

PROPOSED:

# Proposed Roof Over Existing Terrace

LOCATION:

Lot 267 D.P.16902  
66 The Outlook  
Bilgola Plateau 2107

BUILDER:

Jesmac Home Improvements Pty Ltd

OWNER:

M. Balnaves

FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALE

DIMENSIONS ARE IN MILLIMETRES U.N.O.

ALL DIMENSIONS SHALL BE CHECKED AND VARIFIED BY THE BUILDER PRIOR TO COMMENCEMENT OF ANY WORKS.

ALL BRACING OF ROOF AND WALL FRAMING TO SATISFY WIND SPEED DESIGN CATEGORY IN ACCORDANCE WITH THE CURRENT EDITION OF THE NCC (BCA) AND AS 4055

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF CURRENT EDITIONS INCLUDING AMENDMENTS OF THE RELEVANT SAA CODES OF PRACTICE. THE NCC (BCA) AND LOCAL COUNCIL REQUIREMENTS

ALL STEEL BEAMS AND CONNECTIONS SHALL BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS

SITE INFORMATION SHOWN ON THIS DRAWING HAS BEEN SUPPLIED BY OTHERS. NO RESPONSIBILITY IS TAKEN FOR ITS AUTHENTICITY OR ACCURACY THE BUILDER SHALL VERIFY LOCATION OF SERVICES, VEGETATION AND DIMENSIONS PRIOR TO COMMENCEMENTS, ANY DISCREPANCIES SHOULD BE REPORTED TO THE DRAFTSPERSON.

NO NEW SEWER CONNECTION REQUIRED

STORMWATER TO BE COLLECTED AND PIPED TO EXISTING STORMWATER DRAINAGE SYSTEM

ALL ROOF CLADDING, GUTTERS & DOWN PIPES TO COMPLY WITH THE B.C.A. HOUSING PROVISIONS

3	19/2/19	ISSUED FOR DA
2	3/12/18	ISSUED FOR CHECKING
1	4/10/18	Issued for sketch plans
Rev.	Date	Description
Scale: 1:100 @ A3		Sheet:
Job No: 0618		1/4

Site Calculations	
Note: Areas shown to external walls	
Zoning	E4
Site Area	- 575.6m2
Roof Area =	36.3m2

Warning
NO DETAIL SURVEY OF THE SITE HAS BEEN UNDERTAKEN BUILDER TO VERIFY BOUNDARIES, EXISTING DWELLING AND ANY RELEVANT SERVICES PRIOR TO COMMENCEMENT OF ANY WORKS WHERE REQUIRED THIS SHOULD BE PERFORMED BY A REGISTERED SURVEYOR

