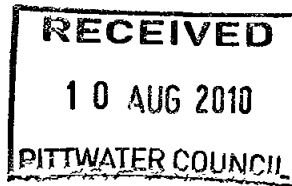


SS Certifications

Eddanne P/L T/as
ABN 34 024 311 884



Telephone 02 9676 2370
Facsimile 02 9676 2594
PO Box 2
Doonside NSW 2767

Construction Certificate

CONSTRUCTION

CERTIFICATE NUMBER 10/4650

Issued in accordance with the Environmental Planning & Assessment Regulation 2000 with reference to the Environmental Planning & Assessment Act 1979 Sections 109C(1)(b), 81A(2) and 81A(4) and Application under CI 79D (2)(a)

COUNCIL Pittwater Council

APPLICANT

Name Anne Clacher
Address 26 North Avalon Rd, Avalon
Contact no (telephone/fax) 0435 016 264

OWNER

Name Anne Clacher
Address 26 North Avalon Rd, Avalon

SUBJECT LAND

Address 26 North Avalon Rd, Avalon

Lot 19 DP 8394

DESCRIPTION OF DEVELOPMENT

Type of Work	Building Work
Description	Alterations & Additions

COUNCIL'S D/A CONSENT

Development Consent No	N0174/10
D A Approval Date	13/07/2010

BUILDING CODE OF AUSTRALIA**BUILDING CLASSIFICATION** 1a

BUILDER or OWNER/BUILDER

Name	Clareville Constructions
Contractor Licence No or	1066039C
Owner Builder Permit No	

\$ VALUE OF WORK

Alterations + Additions	\$71,000 00
-------------------------	-------------

DATE C C APPLICATION RECEIVED

Date Received	03/08/2010
---------------	------------

DETERMINATION

Decision	Approved
Date of Decision	03/08/2010

ATTACHMENTS

Plans prepared by Drafting Planatec

**PLANS AND SPECIFICATIONS
APPROVED/REFUSED**

List plan no(s) and specifications

Plans prepared by Drafting Planatec

RIGHT OF APPEAL

under S109K where the Certifying Authority is a Council an applicant may appeal to the Land and Environment Court against the refusal to issue a Construction Certificate within 12 months from the date of the decision

CERTIFICATION

I certify that the work if completed in accordance with these plans and specifications (with such modifications verified by the Certifying Authority as may be shown on that documentation) will comply with the requirements of the Environmental Planning and Assessment Regulation 2000 as referred to in s81A(5) of the Environmental Planning and Assessment Act 1979

CERTIFYING AUTHORITY

Name of Certifying Authority SS Certifications
Name of Accredited Certifier Simon Trives
Accreditation No P0012
Contact No (02) 9676 2370
Address Post Office Box 2, Doonside NSW 2767



SIGNED

DATED

03/08/2010

INFORMATION ON REQUIRED INSPECTIONS

Please find your Construction Certificate 10/4650 enclosed for

26 North Avalon Rd, Avalon

We will be required to carry out the following critical stage inspections

- Commencement
- Footings/piers/slab steel
- Framework
- Wet Areas Waterproofing
- Final

TO BOOK AN INSPECTION CALL US ON 02 9676 2370

*****PLEASE BOOK INSPECTIONS BEFORE 3 00PM THE DAY
PRIOR TO THE INSPECTION*****

Contact Personnel

To check the status of your job contact

SS Certifications

For technical enquiries contact

SS Certifications

CONSTRUCTION / COMPLYING DEVELOPMENT CERTIFICATE APPLICATION FORM

Principal Certifying Authority (PCA) Agreement

Issued under the Environmental Planning and Assessment Act 1979

Privacy Policy – The information you provide in this form will enable your application to be assessed by the Certifying Authority under the Environmental Planning and Assessment Act 1979. If the information is not to be provided the application may not be accepted. The application can potentially be viewed by members of the public. Please contact Simon Trives if the information you have provided in the application is incorrect or required modification.

<input checked="" type="checkbox"/> Construction Certificate	<input type="checkbox"/> Complying Development Certificate
Development Application No <u>N0174/10</u>	
Date DA Approved _____	<input type="checkbox"/> PCA Only

APPLICANT

Name/s Anna Louise Clacher

Postal Address 26 North Avalon Rd. Avalon

Ph/Fax Mobile 0435016264

OWNERS DETAILS (If same as applicant, tick box)

Name/s _____

Postal Address _____

Ph/Fax Mobile _____

LAND TO BE DEVELOPED

Address 26 North Avalon Rd Gross Site Area 1113m²

Lot No 19 DP/MPS 8394 Council Area Pittwater

DETAILS OF DEVELOPMENT

Description of work alterations additions to existing detached studio

Estimated cost of work \$71,000 Class of work 1a

DETAILS OF BUILDER

Builders Name Claverie Construction Builders Licence Number 1060396

Builders Address 9 Kuskin Row Builders Phone Number 99731691

If you are not using a licensed builder please complete the next three questions where applicable

- Are you an owner builder? Y N (please circle)
- If yes, Please provide owner builder permit number _____
- If no, please sign the following declaration

I/we declare that the reasonable market cost of the labour and materials to be used is less than \$5000

Signed by ALL owners _____

OWNERS DECLARATION

(Please tick)

- As owners of the above mentioned property we consent to this application.
- As owners of the above mentioned property, we wish to appoint Simon Trives as the Principal Certifying Authority (PCA)

Owners Signature/s Alache Date 15/7/10

Applicant Signature/s Alache Date 15/7/10

(If different from owner/s)

By consenting to and signing this application form I am agreeing to pay all associated fees and charges including those incurred by SS Certifications on my behalf



Home Warranty Insurance Fund

calliden
group

NSWMBIS/070570-PermitAuthority

28/07/2010

Clareville Constructions Pty Ltd trading as Backyard Cabins
9 Ruskin Rowe
AVALON BEACH NSW 2107

Calliden Insurance Ltd
ABN 47 004 125 268 AFS Licence 234438
Level 9 11 33 Exhibition Street
MELBOURNE VIC 3000
Phone (03) 9637 1300 FAX 1300 662 215

