

Pittwater Council

NOTIFICATION CERTIFICATE PROCEDURE

OFFICIAL RECEIPT

24/07/2003 Receipt No 119135

To Craig Stovold

13 Alleyne Ave
North Narrabeen NSW 2101

Applic Reference	Amount
GL Re HKER-RR A NO860/02	\$198.00
GL Re GLSL-Buil NO860/02	\$440.00

Total: \$638.00

Amounts Tendered

Cash	\$0.00
Cheque	\$638.00
Card	\$0.00
Money Order	\$0.00
Agency Rec	\$0.00
Total	\$638.00
Rounding	\$0.00
Change	\$0.00
Nett	\$638.00

Printed 24/07/2003 3:02:24
Cashier JMount

ve North Narrabeen.
36/02.
60/02

**PLANS/STRUCTUREL/GEOTECHNICAL
PLANS/EROSION CONTROL PLANS ETC
THE CONDIIONS OF DEVELOPMENT**

OFFICER: Sean O'Brien

NOT?

**PE PLAN COMPLY WITH THE
F DEVELOPMENT CONSENT**

FFICER:: _____

Y NOT?

3. THE WORKING DRAWINGS COMPLY WITH THE BCA

BUILDING SURVEYOR: _____

REASONS WHY NOT?

BS - 198.00
LSC - 440.00

\$ 638.00

25 JUL 2003

CONSTRUCTION CERTIFICATE PROCEDURE

ADDRESS:

13 Alleghene Ave North Nantuxen.

CC NO: CC0676/02.

DA NUMBER: N0860/02

1. THE WORKING PLANS/STRUCTUREL/GEOTECHNICAL
ENGINEERING PLANS/EROSION CONTROL PLANS ETC
COMPLY WITH THE CONDIIONS OF DEVELOPMENT
CONSENT

DEVELOPMENT OFFICER: Seen O'Brien

REASONS WHY NOT?

2. THE LANDSCAPE PLAN COMPLY WITH THE
CONDITIONS OF DEVELOPMENT CONSENT

LANDSCAPE OFFICER:: _____

REASONS WHY NOT?

3. THE WORKING DRAWINGS COMPLY WITH THE BCA

BUILDING SURVEYOR: _____

REASONS WHY NOT?

BS - 198.00

LSC - 440.00

\$ 638.00

A 98603

PITTWATER COUNCIL DEVELOPMENT APPLICATION FORM

2nd Floor, Unit 11, No 5 Yuko Place, Warriewood
PO Box 882, MONA VALE NSW 1660
DX 9018, MONA VALE
Facsimile: (02) 9970 7150
Telephone: (02) 9970 1111
ABN No. 61340837871
Email: pittwater_council@pittwater.nsw.gov.au
Website: www.pittwaterlga.com.au



Office Use Only:
FILE AND PART NO: _____
PROPERTY NO: _____

OFFICER: _____

DA NO: 860/02

CC NO: _____

14/10/02

PRE-LODGE MENT	LODGE MENT
- Pre-lodgement discussion with staff is recommended. - Also consider discussing your proposal with your neighbours prior to design or lodgement. - Carefully read the checklist and guide in this form and ensure that all required information and documentation is provided with your application.	- All information required by the check-list must be submitted with this application. - Incomplete applications or illegible information will not be accepted by Council. - All fees are to be paid at the time of lodgement.

THIS APPLICATION IS FOR: (please tick)

☒ DEVELOPMENT CONSENT (Complying ☐ Integrated ☐ Designated ☐ See Page 3)

☐ MODIFICATION OF CONSENT Approval No _____ Approval Date _____

☒ CONCURRENT DEVELOPMENT APPLICATION AND CONSTRUCTION CERTIFICATE

Note: Prior to release of the Construction Certificate, the licensed builder's details or owner builder's permit no. must be provided

LOCATION OF THE PROPOSAL: (please print)

House No 13 Street/Road ALLEYNE Suburb NH NARRABEEN

Postcode _____ Lot 46 Section _____ Deposited Plan 7593

Present use of land or building DWELLING

DESCRIPTION OF PROPOSAL / DETAILS OF THE MODIFICATION SOUGHT: (please print)

NEW HOUSE SEE PREVIOUS DA 599/02

OWNER: (please print) This section must be signed by ALL owners

I/we consent to the lodgement of this application and permit Council authorised personnel to enter the site for the purpose of inspections.

Owner/s MR & MRS STOROUGH

Address 13 ALLEYNE NH NARRABEEN

Postcode _____

Signature(s) Atsough Storouh

- If the property has recently been purchased, written confirmation from the Purchaser's Solicitor must be provided.
- If contracts have been exchanged for purchase of the land, the current owner is to sign the form.
- If signed on behalf of a Company, the seal must be stamped over the signature.
- If the land is below mean high water mark, the written consent of the Crown is required.
- If the written consent is not signed by all owners of the property, this application will not be accepted.

WHAT IS THE ESTIMATED COST OF THE PROPOSAL: \$ 220,000

Note: The estimated cost is the value of the works. It is the cost which would be incurred if a contractor carried out the works. This estimate must be supported by an actual quote contract price or independent estimate prepared by a suitably qualified person where a variation from Councils estimate of costs is sought. (See Attached Sheet)

RECEIVED
14 OCT 2002
PITTWATER COUNCIL
STAMPED
15 OCT 2002
PITTWATER COUNCIL

APPLICANT DETAILS

For contact during application processing: (please print)

Name/Company RIVERFORD DESIGNS P/L.
Address 22 MONA ST MONAVALLE 2103.
E-Mail Contact Details _____
Phone () 9979 3583. Daytime Contact No () 0408230029

BUILDER / PROJECT MANAGER: (please print)

Name/Company RIVERFORD DESIGNS P/L.
Address AS ABOVE
E-Mail Address _____
Phone () _____ Daytime Contact No () _____

APPLICANT SIGNOFF

I declare that all of the particulars and information supplied in connection with this application are correct.

I declare that the estimate of cost of the project is the commercial value of the proposed works and is based on a properly prepared cost estimate or actual quote or contract competition price for the work.

I also confirm that this application has been prepared addressing the relevant Local Environmental Plan and Development Control Plan and Locality Plan requirements

I hereby certify that this proposal complies with the following numeric requirements of the relevant Development Control Plan (please tick the relevant issues)

- ☒ Site Coverage
☒ Boundary Setbacks
☒ Solar Access

- ☒ Building Height
☒ Building Lines
☒ Carparking

Alternatively, where this application does not comply with these numeric requirements, I have provided a written justification in support of this proposal, addressing the aims and objectives of the relevant Development Control Plan

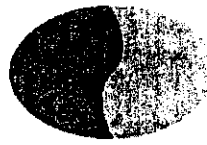
Further, I acknowledge that I am aware of my obligations under the Disability Discrimination Act.

THE APPLICATION PLANS, SHADOW DIAGRAMS, SURVEYS AND ENGINEERING DETAILS ETC. HAVE BEEN SORTED INTO SETS, FIVE SETS FOLDED TO A4 SIZE AND ONE SET LEFT UNFOLDED TO BE SCANNED INTO COUNCIL'S ELECTRONIC DATA MANAGEMENT SYSTEM

I understand that a false declaration may result in the refusal of this application
Signature [Signature] Date 1/10/02

NOTE: ELECTRONIC LODGEMENT

Following amendments to the Environmental Planning and Assessment Regulations, as from 1 January 2001, it is possible to lodge a Development Application with Council electronically. If you choose this option, Council will examine your application within seven working days to ensure that the application is complete and if satisfactory, will issue you with an invoice, including Council's B Pay Number and Biller Code reference. You are further advised that the application will be deemed to be incomplete pending receipt of the fees.



OFFICE OF **FAIR TRADING**
NSW Consumer Protection Agency
Department of Commerce

MARIA LUDOVICA STOVOLD
13 ALLEYNE AVENUE
NORTH NARRABEEN 2101

HOME BUILDING ACT 1989
OWNER BUILDER PERMIT

Permit :261765P
Receipt:AA1766518

Issued:14/07/2003
Amount:\$126.00

Building Site:

13 ALLEYNE AVENUE, NORTH NARRABEEN 2101

Authorised Building Work:

DA: N0860/02 CONSTRUCT NEW 2-STOREY DWELLING
BUILDING WORK AS PER BA NO.
ISSUED BY PITTWATER COUNCIL

Should the property be sold within 6 years of completion of the work it will be necessary to obtain home warranty building insurance from approved insurers if the value of the work was greater than \$12,000. A certificate of insurance must be attached to any contract for sale.

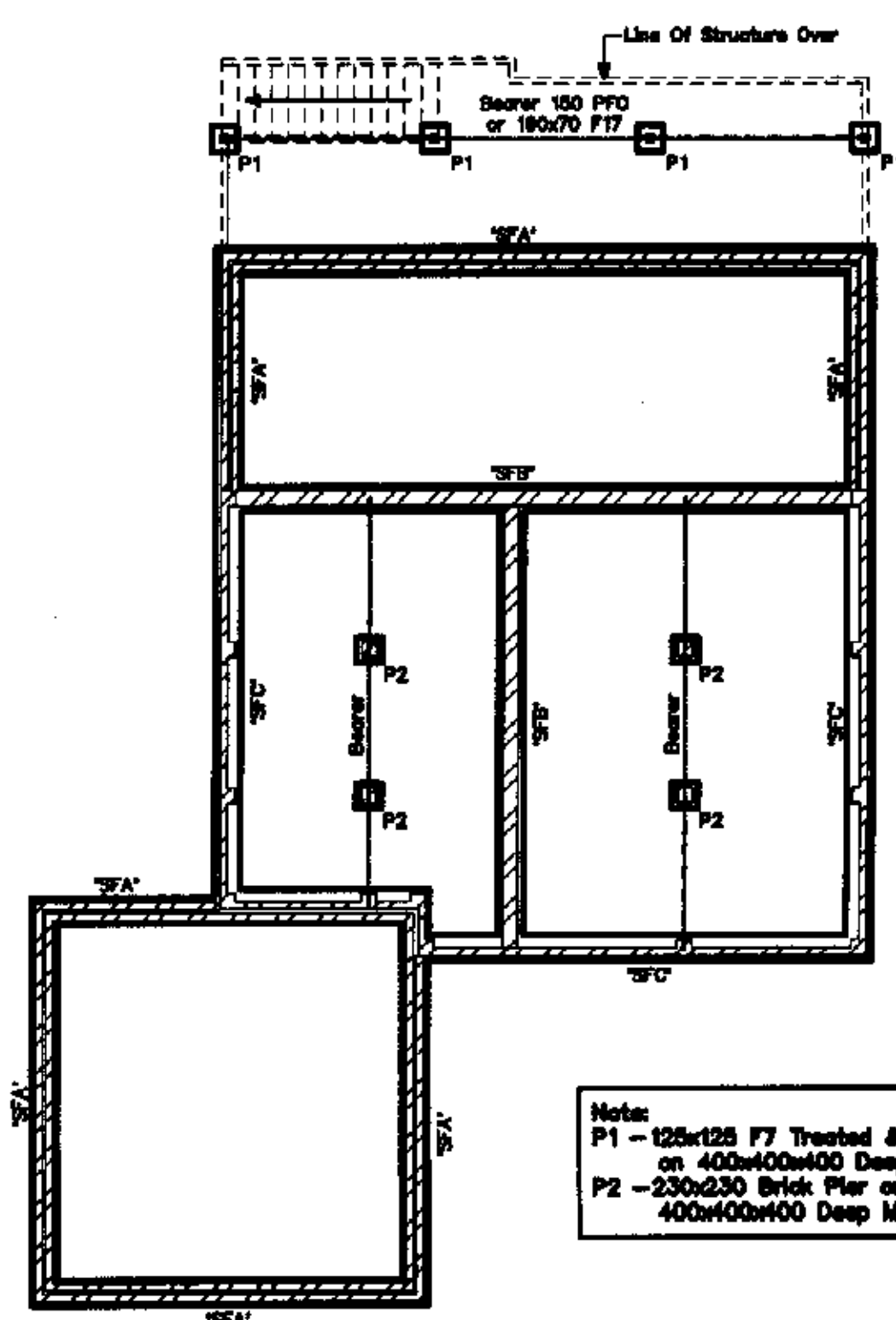
You should obtain professional advice from general insurers regarding public liability and property damage cover, etc.

