

SECTION 4.55 MODIFICATION - N0267/16. SHOP-TOP DEVELOPMENT

NO.2 - 8 RICKARD ROAD NARRABEEN N.S.W. 2101

ARCHITECTURAL DOCUMENTATION - PREPARED BY DESIGN VINES

10090_DACS	S1	COVER SHEET
10090_DA00	S1	LOCATION PLAN
10090_DA01	S1	PROPOSED PLANS - ROOF
10090_DA02	S1	PROPOSED PLANS - BASEMENT
10090_DA03	S1	PROPOSED PLAN - GROUND
10090_DA04	S1	PROPOSED PLAN - FIRST
10090_DA05	S1	PROPOSED PLANS - SECOND FLOOR
10090_DA06	S1	PROPOSED - ELEVATIONS
10090_DA07	S1	PROPOSED - ELEVATIONS
10090_DA08	S1	PROPOSED - SECTIONS
10090_SD01	S1	SHADOW DIAGRAM ANALYSIS 9am
10090_SD02	S1	SHADOW DIAGRAM ANALYSIS 12pm
10090_SD03	S1	SHADOW DIAGRAM ANALYSIS 3pm
10090_SD26	VIEW NORTH EAST ACROSS RICKARD ROAD AND THE SITE	
10090_SD27	VIEW WEST ALONG MINATRO LANE AND THE SITE	
10090_SD28	VIEW EAST ACROSS RICKARD ROAD AND THE SITE	
10090_SD29	VIEW NORTH UP MINATRO LANE	
10090_SD30	VIEW WEST ALONG RICKARD ROAD AND THE SITE	
10090_SD31	VIEW EAST ALONG RICKARD ROAD AND THE SITE	

EXTERNAL FINISHES SCHEDULE
DESIGN VERIFICATION STATEMENT

FURTHER DOCUMENTATION:
GK WILSON - SURVEY
VAUGHAN MILLIGAN DEVELOPMENT (TOWN PLANNER)
ACOR CONSULTANTS - FLOOD
SPACE LANDSCAPE DESIGNERS
BASIX - EFFICIENT LIVING



NOTES & LEGEND

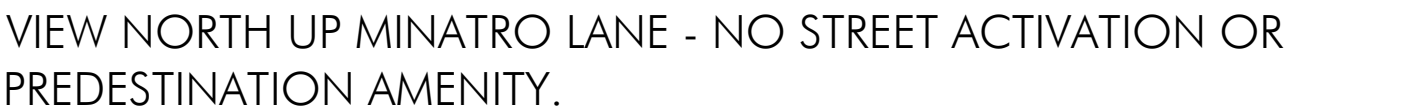
- NOTE 1: DEMOLISH ALL EXISTING DWELLING, PATHS, ANCILLARY STRUCTURES AND TREES INDICATED. PREPARE SITE FOR THE CONSTRUCTION OF THE NEW BUILDING AND ASSOCIATED ANCILLARY WORKS REQUIRED.
- NOTE 2: PROVIDE NEW BUILDING STRUCTURE, ROOF AND FLOORS AS REQUIRED AND TO FUTURE ENGINEERS DETAILS.
- NOTE 3: PROVIDE NEW CONCRETE SLAB AND MASONRY WALL STRUCTURE GENERALLY.
- NOTE 4: PROVIDE EXTERNAL CLADDING, MASONRY AND OTHER FINISHES AS INDICATED IN THE DRAWINGS AND ATTACHED DOCUMENTATION.
- NOTE 5: PROVIDE PLASTERBOARD CEILINGS AND WALLS INTERNALLY GENERALLY. ALLOW FOR FC SHEET LINING TO WET AREAS.
- NOTE 6: PROVIDE INSULATION WITH MINIMUM INSULATING PROPERTIES AS SPECIFIED IN THE "BASIX" CERTIFICATION ATTACHED TO THIS APPLICATION.
- NOTE 7: PROVIDE NEW METAL SHEET ROOFING ON SARKING AND INSULATION. WHERE INDICATED PROVIDE FLAT CONCRETE ROOF TO ROOF LEVEL.
- NOTE 8: PROVIDE NEW ALUMINIUM FRAMED WINDOWS IN ACCORDANCE WITH REQUIREMENTS OUTLINED IN THE BASIX CERTIFICATE AND THE "ABSA BASIX THERMAL COMFORT SIMULATION METHOD" REPORT.
- NOTE 9: ALLOW FOR GUTTERS, DOWNPIPES AS REQUIRED TO CONNECT TO THE PROPOSED NEW STORMWATER SYSTEM IN ACCORDANCE WITH THE ENGINEERING DOCUMENTATION.
- NOTE 10: PROPOSED ROOF DRAINAGE IN ACCORDANCE WITH ENGINEERING STORMWATER DOCUMENTATION.
- NOTE 11: ALLOW TO PROVIDE NEW ELECTRICAL, WATER AND SEWERAGE SYSTEMS. ALLOW TO UPGRADE AS REQUIRED BY RELEVANT AUTHORITIES.
- NOTE 12: REFER TO ENGINEERING, LANDSCAPE AND ALL OTHER ATTACHED DOCUMENTATION FOR FURTHER INFORMATION
- NOTE 13: CONFIRM ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION.
- NOTE 14: ALL WORK TO BE COMPLETED IN ACCORDANCE WITH AUSTRALIAN STANDARDS AND B.C.A. REQUIREMENTS.
- NOTE 15: REFER TO ALL OTHER ATTACHED DOCUMENTATION FOR FURTHER DETAIL ON THE DEVELOPMENT PROPOSAL.

BASIX REQUIRMENTS

Thermal comfort inclusions	
Glazing Doors/windows	Aluminium framed single clear glazing to all units: U-Value: 6.70 (equal to or lower than) SHGC: 0.57 (±10%) A – awning windows, casement windows & hinged glazed doors U-Value: 6.70 (equal to or lower than) SHGC: 0.70 (±10%) B – Fixed glazing, glazed sliding doors & louvres windows. Aluminium framed performance glazing as per assessor certificate : U-Value: 4.8 (equal to or lower than) SHGC: 0.59 (±10%) B – Fixed glazing, glazed sliding doors & louvres windows. Given values are NFRC, total window values
Roof	Concrete roof no insulation Default light colour
Ceiling	Plasterboard ceiling, an R1.8 insulation where exposed roof above Plasterboard ceiling, no insulation where neighbouring units are directly above Note: Loss of ceiling insulation due to penetrations from down lights have been accounted for in accordance with BCA Technical Notes, assume non-ventilated LED down lights IC abutted and covered.
External wall	Cavity brick with polystyrene insulation – total wall system R-value R1.49 first floor units Reverse brick veneer with cladding, R1.5 insulation to second floor units 200mm Concrete wall with plasterboard internally, R1.0 insulation (insulation only value) as per assessor certificate Default medium colour
Inter tenancy walls	200mm dincell concrete, plasterboard lined direct stick both sides with R1.0 insulation to walls shared to corridor, lift shaft and stair well
Walls with-in dwellings	Plasterboard on studs – no insulation
Floors	Concrete – R1.2 subfloor insulation required to units with floor exposed to outside & garage soffit as per assessor certificate Concrete between levels no insulation
Floor coverings	Carpet to bedrooms, and tiles elsewhere
BASIX water inclusions	
Central rainwater storage	Tank size 5,000L Collecting from 200m² roof area Connected to outdoor tap for irrigation of common landscaping
BASIX energy inclusions	
Hot water system	Individual gas instantaneous hot water systems – 6 stars
Alternative energy	3.0kWp photovoltaic (PV) system

DEVELOPMENT APPLICATION





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	S1	Issue for Section 4.55 Amendment	26.06.23
SYMBOL LEGEND			
<div><div><div><div></div></div>BOUNDARY</div><div><div><div></div></div>EXISTING WALL TO BE RETAINED.</div><div><div><div></div></div>PROPOSED NEW WALLS</div><div><div><div></div></div>SECTION/ SHEET NUMBER</div></div>			
<div><div>FB - FACE BRICK</div><div>CR - CEMENT RENDER</div><div>MC - MASONRY CLADDING</div><div>CONC - CONCRETE</div><div>FC - FIBRE CEMENT SHEET</div><div>LWC - LIGHTWEIGHT CLADDING</div><div>TIM - TIMBER</div><div>MSR - METAL SHEET ROOFING</div><div>BAL - BALUSTRADE</div><div>C - CUPBOARD</div></div> <div><div>BHP - BUILDING HEIGHT PLANE</div><div>COS - CHECK ON SITE</div><div>C - CUPBOARD</div><div>EX - EXISTING</div><div>FFL - FINISHED FLOOR LEVEL</div><div>H - HEIGHT</div><div>NGL - NATURAL GROUND LINE</div><div>OF - OVER FLOW</div><div>RL - RELATIVE LEVEL SCREEN</div><div>SW - STORMWATER</div><div>TYP - TYPICAL</div></div>			
<div><div><div><div>4.8</div><div>Average star rating</div><div>NATIONWIDE HOUSE</div><div>www.nuthers.gov.au</div></div><div><div>0001365610</div><div>27 Jun 2023</div><div>Assessor Tracey Cools</div><div>Accreditation No. HERA10033</div><div>Address</div><div>2-8 Rickard Road Narrabeen , NSW , 2101</div><div><div></div><div>hstar.com.au</div></div></div></div><div><div>TN</div><div><div></div></div></div></div>			
Client		ANTHONY GLEESON	
Title		COVER SHEET	
Project	Drawn	Checked	Date
	MB		
	Number	10090_DACS	
	Issue	S1	
<div><div>DesignVines</div><div>mitchbye@designvines.com</div><div>www.designvines.com</div><div>Mitchell Bye Nominated Architect No.9822</div></div>			



