

BKEA Investment

LOT 27, NO. 2 MARETIMO STREET, BALGOWLAH, NSW 2093



SHEET LIST			
SHEET	SHEET NAME	ISSUE	DATE
1	COVER SHEET	C1	12.12.24
2	BUILDING SPECIFICATION	C1	12.12.24
3	SITE PLAN	C1	12.12.24
3a	SITE PLAN 2	C1	12.12.24
3b	ROOF PLAN	C1	12.12.24
4	BASEMENT	C1	12.12.24
5	GROUND FLOOR	C1	12.12.24
6	FIRST FLOOR	C1	12.12.24
7	ELEVATIONS 1-2	C1	12.12.24
8	ELEVATIONS 3-4	C1	12.12.24
9	SECTIONS	C1	12.12.24
10	SCHEDULE OF COLOURS & FINISHES	C1	12.12.24
11	CONCEPT LANDSCAPE PLAN	C1	12.12.24
12	PLANTING SCHEDULE	C1	12.12.24
13	SEDIMENT CONTROL PLAN	C1	12.12.24
14	SHADOW DIAGRAMS	C1	12.12.24
15	SLAB SETOUT PLAN	C1	12.12.24

REVISION SCHEDULE			
ISSUE	DATE	DETAILS	BY
A1	29.10.24	CONSTRUCTION DRAWINGS	MQ - AKD
B1	08.11.24	COMPLIANCE AMENDMENT	MQ - JCF
B2	15.11.24	GFA AMENDMENT, SURVEY PLAN & POOL. ADJUSTED FF BALCONY TO 2M & BALCONY CANOPY	MQ - JCF
B3	21.11.24	AMENDMENT FOR 6.5M BUILDING LINE, REMOVED GF FRONT CURVE WALLS, REDUCED GF LIVING TO 300M	MQ - JCF
B4	04.12.24	REVERTED BACK TO B1; AMENDED KITCHEN & LIVING	MQ - JJS
C1	12.12.24	COMPLIANCE AMENDMENT	MQ - JCF

- 3D IMAGE FOR ILLUSTRATION ONLY
- RAIN WATER TANK AS PER BASIX CERTIFICATE
- VEHICLE CROSSING TO COMPLY WITH AS 2890.1-2004



1300 0 MARKQ
www.markq.com.au
Shop 5, 2-6 Messiter St, Campsie, NSW 2194

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CLIENT DESIGN APPROVAL:
BKEA Investment

CLIENT NAME:

CLIENT SIGNATURE: _____

BASIX[®]Certificate

CERTIFICATE NUMBER: TBD

DRAWING NAME:
COVER SHEET

LGA: **NORTHERN BEACHES**

ADDRESS:
**LOT 27, NO. 2 MARETIMO STREET,
BALGOWLAH, NSW 2093**

DRAWN: MQ - JCF
DATE: 12.12.24
SCALE:
LODGEMENT:
CDC - LRHDC
ISSUE:
CONSTRUCTION DRAWINGS **C1**
SHEET No: **1**

BUILDING SPECIFICATION

Notes

This reference specification is designed to ensure that the building works carried out are in accordance with the Environmental Planning Assessment Act 1979, and Regulations, and the Building Code of Australia. Reference to "AS" means the Australian Standard. Reference of the "BCA" means the Building Code of Australia applicable at the time that the application for the construction certificate was issued.

Demolition

All demolition shall be carried out in accordance with the provisions of the Environmental Planning Assessment Act 1979, and Regulations, any applicable condition of a relevant development consent or provision of an LEP and AS 2601.

Site Preparation

- Preparation for site is to ensure that safety is applied at all stages of construction
- All temporary fencing to be provided in accordance with architectural detail
- Amenities, Portable toilets, Site office and lunch to be provided in accordance with statutory requirements
- All services to be terminated prior to commencement of work
- Temporary power and water to be established in a safe location
- Temporary Driveway to be installed in accordance with architectural detail and council requirements / guidelines.

Termite control Treatment

Termite treatment for new works shall be carried out in accordance with Part 3.1.3 of the BCA Housing Provisions (Volume 2) and AS 3660.1

Excavation and Earth Works

- Surveyor is to peg out new proposed dwellings prior to any excavation work
- All excavation is to be in accordance with Engineering details and AS 3798

Footings and Slabs

Where provided, reinforcement, concrete, piers footings, slabs, under floor fill and vapour barriers shall conform and be placed in accordance with AS 3600, AS 2870, structural engineer's details and Part 3.2 of the BCA Housing Provisions.

Masonry

All masonry construction, including damp proof courses and flashings shall be in accordance with Part 3.3 of the BCA Housing Provisions (Vol 2) and AS 3700. Where the lowest storey floor is timber framed® sub floor ventilation shall comply with Part 3.4 of the BOA Housing Provisions (Vol 2). All lintels are to comply with Clause 3.3.3.4 of the BCA Housing Provisions (Vol 2).

Brickwork

- Dwellings to consist of 250 thick brick veneer walls using standard 230 x 110 x 76 bricks.
- Brick work to be in accordance with AS 3700. All relevant ties to be used as specified.
- Mortar mix for bricklaying to be of 5:2:1 50/50 yellow bricks sand and grey cement. Lintels to be used for openings and concrete lintels where needed.

Structural Timber & Timber Framing

- To be in accordance with Engineers details and AS 1684 timber framing code
- Stud walls members are to be at 600 centers
- All floor joists are to be at 450 cts

Roof Carpentry

- Roof frame to AS1884 or Truss to Manufactures standards or AS 1684
- Rafter members are to be at 600 centers
- All ceiling joists are to be at 450 cts
- Eaves: Eaves line 400 wide lined with fibro

Waterproofing

- Provide cavity flashing and weep holes above lower storey openings
- Waterproofing of wet areas to comply with AS3740:2010 Waterproofing of Domestic and/or with **NCC Part 10.2** Wet Area Waterproofing.

Stairs and Balustrades

Provide stairs, handrails and balustrades as required in accordance with Parts 3.9.1 and 3.9.2 of the BOA Housing Provisions (Vol 2). Specific attention should be given to the specifications for the wire balustrades.