Note: This permit is only valid when an official receipt has been imprinted.
If payment is made by cheque, the permit is conditional on the cheque being met at presentation.

S.R.

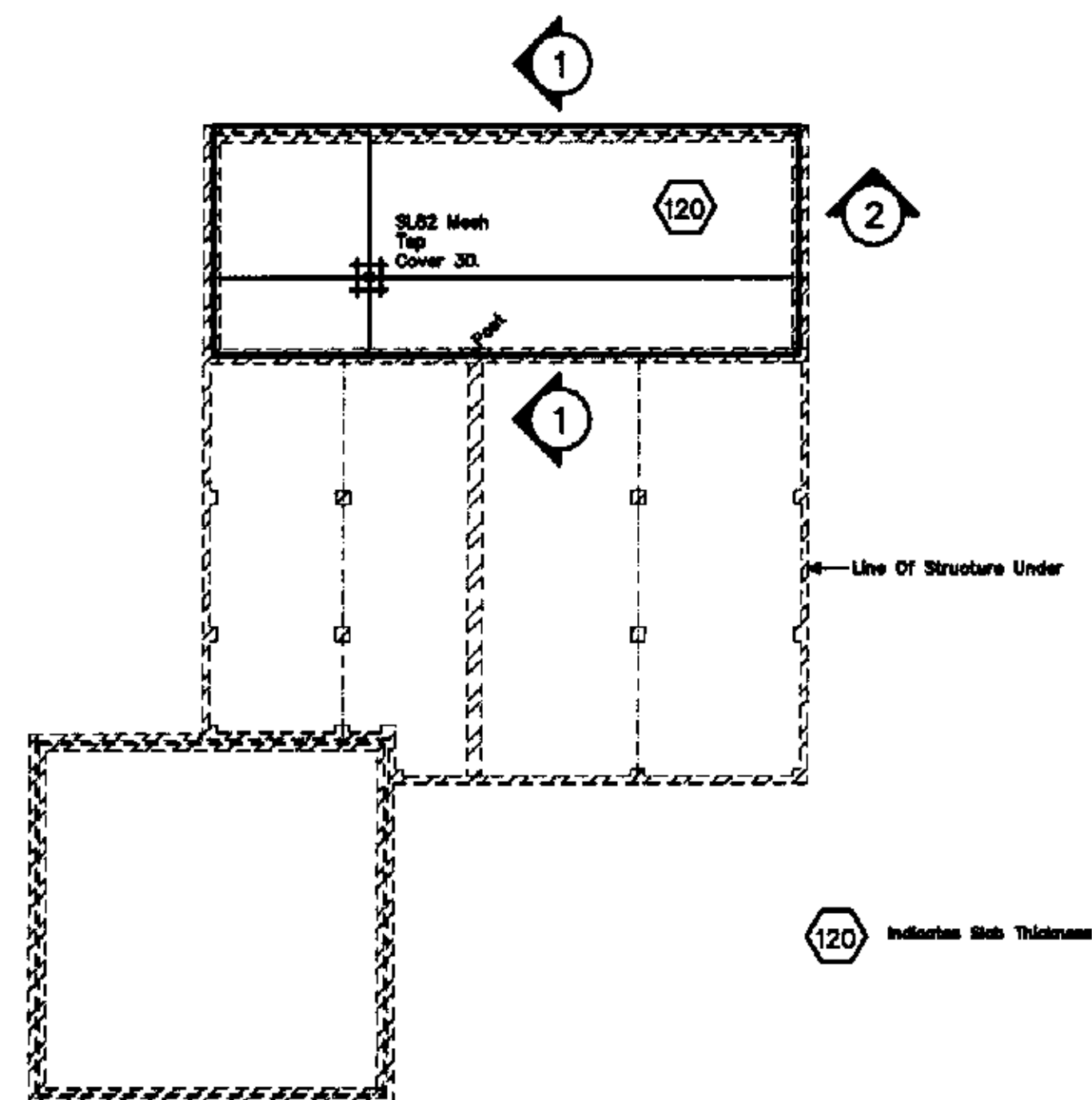
Issuing Officer

***** END OF PERMIT *****

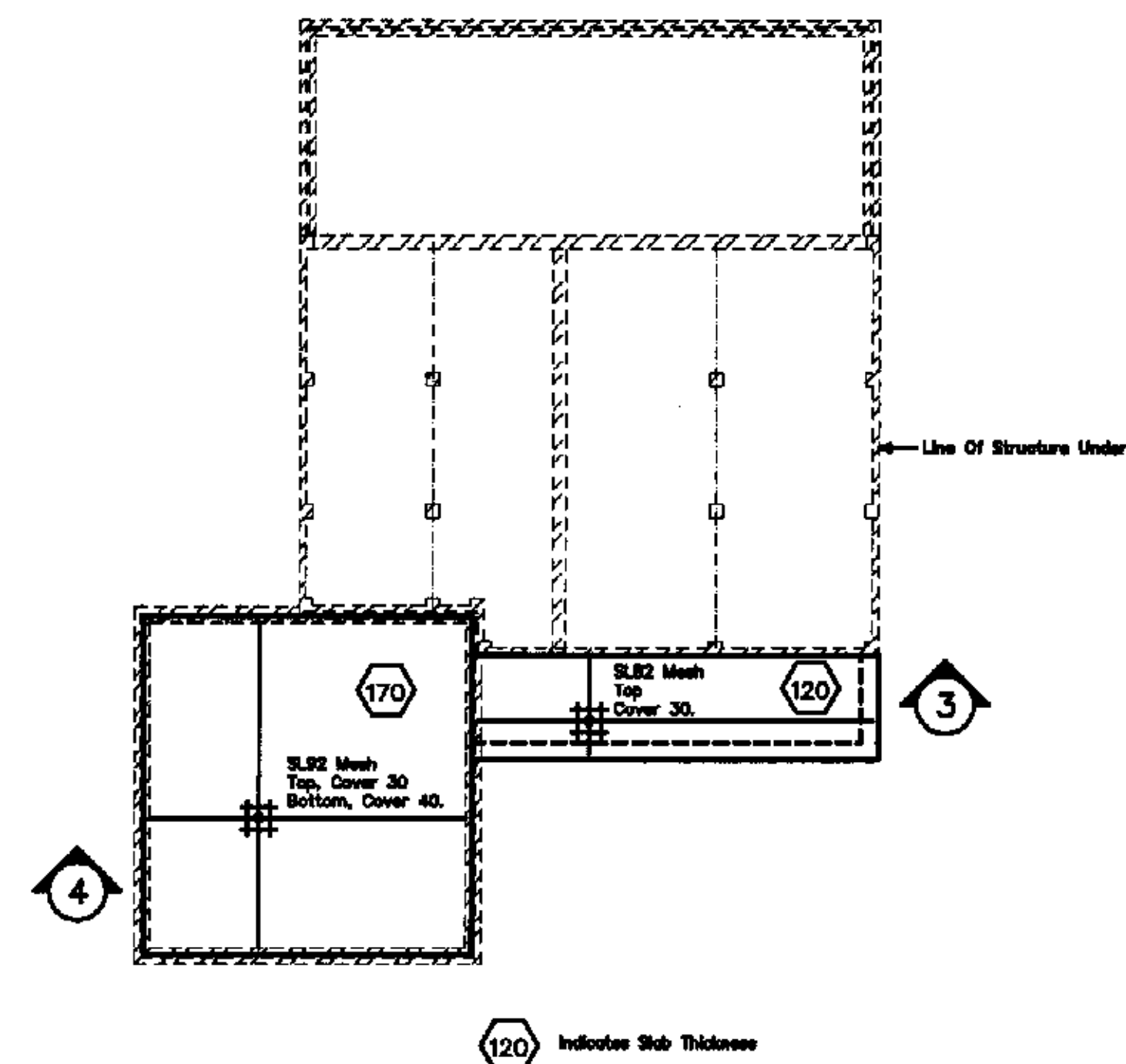


Note:
Step Footing as necessary.

Note:
P1 - 125x125 F7 Treated & Primed Timber Post
on 400x400x400 Deep Mass Concrete Pads
P2 - 230x230 Brick Pier on
400x400x400 Deep Mass Concrete Pads



120 Indicates Slab Thickness



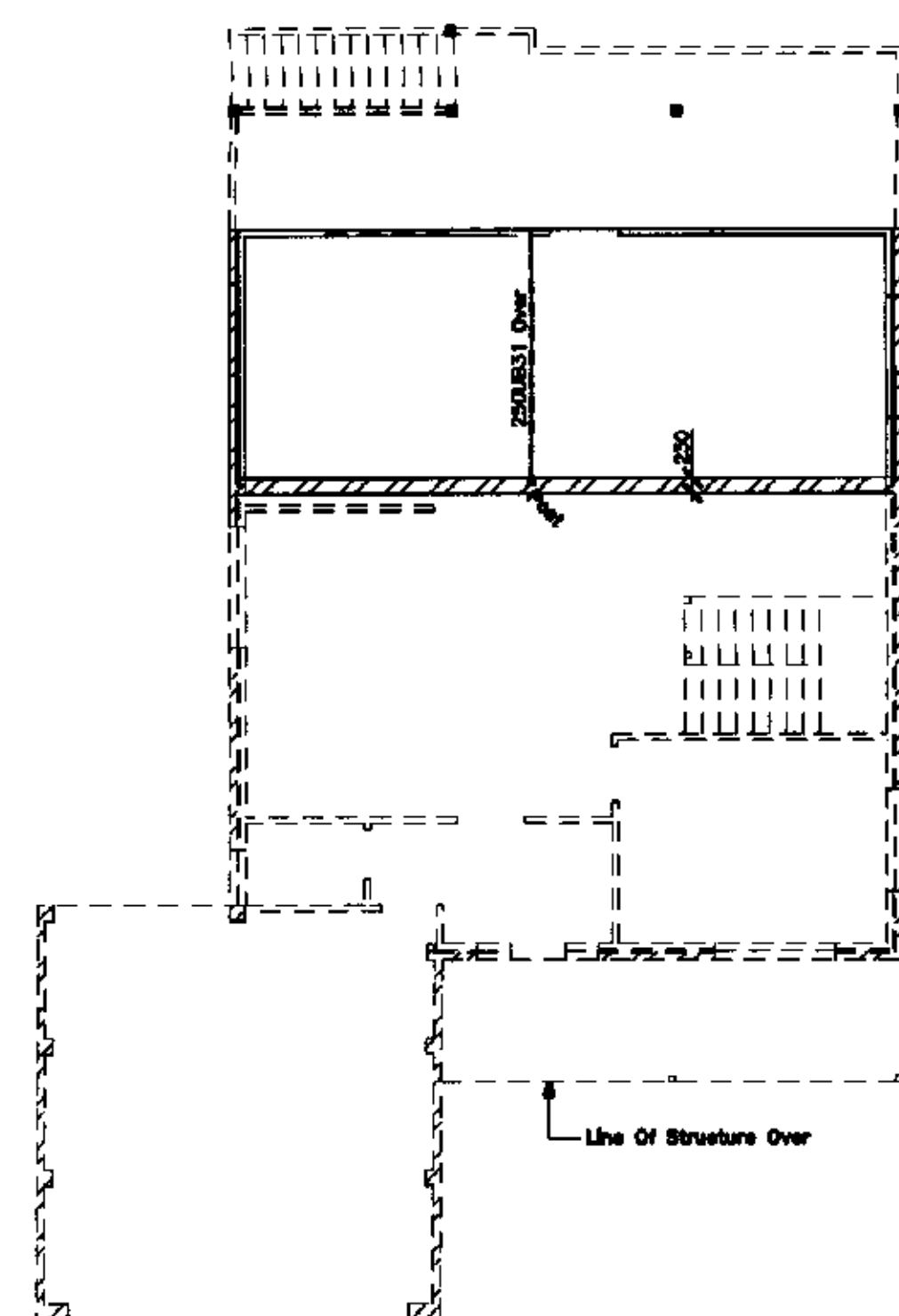
120 Indicates Slab Thickness

- CONCRETE NOTES**
1. All concrete work to be in accordance with AS 3600.
 2. $f_c = 40$ MPa for all external slabs & columns.
= 25 MPa for slabs, piers and beams.
= 20 MPa for block filling and footings.
 3. Maximum aggregate size = 20 for footings, slabs & beams.
= 10 for block filling.
 4. Slump = 80.
 5. All concrete, including block filling, to be vibrated.
 6. Slabs to be kept damp for at least 14 days after placing or to be protected by an approved curing membrane.
 7. Bar Chairs to be no more than 80mm c/c to c/c spacing.
 8. Reinforcing Steel to comply with AS/NZS 4673:2001, and to be DOOK unless noted otherwise, (where DOOK = strength grade in megapascals & N = Normal ductility class).
 9. Reinforcement to be tied at every other intersection minimum.