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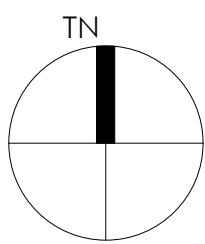
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SYMBOL LEGEND

 BOUNDARY
 EXISTING WALL TO BE RETAINED.
 PROPOSED NEW WALLS
 SECTION/ SHEET NUMBER

FB - FACE BRICK
CR - CEMENT RENDER
MC - MASONRY CLADDING
CONC - CONCRETE
FC - FIBRE CEMENT SHEET
LWC - LIGHTWEIGHT CLADDING
TIM - TIMBER
MSR - METAL SHEET ROOFING
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OF - OVER FLOW
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SW - STORMWATER
TYP - TYPICAL



Client
**ANTHONY
GLEESON**

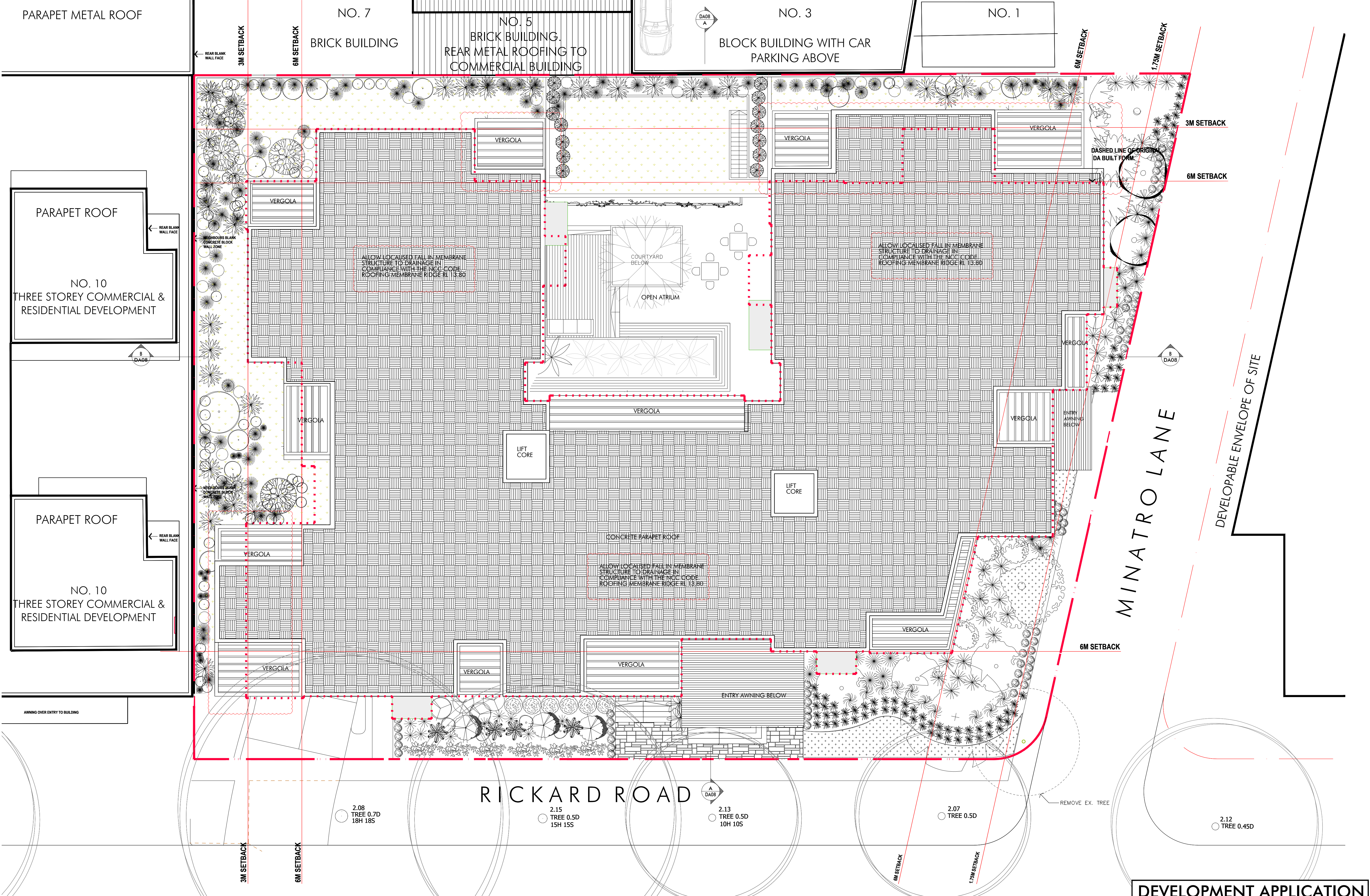
Project
**2-8 RICKARD ROAD,
NORTH NARRABEEN**

Title LOCATION PLAN		
Drawn MB	Checked	Scale
Number 10090 _ DA00	Issue S1	

DEVELOPMENT APPLICATION

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Issue	Description	Date
51	Issue for Section 4.55 Amendment	26.07.23