Driveway

- To be concrete poured in accordance with engineers details
- Where Kerb damaged is to be replaced

Windows & Sliding Doors

Windows and sliding doors shall be manufactured and installed in accordance with AS 2047 and in accordance with Part 3.6 of the BCA Housing Provisions (Vol 2). Where not tagged® a certificate of supply by the glazing manufacturer certifying that the glass supplied complies with nominated AS must be submitted to the PCA before requesting a final inspection of the work.

All windows and external glazed door to comply with **NCC Part 8.2**

Windows must be installed in accordance with the following:

- Structural building loads must not be transferred to the window assembly.
- A minimum 10 mm gap must be provided between the top of the window assembly and any loadbearing framing or masonry wall element.
- The requirements of (b) may be increased where necessary to allow for frame settlement over wide openings
- Packing, if provided between each window assembly and the frame, must be—
 - located along each side and bottom; and
 - fixed to ensure the sides and bottom of the window assembly remain straight; and
 - clear of any flashing material.

Timber flooring/Carpet

- Floor finishing to be selected by the owners and installed in accordance with AS 2455 (carpet) and AS 1889 (PVC floor lining)

Plastering

- All internal walls and ceiling to be of 10mm thick plasterboard and installed in accordance with BCA and AS 2588
- Cornices to be 3 stepped cornice

Tiling

Wall and floor tiles will be supplied and installed in accordance with clients selection and installed in accordance with AS 3740 (Waterproofing of wet areas within residential buildings) and AS 3958 (tiling)

Painting

Entire complex to be painted inside and out, in accordance with AS 3730 where required. All Internal areas to be 1 coat of sealer, 1 coat of under coat and 2 finish coats of the specified color.

Building in Bushfire Zones

Where relevant, all bushfire related conditions contained in the development consent for the work are to be complied with.

Energy Efficiency

Where relevant, all energy efficiency conditions contained in the development consent for the work are to be complied with and, where required by the PCA, certified on completion of the work (see approved plans and construction certificate notes).

Natural and Mechanical Ventilation

All ventilation shall comply with the Part 3.8 of the BCA Housing Provisions (Vol 2) and, in the case of mechanical ventilation AS 1668.

Mechanical ventilation to all wet areas to comply with:

Part 10.6.2 Ventilation requirements

(c) An exhaust fan or other means of mechanical ventilation may be used to ventilate a sanitary compartment, laundry, kitchen or bathroom, or where mechanical ventilation is provided in accordance with 10.6.3(b), provided contaminated air exhausts comply with 10.8.2.

10.8.1 - External wall construction

10.8.2 - Exhaust systems

(1)An exhaust system installed in a kitchen, bathroom, sanitary compartment or laundry must have a minimum flow rate of

- 25 L/s for a bathroom or sanitary compartment; and
- 40 L/s for a kitchen or laundry.

(2)Exhaust from a kitchen, kitchen range hood, bathroom, sanitary compartment or laundry must discharge directly or via a shaft or duct to outdoor air.

(3)Where a venting clothes dryer is installed, it must discharge directly or via a shaft or duct to outdoor air.

(4)An exhaust system that is not run continuously and is serving a bathroom or sanitary compartment that is not ventilated in accordance with 10.6.2(a) must— be interlocked with the room's light switch; and

include a run-on timer so that the exhaust system continues to operate for 10 minutes after the light switch is turned off.

(5)Except for rooms that are ventilated in accordance with 10.6.2(a), a room with an exhaust system in accordance with (1) must be provided with make-up air— via openings to an adjacent room with a free area of 14,000 mm²; or in accordance with AS 1668.2.

(6)Except for rooms that are ventilated in accordance with 10.6.2(a), a room with an exhaust system in accordance with (3) must be provided with make-up air in accordance with AS 1668.2.

Storm water Drainage

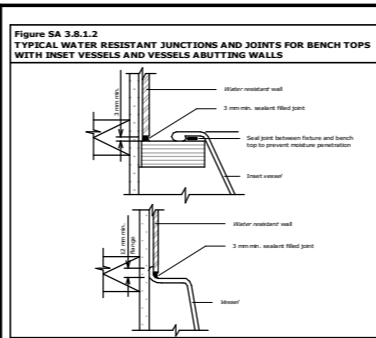
All storm water drainage, including roof gutters, is to be in accordance with Part 3.1.2 of the BCA Housing Provisions (Vol 2) and AS 3500.

10.8.3 Ventilation of roof spaces

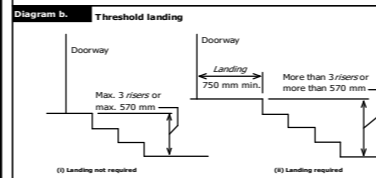
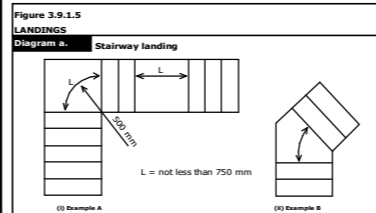
In climate zones 6, 7 and 8, a roof must have a roof space that—

is located— immediately above the primary insulation layer; or immediately above sarking with a vapour permeance of not less than 1.14 µg/N.s, which is immediately above the primary insulation layer; or immediately above ceiling insulation that meets the requirements of 13.2.3(3) and 13.2.3(4); and has a height of not less than 20 mm; and is either— ventilated to outdoor air through evenly distributed openings in accordance with Table 10.8.3; or located immediately underneath the roof tiles of an unsarked tiled roof.

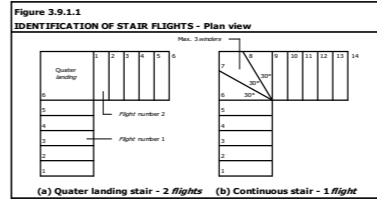
(2)The requirements of (1) do not apply to— concrete roof; or roof that is made of structural insulated panels; or roof that is subject to Bushfire Attack Level FZ requirements in accordance with AS 3959.



3.8.1.3 External above ground membranes
Waterproofing membranes for external above ground us must comply with S 4654 Parts 1 and 2.



