

STATEMENT OF ENVIRONMENTAL EFFECTS

**FOR THE CONSTRUCTION OF ADDITIONS & ALTERATIONS
TO AN EXISTING DWELLING INCLUDING NEW SWIMMING POOL**

LOCATED AT

10 BEVERLEY PLACE, CURL CURL

FOR

JESSIE GLEW & DEAN KRETCHMER



**Prepared
March 2023**

Table of Contents

1.0	Introduction	3
2.0	Property Description	3
3.0	Site Description	3
4.0	The Surrounding Environment	8
5.0	Proposed Development	9
6.0	Zoning and Development Controls	10
6.1	State Environmental Planning Policy (Resilience and Hazards) 2021	10
6.2	State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004	10
6.3	Warringah Local Environment Plan 2011	10
6.4	Warringah Development Control Plan	12
7.0	Matters for Consideration under Section 4.15 of The Environmental Planning and Assessment Act, 1979.	19
7.1	The provisions of any environmental planning instrument	19
7.2	Any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and	19
7.3	Any development control plan	19
7.4	Any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4, and	19
7.5	The regulations (to the extent that they prescribe matters for the purposes of this paragraph),	19
7.6	The likely impacts of that development, including environmental impacts on both the natural and built environments, and the social and economic impacts in the locality.	19
7.7	The suitability of the site for the development	20
7.8	Submissions made in accordance with this Act or the regulations	20
7.9	The public interest	20
8.0	Conclusion	20

1.0 Introduction

This Statement of Environmental Effects accompanies architectural plans prepared on behalf of Jessie Glew and Dean Kretchmer by Laura Cook, Sheets DA.00 – DA.10, Issue A dated 2023 to detail the construction of additions and alterations to an existing dwelling comprising a new swimming pool and associated paved terraces and new external sliding doors at **10 Beverley Place, Curl Curl**.

This Statement describes the subject site and the surrounding area, together with the relevant planning controls and policies relating to the site and the type of development proposed. As a result of this assessment it is concluded that the development of the site in the manner proposed is considered to be acceptable and is worthy of the support of the Council.

In preparation of this document, consideration has been given to the following:

- *The Environmental Planning and Assessment Act, 1979 as amended*
- *The Environmental Planning and Assessment Regulation 2021*
- *State Environmental Planning and Policy (Resilience and Hazards) 2021*
- *State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004*
- *Warringah Local Environmental Plan 2011*
- *Warringah Development Control Plan*

2.0 Property Description

The subject allotment is described as 10 Beverley Place, Curl Curl being Lot 1 within Deposited Plan 1067150 and is zoned R2 Low Density Residential within the provisions of the Warringah Local Environmental Plan 2011.

The site is noted as Landslip Risk Area B and has no other identified hazards. A Geotechnical Investigation has been prepared by White Geotechnical Group, Reference No J4358 dated 8 November 2022 and is attached to this submission.

3.0 Site Description

The property is located in a cul-de-sac at the southern end of Beverley Place. The site is irregular in shape being a battle-axe allotment, with a width of 30.52m and a depth of 38.915m. The total site area is 1318.16m².

The site is currently developed with a one and two storey brick residence with a metal roof, together with an existing concrete driveway access from Beverley Place.

The site slopes from the western boundary to the eastern boundary, with a fall of approximately 11.5m over the site's length.

Stormwater will be directed to the existing stormwater pit to the north-eastern corner of the site and diverted to the street in accordance with the existing arrangements.

The details of the site are as indicated on the Survey Plan prepared by Waterview Surveying Services, Reference No. 1502, Sheet 1 -2, Rev A, dated 2 February 2022, which accompanies the DA submission.