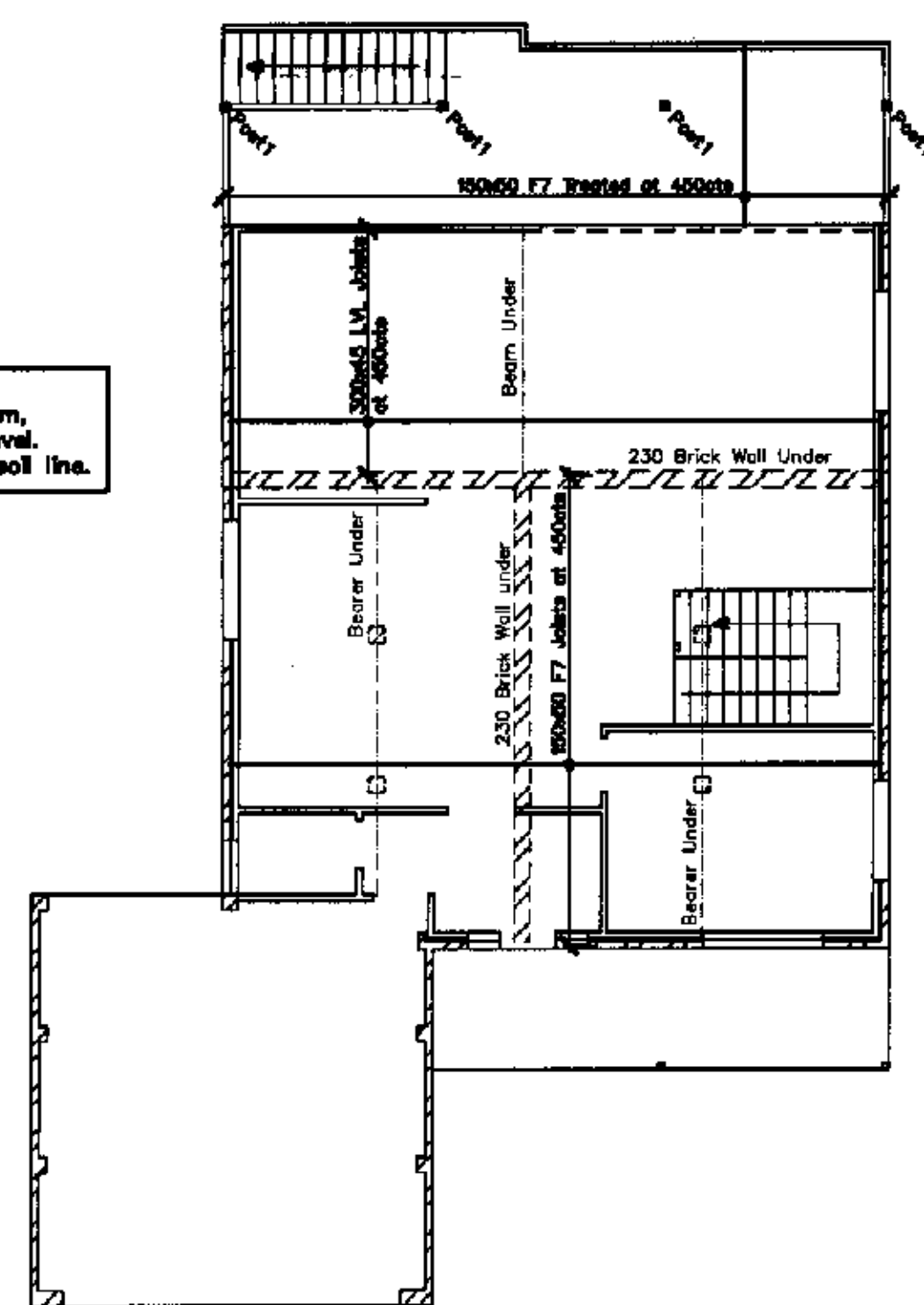
- STEELWORK NOTES**
1. Fabricate and erect all structural steelwork in accordance with AS 4100, AS 1554 and the Specification.
 2. Do not obtain dimensions by reading the structural elements.
 3. Only all welds free of slag.
 4. All steelwork to be hot dipped galvanized. Unless otherwise noted.
 5. Unless otherwise noted use:
a) 8mm continuous flat weld
b) 10mm thick gusset, fit and plates, weld all round.
c) 10mm dia. 4.6/5 bolts
 6. Minimum end bearing 150mm.

- TIMBER NOTES**
1. All work (including bracing, wind bracing & tie down) shall be carried out in accordance with AS 1684.2, AS 1720.1 & the specification.
 2. Refer to the Architects Drawings and the specification for all timber sizes not shown on these drawings.
 3. All timber shall be free of gum, knots, splits, knots holes or splits within 250mm of any connection.
 4. Refer to specification for preservatives and finishes to timbers.
 5. All bolts, nuts, washers and timber connectors shall be hot dip galvanized unless noted otherwise.

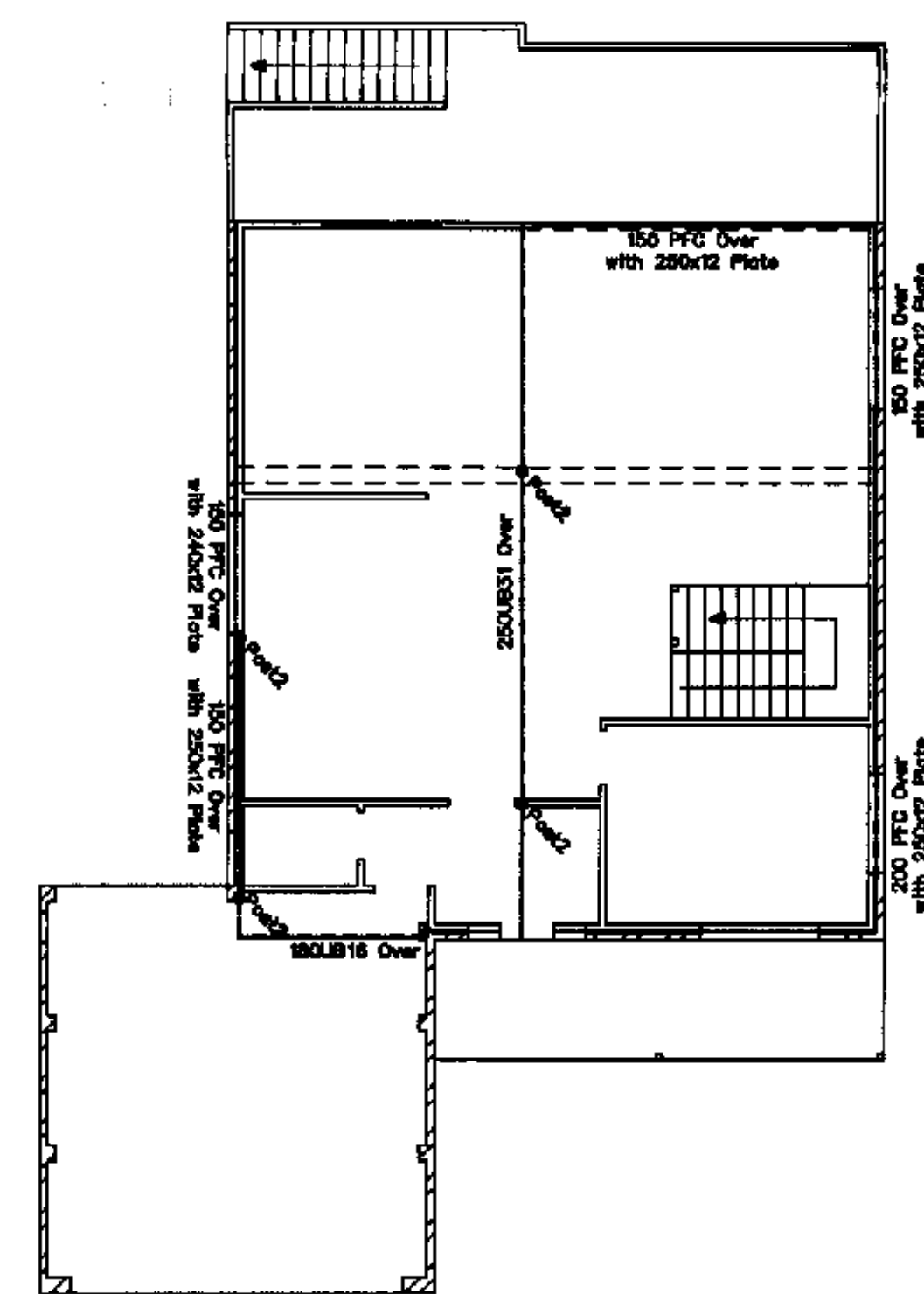
Provide additional Plans at 3m maximum centres if Footings NOT founded on natural material approved by the engineer.



Note:
If depth of soil on wall is greater than 0.5m,
wall is to be 350mm thick where below soil level.
Wall to be waterproofed to 300mm above soil line.



120 Indicates Slab Thickness



120 Indicates Slab Thickness

PLAN OR DOCUMENT CERTIFICATION

I am a qualified...CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER...
I hold the following qualifications or licences No.....M.Eng.Sc.....
.....F.I.E.Aust.....Mper3.....Struct.CIVILNo.146788
Further I am appropriately qualified to certify this component of the project.
I hereby state that these plans or details comply with the conditions of
development consent, the provisions of the Building Code of Australia
A.S.1170, A.S.1170.1, A.S.1170.2, A.S.1084, A.S.2870.1, A.S.3600, A.S.3700
A.S.4100
Jack D. Hodgson 18/7/03
Name Date Signature

STRUCTURAL PLANS AND DETAILS

PROPOSED ADDITIONS
13 ALLEYNE AVENUE
NORTH HARRARBEN

MR. G. STOVOLD

The Structural Details shown on this Drawing are Not to change
under any circumstances. No Certificate will be issued for work
Not in accordance with this Drawing.

JACK HODGSON CONSULTANTS PTY. LIMITED.

