
From: Max Chipchase
Sent: 3/04/2024 3:13:25 PM
To: Council Northernbeaches Mailbox
Cc: [REDACTED]
Subject: TRIMMED: Mod2024/0109 - 8 Bower Street, Manly - Submission
Attachments: Mod2024-0109 - Submission Objection to 8 Bower Street, Manly.pdf;

Good Afternoon,

Attention: Dean Pattalis

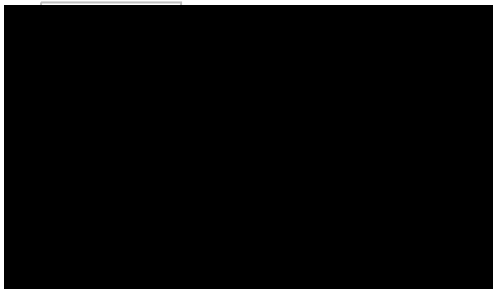
Mod2024/0109 – Section 4.56 Court Consent – Modification of Development Consent DA2018/0628 granted for the alterations and additions to an existing dwelling house including a secondary dwelling

Please find attached Submission Letter to the proposed modification at 8 Bower Street, Manly.

Should you have any queries, please contact me to discuss.

Regards

Max Chipchase
Town Planner BTP (Hons)



Submission – Objection

Mod2024/0109 – Section 4.56 Court Consent – Modification of Development Consent DA2018/0628 granted for the alterations and additions to an existing dwelling house including a secondary dwelling
8 Bower Street, Manly, NSW 2095 (Lot 34 DP 8075)
Submission on behalf of owners at 10 Bower Street, Manly

3 April 2024



Peter Robinson
Executive Manager, Development Assessment
Peter.Robinson@northernbeaches.nsw.gov.au

Dear Mr Robinson,

Section 4.55 Modification Mod2024/0109 – Section 4.56 Court Consent – Modification of Development Consent DA2018/0628 granted for the alterations and additions to an existing dwelling house including a secondary at 8 Bower Street, Manly (Lot 34 DP 8705)

Chipchase Planning have been engaged on behalf of property owners at 10 Bower Street, Manly, to provide town planning advice in relation to the proposed development.

The proposed development at 8 Bower Street, Manly (hereafter, the proposed development) is the adjoining residence to the north of 10 Bower Street, Manly (hereafter subject property), sharing side boundary.

The Letter raises concerns and objects against the following proposed modifications:

1. The proposed pergola structure; and
2. The relocation and reorientation of the swimming pool to be parallel to the south-western boundary of the site.

The proposed pergola structure to the pool house floor elongates the fourth level providing additional bulk and scale to the approved structure. This is an unnecessary and is considered to materially change to the scale of the development. The proposed pergola structure casts additional overshadowing over the subject residence's principal living area and the bedrooms below. This blocks the remaining morning sunlight from the area which is not already overshadowed under the approved development (refer extract of the shadow diagram **Figure 1**).

It is noted that the extent of overshadowing reduces by midday, however the point is that all morning sunlight is compromised from the proposed structure in the earlier hours of the morning.

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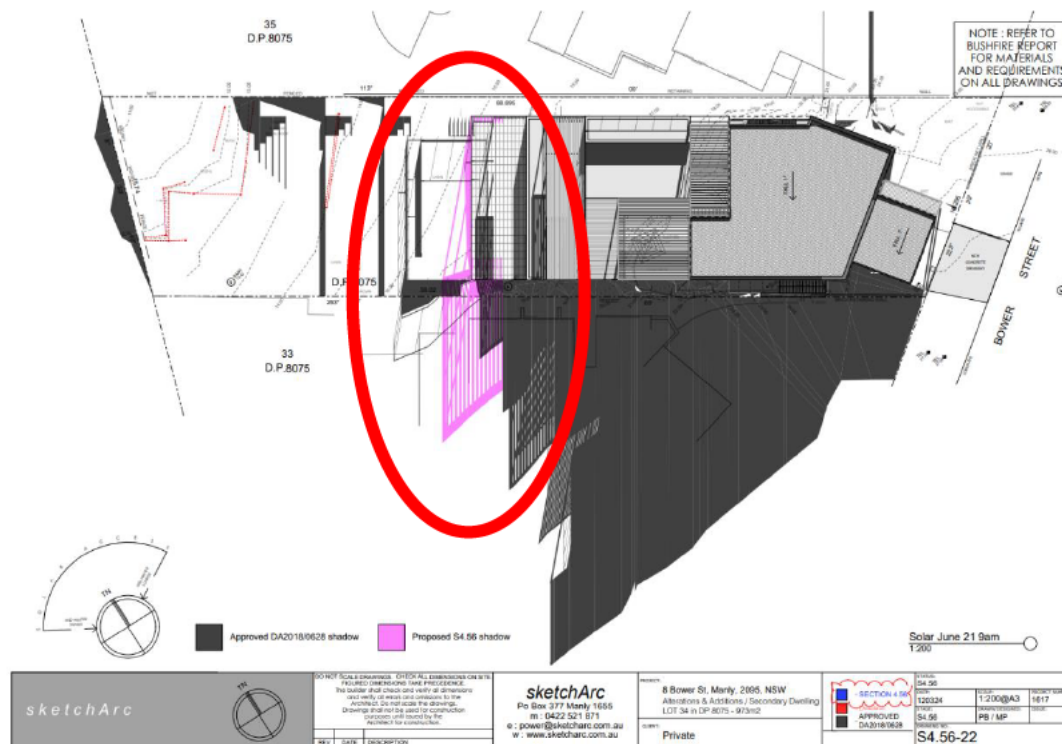


Figure 1: Proponent Shadow Diagram – Solar June 21, 9am

The proposed structure is inconsistent with the relevant DCP objectives of *3.4.1 Sunlight Access and Overshadowing* of the *Manly Development Control Plan 2013* (MDCP 2023). The objectives pertain to provide equitable access to light and sunshine, allow adequate sunlight and to maximise the penetration of sunlight to the windows, living rooms and to principal outdoor areas.

The relocation and reorientation of the swimming pool to be parallel to the south-western boundary of the site provides raises concerns of privacy and acoustics. The spa, deck and pool equipment/mechanical pump encroach closer to the side boundary, posing residential amenity impacts. The rear pool cabana is proposed in the rear setback and further exacerbates concerns extending all the way to the rear of the property.

The proposed modification enables residential activity beyond the approved structure of the building without protecting the residential amenity of the neighbour. The submission seeks for consideration of the redesign or proposed mitigation measures of overshadowing, privacy and acoustics.

On behalf of the owners of 10 Bower Street, Manly, we would like to sincerely thank you for the opportunity of reviewing the proposed modification and making a submission to Council.

Yours faithfully,

Max Chipchase

Max Chipchase BTP (Hons)
Town Planner
Chipchase Planning