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0001365610 27 Jun 2023

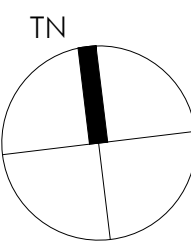
Assessor Tracey Coles

Accreditation No. HERA10033

Address

2-8 Rickard Road, Narrabeen, NSW, 2101

 hstar.com.au



Client	ANTHONY GLEESON
Project	2-8 RICKARD ROAD, NORTH NARRABEEN

Title	ROOF PLAN
Drawn	MB
Checked	
Date	
Number	10090_DA01
Issue	S1

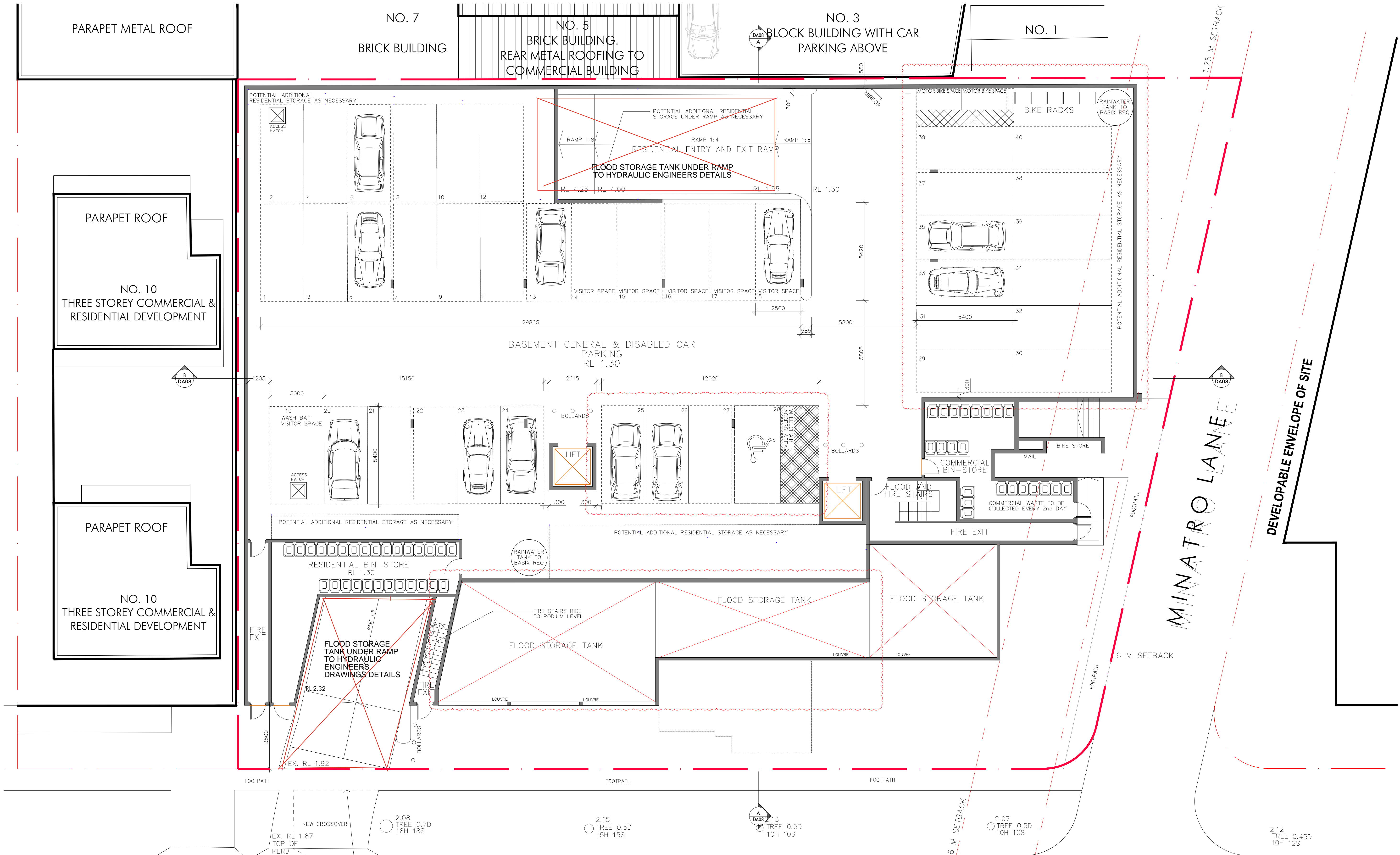
DEVELOPMENT APPLICATION



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RICKARD ROAD

DEVELOPMENT APPLICATION

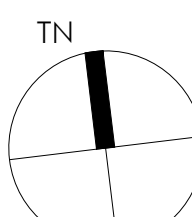
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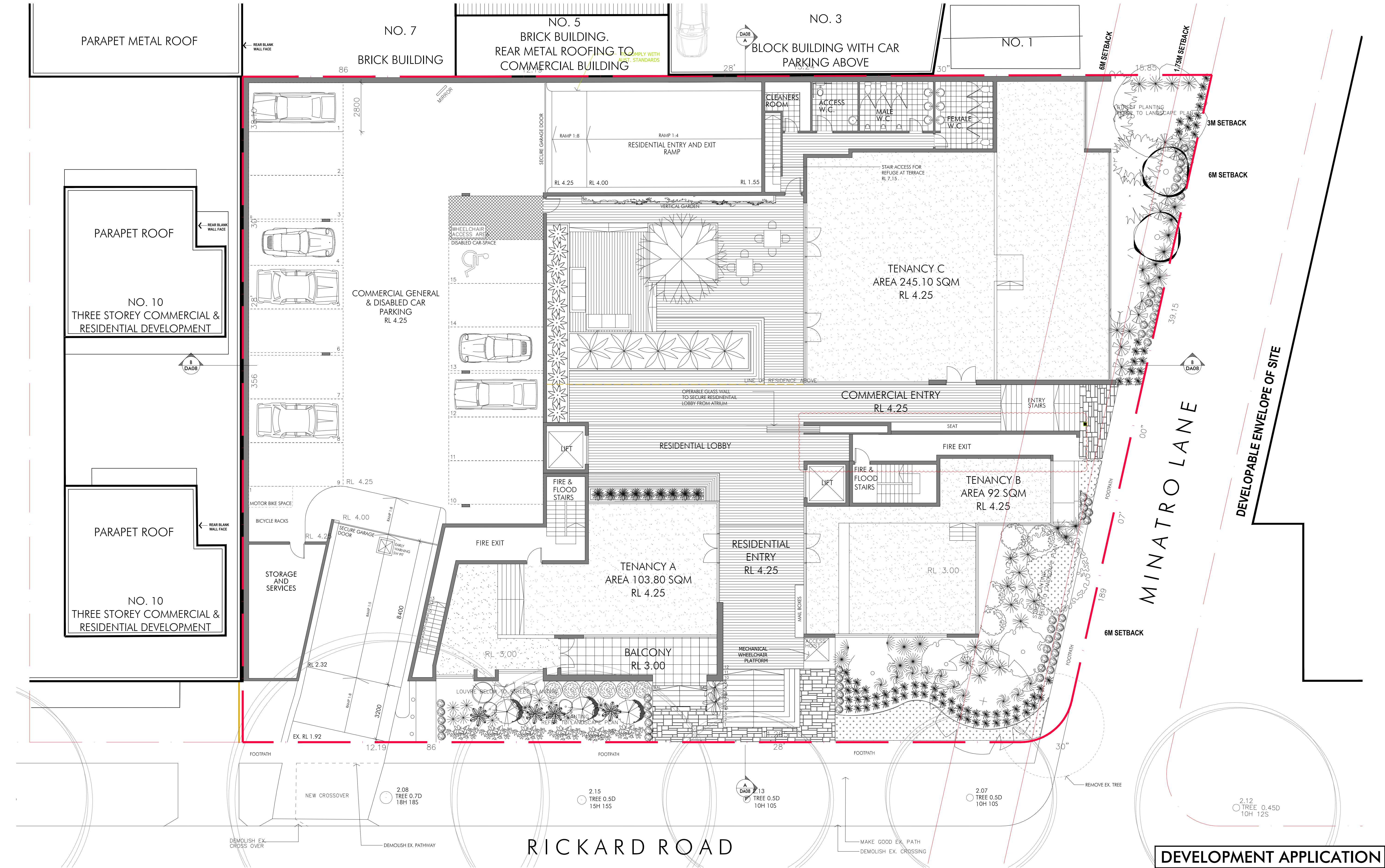
0001365610	27 Jun 2023
Assessor	Tracey Coles
Accreditation No.	HERA10033
Address	2-8 Rickard Road, Narrabeen, NSW, 2101



Client	ANTHONY GLEESON
Project	2-8 RICKARD ROAD, NORTH NARRABEEN

The	BASEMENT FLOOR
Drawn	MB
Number	10090_DA02
Date	S1

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4.8
Average
star rating
NATIONAL
HOUSE
BUILDING
QUALITY
AWARD
2022
www.nuthers.gov.au

0001365610 27 Jun 2023
Assessor Tracey Coles
Accreditation No. HERA10033
Address
2-8 Rickard Road, Narrabeen, NSW, 2101

TN

ANTHONY GLEESON

2-8 RICKARD ROAD, NORTH NARRABEEN

GROUND FLOOR

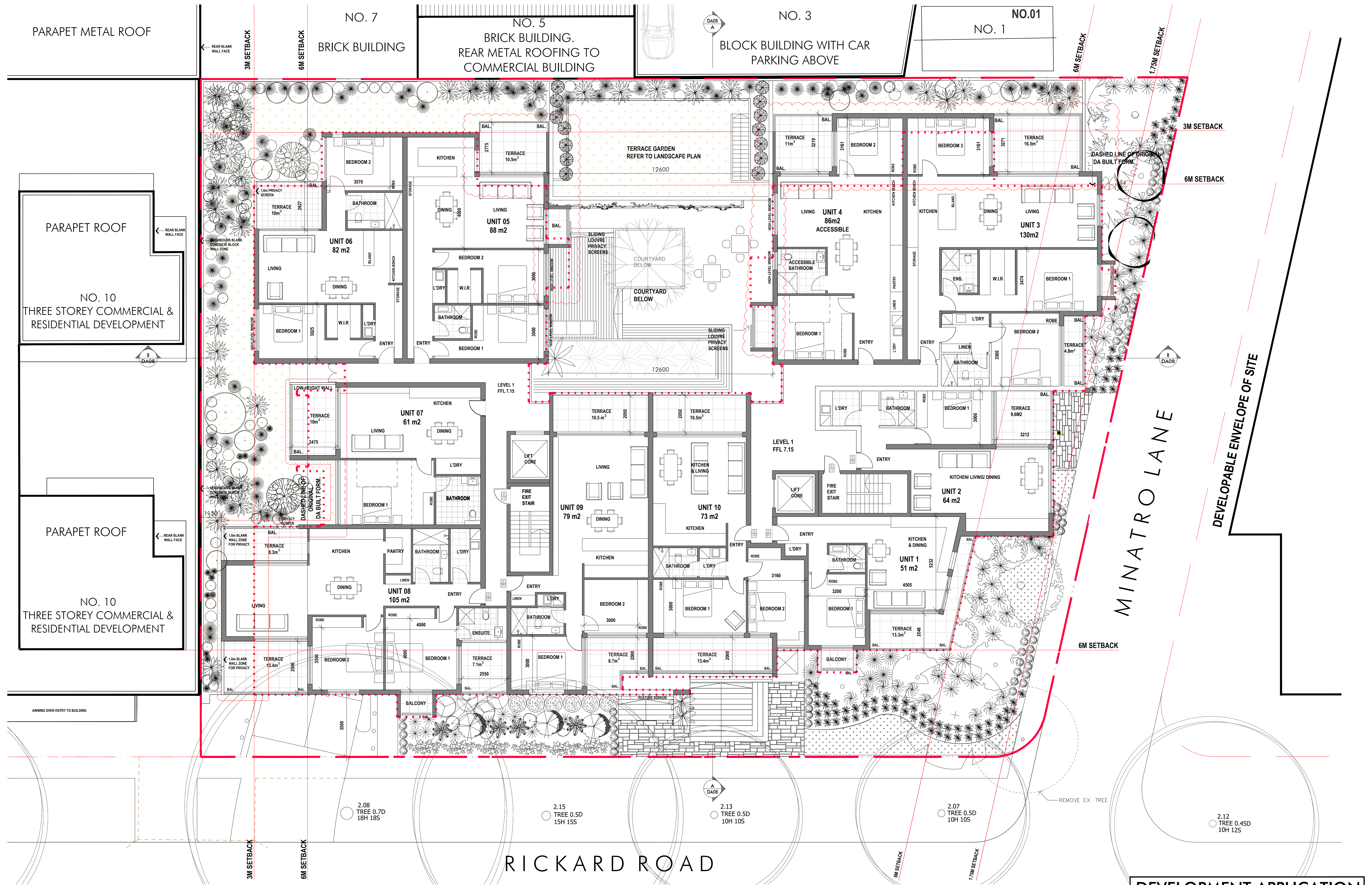
Down MB Checked Scale

Number 10090_DA03

Size S1

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0001365610 27 Jun 2023

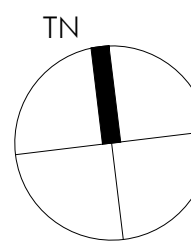
Assessor Tracey Coles

Accreditation No. HERA10033

Address

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Client	ANTHONY GLEESON
Project	2-8 RICKARD ROAD, NORTH NARRABEEN