Certificate of Insurance

RESIDENTIAL BUILDING WORK BY CONTRACTORS

A contract of insurance complying with sections 92 and 96A of the Home Building Act 1989 has been issued by **Calliden Insurance Limited** (ABN 47 004 125 268) (AFSL 234438) as agent for and on behalf of the NSW Self Insurance Corporation (SICorp) (ABN 97 369 689 650) who is responsible for management of the Home Warranty Insurance Fund

In respect of	Structural Alterations/Additions
At	26 North Avalon Road AVALON NSW 2107
Carried out by	Clareville Constructions Pty Ltd trading as Backyard Cabins
Licence Number	106039C
ABN	48 001 417 885
For	Anne Louise Clacher
In the amount of	\$73 150 00

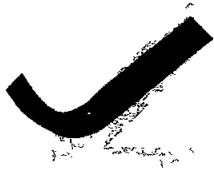
Subject to the Act and the Home Building Regulation 2004 and the conditions of the insurance contract cover will be provided to

- a beneficiary described in the contract and successors in title to the beneficiary
- OR
- the immediate successor in title to the contractor or developer who did the work and subsequent successors in title

Authorisation Signed by Calliden Insurance Ltd (ABN 47 004 125 268) (AFSL 234438) as agent for and on behalf of the NSW Self Insurance Corporation (SICorp) (ABN 97 369 689 650)

Issued on the 28th day of July 2010

NOTICE To download a copy of your insurance policy wording visit [http //www.policywording.com.au](http://www.policywording.com.au).



Jack Hodgson Consultants Pty Limited

CONSULTING CIVIL, GEOTECHNICAL AND STRUCTURAL ENGINEERS

ABN 94 053 405 011

MV 27101
29/07/2010

The General Manager
Pittwater Council
P O Box 882
MONA VALE NSW 1660

Dear Sir,

26 NORTH AVALON RD, AVALON
Development Application No N0174/10

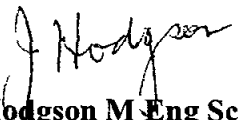
This Report is to be read in accordance with Backyard Cabins drawing number 102-001 sheet 1

For the structure to be able to withstand any likely loads to be imposed by the proposed additions, the following sizes and spacing's must be enforced

- The ground floor bearers are to be 2/140 x 45 F7 T/Pine to be supported by the piers and pad footings indicated on backyard cabins drawing 102-001 at a maximum of 2 2m centres
- Window W092 4 on backyard cabins drawing 102-001 is to have a 140 x 45 F7 T/Pine lintel over the top of it
- The 140 x 45 F7 T/pine ground floor joists are to be set at 450mm centres
- All structural timber to be of grade F7 or better

The member sizes and spacing's on backyard cabins drawing 102-001 not indicated above are to remain the same size and we are confident that they will be able to withstand the likely imposed loads

JACK HODGSON CONSULTANTS PTY LIMITED


J D Hodgson M Eng Sc ,
F I E Aust , CP ENG
Civil & Structural Engineer
Nper3, Struct Civil No 149788
Director

DIRECTOR J D HODGSON, M Eng Sc F I E Aust , Nper3 Struc Civil 149788
67 Darley Street Mona Vale NSW 2103
PO Box 389 Mona Vale NSW 1660
Telephone 9979 6733 Facsimile 9979 6926

**CONSENT NO N0174/10
ENVIRONMENTAL PLANNING & ASSESSMENT ACT, 1979 (AS AMENDED)
NOTICE TO APPLICANT OF DETERMINATION
OF A DEVELOPMENT APPLICATION**

Applicants Name and Address

ANNE-LOUISE CLACHER
26 NORTH AVALON ROAD
AVALON 2107

Being the applicant in respect of Development Application No **N0174/10**

Pursuant to section 80(1) of the Act, notice is hereby given of the determination by Pittwater Council, as the consent authority of Development Application No **N0174/10** for

alterations and additions to the existing detached studio

At 26 NORTH AVALON ROAD, AVALON (Lot 19 DP 8394)

Decision

The Development Application has been determined by the granting of consent based on information provided by the applicant in support of the application including the Statement of Environmental Effects, and in accordance with **Plans numbered 001, sheets 1 and 2, dated 27/3/10, prepared by Backyard Cabins** as amended in red (shown clouded) or as modified by any conditions of this consent

The reason for the imposition of the attached conditions is to ensure that the development consented to is carried out in such a manner as to achieve the objectives of the Environmental Planning and Assessment Act 1979 (as amended), pursuant to section 5(a) of the Act, having regard to the relevant matters for consideration contained in section 79C of the Act and the Environmental Planning Instruments applying to the land, as well as section 80A of the Act which authorises the imposing of the consent conditions

Endorsement of date of consent 13 July 2010

Mark Ferguson
GENERAL MANAGER
Per

Conditions of Approval

This consent is not an approval to commence building work. The works associated with this consent can only commence following the issue of the Construction Certificate.

Note: Persons having the benefit of development consent may appoint either a council or an accredited certifier as the principal certifying authority for the development or for the purpose of issuing certificates under Part 4A of the *Environmental Planning and Assessment Act*. When considering engaging an accredited certifier, a person should contact the relevant accreditation body to ensure that the person is appropriately certified and authorised to act in respect of the development.

A Prescribed Conditions

- 1 All works are to be carried out in accordance with the requirements of the Building Code of Australia.
- 2 In the case of residential building work for which the *Home Building Act 1989* requires there to be a contract of insurance in force in accordance with Part 6 of that Act, there is to be such a contract in force.
- 3 Critical stage inspections are to be carried out in accordance with clause 162A of the *Environmental Planning & Assessment Regulation 2000*. To allow a Principal Certifying Authority or another certifying authority time to carry out critical stage inspections required by the Principal Certifying Authority, the principal contractor for the building site or the owner-builder must notify the Principal Certifying Authority at least 48 hours before building work is commenced and prior to further work being undertaken.
- 4 A sign must be erected in a prominent position on any site on which building work, subdivision work or demolition work is being carried out
 - a showing the name, address and telephone number of the Principal Certifying Authority for the work, and
 - b showing the name of the principal contractor (if any) for any building work and a telephone number on which that person may be contacted outside working hours, and
 - c stating that unauthorised entry to the work site is prohibited

Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out, but must be removed when the work has been completed