3.9.1.5 Thresholds
Where a threshold is more than 190 mm above the adjoining surface it must incorporate steps having *rise* and *going* dimensions in accordance with 3.9.1.4



NCC 2015 Building Code of Australia - Volume Two Page 337

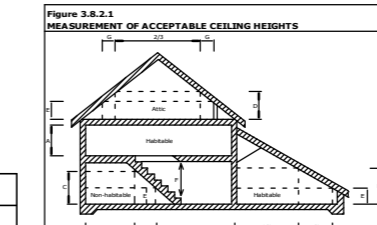


Figure 3.8.2.1 MEASUREMENT OF ACCEPTABLE CEILING HEIGHTS
Note: The letters in the diagram represent the following minimum dimensions:
A = 2.4 m in a *habitable room* (excluding kitchen).
B = 2.4 m in a *habitable room* with a sloping ceiling for at least two-thirds of the floor area of the room or space.
C = 2.1 m in a *non-habitable room* with a sloping ceiling for at least two-thirds of the floor area of the room or space.
D = 2.2 m in an attic with a sloping ceiling for at least two-thirds of the floor area of the room or space.
E = 1.5 m for the purpose of calculating the floor area of a room or space, any ceiling height of less than 1.5 m is excluded.
F = 2.0 m in a stairway (measured vertically above the nosing line).
The combined dimensions if G must not exceed one-third of the floor area (See E above) of the room or space.

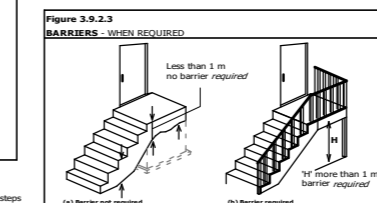


Figure 3.9.2.3 BARRIERS - WHEN REQUIRED

Plastering

- All internal walls and ceiling to be of 10mm thick plasterboard and installed in accordance with BCA and AS 2588
- Cornices to be 3 stepped cornice

Smoke Detectors

Provide and install smoke detectors in accordance with Part 3.7 of the BCA Housing Provisions (Vol 2) and AS 3786. Detectors are to be hardwired to the mains power supply. A certificate from the installing electrician is to be submitted to the PCA certifying compliance with the AS before requesting a final inspection of the work.

Part 3.7 Fire safety

a. Building wall offsets along adjoining allotments are within 900mm off the allotment boundaries the BCA requires that these walls be fire resistant walls in accordance with Part 3.7.1 (fire separation) in particular with clause 3.7.1.3 "An external wall of a class 1 building, and any openings in that wall, must comply with 3.7.1.5 if the wall is less than 900mm from an allotment boundary other than the boundary adjoining a road alignment or other public space"

The fire resistant levels required by the BCA is FRL 60/60/60

9.5.1 - Smoke alarm requirements

- Smoke alarms must—
- be located in—
 - Class 1a building in accordance with 9.5.2 and 9.5.4; and
 - Class 1b building in accordance with 9.5.3 and 9.5.4; and
 - alarm comply with AS 3786, except that in a Class 10a private garage where the use of the area is likely to result in smoke alarms causing spurious signals, any other alarm deemed suitable in accordance with AS 1670.1 may be installed provided that smoke alarms complying with AS 3786 are installed elsewhere in the Class 1 building; and
 - be powered from the consumer mains source where a consumer mains source is supplied to the building; and
 - be interconnected where there is more than one alarm.

Class 1 b dwellings (hostels/guest houses/bed and breakfast premises) require smoke alarms to be installed on or near the ceiling:

- In every bedroom; and
- In every corridor or hallway associated with a bedroom; and
- Any other storey not containing bedrooms, in the area of the stairway (exit path) between each level

NATIONAL CONSTRUCTION CODE SERIES VOLUME TWO EXTRACTS

PART 3.8.2 ROOM HEIGHTS

Appropriate Performance Requirements:

Where an alternative ceiling height is proposed as an *Alternative Solution* to that described in **Part 3.8.2**, that proposal must comply with—
(a) *Performance Requirement Part 2.4.2*; and
(b) the relevant *Performance Requirements* determined in accordance with **1.6.10**.

Acceptable construction practice

3.8.2.1 Application

Compliance with this acceptable construction practice satisfies *Performance Requirement Part 2.4.2* for room heights.

3.8.2.2 Ceiling Heights

Ceiling heights (see **Figure 3.8.2.1**) must be not be less than —

- in a *habitable room* excluding a kitchen — 2.4 m; and
- in a kitchen — 2.1 m; and
- in a corridor, passageway or the like — 2.1 m; and
- in a bathroom, shower room, laundry, *sanitary compartment*, airlock, pantry, storeroom, garage, car parking area or the like — 2.1 m; and
- in a room or space with a sloping ceiling or projections below the ceiling line within —
 - a *habitable room* —
 - in an attic — a height of not less than 2.2 m for at least two-thirds of the floor area of the room or space; and
 - in other rooms — a height of not less than 2.4 m over two-thirds of the floor area of the room or space; and
 - a *non-habitable room* — a height of not less than 2.1 m for at least two-thirds of the floor area of the room or space, and when calculating the floor area of a room or space, any part that has a ceiling height of less than 1.5 m is not included; and
- in a stairway, ramp, *landing* or the like — 2.0 m measured vertically above the nosing line of stairway treads or the floor surface of a ramp, *landing* or the like.



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LGA: **NORTHERN BEACHES**

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DRAWN: **MQ - JCF**

DATE: **12.12.24**

SCALE: **1 : 1**

LODGEMENT:
CDC - LRHDC

ISSUE:
CONSTRUCTION DRAWINGS

SHEET No: **2**

STREET
MARETIMO

STORMWATER DRAINAGE TBC.
SUBJECT TO HYDRAULIC ENGINEER DETAILS.

ANY RETAINING WALLS REQUIRED TO BE COMPLETED BY OWNERS TO MANUFACTURERS SPECIFICATIONS.