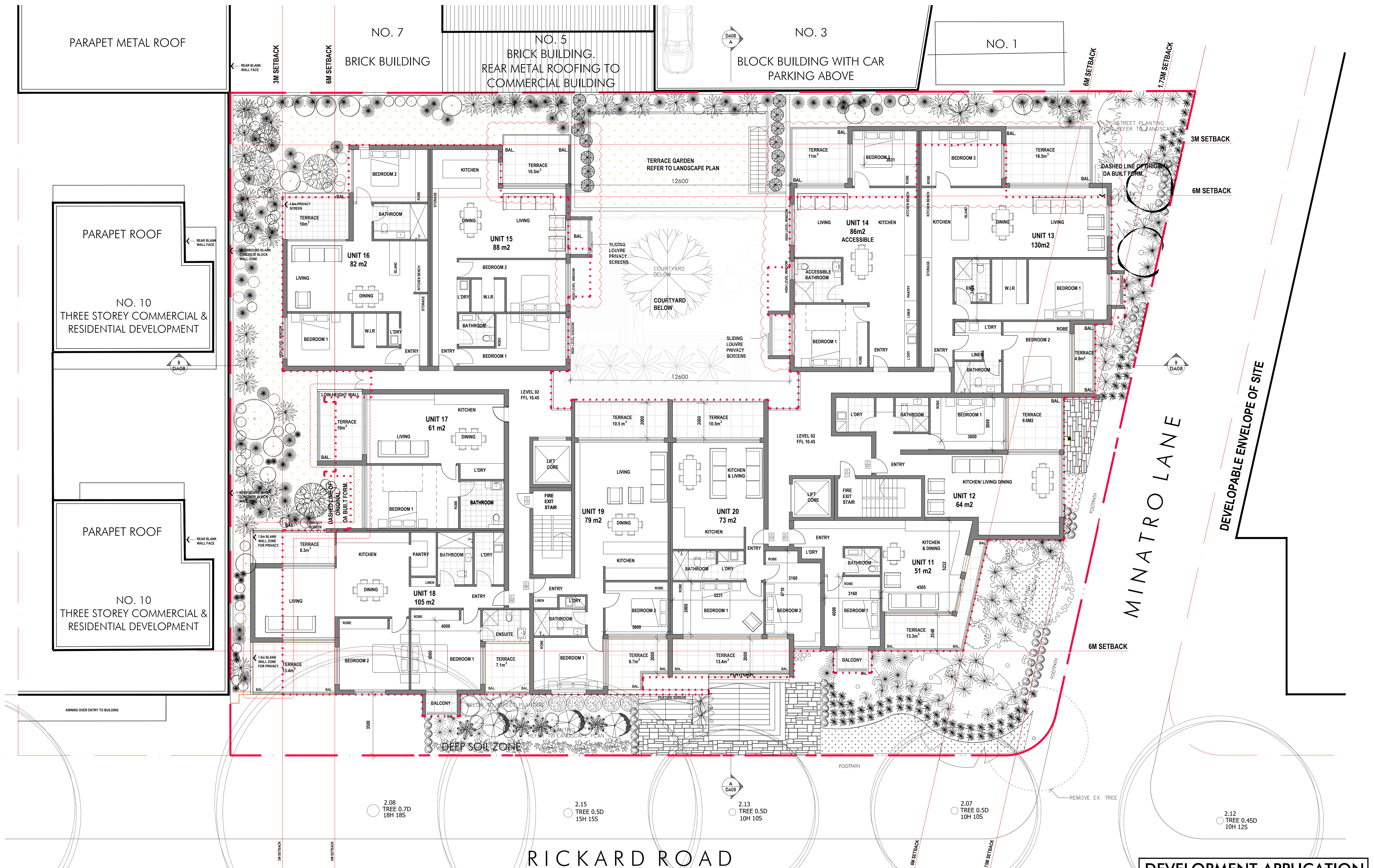
Title	FIRST FLOOR
Drawn	MB
Number	10090_DA04
Sheet	S1

DEVELOPMENT APPLICATION

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DEVELOPMENT APPLICATION

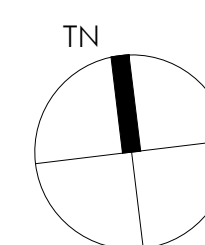
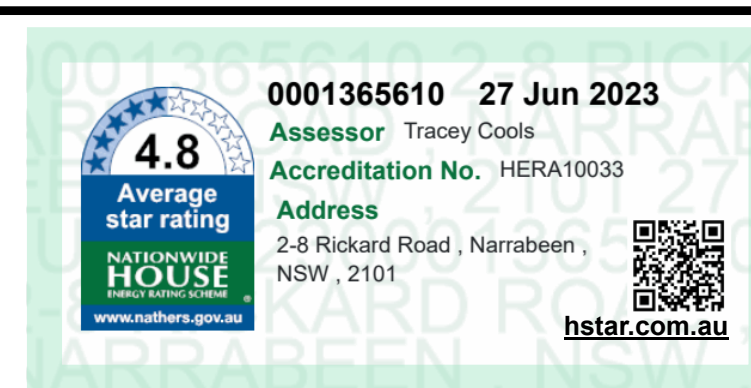
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 PROPOSED NEW WALLS
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- | | |
|----------------------------|-----------------------------|
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| BA - BALUSTRADE | RL - RELATIVE LEVEL SCREEN |
| C - CUPBOARD | SW - STORMWATER |
| | TYP - TYPICAL |



Client	ANTHONY GLEESON
Project	2-8 RICKARD ROAD, NORTH NARRABEEN

Title SECOND FLOOR

Drawn	Checked
MB	
Number	
10090	DA05

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NO. 2 - 8

BOUNDARY

BOUNDARY (VARIES)

BOUNDARY (VARIES)

MINATRO LANE

RENDERED AND PAINTED WALLS
LIGHT WEIGHT CLAD FINISH
TO TOP OF MASONRY WALLS

HANDRAIL AND BALUSTRADE
AS REQUIRED
TIMBER CLAD BALCONY STRUCTURE
ALUMINUM FRAMED WINDOWS
TYPICALLY THROUGHOUT

MASONRY WALL CONSTRUCTION
TYPICALLY FINISHED AS NOTED.