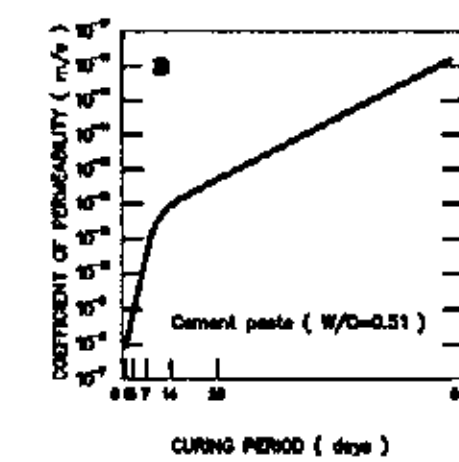
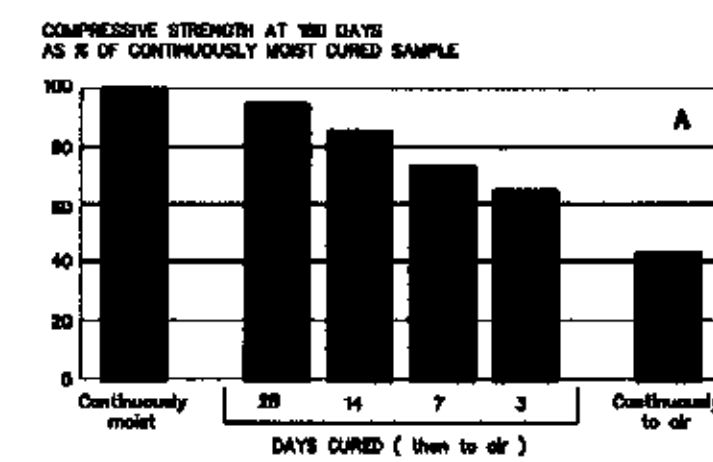
Consulting Civil, Geotechnical, and Structural Engineers.
11 Bungen Street, MONA VALE, NSW, 2103, P.O. Box 388, NSW, 1580.
Telephone (02) 9678 8733, Facsimile (02) 9678 8828. A.C.N. 063 454 011

Designed JDH Drawn ED Job No. Drawing No.