EXCAVATE SITE APPROX. 2995mm TO FORM JOB DATUMM
R.L. 81.995 (AHD) DATUM

PROVIDE TEMPORARY SITE SAFETY FENCE TO FRONT, SIDE & REAR BOUNDARIES.
PROVIDE SECURITY FENCING TO SITE

LOT SEC DP 20

'H1' CLASS SITE ASSUMED
(SUBJECT TO BOREHOLE REPORT)

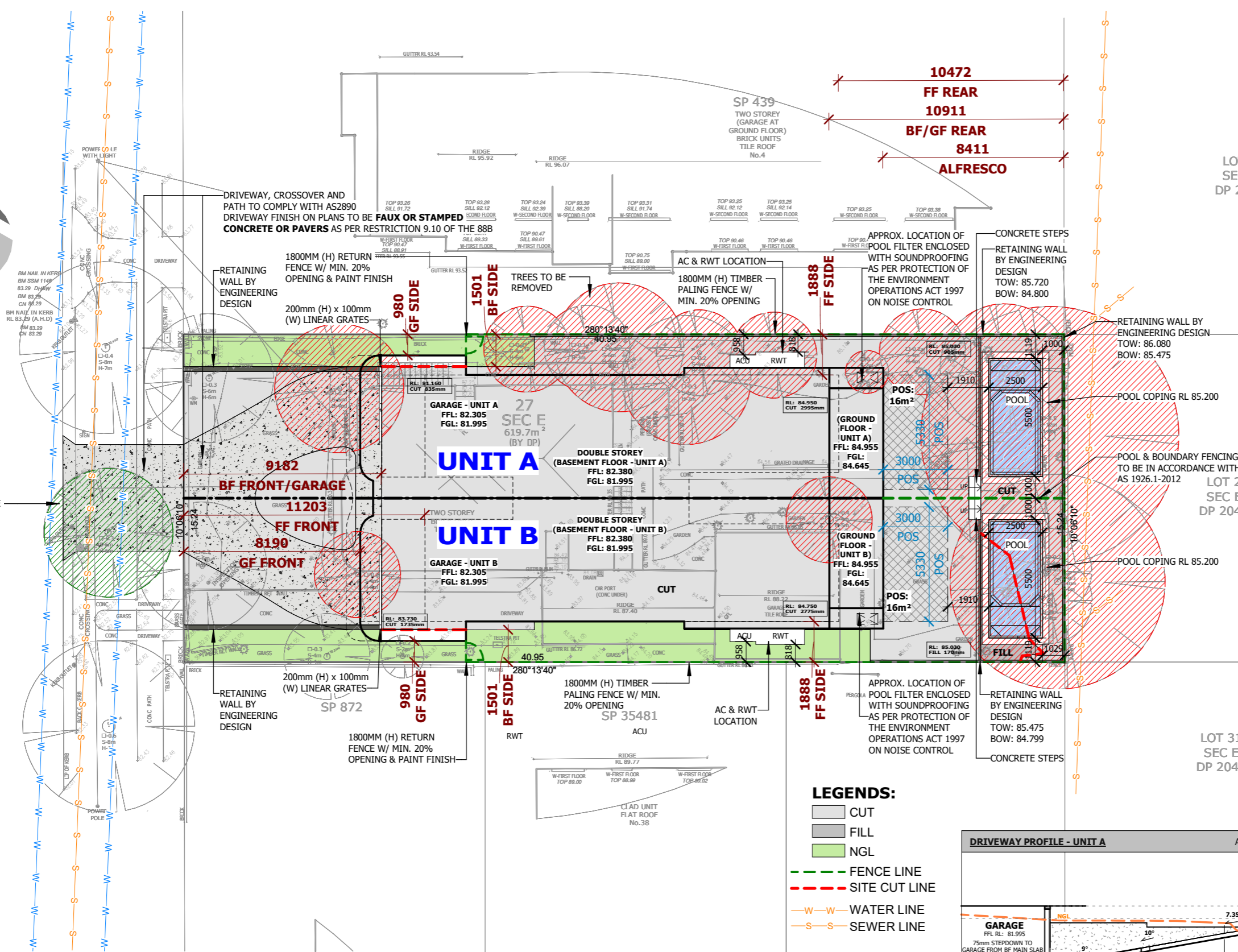
(E) STREET TO DRAIN WATER VIA RAINWATER TANK

AREA CALCULATION TABLE

SITE DETAILS			
LGA CONTROL	NORTHERN BEACHES COUNCIL		
LOT NUMBER/ DP NUMBER	27 / 2044		
ZONE & LOT WIDTH	R2 / 15.24M		
SITE AREA	619.70m ²		
DWELLING AREAS		UNIT A	UNIT B
BASEMENT FLOOR LIVING	25.89	m ²	25.89
GROUND FLOOR LIVING	110.76	m ²	110.76
FIRST FLOOR LIVING	77.71	m ²	77.71
ALFRESCO	14.32	m ²	14.32
BALCONY	6.23	m ²	6.23
GARAGE	18.75	m ²	18.75
STORAGES	25.89	m ²	57.46
TOTAL	262.41	m²	253.66
DRIVEWAY	35.26	m ²	35.26
ROOF AREA	101.22	m ²	101.22

SITE COVERAGE

MAXIMUM SITE COVERAGE ALLOWED	50.00%
PROPOSED SITE COVERAGE	47.17%
FLOOR AREA	
MAXIMUM FLOOR AREA ALLOWED	454.925 m ²
PROPOSED FLOOR AREA	454.82 m ²
LANDSCAPING AREA	
MINIMUM LANDSCAPING REQUIRED	209.85 m ² 34%
PROPOSED LANDSCAPING	221 m ² 35.69%
PRIVATE OPEN SPACE	
MINIMUM POS	16 m ²
PROPOSED POS	16 m ²



NOTE: DRIVEWAY FINISH ON PLANS TO BE FAUX OR STAMPED CONCRETE OR PAVERS AS PER RESTRICTION 9.10 OF THE 88B

NOTE: STREET TO DRAIN WATER VIA RAINWATER TANK

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SITE PLAN

LGA: **NORTHERN BEACHES**

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DRAWN: MQ - JCF

DATE: 12.12.24

SCALE: 1 : 200

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CONSTRUCTION DRAWINGS **C1**

SHEET No: **3**

NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY MARKQ HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

- NOTES:**
- REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.
 - REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM & FLOOR JOIST LOCATIONS & DIRECTIONS.
 - REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES & DIRECTIONS.
 - REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.
 - A/C DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC).
 - FLOOR FINISHES AS SELECTED AS PER TENDER.
 - STAIRS TO MEET THE MINIMUM SLIP RESISTANCE REQUIREMENT OF PART 3.9.1.3 OF BCA 2015 WHEN TESTED IN ACCORDANCE WITH AS4586-2013
 - STACK POINT LOCATIONS SUBJECT TO FLOOR JOIST LAYOUT.
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 - FIRST FLOOR WINDOWS TO BE RESTRICTED TO OPEN A MAX. OF 125mm IF SILL HEIGHT IS LOWER THAN 1700mm ABOVE A FLOOR LEVEL.