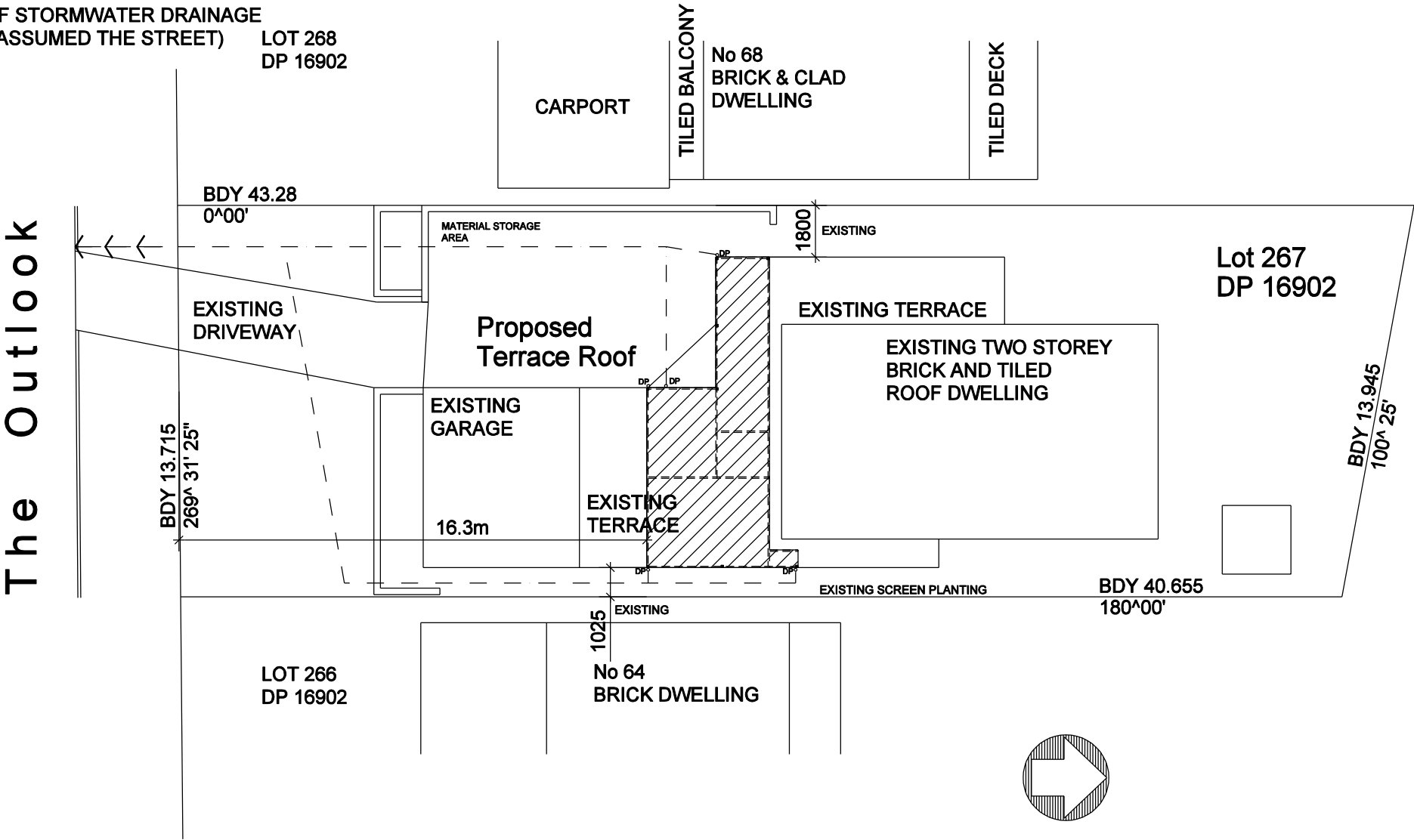
General Note

QUALITY OF STORMWATER DISCHARGE IS ASSUMED  
TO BE RESIDENTIAL

Erosion Control Note

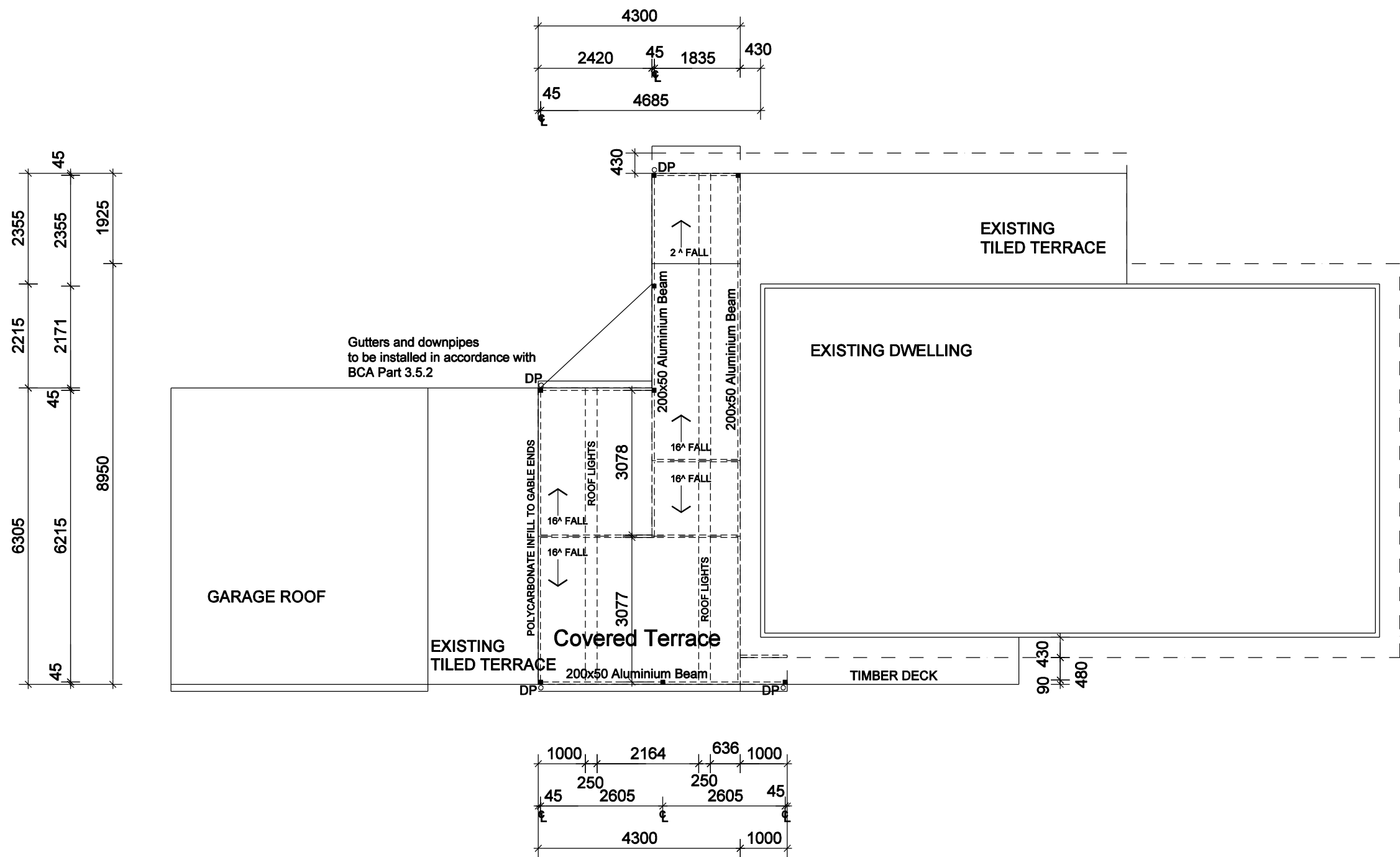
NO SEDIMENT CONTROL REQUIRED AS NO  
GROUND DISTURBANCE IS PROPOSED

DRAIN ALL ROOF WATER BY A PIPED  
DRAINAGE LINE UNDERGROUND TO THE EXISTING  
LEGAL POINT OF STORMWATER DRAINAGE  
FOR THE SITE (ASSUMED THE STREET)