- 5 Residential building work within the meaning of the Home Building Act 1989 must not be carried out unless the Principal Certifying Authority for the development to which the work relates (not being the Council) has given the Council written notice of the following information
 - a in the case of work for which a principal contractor is required to be appointed
 - i The name and licence number of the principal contractor and
 - ii The name of the insurer by which the work is insured under Part 6 of that Act
 - b in the case of work to be done by an owner-builder
 - i The name of the owner-builder, and
 - ii If the owner-builder is required to hold an owner-builder permit under that Act, the number of the owner-builder permit

- 6 If arrangements for doing the residential building work are changed while the work is in progress so that the information notified under subclause (2) becomes out of date, further work must not be carried out unless the Principal Certifying Authority for the development to which the work relates (not being the Council) has given the Council written notice of the updated information

- 7 The hours of construction are restricted to between the hours of 7 00am and 5 00pm Monday - Friday and 7 00am to 1 00pm on Saturdays No works are to be carried out on Sundays or Public Holidays Internal building work may be carried out at any time outside these hours, subject to noise emissions from the building or works not being audible at any adjoining boundary

B Matters to be incorporated into the development and maintained over the life of the development

- 1 If any Aboriginal Engravings or Relics are unearthed all work is to cease immediately and the Metropolitan Local Aboriginal Land Council (MLALC) and Department of Environment & Climate Change (DECC) are to be notified

 - 2 For the life of the development, domestic pet animals are to be kept from entering wildlife habitat areas at all times Dogs and cats are to be kept in an enclosed area or on a leash such that they cannot enter areas of bushland,
-

unrestrained, on the site or on surrounding properties or reserves. Ferrets and rabbits are to be kept in a locked hutch/run at all times.

- 3 Over the life of the development all declared noxious weeds are to be removed/controlled in accordance with the Noxious Weeds Act 1993. Environmental weeds are to be removed and controlled. Refer to Pittwater Council website (www.pittwater.nsw.gov.au) for noxious/environmental weed lists.
 - 4 No environmental weeds are to be planted on the site. Refer to Pittwater Council website (www.pittwater.nsw.gov.au) for environmental weed lists.
 - 5 Any vegetation planted outside approved landscape zones is to be consistent with locally native species growing onsite and/or selected from the list pertaining to the vegetation community growing in the locality as per the vegetation mapping and Native Plants for Your Garden link available from Council's website www.pittwater.nsw.gov.au.
 - 6 In accordance with Pittwater Council's Tree Preservation Order, all existing trees as indicated in the Survey Plan and/or approved Landscape Plan shall be retained except where Council's prior written consent has been obtained, as trees stand within the envelope of approved development areas. For all other tree issues not related to a development application, applications must be made to Council's Tree Management Officers.
 - 7 This approval/consent relates only to the new work nominated on the approved consent plans and does not approve or regularise any existing buildings or structures within the property boundaries or within Council's road reserve.
 - 8 No water pollution shall result from the operation of any plant or equipment or activity carried out.
 - 9 Noise from the operation of any plant or equipment at the premises shall comply with the noise provisions of the Protection of the Environment Operations Act, 1997.
-

10 No odour nuisance to the public or any adjoining premises shall be created by the operation of any plant or equipment or any procedure carried out at the premises

11 No emissions causing air pollution shall be created by the operation of any plant equipment or any procedure carried out at the premise

12 The operation of any plant or equipment or any procedure carried out at the premises shall not cause land pollution

13 The reflectivity index (expressed as a percentage of the reflected light falling upon any surface) of all external glazing is to have a maximum reflectivity index of 25% Written confirmation of the reflectivity index of material is to be submitted with the Construction Certificate

(Note the reflectivity index of glazing elements can be obtained from glazing manufacturers Glass with mirrored or reflective foil finishes is unlikely to achieve compliance with this requirement This is to ensure that excessive glare or reflectivity nuisance from glazing does not occur as a result of the development)

14 Materials and colour schemes are to be in accordance with the samples submitted to Council with the application No white or light coloured roofs are permitted

15 The commitments identified in the BASIX Certificate and on the plans or specifications are to be fulfilled and maintained for the life of the development

C Matters to be satisfied prior to the issue of the Construction Certificate

Note All outstanding matters referred to in this section are to be submitted to the accredited certifier together Incomplete Construction Certificate applications / details cannot be accepted

1 Submission of construction plans and specifications and documentation which are consistent with the approved Development Consent plans, the

requirements of Building Code of Australia and satisfy all conditions shown in Part B above are to be submitted to the Principal Certifying Authority

- 2 The Accredited Certifier or Council must be provided with a copy of plans that a Quick Check agent/Sydney Water has stamped before the issue of any Construction Certificate

- 3 Any proposed demolition works shall be carried out in accordance with the requirements of AS2601-2001 *The Demolition of Structures*

Amongst others, precautions to be taken shall include compliance with the requirements of the WorkCover Authority of New South Wales, including but not limited to

- 1 Protection of site workers and the general public
- 2 Erection of hoardings where appropriate
- 3 Asbestos handling and disposal where applicable
- 4 Any disused service connections shall be capped off

Council is to be given 48 hours written notice of the destination/s of any excavation or demolition material. The disposal of refuse is to be to an approved waste disposal depot

- 4 Structural Engineering details relating to the new works are to be submitted to the Accredited Certifier or Council prior to release of the Construction Certificate. Each plan/sheet is to be signed by a qualified practising Structural Engineer with corporate membership of the Institute of Engineers Australia (M I E), or who is eligible to become a corporate member and has appropriate experience and competence in the related field
 - 5 Plans and details demonstrating that the commitments identified in the BASIX Certificate that apply to the construction certificate or complying development plans and specifications are fulfilled
-

D Matters to be satisfied prior to the commencement of works and maintained during the works

Note It is an offence to commence works prior to issue of a Construction Certificate

- 1 Temporary sedimentation and erosion controls are to be constructed prior to commencement of any work to eliminate the discharge of sediment from the site
- 2 Adequate measures shall be undertaken to remove clay from vehicles leaving the site so as to maintain public roads in a clean condition
- 3 Waste materials generated through demolition, excavation and construction works are to be minimised by re-use on site, recycling or where re-use or recycling is not practical, disposal at an appropriate authorised waste facility