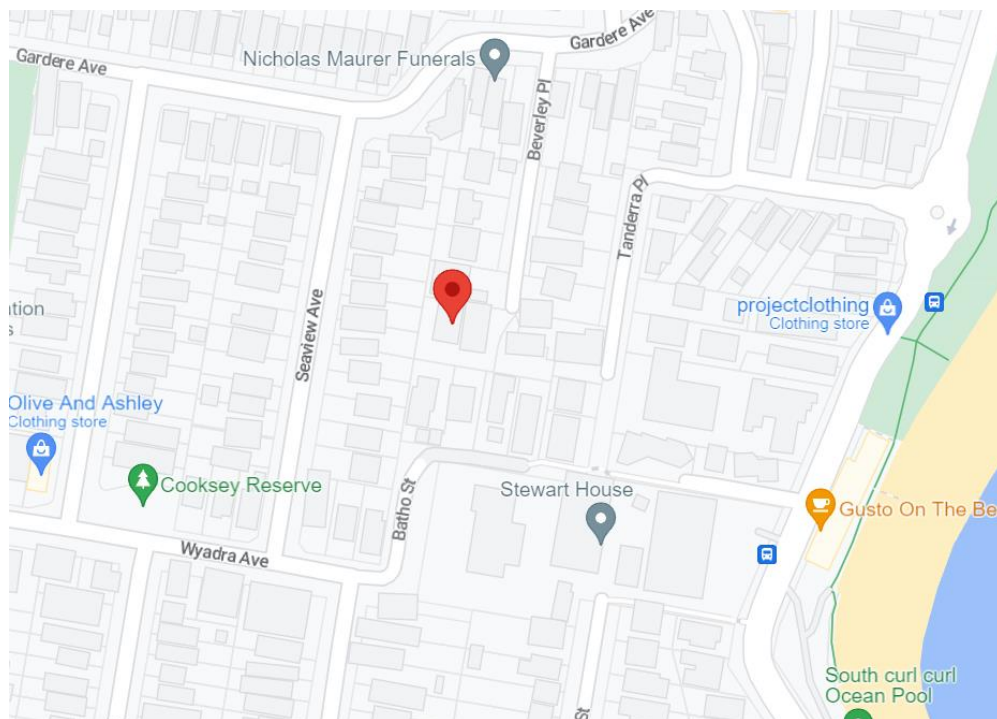


Fig 1: Location of Subject Site
(Source: Google Maps)



Fig 2: View of subject site, looking south-west from Beverley Place



Fig 3: View of the subject site and looking towards the location of the proposed swimming pool (above rock terrace centre of view)



Fig 4: View of the location of the proposed pool (above rock terrace), looking north-west



Fig 5: View of the location of the proposed pool, looking north



Fig 6: View looking north-east from rear lawn area (RL 46.69) towards the towards the proposed pool location (pool coping at RL 45.870 will be 0.82m below lawn level)



Fig 7: View looking north-east from rear lawn area (RL 46.69) towards the towards the proposed pool location (pool coping at RL 45.870 will be 0.82m below lawn level)



Fig 8: View looking north-west towards the from rear lawn level

4.0 The Surrounding Environment

The general vicinity of the site is characterised by single storey dwellings, being generally one and two storeys in height, with stepped floor and yard levels to respect the sloping topography.

Development in the area generally presents a consistent setback to the public domain.

The surrounding properties comprise a range of original style dwellings with an emergence of modern additions. The existing adjoining dwellings are both similar two storey elevated dwellings.

The proposal includes a new swimming pool in the rear yard and as indicated in the aerial view below, pools are not uncommon features in the immediate locality.