CLIENT DESIGN APPROVAL:
BKEA Investment

CLIENT NAME:

CLIENT SIGNATURE: _____

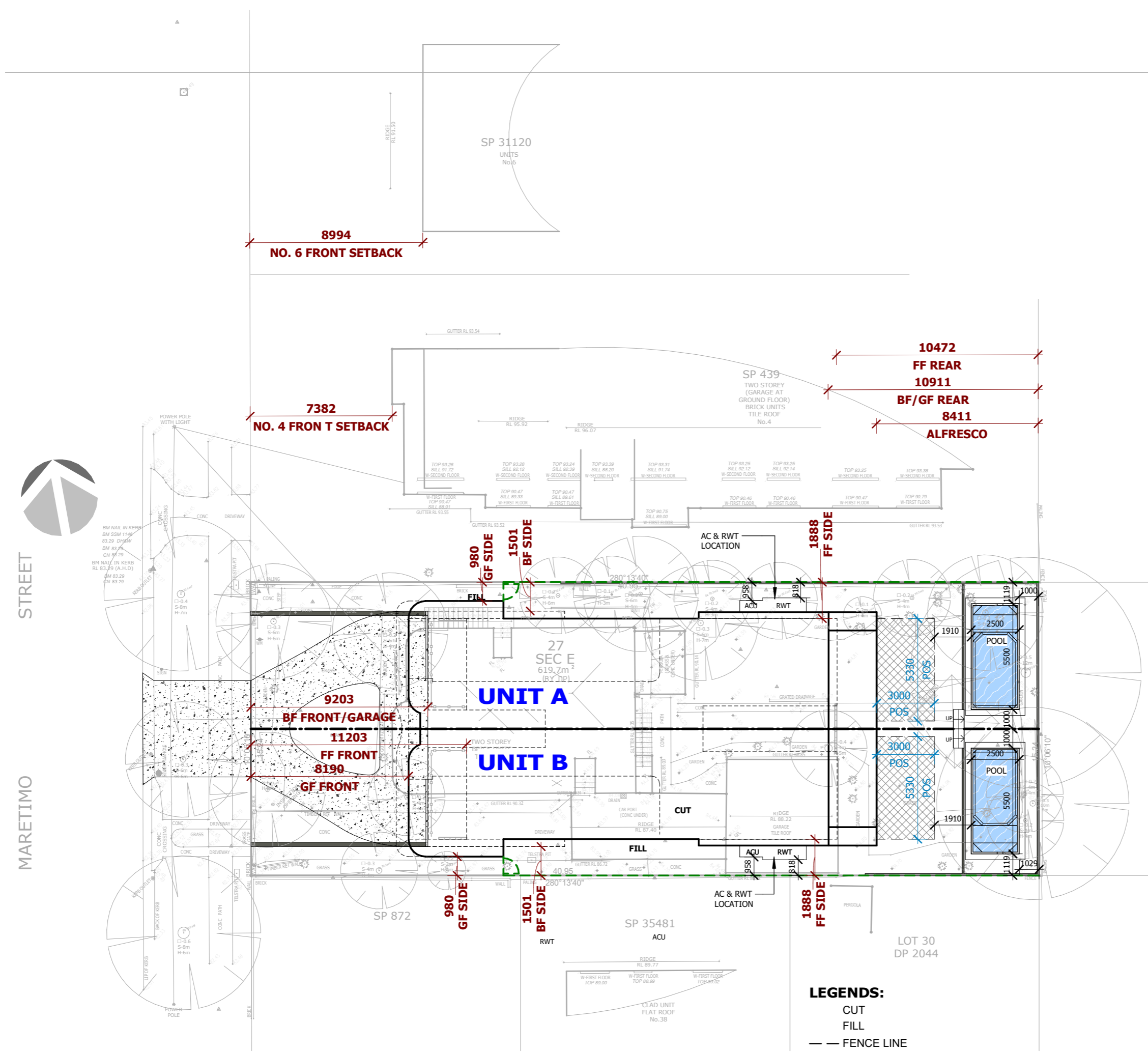
BASIX Certificate
CERTIFICATE NUMBER: TBD