All waste dockets and receipts regarding demolition, excavation and construction waste are to be retained on site to confirm which facility received the material for recycling or disposal

The ongoing operation of Recycling and Waste Management Services is to be undertaken in accordance with the Waste Management Plan

- 4 No works are to be carried out in Council's Road Reserve without the written approval of the Council
- 5 No skip bins or materials are to be stored on Council's Road Reserve
- 6 A clearly legible *Site Management Sign* is to be erected and maintained throughout the course of the works. The sign is to be centrally located on the main street frontage of the site and is to clearly state in legible lettering the following
 - o The builder's name, builder's telephone contact number both during work hours and after hours
 - o That no works are to be carried out in Council's Road Reserve without the written approval of the Council
 - o That a Road Opening Permit issued by Council must be obtained for any road openings or excavation within Council's Road Reserve associated with development of the site, including stormwater drainage, water, sewer, electricity, gas and communication

connections During the course of the road opening works the Road Opening Permit must be visibly displayed at the site

- o That no skip bins or materials are to be stored on Council's Road Reserve
- o That the contact number for Pittwater Council for permits is 9970 1111

- 7 All works within 5 metres of the existing trees to be retained including pruning, demolition, excavation, civil works, fencing and the like must be carried out by hand Should roots larger than 50mm be encountered all excavation works are to cease immediately and a qualified Arborist is to advise on the impacts of the roots removal on the tree's survival and report to the Principal Certifying Authority prior to works recommencing If tree roots are present a pier and beam method of footing construction is to be adopted so as to bridge/span any identified lateral roots

- 8 A stamped copy of the approved plans is to be kept on the site at all times, during construction

- 9 Demolition works must be carried out in compliance with WorkCovers *Short Guide to Working with Asbestos Cement* and Australian Standard AS 2601 2001 *The Demolition of Structures*

The site must be provided with a sign containing the words *DANGER ASBESTOS REMOVAL IN PROGRESS* measuring not less than 400mm x 300mm and be erected in a prominent visible position on the site The sign is to be erected prior to demolition work commencing and is to remain in place until such time as all asbestos cement has been removed from the site and disposed to a lawful waste disposal facility

All asbestos laden waste, including flat, corrugated or profiled asbestos cement sheets must be disposed of at a lawful waste disposal facility Upon completion of tipping operations the applicant must lodge to the Principal Certifying Authority, all receipts issued by the receiving tip as evidence of proper disposal

E Matters to be satisfied prior to the issue of Occupation Certificate

Note Prior to the issue of an Occupation Certificate the principal certifying authority is to ensure that Council's assets, including road, kerb and gutter and drainage facilities adjacent or near to the site have not been damaged as a result of the works. Where such damage has occurred, it is to be repaired to Council's written satisfaction prior to the issue of an Occupation Certificate or suitable arrangements put in place to effect those repairs at a future date to Council's written satisfaction. Should this process not be followed, Council will pursue action against the principal accredited certifier in relation to the recovery of costs to effect such works.

Note It is an offence to occupy the building or part thereof to which this consent relates prior to the issue of an Occupation Certificate.

- 1 An Occupation Certificate application stating that the development complies with the Development Consent, the requirements of the Building Code of Australia and that a Construction Certificate has been issued must be obtained before the building is occupied or on completion of the construction work approved by this Development Consent.
- 2 All existing and /or proposed dwellings/sole occupancy units are to have approved hard-wired smoke alarms installed and maintained over the life of the development. All hard-wired smoke alarms are to be Australian Standard compliant and must be installed and certified by any appropriately qualified electrician prior to the issue of any Occupation Certificate.
- 3 Prior to issue of the Occupation Certificate, a covenant is to be created on the title of the land at the applicant's expense, the terms of which clearly denote that the studio is not to be used for separate residential purposes nor is it ever to be modified so as to incorporate cooking facilities.

Terms of Covenant

- 1 In this covenant the studio shall mean the *studio* clouded in red on the approved plan number 001, sheet 2 dated 27/3/10, prepared by Backyard Cabins.
 - 2 The registered proprietor will not use the studio as a separate residence nor will the registered proprietor install any cooking facilities within the studio.
 - 3 The term registered proprietor shall include the registered proprietors of the land from time to time and all their heirs, executors, assigns and successors in title to the land and where there are two or more registered proprietors of the land the terms of the covenant shall bind all those registered proprietors jointly and severally.
-

With regard to item 1 of the Terms of Positive Covenant the portion in italics will require a reference to an updated survey which must detail an accurate description of the building in question Council's suggested description would contain studio within the survey sketch notation to ensure a clear reference is made Proof of the creation of the covenant is to be provided to the Private Certifying Authority with the Occupation Certificate application

- 4 Certification is to be provided that the commitments identified in the BASIX Certificate have been fulfilled

F Matters to be satisfied prior to the issue of Subdivision Certificate

Nil

G Advice

- 1 Failure to comply with the relevant provisions of the *Environmental Planning and Assessment Act, 1979* (as amended) and/or the conditions of this Development Consent may result in the serving of penalty notices (on-the-spot fines) under the summary offences provisions of the above legislation or legal action through the Land and Environment Court, again pursuant to the above legislation
- 2 The applicant is also advised to contact the various supply and utility authorities, i.e. Sydney Water, Sydney Electricity, Telstra etc to enquire whether there are any underground utility services within the proposed excavation area
- 3 It is the Project Managers responsibility to ensure that all of the Component Certificates/certification issued during the course of the project are lodged with the Principal Certifying Authority Failure to comply with the conditions of approval or lodge the Component Certificates/certification will prevent the Principal Certifying Authority issuing an Occupation Certificate
- 4 In accordance with Section 95(2) of the Act, this consent will lapse if the development, the subject of this consent, is not commenced within 2 years after the date from which this consent operates

