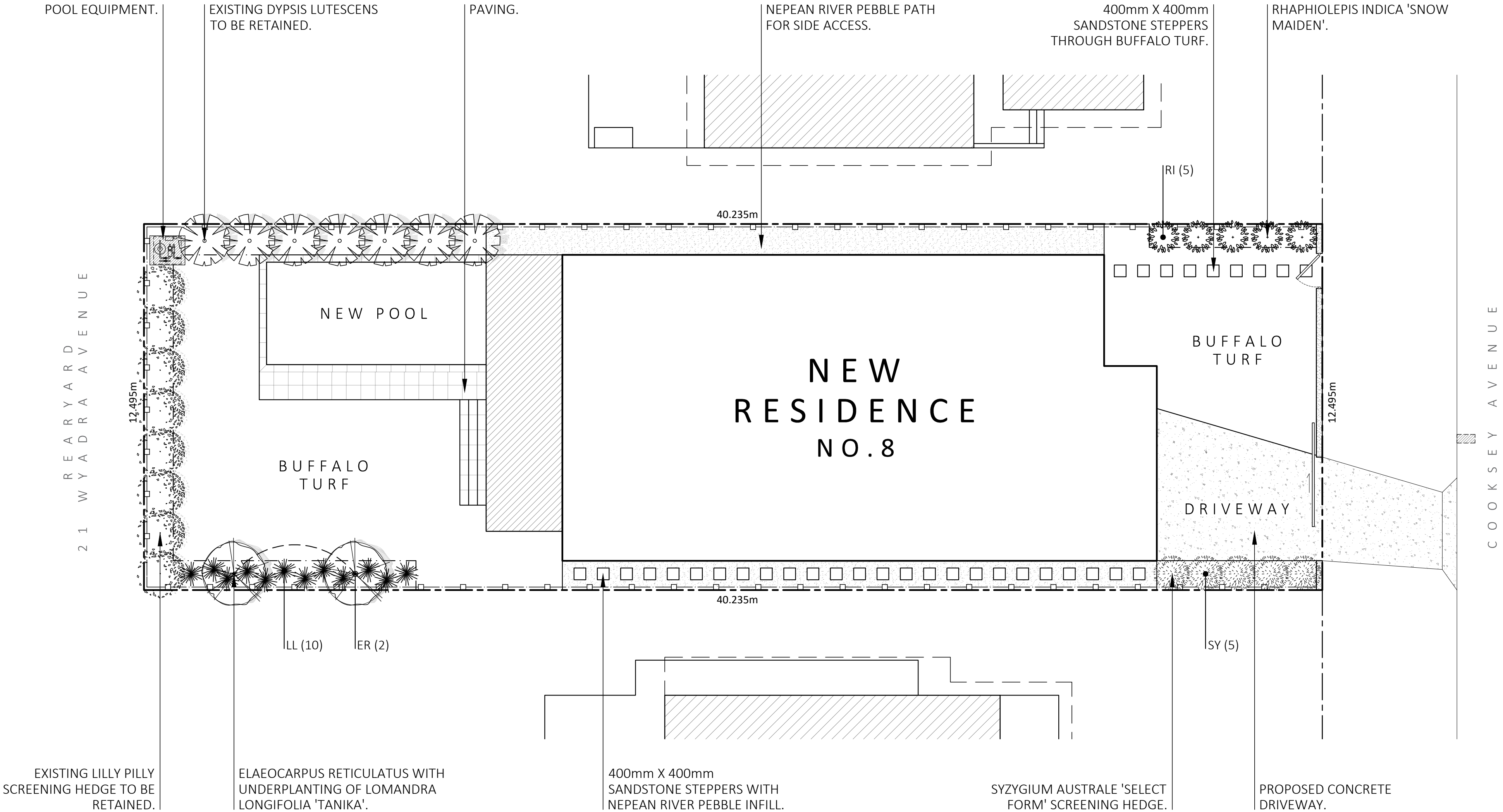


NOTES:

1. ERADICATE WEEDS BY SPRAYING WITH GLYPHOSATE OR REMOVING BY HAND.
2. LOOSELY BREAK UP SOIL WITH A FORK AND COMBINE WITH A 75mm DEPTH OF ORGANIC MATTER.
3. DIG A HOLE TWICE THE WIDTH AND ONE AND A HALF THE DEPTH OF THE POT SIZE.
4. FILL THE HOLE WITH WATER BEFORE PLANTING AND ALLOW TO DRAIN THOROUGHLY.
5. PLACE THE PLANT IN THE HOLE & BACKFILL WITH FRESH TOPSOIL
6. SPREAD WITH A 40MM LAYER OF FINE COMPOSTED MULCH AND WATER DEEPLY AFTER PLANTING
7. IF PLANTING IS TALLER THAT 1M, SUPPORT PLANT WITH 750mm LONG X 25 X 25 HARDWOOD STAKE TIED WITH JUTE WEBBING TIES
8. GARDEN BEDS TO BE WELL DRAINED WITH GEO-FABRIC SOCKED AGRICULTURAL DRAINS WITH SCREENINGS SURROUNDING CONNECTED TO SILT PIT PRIOR TO STORMWATER SYSTEM

2

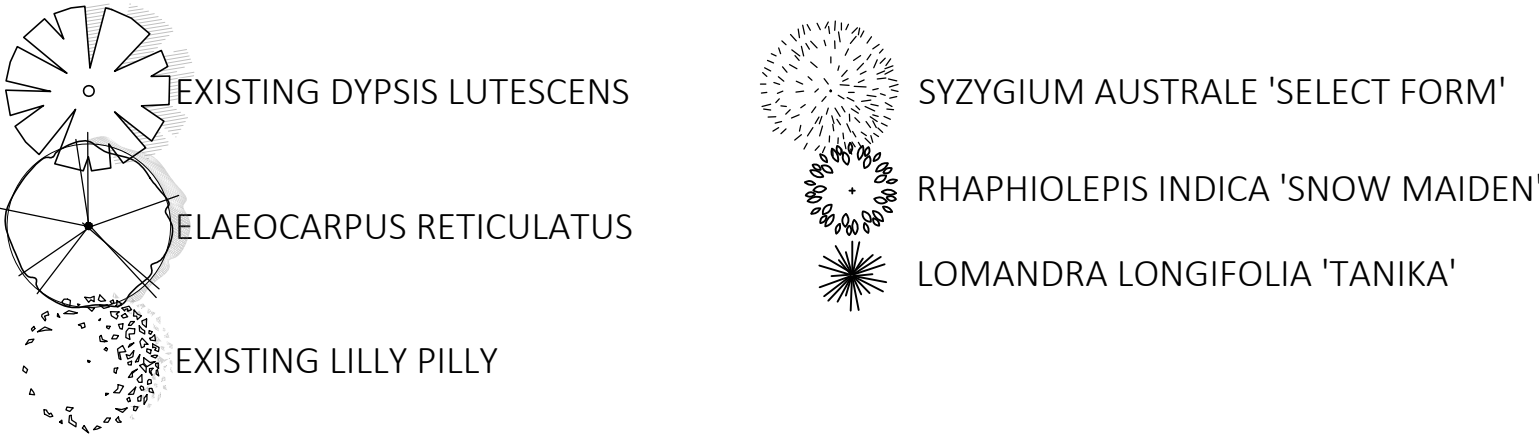
SHRUB PLANTING DETAIL
SECTION NTS



PLANT SCHEDULE

Code	Botanical Name	Common name	Pot Size	Qty.
TREES				
ER	Elaeocarpus reticulatus	Blueberry ash	300ml	2
SY	Syzygium australe 'Select Form'	Lilly pilly 'Select Form'	300ml	5
SHRUBS, GRASSES, GROUNDCOVERS & CLIMBERS				
RI	Rhaphiolepis indica 'Snow Maiden'	Indian hawthorn	8"	5
LL	Lomandra longifolia 'Tanika'	Lomandra tanika	6"	10

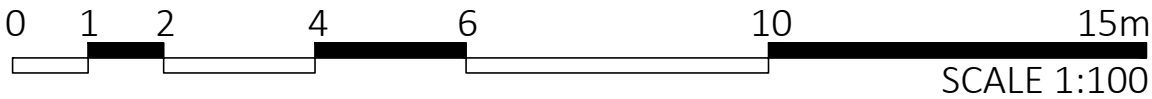
KEY TO SYMBOLS



LANDSCAPE SURFACE PERMEABILITY

40% NON-PERMEABLE (110.00m²)
60% PERMEABLE (163.00m²)

TOTAL LANDSCAPE AREA (273.00m²)



DOSE RESIDENCE

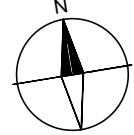
SITE ADDRESS: 8 Cooksey Avenue | Freshwater

DRAWING TITLE

LANDSCAPE PLAN FOR TOWN PLANNING APPROVAL

SCALE: 1:100@A1

DATE: 10 February 2020



DRAWING NO.