ENTRY CANOPY
STAIR ACCESS TO
NEW ATRIUM LEVEL

ACCESS HOIST

COMMERCIAL GARAGE ENTRY

FINISHED MASONRY WALL TO
THE BOUNDARY

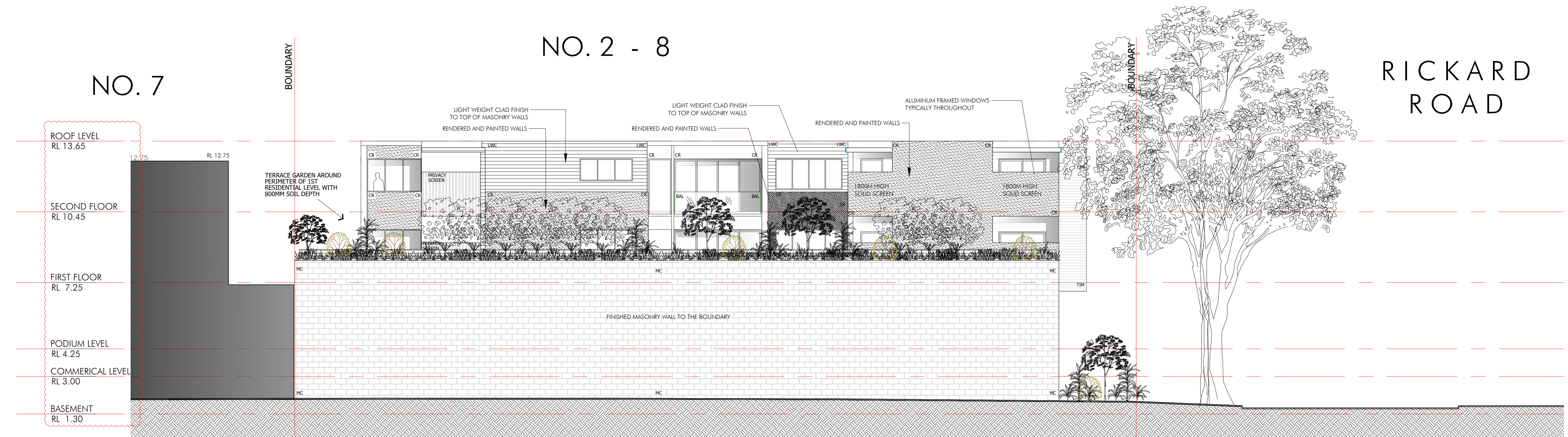
LOUVRES RELEASING FLOOD WATER
INTO FLOOD STORAGE TANK

TENANCIES AT GROUND PODIUM LEVEL

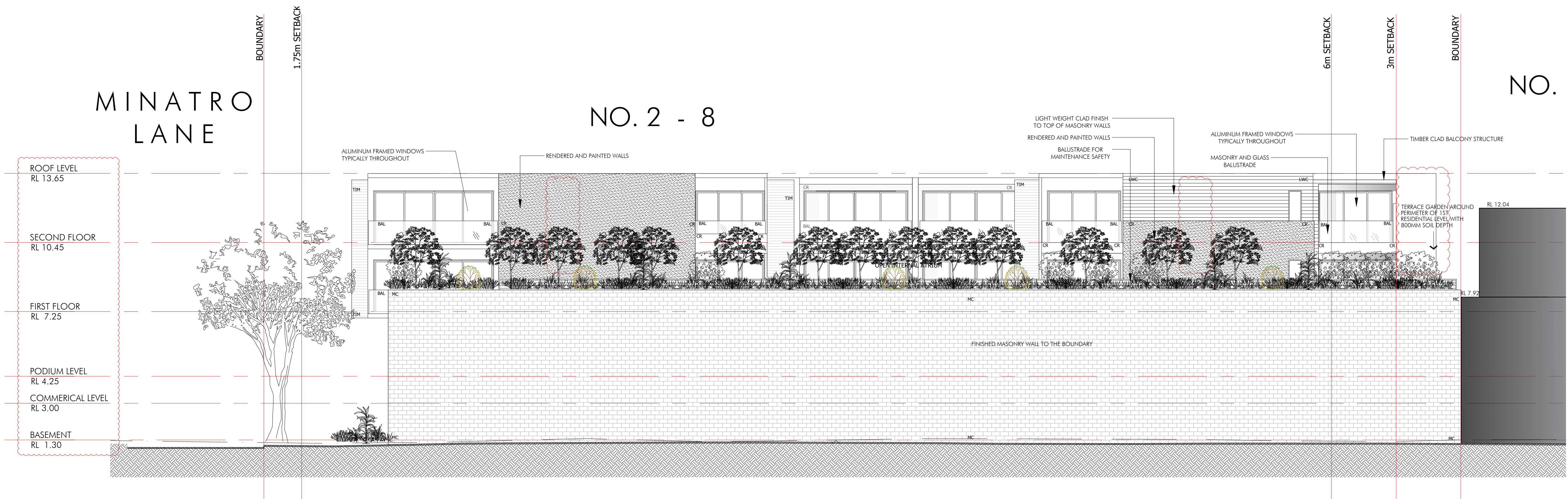
Architectural elevation drawing of a building facade, labeled "NO. 2 - 8" and "NO. 1". The drawing shows a cross-section of the building with various levels and landscaping. Key features include:

- Levels and Elevation:**
 - ROOF LEVEL RL 13.65
 - SECOND FLOOR RL 10.45
 - FIRST FLOOR RL 7.25
 - PODIUM LEVEL RL 4.25
 - COMMERICAL LEVEL RL 3.00
 - BASEMENT RL 1.30
- Building Details:**
 - Rendered and painted walls
 - Timber clad balcony structure
 - Light weight clad finish to top of masonry walls
 - Aluminum framed windows typically throughout
 - Handrail and balustrade as required
 - Timber (TIM)
 - Light weight clad finish (LWC)
 - Balcony (BAL)
 - Concrete (CR)
 - Open to atrium beyond
 - Tenancies at ground podium level
 - Entry canopy
 - Masonry wall construction
 - Finished masonry wall to
- Landscaping and Site Context:**
 - Large tree on the left side of the building.
 - 6m setback and 3m setback lines.
 - Boundary lines.
 - Terrace garden around perimeter of 1st residential level with 800mm soil depth.
 - Rickard Road.

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	Project 2-8 RICKARD ROAD, NORTH NARRABEEN					Drawn MB	Checked



01 PROPOSED WESTERN ELEVATION
SCALE 1:100 @ A1



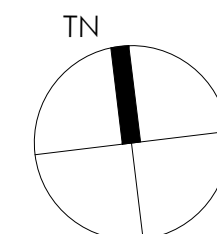
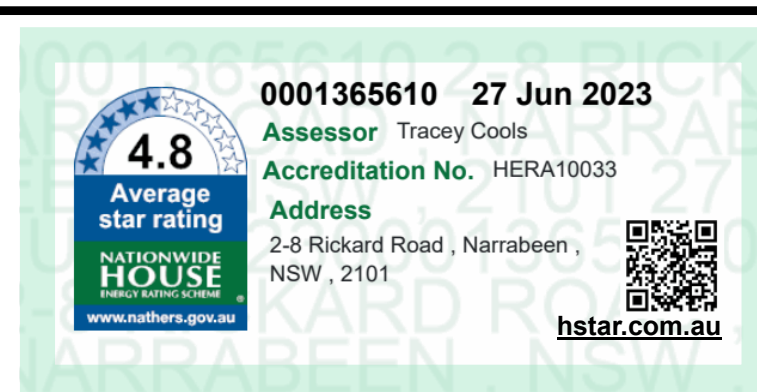
02 PROPOSED NORTH ELEVATION
SCALE 1:100 @ A1

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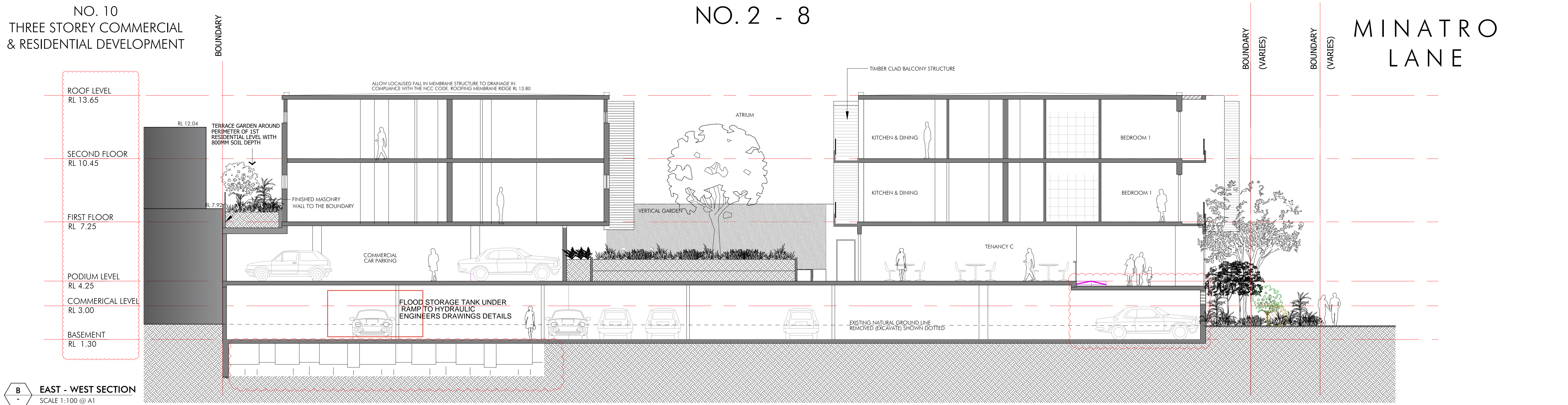
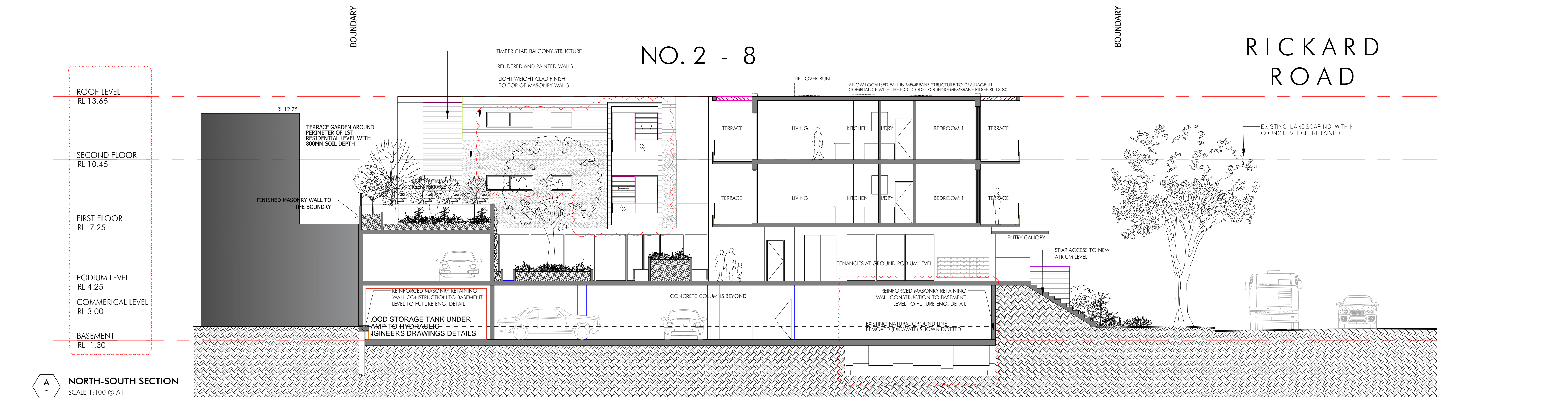
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	TYP - TYPICAL