NOTE Council may be prepared to consider an extension of this Consent

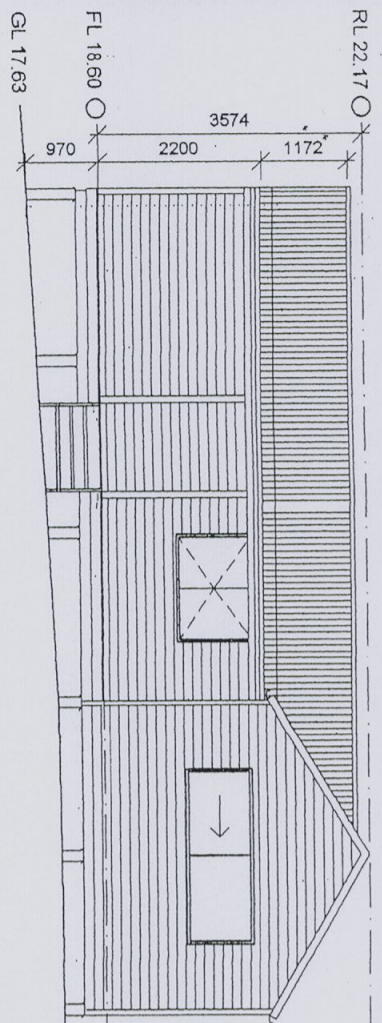
period for a further 12 months, however, the request for extension would have to be received during the initial 2 year period

- 5 To ascertain the date upon which the determination becomes effective, refer to Section 83 of the *Environmental Planning and Assessment Act, 1979* (as amended)

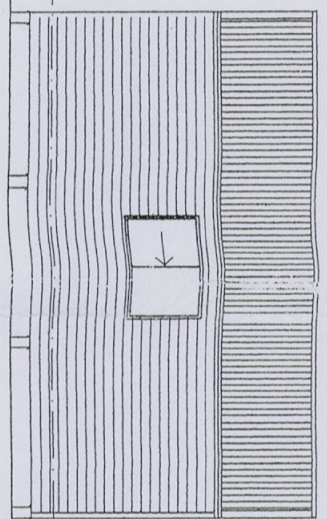
- 6 Should any of the determination not be acceptable, you are entitled to request reconsideration under Section 82A of the *Environmental Planning and Assessment Act, 1979*. Such request to Council must be made in writing, together with appropriate fees as advised at the time of lodgement of such request within 1 year from the date of determination

- 7 If you are dissatisfied with this decision, Section 97 of the *Environmental Planning and Assessment Act, 1979*, gives you a right of appeal to the Land and Environment Court within 12 months of the date of endorsement of this Consent

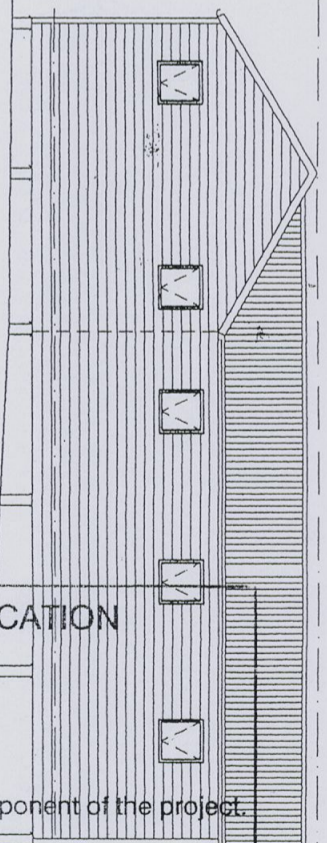
- 8 The approved plans must be submitted to a Sydney Water Quick Check agent or Customer Centre to determine whether the development will affect Sydney Waters sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met. The approved plans will be appropriately stamped. For Quick Check agent details please refer to the web site at www.sydneywater.com.au then see Building Developing and Plumbing then Quick Check, or telephone 13 20 92