1

REV.

-

DC LANDSCAPES PTY LTD

Freshwater 2096

T: 0416 182 224

W: www.dclandscapes.com.au

E: dclandscapes7@hotmail.com



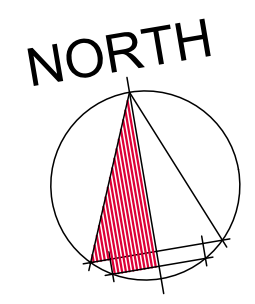
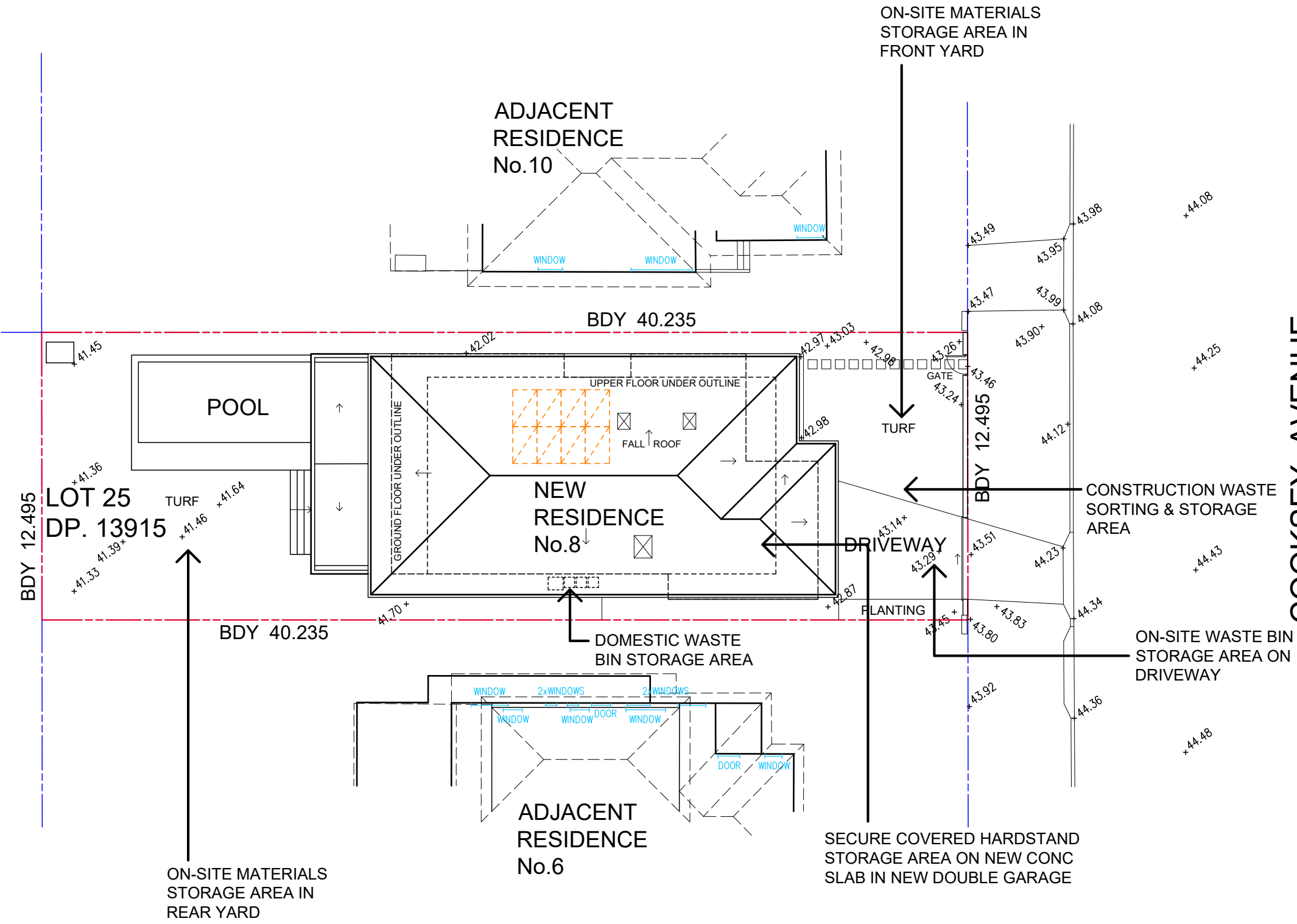
CORELLA STREET RESERVE