Checked JDH Scale 1:100,20 uno 20074-1

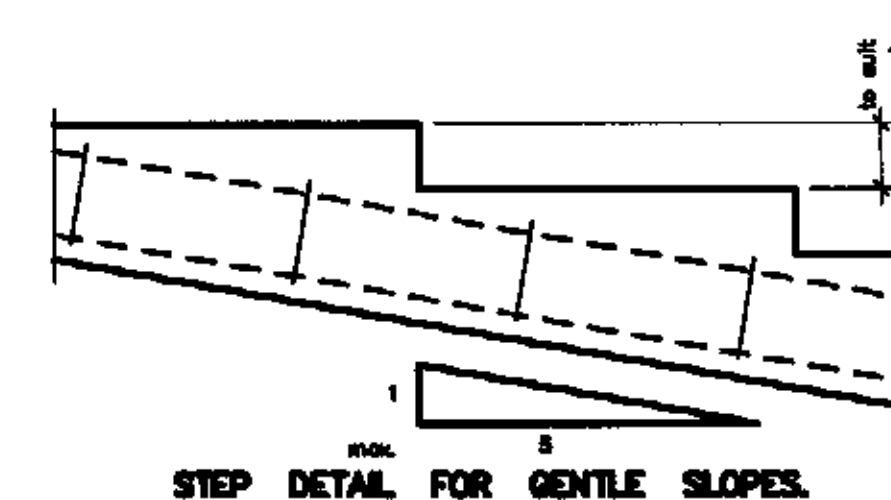
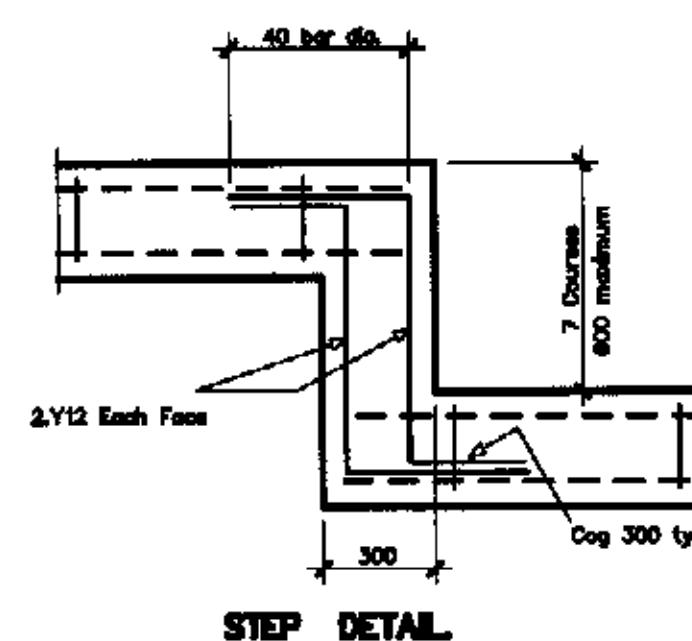
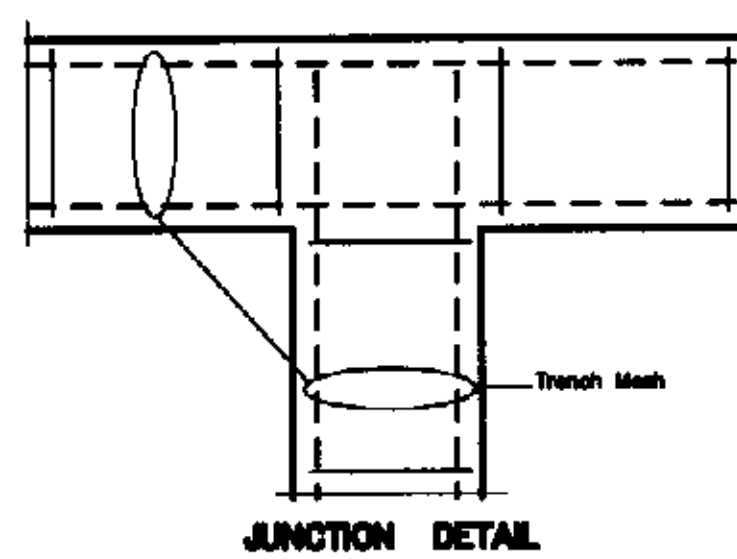
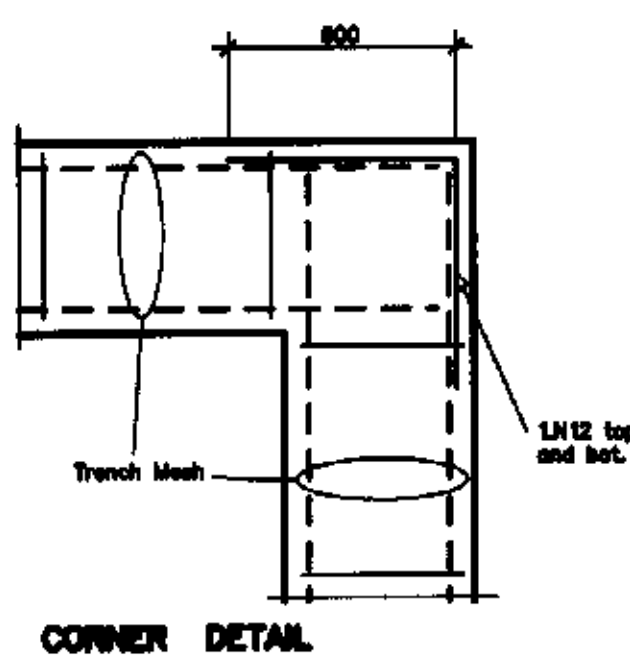
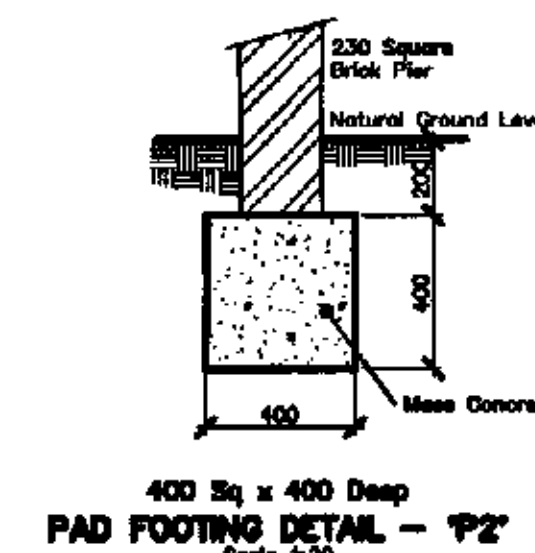
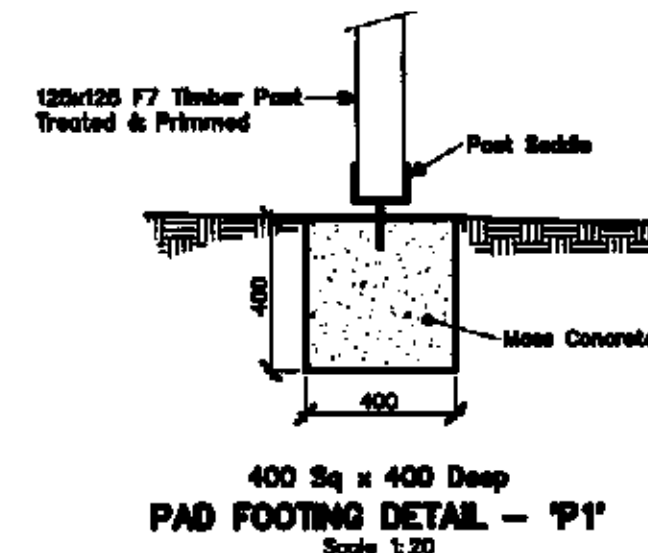
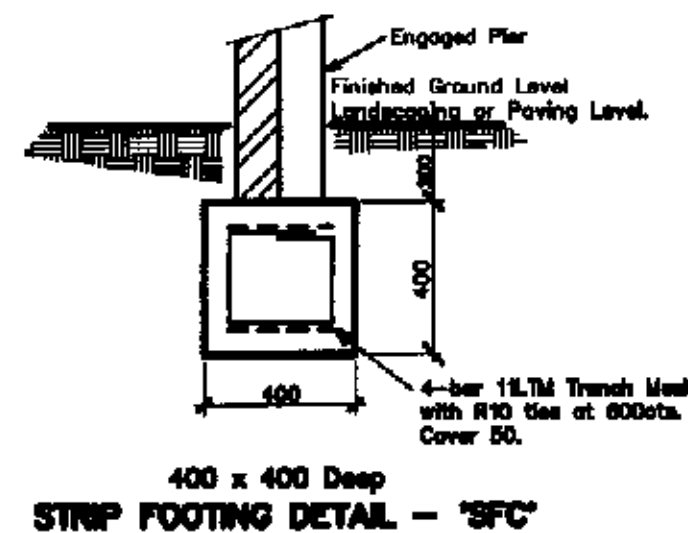
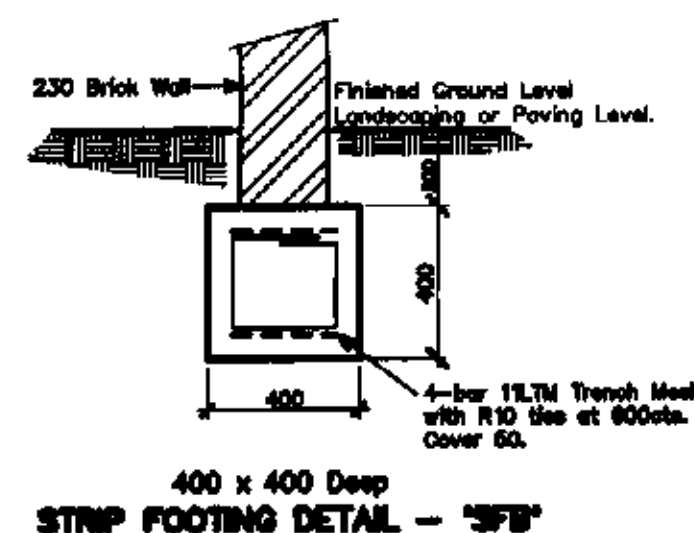
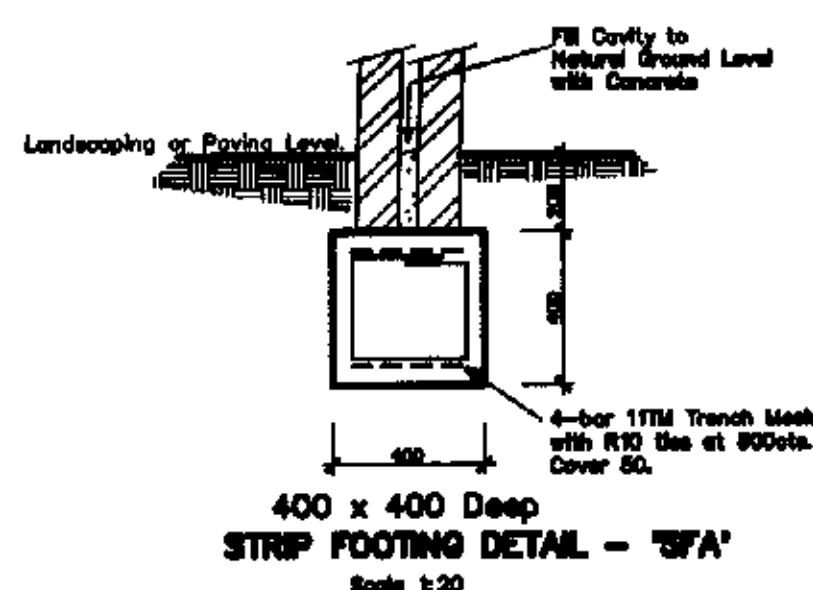
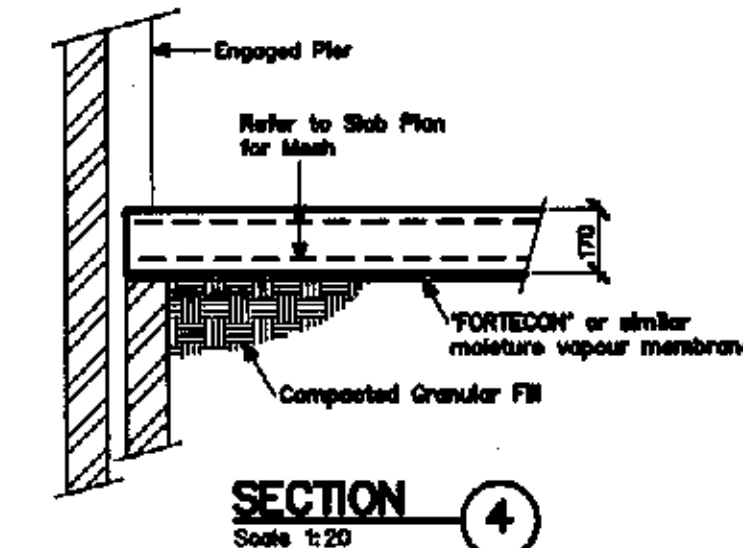
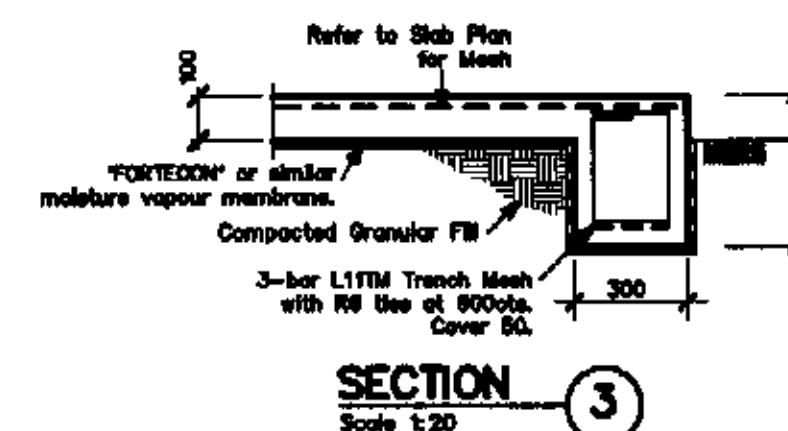
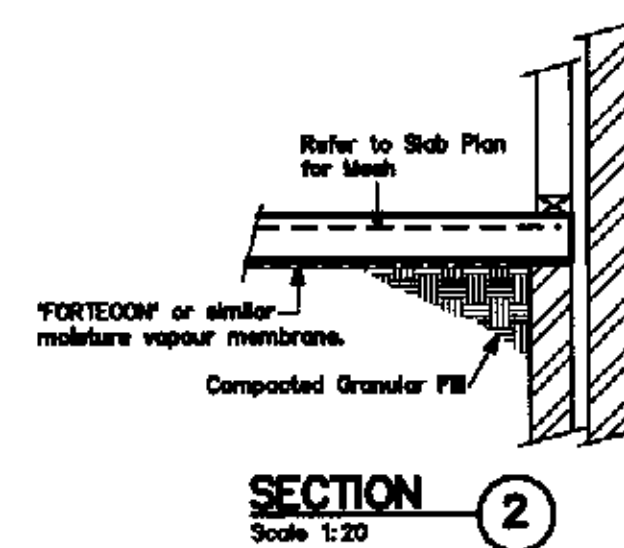
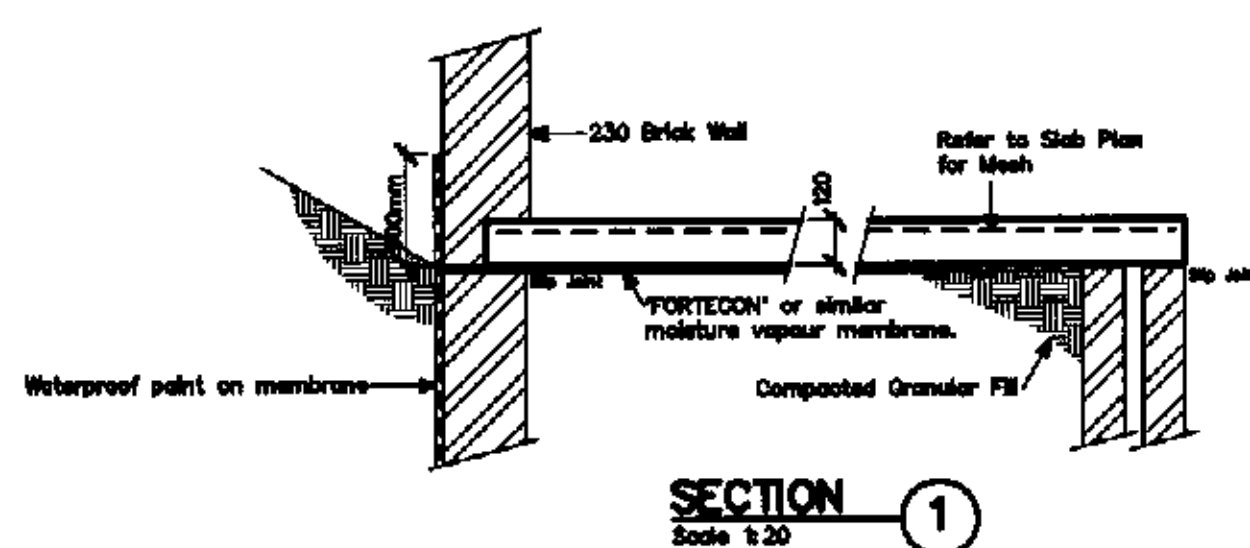
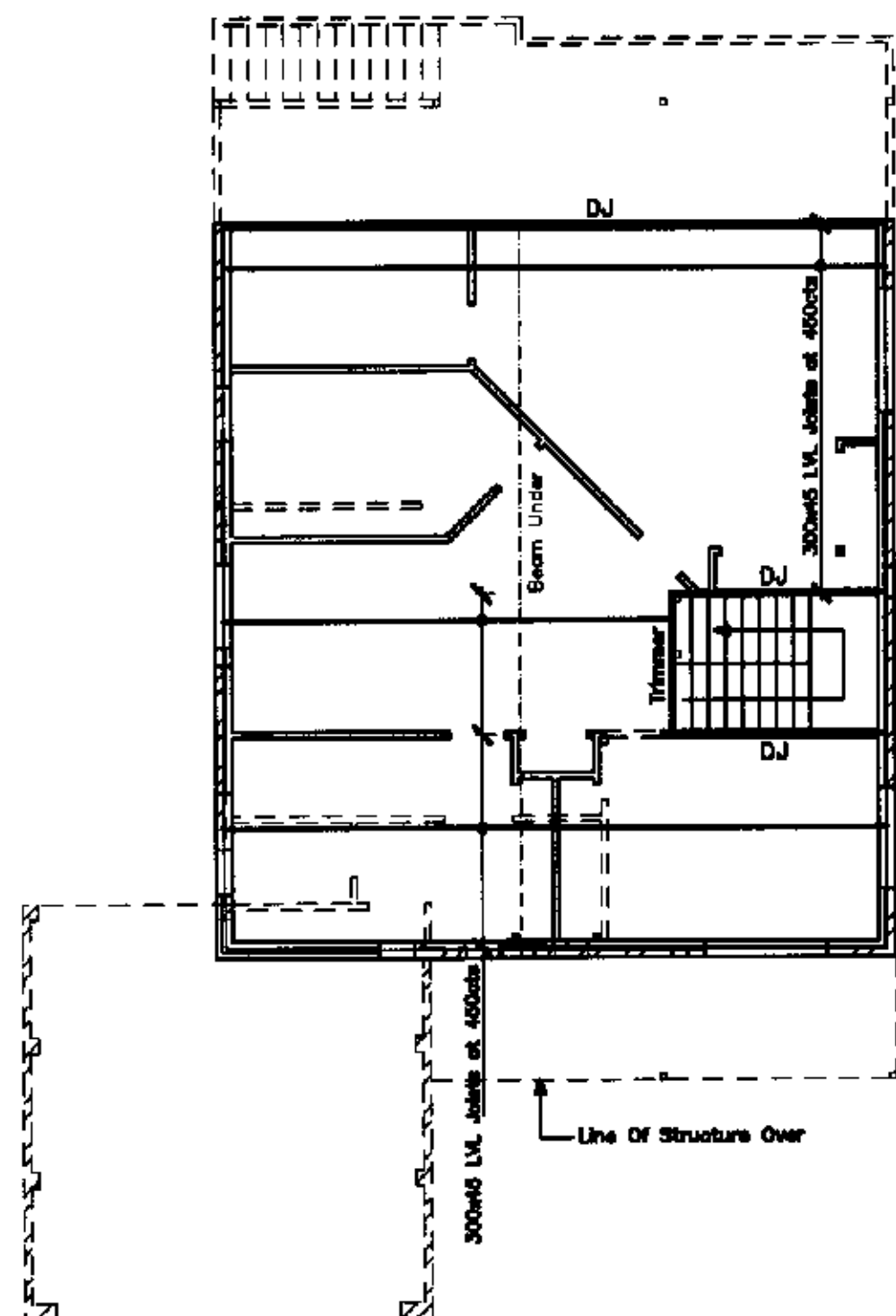
Date 18 JULY 2003