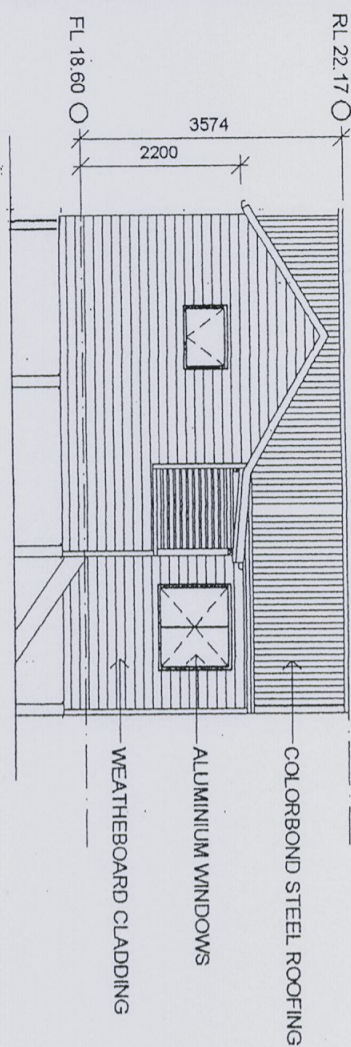
EAST ELEVATION
SCALE 1 : 100



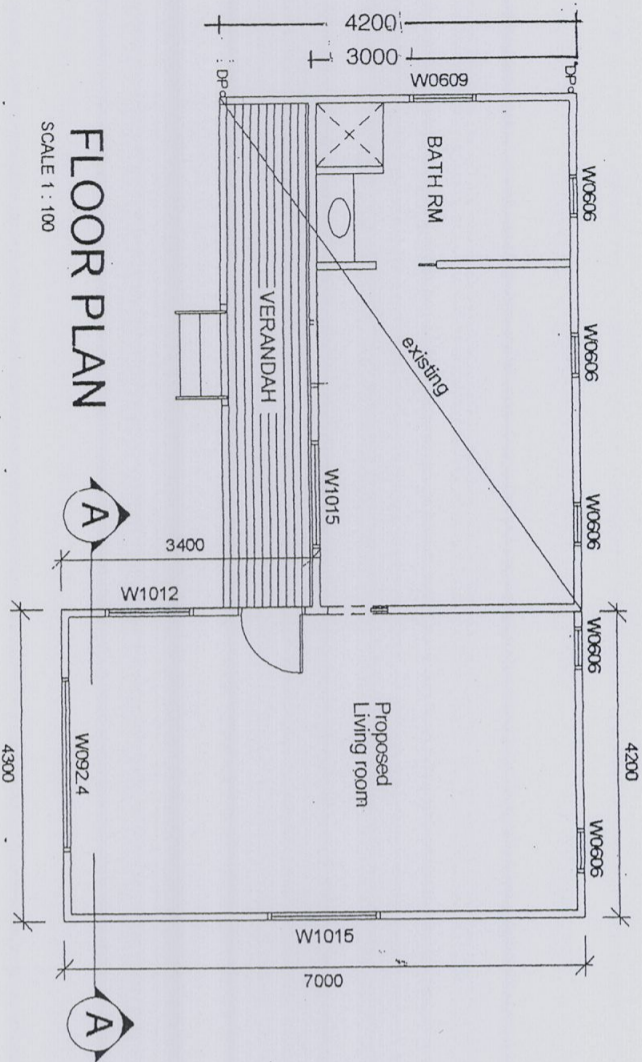
NORTH ELEVATION
SCALE 1 : 100



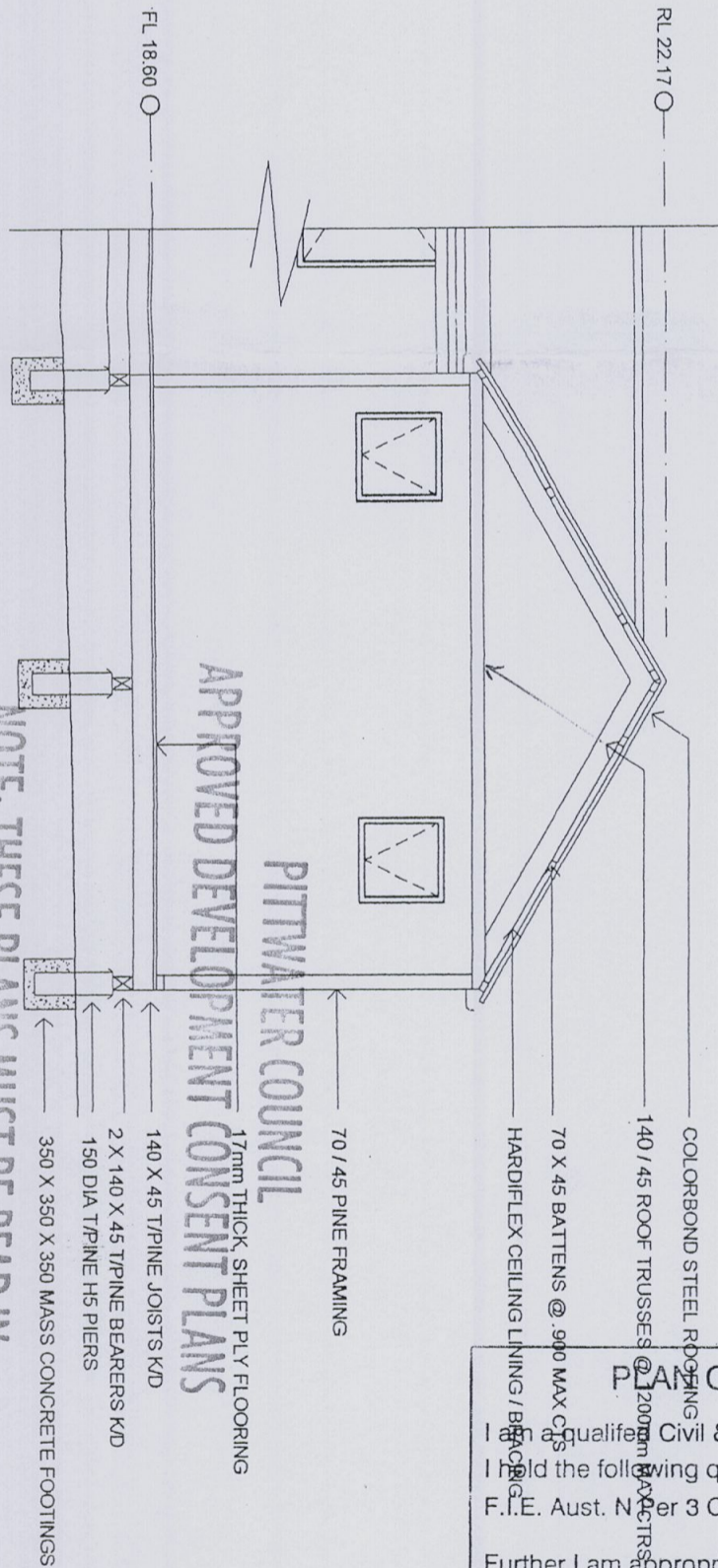
WEST ELEVATION
SCALE 1 : 100



SOUTH ELEVATION
SCALE 1 : 100



FLOOR PLAN
SCALE 1 : 100



SECTION A
SCALE 1 : 50

- NOTE:
1. DO NOT SCALE FROM THIS DRAWING. USE GIVEN DIMENSIONS
 2. CONTRACTORS TO CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION
 3. ENGINEERS DRAWINGS TO TAKE PREFERENCE
 4. BUILDING WORKS TO BE CARRIED OUT STRICTLY IN ACCORDANCE TO THESE DRAWINGS
 5. WALL BRACING TO COMPLY WITH AS 1684 - 1999 & ALL WORK TO COMPLY WITH THE BCA

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

PLANNING OR DOCUMENT CERTIFICATION

I am a qualified Civil & Structural Engineer
 I hold the following qualifications M. Eng. Sc.
 F.I.E. Aust. No. 3 Civil & Structural No. 149788

Further I am appropriately qualified to certify this component of the project.