DRAWING NAME:
SITE PLAN 2

LGA: **NORTHERN BEACHES**

ADDRESS:
**LOT 27, NO. 2 MARETIMO STREET,
BALGOWLAH, NSW 2093**

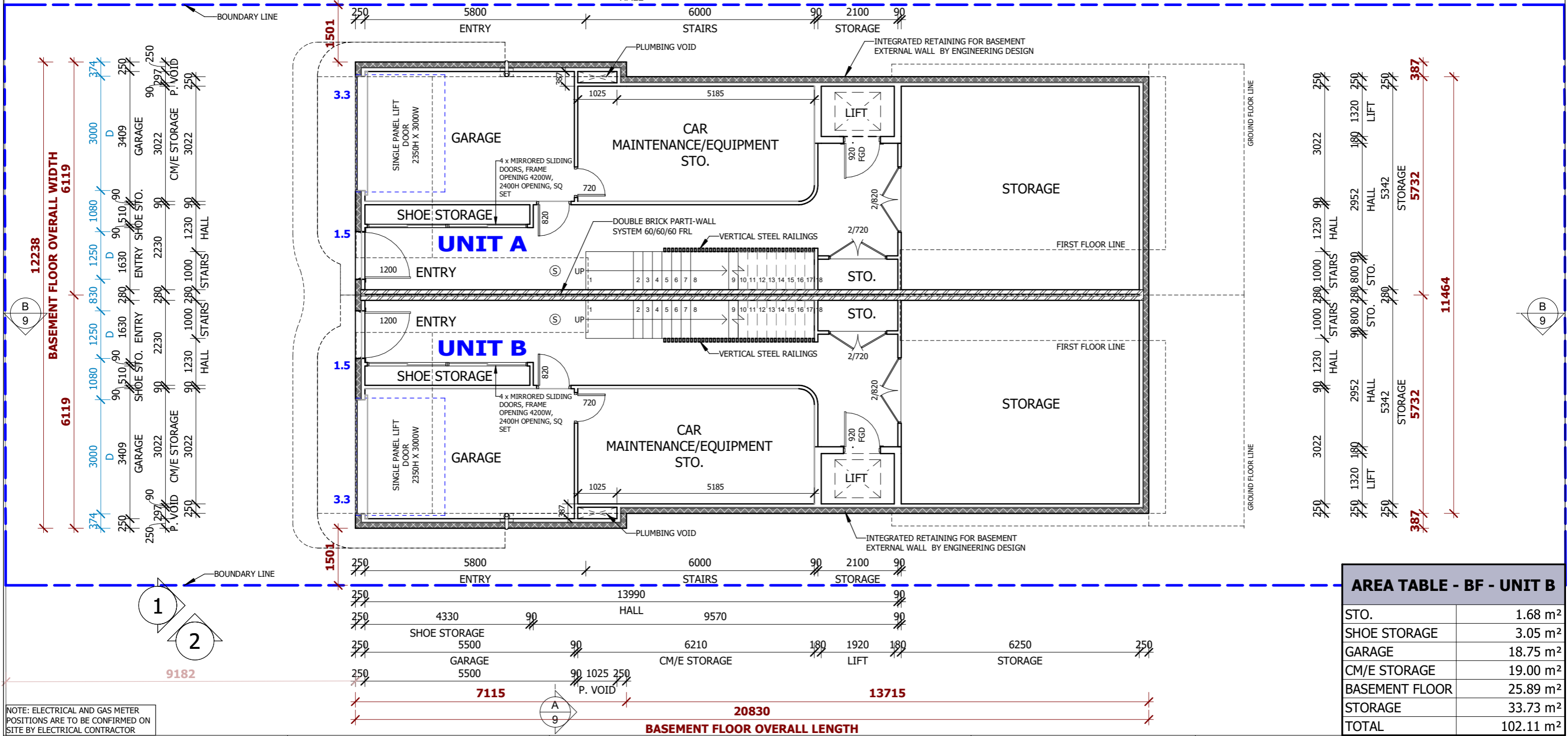
LODGEMENT:		CDC - LRHDC	
DRAWN:	MQ - JCF	ISSUE:	C1
DATE:	12.12.24	CONSTRUCTION DRAWINGS	
SCALE:	1 : 200	SHEET No:	
			3a



NOTES:
 - WC DOORS TO BE FITTED WITH LIFT-OFF HINGES
 - HEIGHT OF ALL SQ.SETS 2400mm FROM FFL
 - HEIGHT OF GF INTERNAL DOORS 2040mm FROM FFL UNLESS OTHERWISE SHOWN (EXCLUDING ROBE DOORS AND DOORS UNDER STAIR).
 - FRAMES & TRUSSES TO SATISFY AS 1684 SAA TIMBER FRAMING CODE
 - BALCONY TO BE WATERPROOFED ACCORDING TO AS 4654-2012
 - PROVIDE 85mm STEPDOWN FROM DWELLING TO BALCONY
 - GLASS BALUSTRADE TO COMPLY WITH AS1288-2021

NOTES:
 - DWELLING TO BE BUILT IN ACCORDANCE WITH CONDENSATION MANAGEMENT REQUIREMENTS IN ACCORDANCE WITH PART 10.8 OF THE NCC

AREA TABLE - BF - UNIT A	
STO.	1.68 m ²
SHOE STORAGE	3.05 m ²
GARAGE	18.75 m ²
CM/E STORAGE	19.00 m ²
BASEMENT FLOOR	25.89 m ²
STORAGE	33.73 m ²
TOTAL	102.11 m²



AREA TABLE - BF - UNIT B	
STO.	1.68 m ²
SHOE STORAGE	3.05 m ²
GARAGE	18.75 m ²
CM/E STORAGE	19.00 m ²
BASEMENT FLOOR	25.89 m ²
STORAGE	33.73 m ²
TOTAL	102.11 m²

NOTE: ELECTRICAL AND GAS METER POSITIONS ARE TO BE CONFIRMED ON SITE BY ELECTRICAL CONTRACTOR

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NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY MARKQ HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

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CLIENT DESIGN APPROVAL:
BKEA Investment

CLIENT NAME:

CLIENT SIGNATURE: _____

BASIX Certificate

CERTIFICATE NUMBER: TBD

DRAWING NAME:
BASEMENT

LGA: **NORTHERN BEACHES**

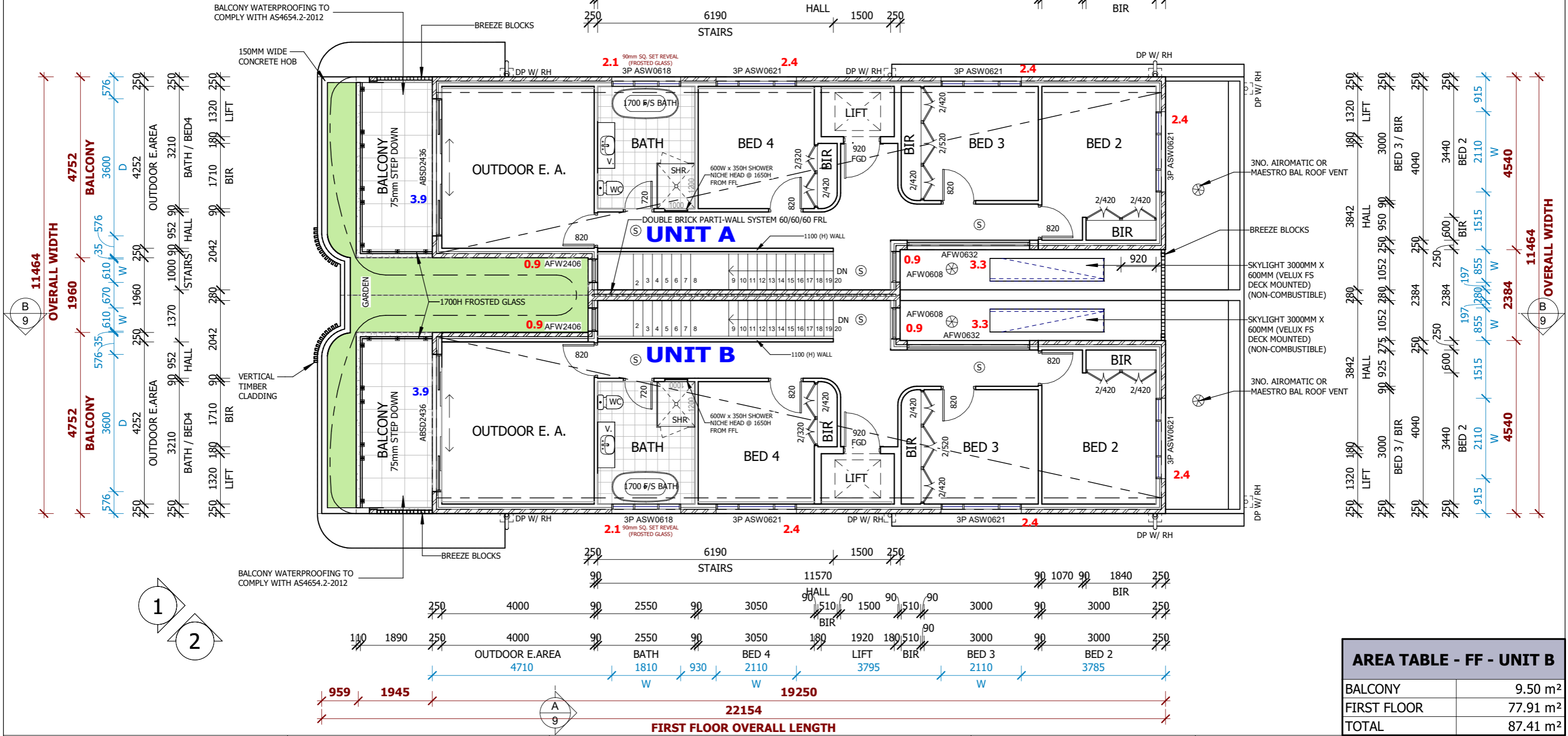
ADDRESS:
LOT 27, NO. 2 MARETIMO STREET, BALGOWLAH, NSW 2093

DRAWN: MQ - JCF
 DATE: 12.12.24
 SCALE: 1 : 100
 LODGEMENT:
CDC - LRHDC
 ISSUE:
CONSTRUCTION DRAWINGS C1
 SHEET No: 4

NOTES:
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 - GLASS BALUSTRADE TO COMPLY WITH AS1288-2021

NOTES:
 - DWELLING TO BE BUILT IN ACCORDANCE WITH CONDENSATION MANAGEMENT REQUIREMENTS IN ACCORDANCE WITH PART 10.8 OF THE NCC

AREA TABLE - FF - UNIT A	
BALCONY	9.50 m ²
FIRST FLOOR	77.91 m ²
TOTAL	87.41 m ²



AREA TABLE - FF - UNIT B	
BALCONY	9.50 m ²
FIRST FLOOR	77.91 m ²
TOTAL	87.41 m ²

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CLIENT DESIGN APPROVAL:
BKEA Investment

CLIENT NAME:

CLIENT SIGNATURE: _____

BASIX Certificate

CERTIFICATE NUMBER: TBD

DRAWING NAME:
FIRST FLOOR

LGA: **NORTHERN BEACHES**

ADDRESS:
LOT 27, NO. 2 MARETIMO STREET, BALGOWLAH, NSW 2093

DRAWN: MQ - JCF
 DATE: 12.12.24
 SCALE: 1 : 100
 LODGEMENT:
CDC - LRHDC
 ISSUE:
CONSTRUCTION DRAWINGS C1
 SHEET No: **6**