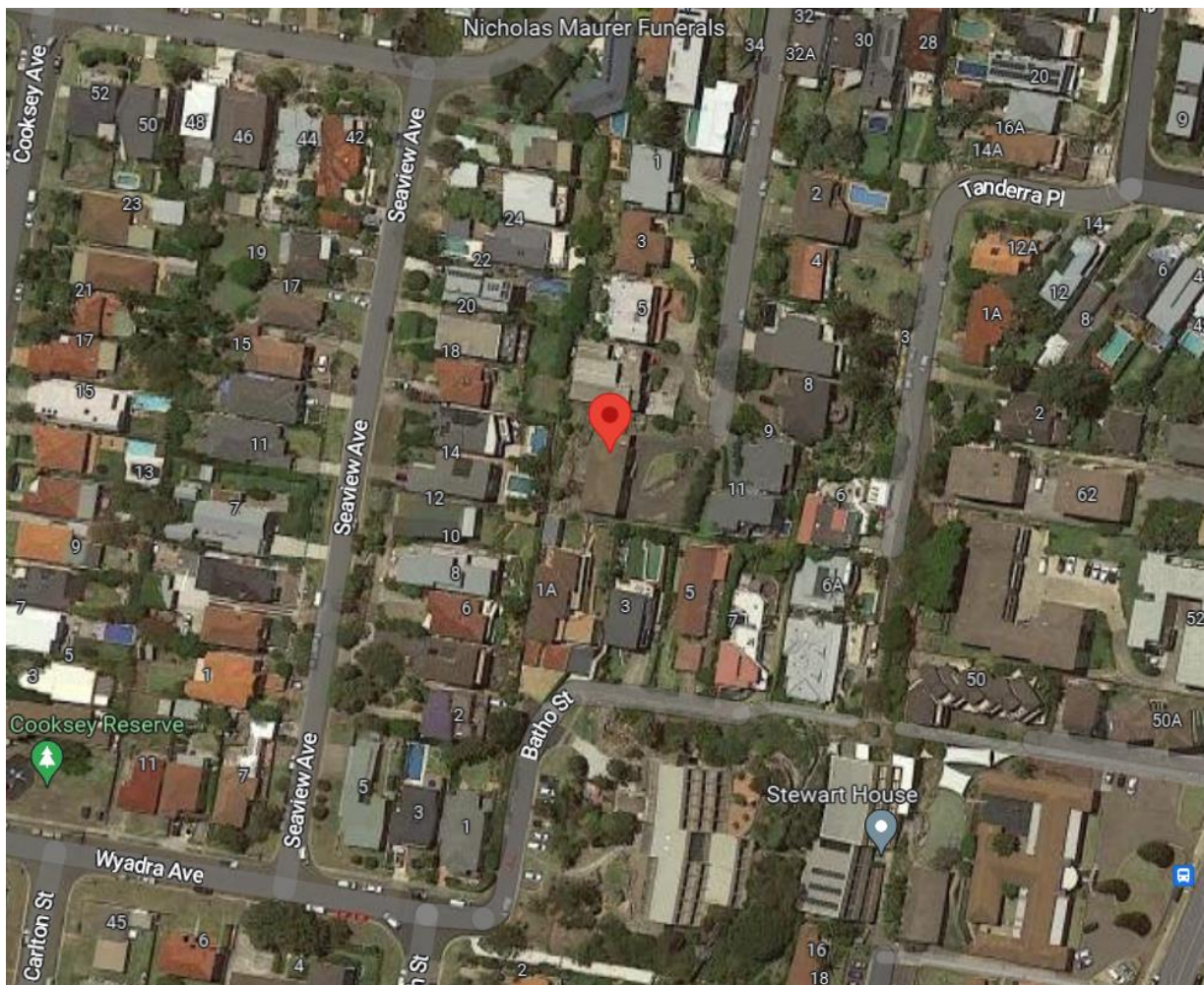


Fig 9: Aerial view of locality
(Source: Google Maps)

5.0 Proposed Development

As detailed within the accompanying plans, the proposal seeks approval for the construction of alterations and additions to an existing dwelling comprising the construction of a new swimming pool and associated terraces, together with changes to existing door & window openings and including new doors to the northern and western elevations of the dwelling.

The works are as follows:

External Works

- New plunge pool with paved surround
- Re-pave existing terrace
- New sliding doors to the northern elevation of the dwelling
- New servery window to the Western elevation of the dwelling
- Removal of an existing external door from the western relation of the dwelling

The works will be sited and designed sympathetically with the topography of the site, while a setback maintained to the north with existing vegetation providing screening and softening of the built form.

The development indices for the site are:

Site Area	1316.6m ²
Required Landscape Area	40% or 526.64m ²
Proposed Landscape Area	41.1% or 540.5m ²

6.0 Zoning and Development Controls

6.1 State Environmental Planning Policy (Resilience and Hazards) 2021

SEPP (Resilience and Hazards) 2021 and in particular Clause 4.6(1)(a) suggests that a consent authority must not grant consent to the carrying out of any development on land unless it has considered whether the land is contaminated.

Given the history of residential use of the land, the site is not considered to be subject to contamination and further investigation is not required at this stage.

6.2 State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

The proposal has been designed to respect the water, thermal and energy standards required by BASIX. A BASIX certificate has been submitted with the development application.

6.3 Warringah Local Environment Plan 2011

The land is zoned R2 Low Density Residential under the provisions of the WLEP 2011.



Fig 10: Extract of Warringah Local Environment Plan 2011

The development of and use of the land for residential purposes is consistent with the zone objectives, which are noted as:

- *To provide for the housing needs of the community within a low density residential environment.*
- *To enable other land uses that provides facilities or services to meet the day to day needs of residents.*
- *To ensure that low density residential environments are characterised by landscaped settings that are in harmony with the natural environment of Warringah.*

It is considered that the proposed additions to the existing dwelling and swimming pool will be consistent with the desired future character of the surrounding locality for the following reasons:

- The proposal will be consistent with and complement the existing detached style housing within the locality.
- The proposed development respects the scale and form of other new development in the vicinity and therefore complements the locality. The proposal provides for a swimming pool which given the modest scale of the works and the predominant siting to the rear of the dwelling, will not be prominently visible from Beverley Place.
- The proposal maintains suitable areas of soft landscaping.
- The setbacks are compatible with the existing surrounding development.
- The proposal does not have any significant or unreasonable impact on long distance views, with an outlook towards the west to be maintained for the uphill properties to the west of the site.