IMPORTANCE OF CURING CONCRETE



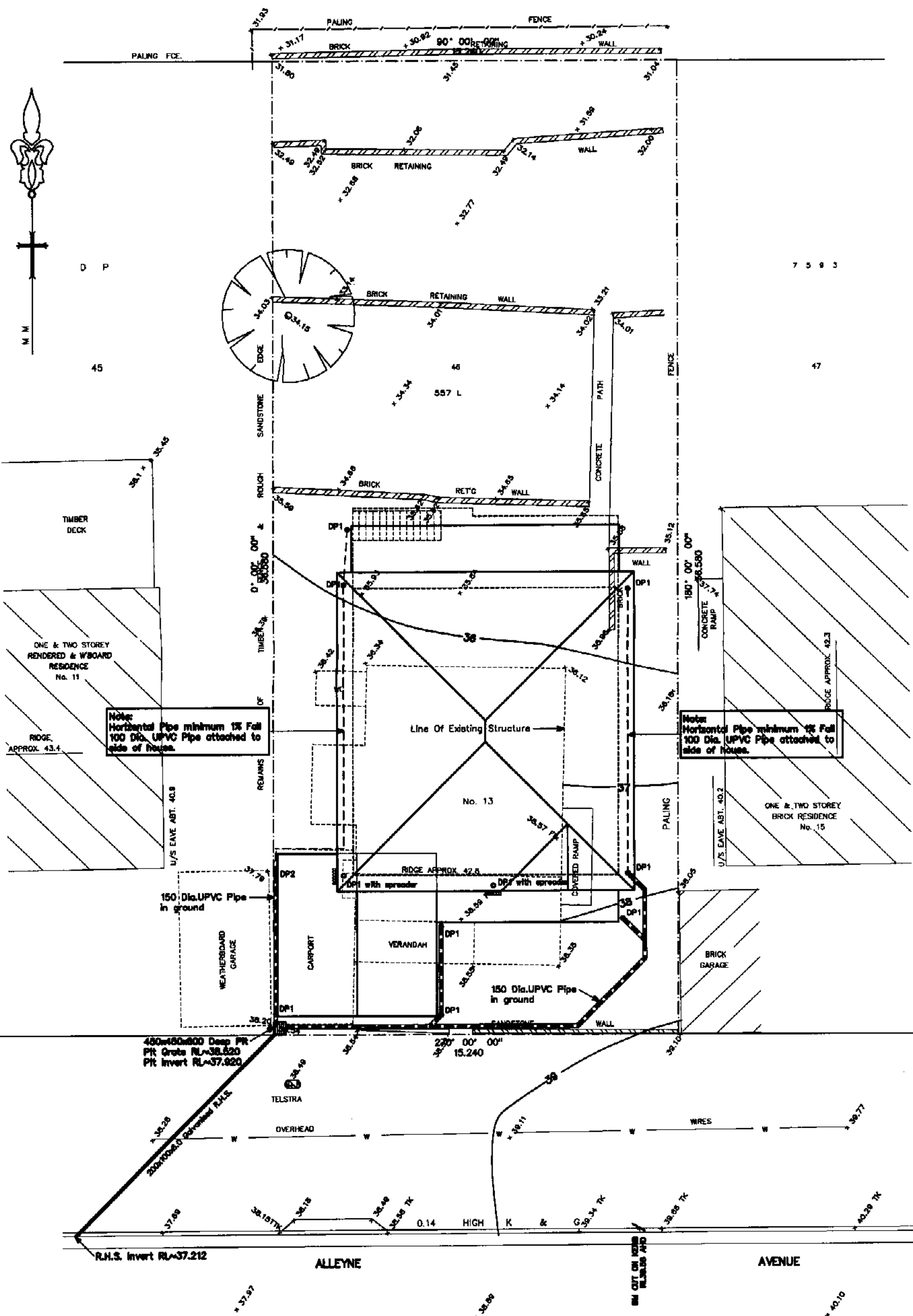
Effect of curing duration on: (A) compressive strength and (B) concrete permeability

Acknowledgement: Diagram is based on fig 1.2 of Guide to Concrete Repair & Protection (SAA/1984:1996)



REFER TO DRAWING 1 FOR NOTES AND THE 'IMPORTANCE OF CURING CONCRETE' GRAPH.

PLAN OR DOCUMENT CERTIFICATION			
I am a qualified...CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER...			
I hold the following qualifications or licence No.....M.Eng.Sc.....			
.....F.I.E.Aust.....Nper3.....Struct.Civil.No.148788.....			
Further I am appropriately qualified to certify this component of the project.			
I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia.			
A.S.1170, A.S.1170.1, A.S.1170.2, A.S.1884, A.S.2870.1, A.S.3800, A.S.3700			
A.S.4100			
Jack D. Hodgson 18/7/03 <i>J. Hodgson</i>			
Name	Date	Signature	
No. Amendment		Drawn	Date
STRUCTURAL PLANS AND DETAILS			
PROPOSED ADDITIONS			
13 ALLEYNE AVENUE			
NORTH HARRISBEN			
MR. G. STOVOLD			
The Structural Details shown on this Drawing are Not to change under any circumstances. No Certificate will be issued for work Not in accordance with this Drawing.			
JACK HODGSON CONSULTANTS PTY. LIMITED.			
Consulting Civil, Geotechnical, and Structural Engineers.			
11 Bungen Street, MORN HALE, NSW, 2103, P.O. Box 308, MORN, 1580.			
Telephone (02) 9879 0733, Facsimile (02) 9879 0828. A.C.N. 083 488 011			
Designed	JDH	Drawn	ED
Checked	JDH	Scale	1:100, 20 mm
Date	18 JULY 2003		
		Job No.	Drawing No.
		20074-2	



- DRAINAGE PIPE NOTES:-**
1. All pipes unless otherwise specified to be 100 dia. UPVC pipe.
 2. Slopes of pipes to be a minimum of 1:100 ie. 1%.
 3. All levels and dimensions to be checked and confirmed on site.
 4. Inspection openings will be required at even spacings not more than 30 metres apart and at any change of direction greater than 45 degrees.
 5. All design work and works to be in accordance with AS/NZS 3500.3.2:(1998) and AS/NZS 3500.5:(2000).

PLAN OR DOCUMENT CERTIFICATION

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I hold the following qualifications or licence No.....M.Eng.Sc.....
.....F.I.E.Aust.....Nper3.....Struct.Civil.No.149788.....
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Jack D. Hodgson 18/7/03 J. Hodgson
Name Date Signature

No.	Amendment	Drawn	Date

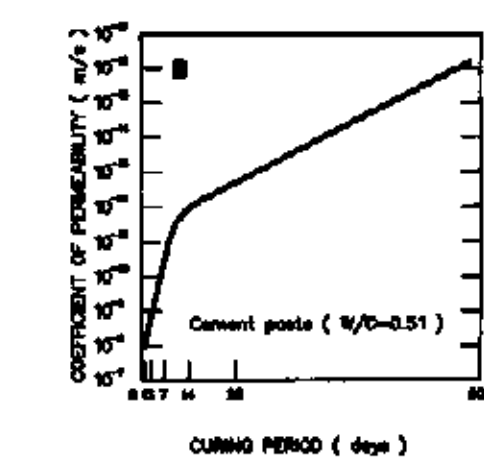
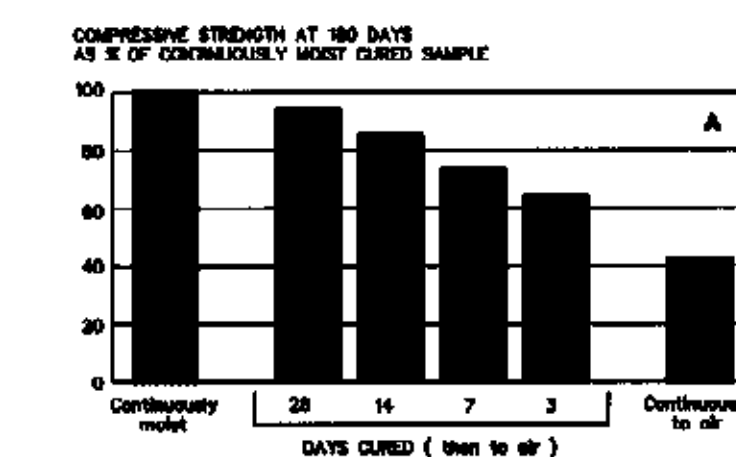
STORMWATER MANAGEMENT PLAN
PROPOSED ADDITIONS
13 ALLEYNE AVENUE
NORTH NARRABEEN
MR. G. STOVOLD

The Structural Details shown on this Drawing are Not to change under any circumstances. No Certificate will be issued for work Not in accordance with this Drawing.

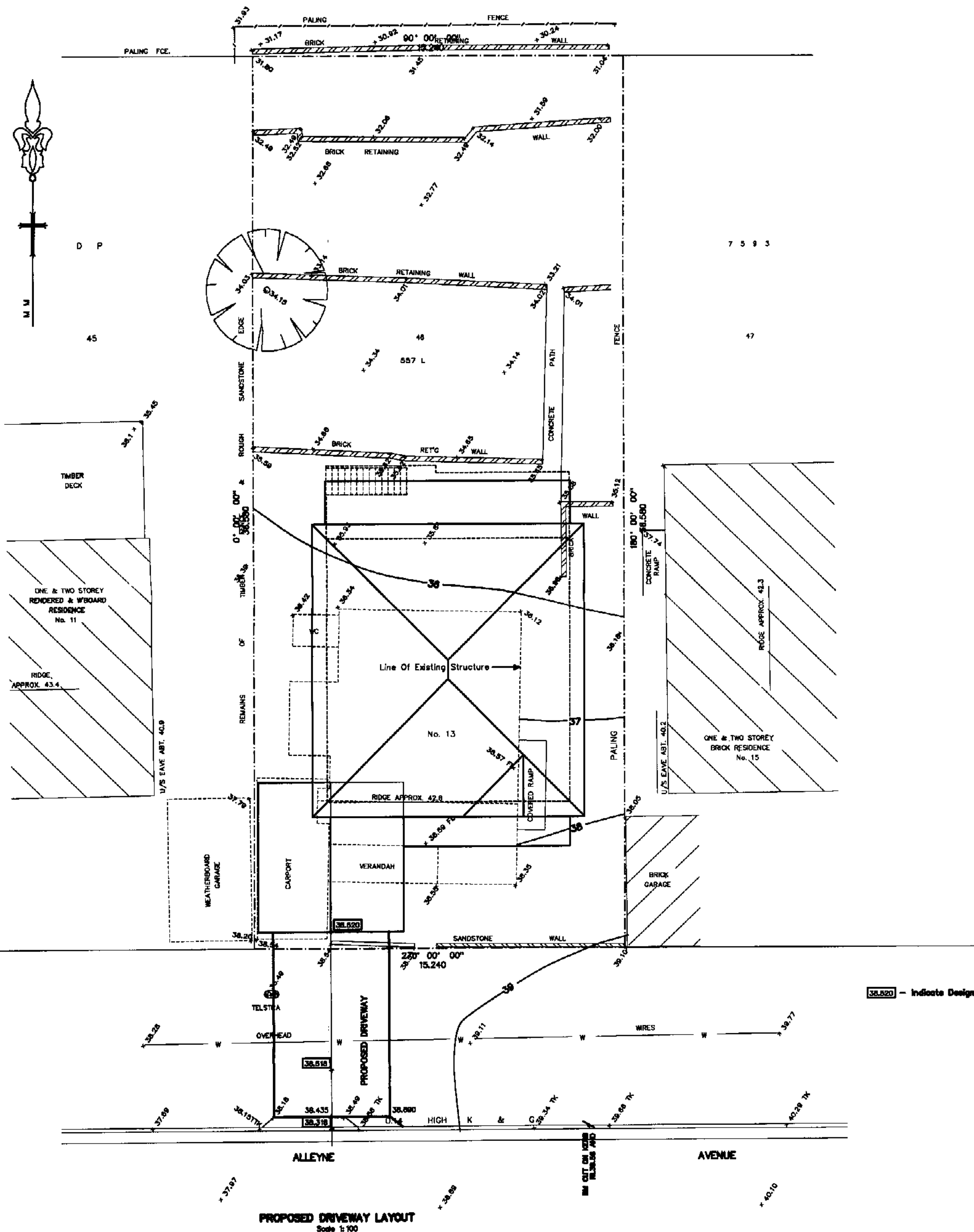
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Telephone (02) 9679 8733, Facsimile (02) 9679 8828. A.C.N. 083 408 011