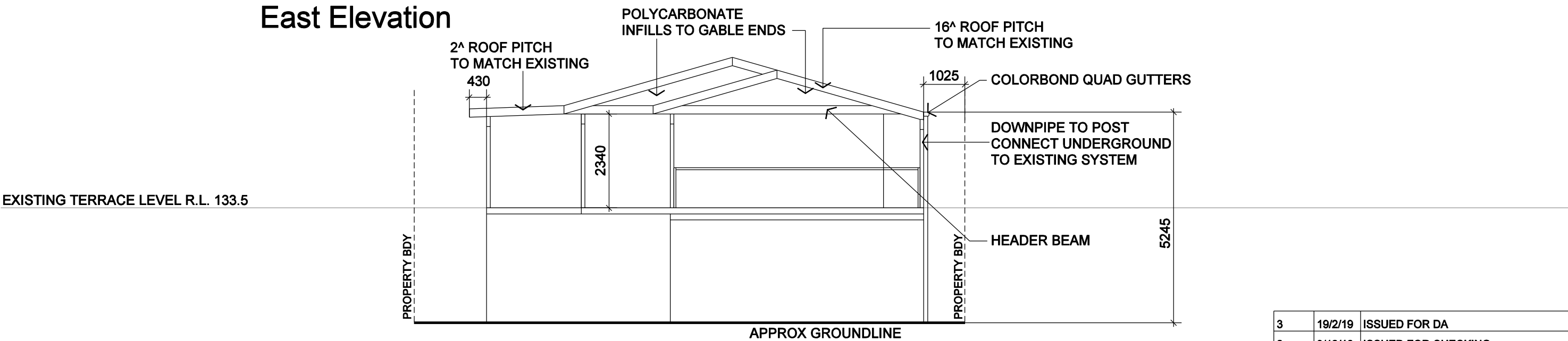
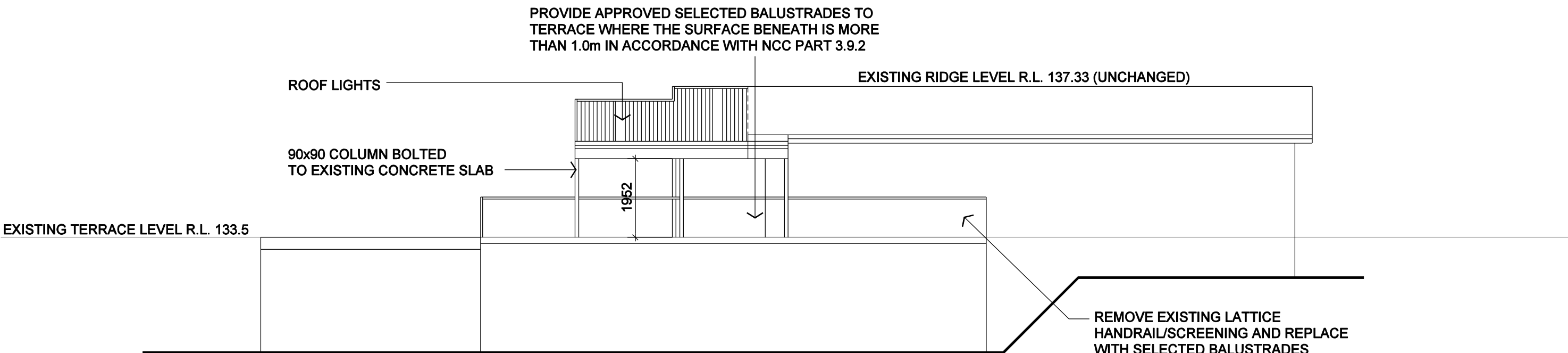
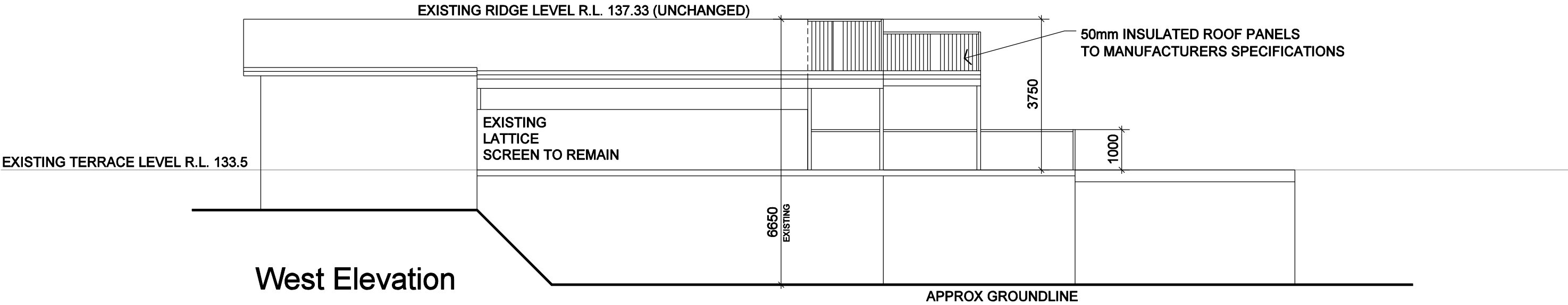


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Job No: 0618		

ALL MEASUREMENTS HAVE BEEN SUPPLIED  
BY PROPERTY OWNER AND DRAWNS FROM  
ORIGINAL PLANS  
ALL TRADES TO CHECK AND MEASURE  
PRIOR TO CARRYING OUT ANY WORKS



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2/16 Dale Street Brookvale NSW 2100 (office & Showroom)

Ph: 9905 6711 Fax: 9905 6988

ABN: 12 821 966 560 B/L: 81217c

Email: [info@jesmac.com.au](mailto:info@jesmac.com.au) Web: [www.jesmac.com.au](http://www.jesmac.com.au)

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*Additions, Renovations, Pergolas, Decks, Outdoor blinds*

26<sup>th</sup> March 2019

Job address: 6 The Outlook Bilgola Plateau

Client: Mrs Margaret Balnaves

## Schedule of Colours

### Pergola

Gutters	Woodland Grey
Fascia	Woodland Grey
Roof Top colour	Woodland Grey
Roof underside colour	Off white
Downpipe	Off White
Columns / Beams	Woodland Grey

The Pergola will be built out of aluminium posts and beams

The gutters and roof sheets will be from colour-bond steel