Client	ANTHONY GLEESON
Project	2-8 RICKARD ROAD, NORTH NARRABEEN

Title	ELEVATIONS
Drawn	MB
Checked	
Date	
Number	10090_DA07
Issue	S1

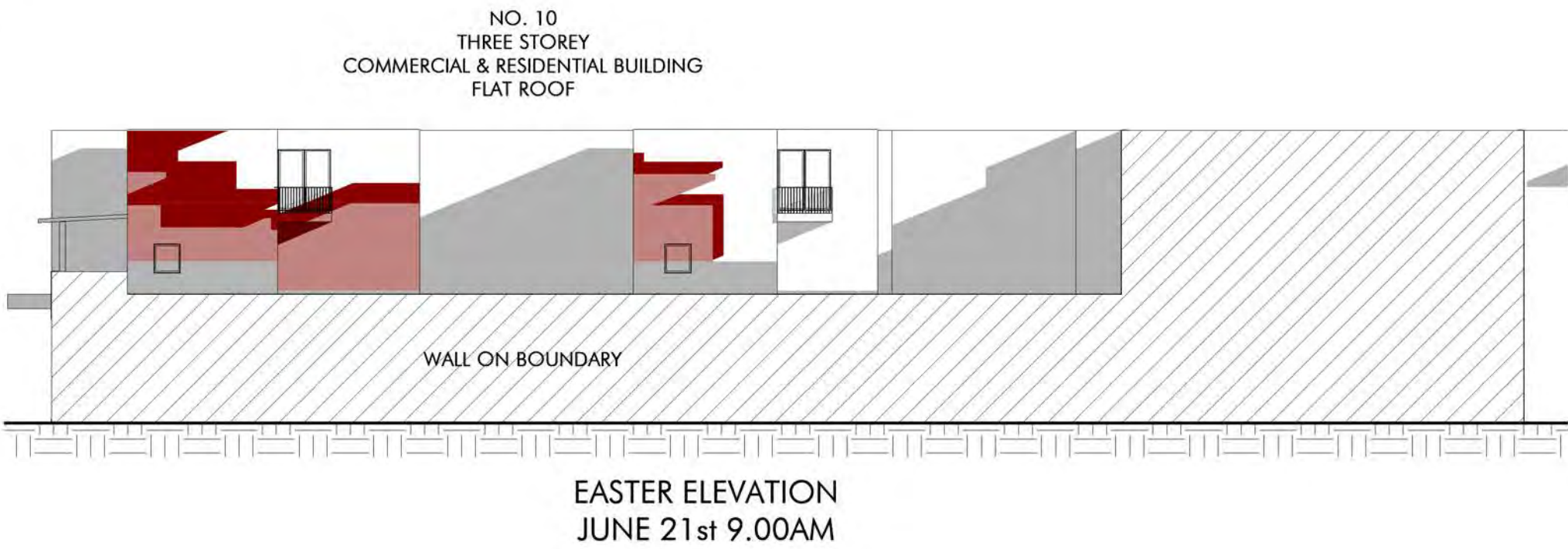
DEVELOPMENT APPLICATION	
DesignVines	
mitchbye@designvines.com www.designvines.com Mitchell Bye Nominated Architect No.9822	



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Drawings may not be reproduced without permission from Design Vines.</p>			<table><tr><th>Issue</th><th>Description</th><th>Date</th></tr><tr><td>51</td><td>Issue for Section 4.55 Amendment</td><td>26.07.23</td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> 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Shadowing June 21st 9.00am
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- DENOTES AREA OF PROPOSED S.4.55 ALTERATIONS & ADDITIONS
- DENOTES AREA OF PROPOSED COURT APPROVED BUILDING SHADOW
- DENOTES AREA OF PROPOSED ADDITIONAL S.4.55 SHADOW
- DENOTES S.4.55 SHADOW REDUCTION COMPARE TO COURT APPROVED DA

SHADOWS SHOWN HAVE BEEN COMPILED FROM INFORMATION FROM DETAIL AND & LEVEL SURVEY BY G.K WILSON & ASSOC SURVEY, COURT APPROVED ARCHITECTURAL PLANS BY HAVILAND ARCHITECTS AND SECTION 4.55 DOCUMENTATION 2023

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Issue	Description	Date
51	Issue for Section 4.55 Amendment	16.06.23

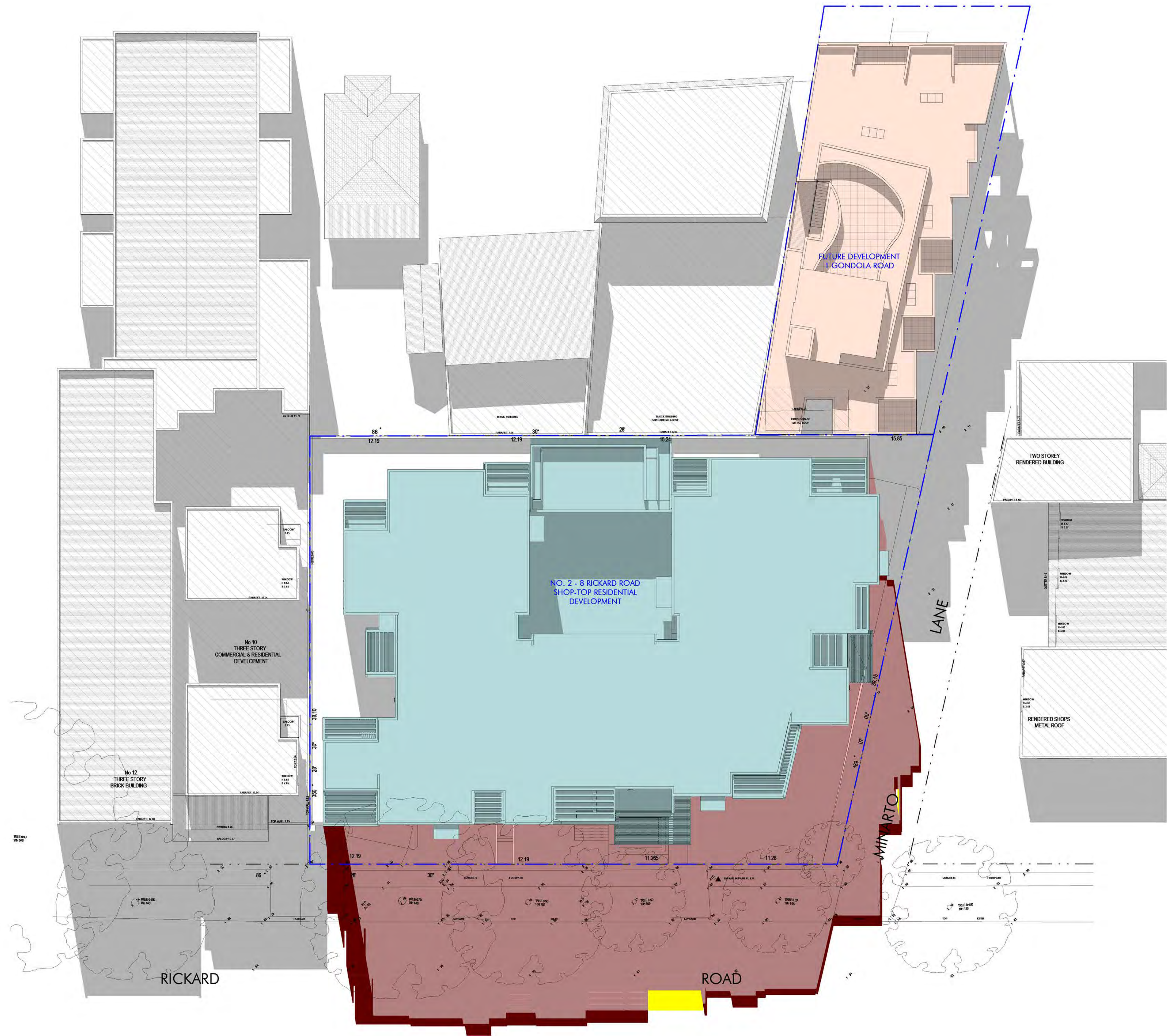
0001365610 27 Jun 2023
Assessor Tracey Cools
Accreditation No. HERA10033
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2-8 Rickard Road, Narrabeen, NSW, 2101
www.nuthers.gov.au