Clause 4.3 – Height of buildings

The dictionary supplement to the LEP notes building height to be:

***building height (or height of building)** means the vertical distance between ground level (existing) and the highest point of the building, including plant and lift overruns, but excluding communication devices, antennae, satellite dishes, masts, flagpoles, chimneys, flues and the like.*

The building height limit for development in this portion of Curl Curl is 8.5m. The proposed new works are up to 6.31m (to the eastern extremity of the pool fence above the rock level immediately east of the swimming pool) which complies with this control.

Clause 6.2 – Earthworks

The proposal will require some excavation to accommodate the proposed works. All works will be overseen by a qualified Structural Engineer.

Clause 6.4 – Development on sloping land

The site has been identified on the Landslip Risk Map as being within Area B. A Geotechnical Investigation has been prepared by White Geotechnical Group, Reference No J4358 dated 8 November 2022 and is attached to this submission.

There are no other clauses of the WLEP 2011 that are considered to be relevant to the proposed development. It is considered that the proposal achieves the requirements of the WLEP.

6.4 Warringah Development Control Plan

The relevant numerical and performance based controls under WDCP are discussed below:

Part B - Built Form Controls			
Standard	Required	Proposed	Compliance
B1 – Wall heights	Max 7.2m	Existing wall height unchanged.	N/A – remains unchanged
B2 – Number of storeys	No requirement identified on map		N/A – remains unchanged
B3 – Side Boundary Envelope	Building envelope 45 degrees from 4m.	The proposal will not see any change to the building envelope of the dwelling. The swimming pool will be sited within the prescribed building envelope.	N/A – remains unchanged
B4 – Site Coverage	No requirement identified on map		N/A
B5 – Side Boundary setbacks	R2 zoned land 0.9m	The water edge will be setback 745mm from the northern side boundary, to align with the existing raised planter and screening planting on adjacent to the boundary. As the pool is set well below ground level at the boundary, the proposed minor reduction to the side setback is considered to be reasonable in this instance.	Yes – on merit
B6 – Merit assessment of Side Boundary Setbacks	No requirement identified on map		N/A
B7 – Front Boundary Setbacks	Minimum 6.5m to Beverley Place	The proposed swimming pool and associated works will be well setback from the street frontage, therefore satisfying the control.	Yes
B8 – Merit assessment of front boundary setbacks	No requirement identified on map		N/A

B9 – Rear Boundary Setbacks	6m rear setback	The proposed new works are well set back from the rear southern boundary.	Yes
B10 – Merit Assessment of rear boundary setbacks	No requirement identified on map		N/A
B11 – Foreshore Building Setback	No requirement identified on map		N/A
B12 – National Parks Setback	No requirement identified on map		N/A
B13 – Coastal Cliffs Setback	No requirement identified on map		N/A
B14 – Main Roads Setback	No requirement identified on map		N/A
B15 – Minimum Floor to Ceiling Height	No requirement identified on map		N/A
Part C – Siting Factors			
C2 – Traffic, Access and Safety	Vehicular crossing to be provided in accordance with Council's Vehicle Crossing Policy	The existing layback is to be retained and provides access in accordance with Council's standards.	Yes
C3 – Parking Facilities	Garages not to visually dominate façade Parking to be in accordance with AS/NZS 2890.1	The existing attached garage is unchanged.	Yes
C4 – Stormwater	Hydraulic Design to be provided in accordance with Council's Stormwater Drainage Design Guidelines for Minor Developments and Minor Works Specification	Runoff from the pool will be connected to the existing stormwater system and dispersed to the front of the site to an existing pit in accordance with the current arrangements.	Yes
C5 – Erosion and Sedimentation	Soil and Water Management required	Erosion and sediment control measures are to be provided as deemed necessary, however no major site disturbance proposed.	Yes
C6 – Building over or adjacent to Constructed Council Drainage Easements		The site is not affected by Council's drainage infrastructure.	N/A