REAR YARD 21 WYADRA AVENUE

ADJACENT RESIDENCE No.10

ON-SITE MATERIALS STORAGE AREA IN FRONT YARD

COOKSEY AVENUE



CORELLA
STREET
RESERVE

REAR YARD
21 WYADRA
AVENUE

ADJACENT
RESIDENCE
No.10

BDY 40.235

POOL

LOT 25
DP. 13915

NEW
RESIDENCE
No.8

DRIVEWAY

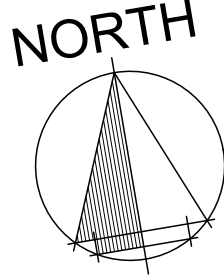
BDY 12.495

COOKSEY AVENUE

BDY 40.235

ADJACENT
RESIDENCE
No.6

EXIST 9.00am SELF SHADOW



NORTH ELEVATION No.6 COOKSEY AVE

9.00am SHADOW
MID WINTER 21st JUNE

TIME	ALTITUDE	AZIMUTH
9.00am	17.5°	42° EAST
12.00noon	32°	0° EAST
3.00pm	17.5°	42° WEST

CORELLA
STREET
RESERVE

REAR YARD
21 WYADRA
AVENUE

ADJACENT
RESIDENCE
No.10

BDY 40.235

POOL

LOT 25
DP. 13915

NEW
RESIDENCE
No.8

DRIVEWAY

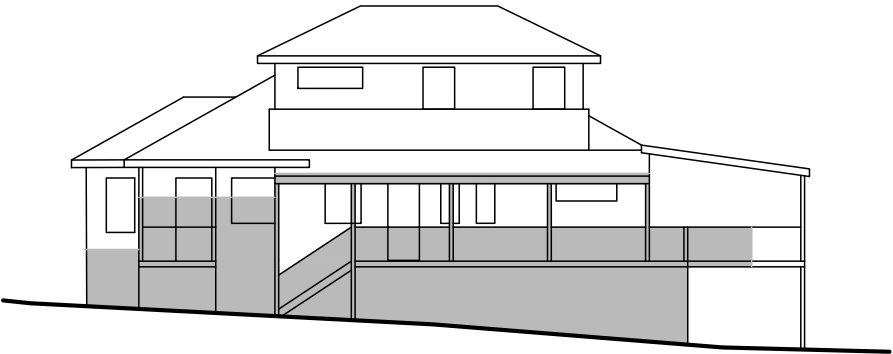
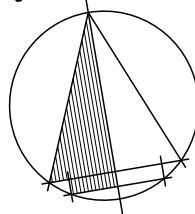
BDY 12.495

COOKSEY AVENUE

BDY 40.235

ADJACENT
RESIDENCE
No.6

NORTH



NORTH ELEVATION No.6 COOKSEY AVE

12.00noon SHADOW
MID WINTER 21st JUNE

TIME	ALTITUDE	AZIMUTH
9.00am	17.5°	42° EAST
12.00noon	32°	0° EAST
3.00pm	17.5°	42° WEST

CORELLA
STREET
RESERVE

REAR YARD
21 WYADRA
AVENUE

ADJACENT
RESIDENCE
No.10

BDY 40.235

POOL

LOT 25
DP. 13915

NEW
RESIDENCE
No.8

DRIVEWAY

BDY 12.495

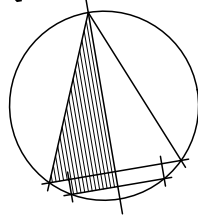
COOKSEY AVENUE

BDY 40.235

ADJACENT
RESIDENCE
No.6

EXIST 3.00pm SELF SHADOW

NORTH



NORTH ELEVATION No.6 COOKSEY AVE

3.00pm SHADOW
MID WINTER 21st JUNE

TIME	ALTITUDE	AZIMUTH
9.00am	17.5°	42° EAST
12.00noon	32°	0° EAST
3.00pm	17.5°	42° WEST