Client	ANTHONY GLEESON		
Project	2 - 8 RICKARD ROAD NORTH NARRABEEN 2101		

Title	SHADOW DIAGRAM ANALYSIS 9am		
Drawn	AB	Checked	JD
Number	10090_SD01		Scale
Issue	S1		AS INDICATE

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Mitchell Bye Nominated Architect No.9822



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 - DENOTES AREA OF PROPOSED ADDITIONAL S.4.55 SHADOW
 - DENOTES S.4.55 SHADOW REDUCTION COMPARE TO COURT APPROVED DA

SHADOWS SHOWN HAVE BEEN COMPILED FROM INFORMATION FROM DETAIL AND & LEVEL SURVEY BY G.K WILSON & ASSOC SURVEY, COURT APPROVED ARCHITECTURAL PLANS BY HAVILAND ARCHITECTS AND SECTION 4.55 DOCUMENTATION 2023

Shadowing June 21st 12.00pm
1 : 200

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Issue	Description	Date
51	Issue for Section 4.55 Amendment	16.06.23

4.8

Average star rating

NATIONWIDE HOUSE

Real Estate Group

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0001365610

27 Jun 2023

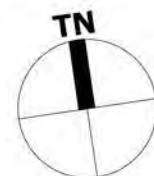
Assessor Tracey Coole

Accreditation No. HERA10033

Address

2-8 Rickard Road, Narrabeen, NSW, 2101

hstar.com.au



Client	ANTHONY GLEESON
Project	2 - 8 RICKARD ROAD NORTH NARRABEEN 2101

Title	SHADOW DIAGRAM ANALYSIS 12pm
Drawn	AB
Checked	JD
Scale	AS INDICATE
Number	10090_SD02
Issue	S1

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www.designvines.com

Mitchell Bye Nominated Architect No.9822



WESTERN ELEVATION
MINARTO LANE
JUNE 21st 3.00PM

- LEGEND:
- DENOTES AREA OF EXISTING & SURROUNDING BUILDING SHADOW
 - DENOTES AREA OF PROPOSED S.4.55 ALTERATIONS & ADDITIONS
 - DENOTES AREA OF PROPOSED COURT APPROVED BUILDING SHADOW
 - DENOTES AREA OF PROPOSED ADDITIONAL S.4.55 SHADOW
 - DENOTES S.4.55 SHADOW REDUCTION COMPARE TO COURT APPROVED DA

SHADOWS SHOWN HAVE BEEN COMPILED FROM INFORMATION FROM DETAIL AND & LEVEL SURVEY BY G.K WILSON & ASSOC SURVEY, COURT APPROVED ARCHITECTURAL PLANS BY HAVILAND ARCHITECTS AND SECTION 4.55 DOCUMENTATION 2023

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Issue	Description	Date
01	Issue for Section 4.55 Amendment	16.06.23

4.8

Average star rating

NATIONWIDE HOUSE

Real Estate Group

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0001365610

27 Jun 2023

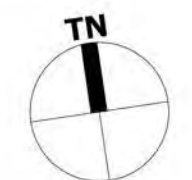
Assessor Tracey Coles

Accreditation No. HERA10033

Address

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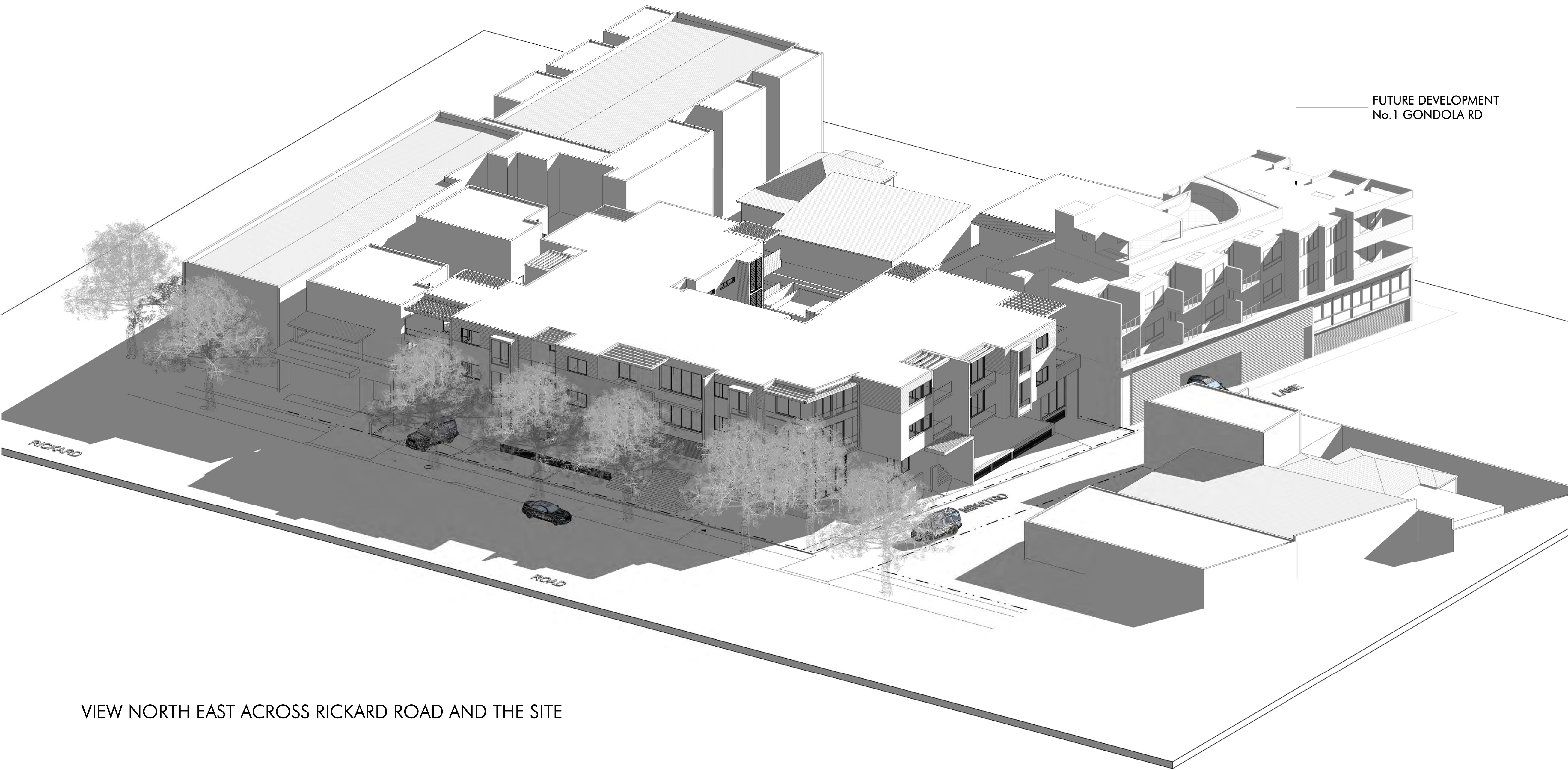


Client ANTHONY GLEESON		Title SHADOW DIAGRAM ANALYSIS 3pm	
Project 2 - 8 RICKARD ROAD NORTH NARRABEEN 2101	Drawn AB	Checked JD	Scale AS INDICATE
	Number 10090_SD03	Issue S1	