C7 – Excavation and Landfill	Site stability to be maintained	No significant disturbance is proposed. All works will be carried out in accordance with the recommendations of a suitably qualified Structural Engineer.	Yes
C8 – Demolition and Construction	Waste management plan required	The proposal is accompanied by a Waste Management Plan detailing the waste management measures to be employed during construction.	Yes
C9 – Waste Management	Waste storage area to be provided	Bins storage available surrounding dwelling and garage.	Yes
Part D – Design			
D1 – Landscaped Open Space and Bushland	Min 40% Landscaped Area to be maintained	The proposal will see a landscaped area of 540.5m ² or 41.1% which readily complies with this control.	Yes
D2 – Private Open Space	Dwelling houses with three or more bedrooms Min 60m ² with min dimension 5m	The private open space is contained within the rear yard and will be enhanced through the introduction of the proposed swimming pool and surround. The proposal also includes the re-paving of an existing terrace, further improving the private open space and overall amenity of the site. The private open space is north facing and benefits from good solar access.	Yes
D3 – Noise	Mechanical noise is to be attenuated to maintain adjoining unit amenity. Compliance with NSW Industrial Noise Policy Requirements	The works are residential in nature. N/A to proposed development.	N/A
D4 – Electromagnetic Radiation	N/A to proposed development		N/A

D5 – Orientation and Energy Efficiency	Dwellings to be orientated to receive northern sun Appropriate construction to enhance thermal properties and ventilation/natural cooling Compliance with SEPP (BASIX) requirements	The proposal will not see any change to the external form of the dwelling. The modest extent of the new works will ensure that the solar access enjoyed by the adjoining properties will be protected.	Yes
D6 – Access to sunlight	This control requires that sunlight to at least 50% of private open space to adjoining properties is not to be reduced to less than 2 hours between 9am and 3pm on the winter solstice.	The proposal benefits from a northerly aspect, therefore enjoying access to sunlight between 9am and 3pm on the winter solstice, while the works will not result in overshadowing of adjoining properties.	Yes
D7 – Views	View sharing to be maintained	The controls require that development should enable the reasonable sharing of views. The site and surrounding properties receive water views to the east. It is not considered that the proposal will have a significant impact on any existing views currently enjoyed by surrounding properties.	Yes
D8 – Privacy	This clause specifies that development is not to cause unreasonable overlooking of habitable rooms and principle private open space of adjoining properties	The proposal has been designed to maximise privacy for occupants of the subject and adjoining properties by providing generous separation and maintaining landscaping to ensure overlooking is minimised.	Yes
D9 – Building Bulk	This clause requires buildings to have a visual bulk and architectural scale that is consistent with structures on nearby	The existing surrounding development comprises predominantly one and two storey dwellings. The proposed new works are largely sited to the rear of	Yes

	and adjoining properties and not to visually dominate the street or surrounding spaces	the dwelling, and will not be prominently viewed from Beverley Place.	
D10 – Building Colours and materials		The new works will be provided with recessive colours and finishes to respect the surrounding residential locality.	Yes
D11 – Roofs	The LEP requires that roofs should not dominate the local skyline.	The existing roof form remains unchanged.	Yes
D12 – Glare and Reflection	Glare impacts from artificial illumination minimised. Reflective building materials to be minimised	The existing external finishes and colours will be selected to reflect the surrounding residential locality. No significant glare impacts will result from proposed new works.	Yes
D13 – Front Fences and Front Walls	Front fences to be generally to a maximum of 1200mm, of an open style to complement the streetscape and not to encroach onto street	The proposal does not seek the construction of any new front fencing.	N/A
D14 – Site Facilities	Garbage storage areas and mailboxes to have minimal visual impact to the street Landscaping to be provided to reduce the view of the site facilities	Suitable areas available for mailbox and garbage storage area	Yes
D15 – Side and Rear Fences	Side and rear fences to be maximum 1.8m and have regard for Dividing Fences Act 1991	No side or rear fences proposed	Yes
D16 – Swimming Pools and Spa Pools	Pool not to be located in front yard or where site has two frontages,	The proposal provides for the construction of a new swimming pool within the northern side yard.	Yes

	pool not to be located in primary frontage. Siting to have regard for neighbouring trees.	The proposed pool is suitably set back from nearby vegetation.	
D17 – Tennis Courts	N/A		N/A
D18 – Accessibility	Safe and secure access for persons with a disability to be provided where required	Not applicable to residential development	N/A
D19 – Site Consolidation in the R3 and IN1 Zone	N/A		N/A
D20 – Safety and Security	Buildings to enhance the security of the community. Buildings are to provide for casual surveillance of the street.	The proposed works will not reduce the security of the street area or the subject property. Casual surveillance of the street is available from the dwelling to the street over and through the front landscaped area.	Yes
D21 – Provision and Location of Utility Services	Utility services to be provided	Normal utility services are available to the site	Yes
D22 – Conservation of Energy and Water	Compliance with SEPP BASIX	The proposal has been designed to respect the water, thermal and energy standards required by BASIX. A BASIX Certificate accompanies the submission.	Yes
D23 – Signs	Building identification signage to be appropriate for proposed use and not to impact on amenity of surrounding locality. Signs not to obscure views vehicles, pedestrians or potentially hazardous road features or traffic control devices.	No signage proposed	Yes