Designed JDH	Drawn ED	Job No.	Drawing No.
Checked JDH	Scale 1:100.20 mm	20074-3	
Date 17 JULY 2003			

IMPORTANCE OF CURING CONCRETE



Effect of curing duration on : (A) compressive strength and (B) concrete permeability
Acknowledgement : Diagram is based on fig 1.2 of Guide to Concrete Repair & Protection (SAA/1984:1996)



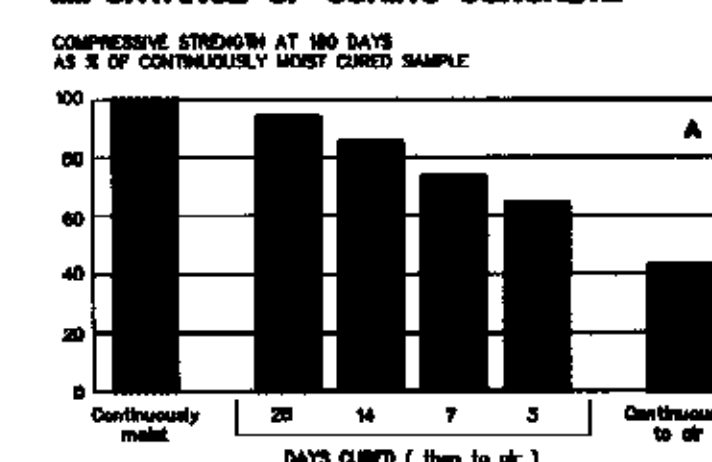
	N.S.L.	F.S.L.
Finished Surface Level	36.318	36.518
Natural Surface Level	36.318	36.518
Change	0.0	2.400

LONGITUDINAL SECTION ALONG CENTRE LINE OF PROPOSED DRIVEWAY
Scale 1:100

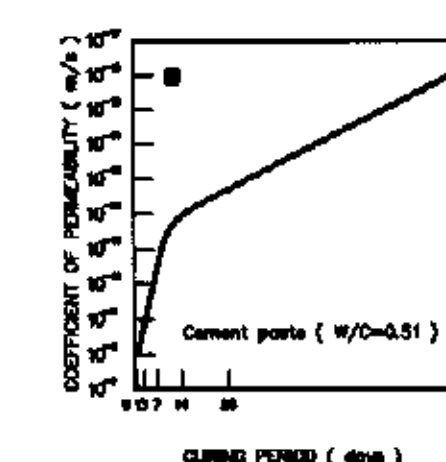
DRIVEWAY LEVELS CONFORM TO COUNCIL'S DOP ES.

36.620 - Indicates Design Levels

IMPORTANCE OF CURING CONCRETE



Effect of curing duration on : (A) compressive strength and (B) concrete permeability
Acknowledgement : Diagram is based on Fig 1.2 of Guide to Concrete Repair & Protection (SAA/NSR 1998)



PLAN OR DOCUMENT CERTIFICATION

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I hold the following qualifications or license No. M.Eng.Sc. 148788...
Further I am appropriately qualified to certify this component of the project.
I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia, A.S.1170.1, A.S.1170.2, A.S.1684, A.S.2870.1, A.S.3600, A.S.3700, A.S.4100.

Jack D. Hodgson 18/7/03
Name Date Signature

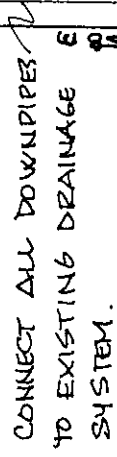
No. Amendment Drawn Date

DRIVEWAY LAYOUT AND LONGITUDINAL SECTION
PROPOSED ADDITIONS
13 ALLEYNE AVENUE
NORTH NARRABEEN
MR. G. STOVOLD

The Structural Details shown on this Drawing are Not to change under any circumstances. No Certificate will be issued for work Not in accordance with this Drawing.

JACK HODGSON CONSULTANTS PTY. LIMITED.
Consulting Civil, Geotechnical, and Structural Engineers.
11 Bingen Street, MCKAY VILLE, NSW, 2103, P.O. Box 399, NSW, 1580.
Telephone (02) 9579 6733, Facsimile (02) 9579 6225, A.C.N. 053 406 011

Designed JDH Drawn ED Job No. Drawing No.
Checked JDH Scale 1:100, 20 and 20074-4
Date 17 JULY 2003



ALLEYNE AVE

△ BM. RL. 39.58 AHD

site plan

THE COUNCIL OF PITTSWATER
APPROVED
DEVELOPMENT CONSENT PLAN

NOTE - BUILDER TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCEMENT OF ANY WORK.

Proposed

For Mr. G. STOVOLD

At 13 ALLEYNE AVE
NORTH NARRABEEN

RIVERFORD DESIGN
SERVICES PTY LTD

22 MONA STREET

MONA VALE 2103

ph. 0408230 029

fax. 029979 3583

b/lic. 42033

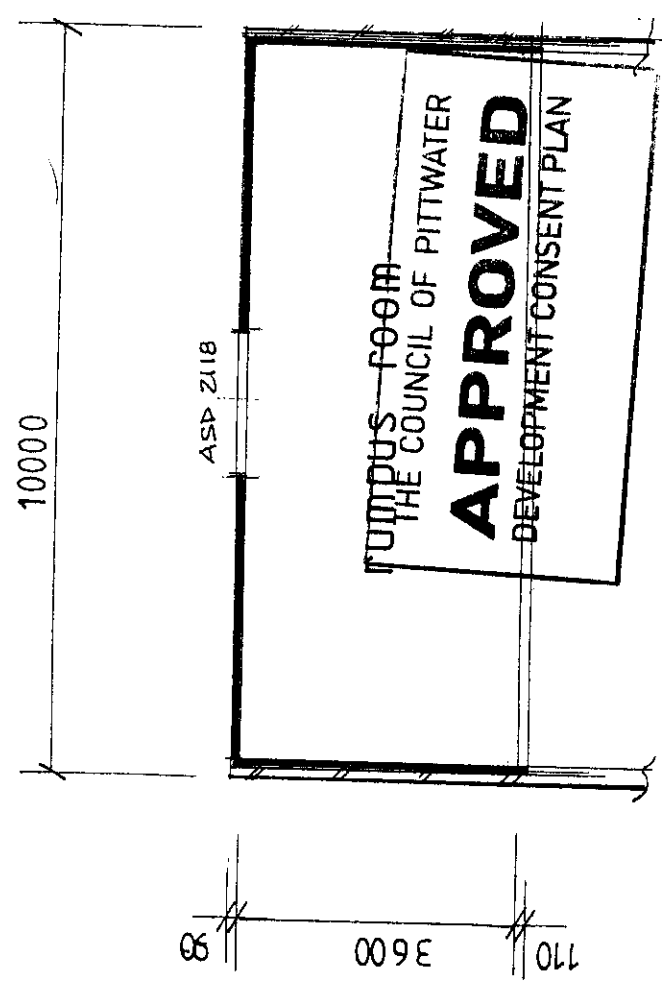
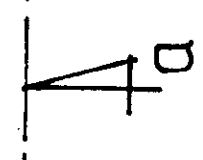
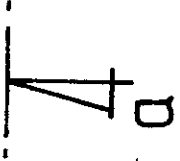
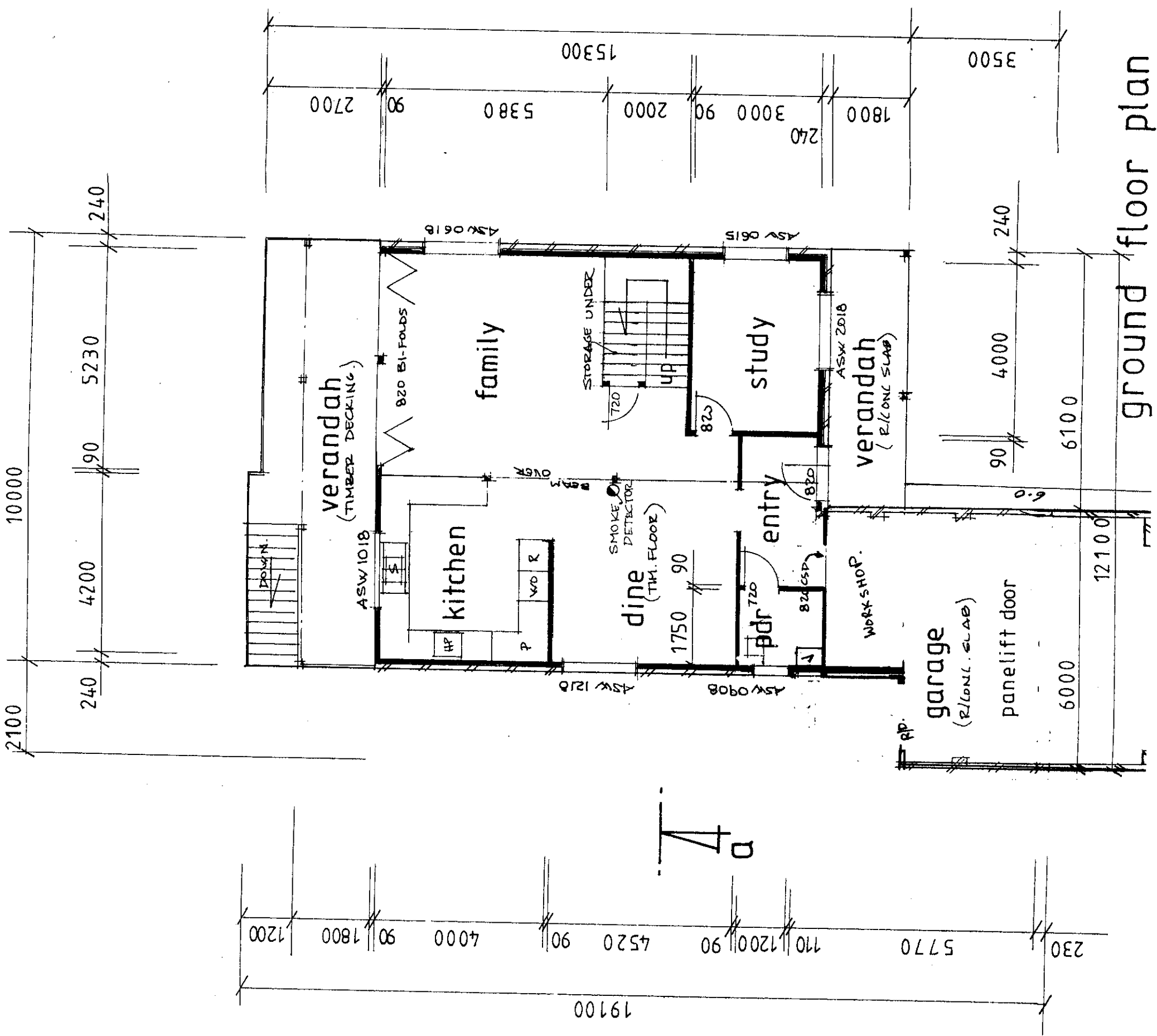
drawn B ALLEN

checked K.W.

scales 1:200

drug no.