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SHADOW ANALYSIS
NO 2 - 8 RICKARD ROAD
NARRABEEN NSW



VIEW NORTH EAST ACROSS RICKARD ROAD AND THE SITE

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Issue	Description	Date



4.8
Average
star rating

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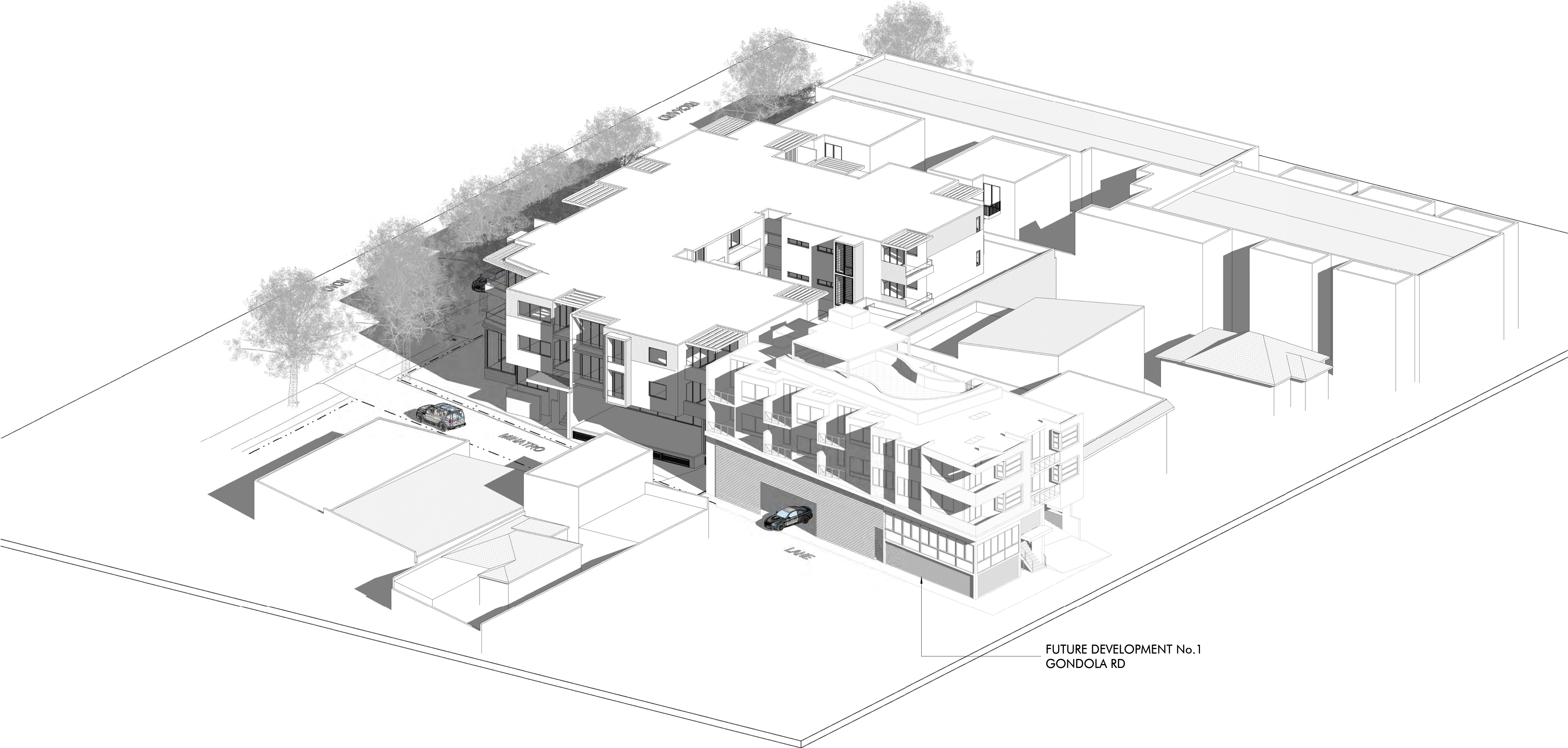
Client	ANTHONY GLEESON			Title	VIEW NORTH EAST ACROSS RICKARD ROAD AND THE SITE			
Project	2 - 8 RICKARD ROAD NORTH NARRABEEN 2101			Drawn	AB	Checked	JD	
				Scale				
				Number	10090_SD26		Issue	S1

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SHADOW ANALYSIS

NO 2 - 8 RICKARD ROAD
NARRABEEN NSW



VIEW WEST ALONG MINATRO LANE AND THE SITE

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Issue	Description	Date



4.8
Average
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NATIONWIDE
HOUSE
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0001365610 27 Jun 2023

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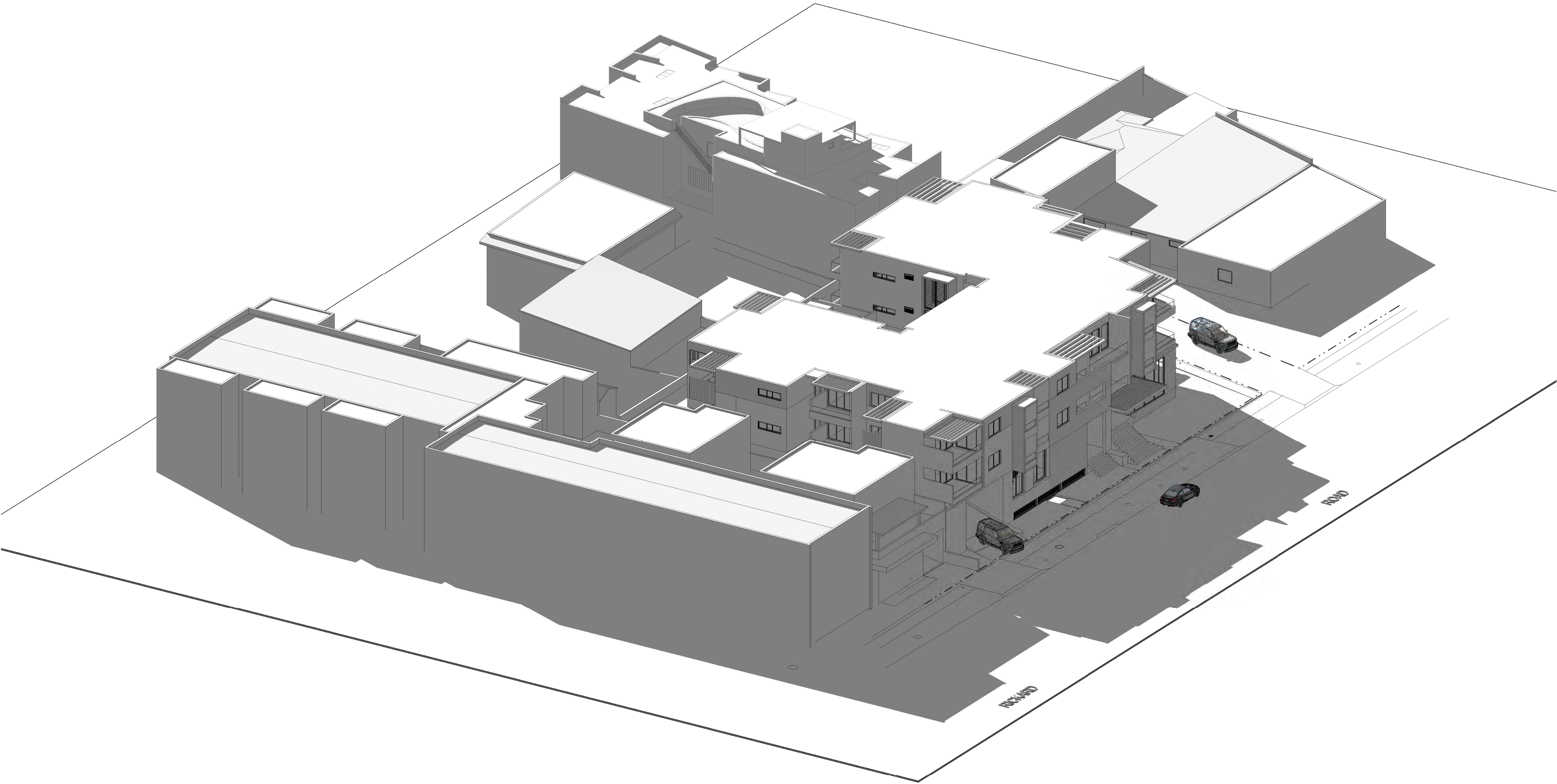
hstar.com.au

Client ANTHONY GLEESON	Title VIEW WEST ALONG MINATRO LANE AND THE SITE	
	Project 2 - 8 RICKARD ROAD NORTH NARRABEEN 2101	Drawn AB
	Checked JD	Scale
	Number 10090_SD27	Issue S1

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SHADOW ANALYSIS
NO 2 - 8 RICKARD ROAD
NARRABEEN NSW



VIEW EAST ACROSS RICKARD ROAD AND THE SITE

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Issue	Description	Date



4.8
Average
star rating

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NSW, 2101


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Client ANTHONY GLEESON	Title VIEW EAST ACROSS RICKARD ROAD AND THE SITE		
	Project 2 - 8 RICKARD ROAD NORTH NARRABEEN 2101	Drawn AB	Checked JD
	Number 10090_SD28	Scale S1	<div>DesignVines</div> <div>mitchbye@designvines.com www.designvines.com Mitchell Bye Nominated Architect No.9822</div>



VIEW NORTH UP MINATRO LANE

SHADOW ANALYSIS

NO 2 - 8 RICKARD ROAD
NARRABEEN NSW

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Issue	Description	Date



4.8
Average
star rating

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Client	ANTHONY GLEESON		Title		VIEW NORTH UP MINATRO LANE	
Project	2 - 8 RICKARD ROAD NORTH NARRABEEN 2101		Drawn	Checked	Scale	
			AB	JD		
			Number	10090_SD29		Issue
						S1

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VIEW WEST ALONG RICKARD ROAD AND THE SITE

SHADOW ANALYSIS

NO 2 - 8 RICKARD ROAD
NARRABEEN NSW

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Issue	Description	Date



4.8
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star rating

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Client	ANTHONY GLEESON	
Project	2 - 8 RICKARD ROAD NORTH NARRABEEN 2101	

Title		VIEW WEST ALONG RICKARD ROAD AND THE SITE	
Drawn	AB	Checked	JD
Number	10090_SD30		Scale
		Sheet	S1

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VIEW EAST ALONG RICKARD ROAD AND THE SITE

SHADOW ANALYSIS

NO 2 - 8 RICKARD ROAD
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Issue	Description	Date



4.8
Average
star rating

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Client	ANTHONY GLEESON		
Project	2 - 8 RICKARD ROAD NORTH NARRABEEN 2101		

Title		VIEW EAST ALONG RICKARD ROAD AND THE SITE	
Drawn	AB	Checked	JD
Scale			
Number	10090_SD31		Issue
		S1	

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