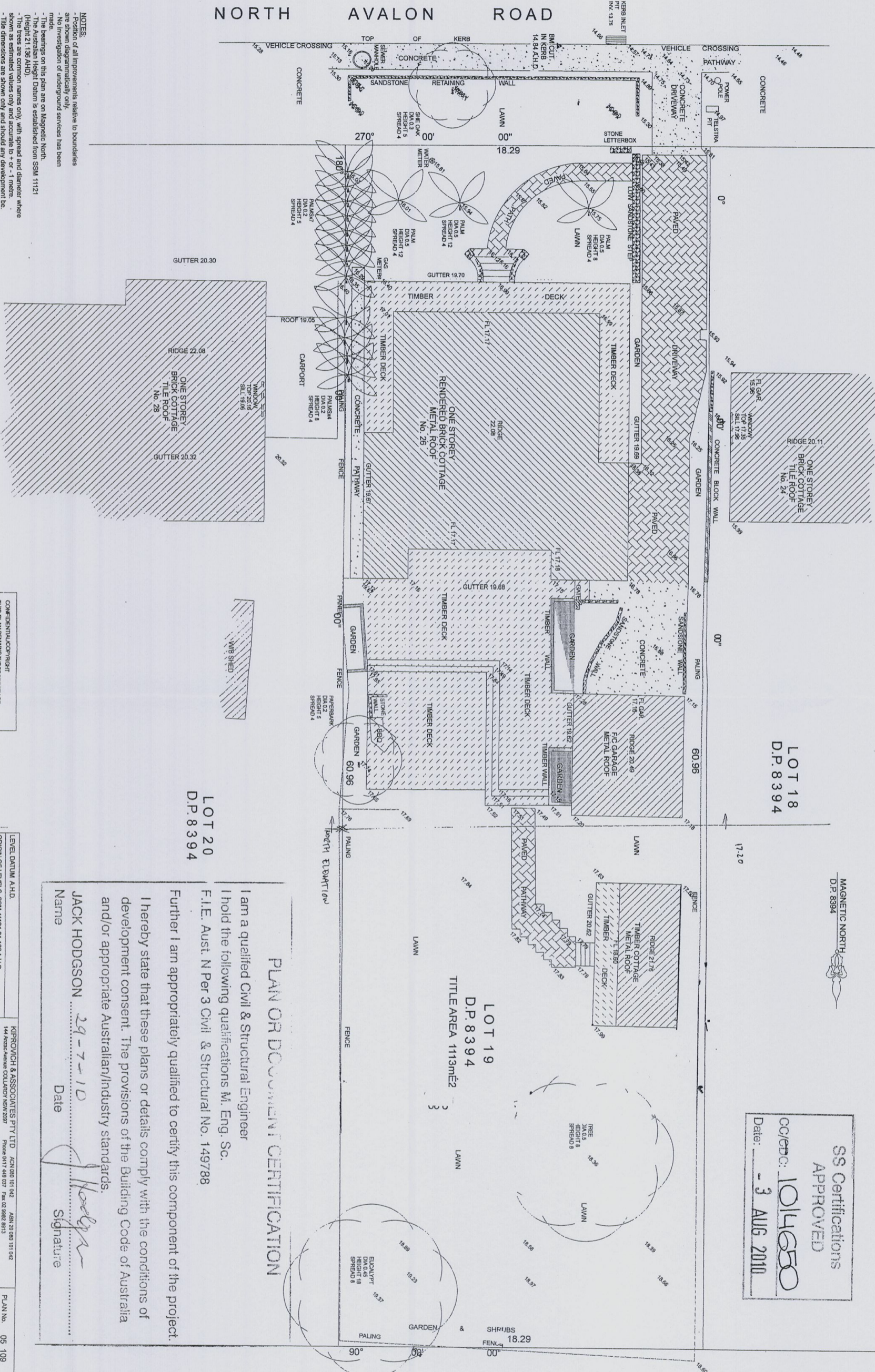
I hereby state that these plans or details comply with the conditions of development consent. The provisions of the Building Code of Australia and/or appropriate Australian/Industry standards.

JACK HODGSON 29-7-10
 Name Date Signature

SS Certifications
 APPROVED
 Date: 3 AUG 2010

PROJECT: CABIN CLASS 10 A OUTBUILDING	CLIENT: Ms A Clacher	DRAWING: FLOOR PLAN, SECTION & ELEVATIONS	PROJECT No: 102	DATE: 27/3/10	BUILDER BACKYARD CABINS (B Lic 106039C) PH (02) 99731691	DRAFTING PLANATEC PH (02) 99183915
LOCATION: 26 Nth Avalon Rd Avalon 2107			DRAWING No: 001	SCALE: 1:100 / 1:50		CHECKED BY: M Purves

NORTH AVALON ROAD



NOTES:

- Position of all improvements relative to boundaries shown on this plan are indicated only.
- No investigation of underground services has been made.
- The bearings on this plan are on Magnetic North.
- The Australian Height Datum is established from SSM 11121 (Height 21.138 AHD).
- The trees are common names only, with spread and diameter where shown.
- The dimensions are shown only and should not be used for development planned on or near the boundaries, the boundaries should be clearly marked.
- The information in this plan is only to be used at a scale accuracy quoted on the face of the plan.
- CONTACT DIAL BEFORE YOU DIG BEFORE ANY EXCAVATION OR NEAR THIS SITE. DIAL BEFORE YOU DIG TELEPHONE NUMBER 1100.

CONFIDENTIAL/ACCURATE
THIS PLAN REMAINS THE PROPERTY OF THE SURVEYOR AND MUST NOT BE REPRODUCED IN PART OR WHOLE WITHOUT THE WRITTEN PERMISSION OF KIRROVICH & ASSOCIATES PTY LTD.

SS Certifications
APPROVED
cc/epd: 1014650
Date: - 3 AUG 2010

PLAN OR DOCUMENT CERTIFICATION

I am a qualified Civil & Structural Engineer
I hold the following qualifications M. Eng. Sc.
F.I.E. Aust. N Per 3 Civil & Structural No. 149788

Further I am appropriately qualified to certify this component of the project.

I hereby state that these plans or details comply with the conditions of development consent. The provisions of the Building Code of Australia and/or appropriate Australian/industry standards.