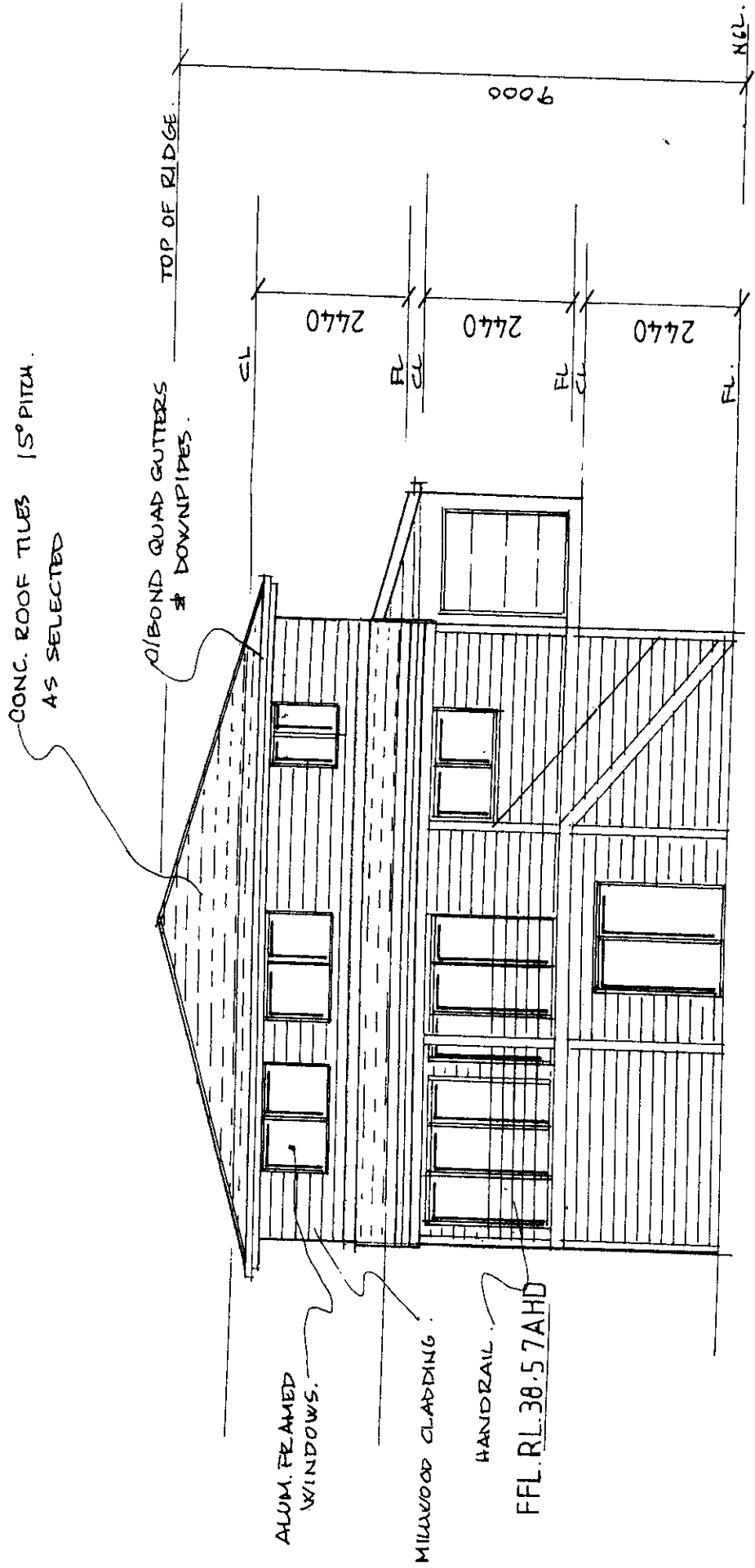
0242/1A



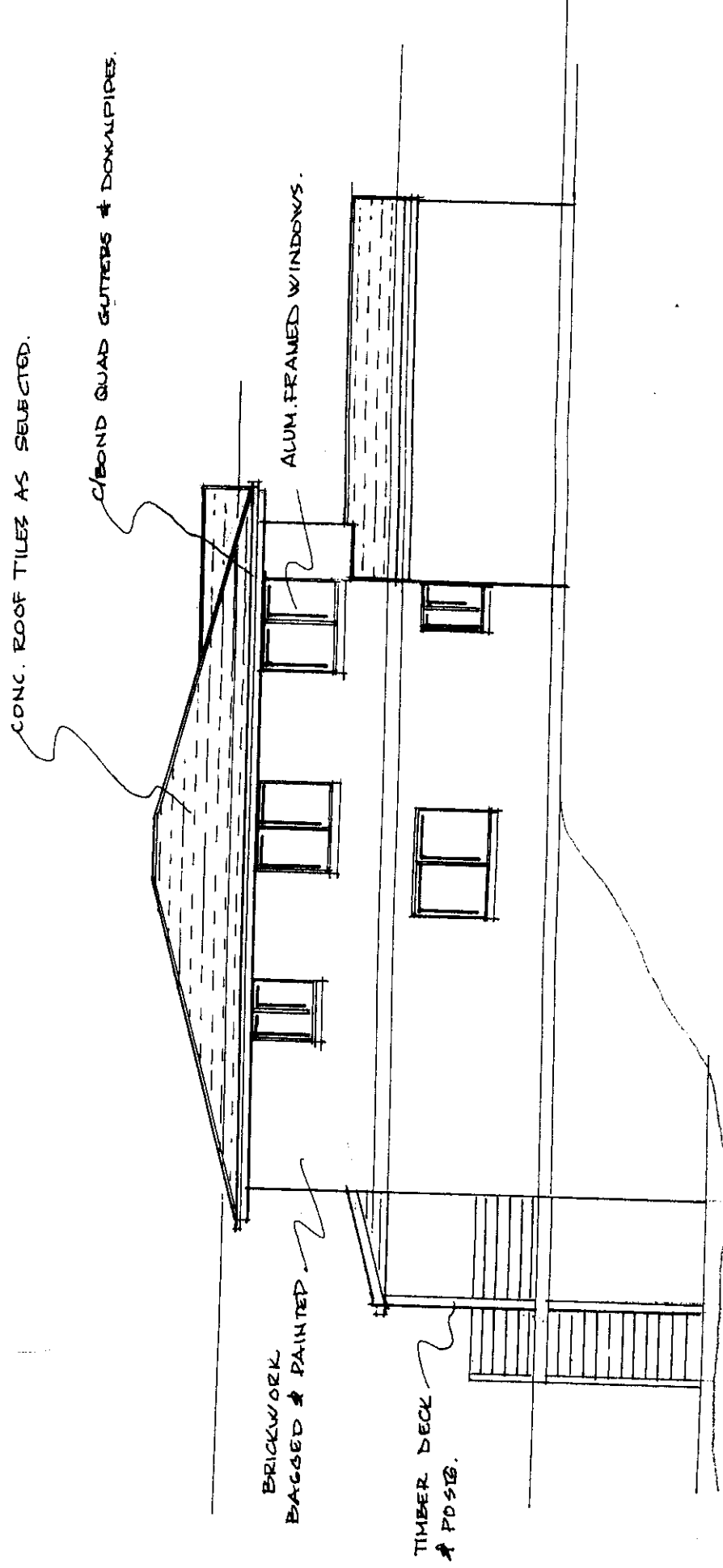
lower ground floor plan

NOTE - BUILDER TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCEMENT OF ANY WORK.

Proposed For Mr. G. STOVOLD			
At 13 ALLEYNE AVE NORTH NARRABEEN			
RIVERFORD DESIGN SERVICES PTY LTD 22 MONA STREET MONA VALE 2103 ph. 0408230029 fax 0299793583 b/lic. 42033	drawn B.ALLEN.	checked K.W.	
	scales 1:100		
	drg no.	0242/2A	



north elevation



west elevation

THE COUNCIL OF PITTWATER
APPROVED
DEVELOPMENT CONSENT PLAN

Proposed

For Mr. G. STOVOLD

At 13 ALLEYNE AVE
NORTH NARRABEEN

RIVERFORD DESIGN
SERVICES PTY LTD

22 MONA STREET
MONA VALE 2103

ph. 0408230029

fax. 0299793583

b/lic. 42033

drawn B. ALLEN.

checked K.W.

scales 1:100

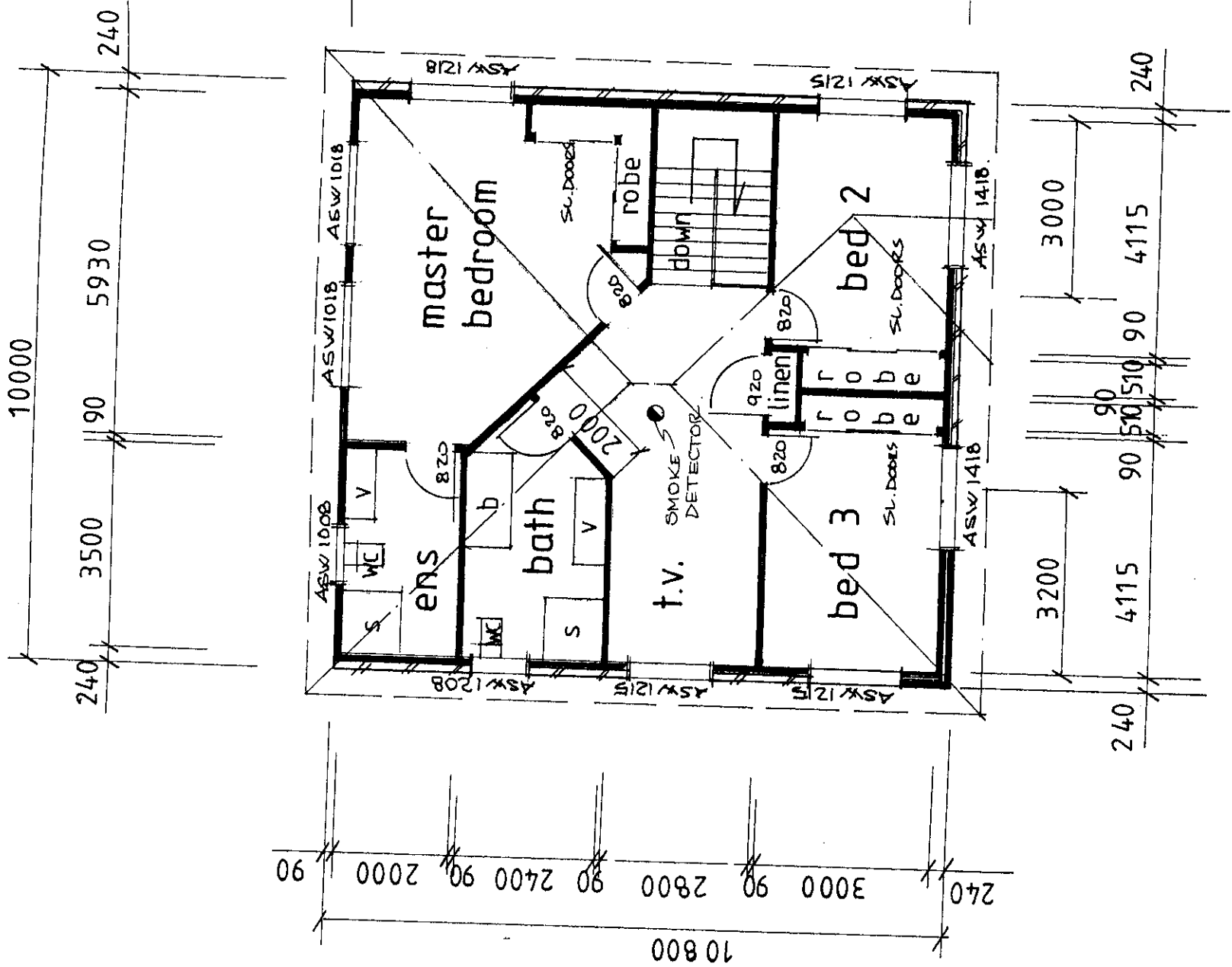
drg no.

0242 / 5B

THE COUNCIL OF PITTWATER
APPROVED
 DEVELOPMENT CONSENT PLAN

NOTE - BUILDER TO VERIFY ALL DIMENSIONS ON SITE
 BEFORE COMMENCEMENT OF ANY WORK.

Proposed For Mr. G STOVOLD	
At 13 ALLEYNE AVE NORTH NARRABEEN	
RIVERFORD DESIGN SERVICES PTY LTD 22 MONA STREET MONA VALE 2103 ph. 0408230029 fax. 0299793583 b/lic. 42033	
drawn B.ALLEN	checked KW.
scales 1:100	
drg no.	0242/3



first floor plan