Part E – The Natural Environment			
E1 – Private Property Tree Management	Arboricultural report to be provided to support development where impacts to trees are presented	The proposal will not require the removal of any protected tree species.	Yes
E2 – Prescribed Vegetation	Not identified on map		N/A
E3 – Threatened species, populations, ecological communities	Not identified on map		N/A
E4 – Wildlife Corridors	Not identified on map		N/A
E5 – Native Vegetation	Not identified on map		N/A
E6 – Retaining unique environmental features	Not identified on map	The site does not contain any unique environmental features.	Yes
E7 – Development on land adjoining public open space	Not identified on map		N/A
E8 – Waterways and Riparian Lands	Not identified on map		N/A
E9 – Coastline Hazard	Not identified on map		N/A
E10 – Landslip Risk	Identified on map as Area B Area B – A preliminary assessment of site conditions is required.	A Geotechnical Investigation has been prepared by White Geotechnical Group, Reference No J4358 dated 8 November 2022 and is attached to this submission.	Yes
E11 – Flood Prone Land	Not identified on map	N/A	Yes
Bush Fire Prone Land	Not identified on map		N/A

7.0 Matters for Consideration under Section 4.15 of The Environmental Planning and Assessment Act, 1979

7.1 The provisions of any environmental planning instrument

The proposal is subject to the provisions of the Warringah Local Environmental Plan 2011 and the relevant supporting Council policies. It is considered that the provisions of this environmental planning instrument have been satisfactorily addressed within this report and that the proposal achieves compliance with its provisions.

There are no other environmental planning instruments applying to the site.

7.2 Any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and

There are no draft instruments applying to the land.

7.3 Any development control plan

The development has been designed to comply with the requirements of Council's Warringah Development Control Plan 2011.

The application has been prepared having regard to the requirements of Section A, Section B, Section C, Section D and Section E of the Warringah DCP.

It is considered that the proposed design respects the desired character objectives of the DCP in that it reinforces the existing residential character of the area and is compatible with the existing uses in the vicinity.

7.4 Any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4, and

No matters of relevance are raised in regard to the proposed development.

7.5 The regulations (to the extent that they prescribe matters for the purposes of this paragraph),

No matters of relevance are raised in regard to the proposed development.

7.6 The likely impacts of that development, including environmental impacts on both the natural and built environments, and the social and economic impacts in the locality.

It is considered that the proposal, which seeks consent for proposed construction of alterations and additions to an existing dwelling and a swimming pool, will not unreasonably impact upon the amenity of adjoining properties or upon the character of the surrounding area. It is considered that the resultant development is compatible with and will complement the residential character of the area.

The proposal is considered to be well designed having regard to the relevant provisions of the Council's WLEP 2011 and Council's Codes and Policies, in particular the Warringah DCP 2011.

7.7 The suitability of the site for the development

The subject land is currently zoned R2 Low Density Residential under the Warringah Local Environmental Plan 2011 and is considered suitable for the proposed development.

7.8 Submissions made in accordance with this Act or the regulations

This is a matter for Council in the consideration of this proposal.

7.9 The public interest

The proposal will not impact upon the environment, the character of the locality or upon the amenity of adjoining properties and is therefore considered to be within the public interest.

8.0 Conclusion

The principal objective of this development is to provide for the construction of alterations and additions to existing dwelling, including a new swimming pool and paving together with associated landscaping which respects and complements the site's location.

It is considered that the proposed works satisfy the stated objectives of Council's Development Controls. By maintaining our neighbour's amenity and by complementing the existing style and character of the surrounding locality, the stated objectives have been satisfied.

As the proposed development will not have any significant impact on the environment, scenic quality of the area or the amenity of the adjoining allotments, the issue of Development Consent under the delegation of Council is requested.

VAUGHAN MILLIGAN

Town Planner

Grad. Dip. Urban and Regional Planning (UNE)