JACK HODGSON 29-7-10
Name Date Signature

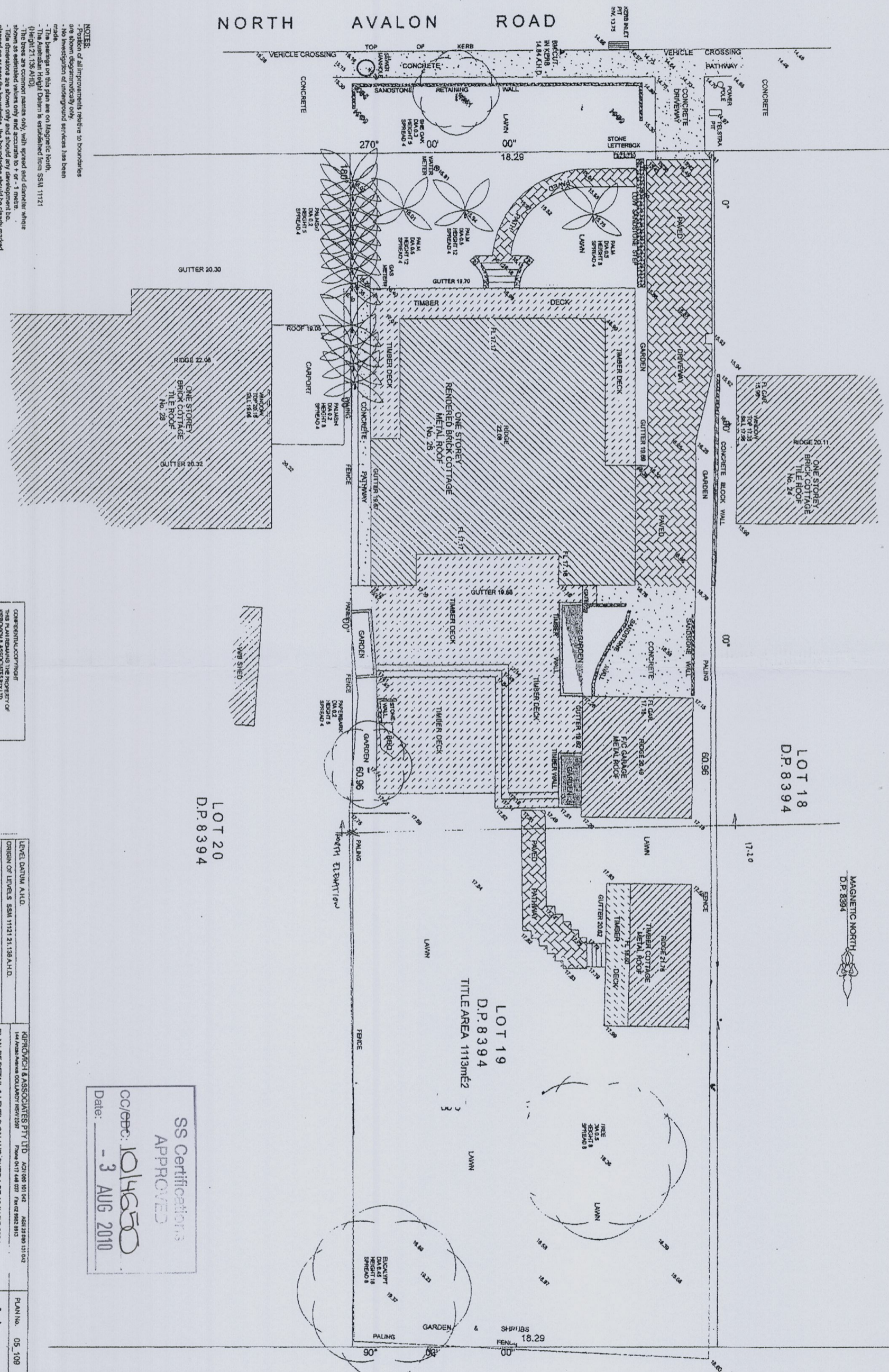
LEVEL DATA A.H.D.	KIRROVICH & ASSOCIATES PTY LTD. ACN 080 101 062	PLAN No.	05_109
ORIGIN OF LEVELS SSM 11121 21.138 A.H.D.	141 Kewdale Avenue COLLALBY NSW 2207	DATE OF ISSUE	01/02/2005
CO-ORD SYSTEM	Phone 0411 448 007 Fax 02 2922 9313	SHEET No.	ONE OF SHEETS
ORIGIN OF CO-ORDS	PARISH: WARRABEEN COUNTY: CUMBERLAND	DATE OF SHEETS	ONE
SURVEY AZIMUTH MAGNETIC NORTH	L.G.A. PITTSWATER LOCALITY: AVALON		
FIELD BOOK 05_109	Client: MR & MRS HRNYAK		
LEVEL BOOK			
SURVEYED BY: R.K. & R.M.	DRAWN BY: R.M.		

LOT 20
D.P. 83394

LOT 19
D.P. 83394
TITLE AREA 1113m²
3

LOT 18
D.P. 83394

NORTH AVALON ROAD



NOTES:
 - Position of all improvements relative to boundaries are shown diagrammatically only.
 - No investigation of underground services has been made.
 - The boundaries of this plan are on Magnetic North (Height 21.136 AHD).
 - The boundaries of this plan are on Magnetic North (Height 21.136 AHD).
 - The trees are common names only, with spread and diameter where shown as estimated values only and accurate to + or - 1 metre.
 - Title dimensions are shown only and should not be used for development.
 - The information in this plan is only to be used as a guide to accuracy quoted on the face of the plan.
 - CONDUCT DIAL BEFORE YOU DIG BEFORE ANY EXCAVATION OR NEAR THIS SITE DIAL BEFORE YOU DIG TELEPHONE NUMBER 1100.

CONFIDENTIAL/SECRET
 THIS PLAN REMAINS THE PROPERTY OF THE SURVEYOR AND IS NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF THE SURVEYOR.
 11/11/10

SS Certifications
 APPROVED
 cc/ebc: 1014650
 Date: - 3 AUG 2010

LEVEL DATUM A.H.D.	APPROVED & ASSOCIATES PTY LTD	ACN 066 301 042	ABN 28 066 101 042
ORIGIN OF LEVELS	SSM 1121 21.136 A.H.D.	144 Adelaide Colonnade	COLLAJONG NSW 2257
CO-ORDINATE SYSTEM		Phone 04 17 448 077	Fax 02 8622 8913
ORIGIN OF CO-ORDS	PLAN OF DETAIL & LEVELS ON LAND OVER LOT 18 IN DP 8394		
SURVEY AZIMUTH	PARISH MARRABERREN COUNTY, CAMBERLAND		
FIELD BOOK	LSA DITTMAYER LOCALITY AVALON		
FIELD BOOK	04-109	LEVEL BOOK	
SURVEYED BY	R.K. & R.M.	DRAWN BY	R.M.
PLAN No.	05_108	DATE: 01/02/2008	
SCALE	1:100	SHEET No.	No. OF SHEETS
		ONE	ONE