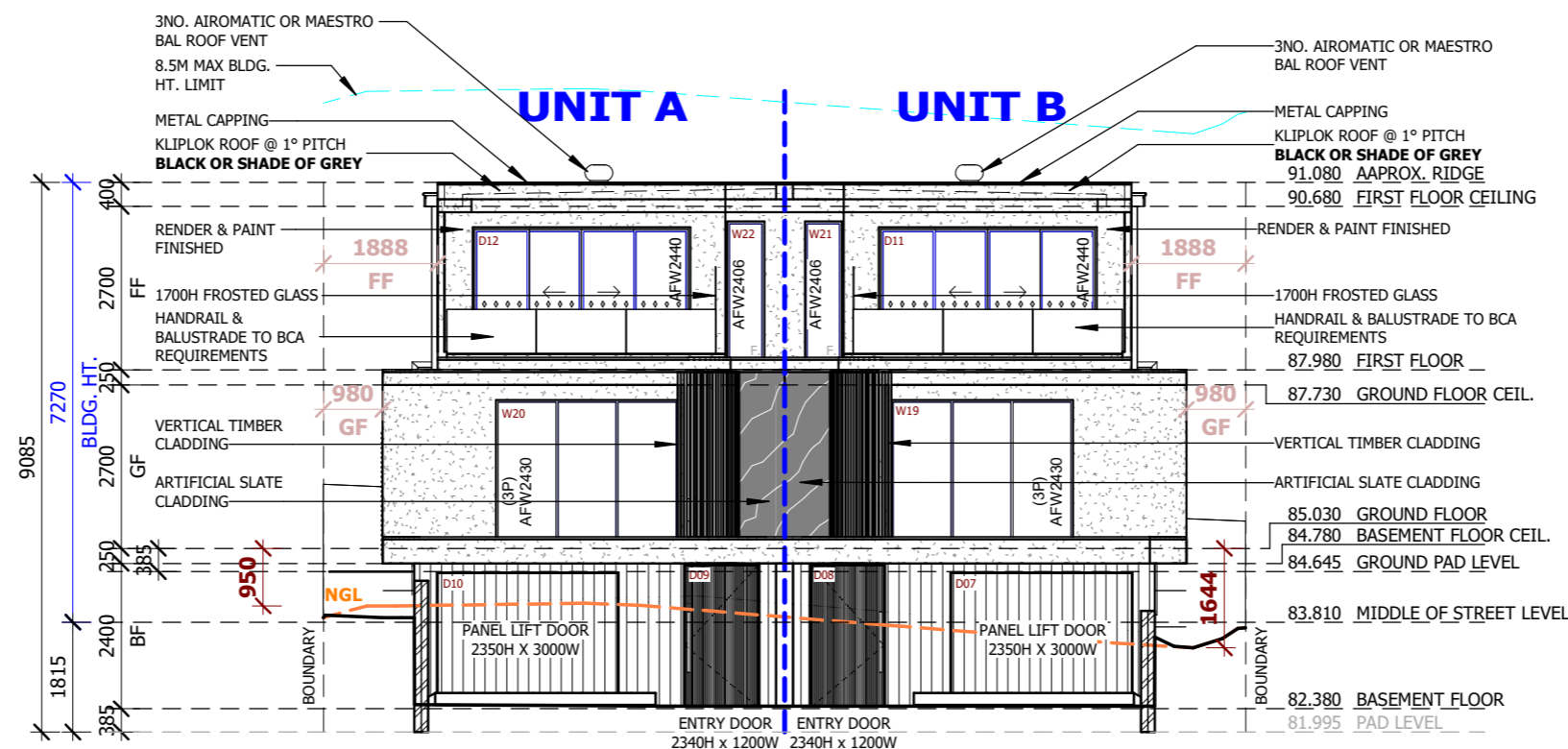
Window Schedule - UNIT A

Mark	Height	Width	Sill Height	Head Height	Comments	Location
W1	600	810	1850	2450	UNIT A	ENS
W2	600	810	1850	2450	UNIT A	L'DRY
W3	600	3010	900	1500	UNIT A	KITCHEN
W4	2400	610	50	2450	UNIT A	DINING
W5	600	1810	1850	2450	UNIT A	BATH
W6	600	2110	1850	2450	UNIT A	BED 4
W7	600	2110	1850	2450	UNIT A	BED 3
W8	600	2110	1850	2450	UNIT A	BED 2
W9	600	810	1850	2450	UNIT A	HALL
W20	2400	3010	50	2450	UNIT A	MASTER
W22	2400	610	50	2450	UNIT A	HALL
W23	600	1710	1850	2450	UNIT A	CUP'D
W25	600	3210	1850	2450	UNIT A	HALL

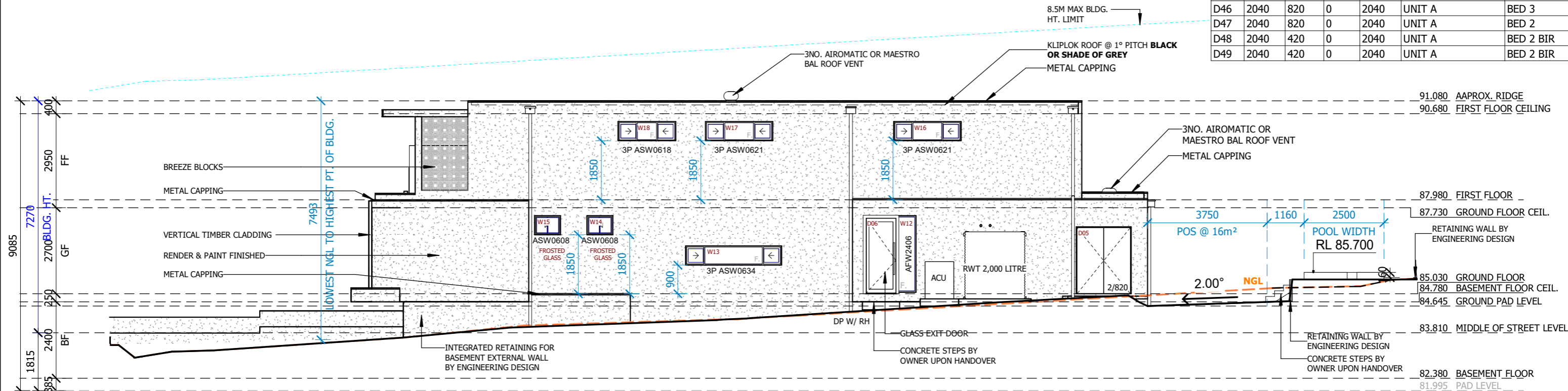
NOTE:
ROOF COLOUR TO BE BLACK OR SHADE OF GREY AS PER RESTRICTION 9.5 OF THE 88B

Door Schedule - UNIT A

Mark	Height	Width	Sill Height	Head Height	Comments	Room Name
D01	2340	920	0	2340	UNIT A	DINING
D02	2040	820	0	2040	UNIT A	CUP'D
D03	2357	4000	0	2357	UNIT A	LIVING
D09	2340	1200	0	2340	UNIT A	ENTRY
D10	2350	3000	-100	2250	UNIT A	GARAGE
D12	2357	3600	0	2357	UNIT A	O. E. AREA
D13	2400	2100	0	2400	UNIT A	SHOE STO.
D14	2400	2100	0	2400	UNIT A	SHOE STO.
D15	2040	820	0	2040	UNIT A	GARAGE
D16	2040	720	0	2040	UNIT A	CM/E STO.
D17	2040	720	0	2040	UNIT A	STO.
D18	2040	820	0	2040	UNIT A	STO.
D19	2340	920	0	2340	UNIT A	LIFT
D27	2040	720	0	2040	UNIT A	ENS
D28	2040	820	0	2040	UNIT A	MASTER
D29	2040	720	0	2040	UNIT A	P'DR
D30	2040	720	0	2040	UNIT A	L'DRY
D31	2340	920	0	2340	UNIT A	LIFT
D37	2040	820	0	2040	UNIT A	O. E. AREA
D38	2040	720	0	2040	UNIT A	BATH
D39	2040	820	0	2040	UNIT A	BED 4
D40	2040	420	0	2040	UNIT A	BED 4 BIR
D41	2040	320	0	2040	UNIT A	BED 4 BIR
D42	2340	920	0	2340	UNIT A	LIFT
D43	2040	420	0	2040	UNIT A	BED 3 BIR
D44	2040	520	0	2040	UNIT A	BED 3 BIR
D45	2040	420	0	2040	UNIT A	BED 3 BIR
D46	2040	820	0	2040	UNIT A	BED 3
D47	2040	820	0	2040	UNIT A	BED 2
D48	2040	420	0	2040	UNIT A	BED 2 BIR
D49	2040	420	0	2040	UNIT A	BED 2 BIR



ELEVATION 1 (NORTH-WEST)



UNIT B - ELEVATION 2 (SOUTH WEST)



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CLIENT DESIGN APPROVAL:
BKEA Investment

CLIENT NAME:

CLIENT SIGNATURE: _____

BASIX Certificate

CERTIFICATE NUMBER: TBD

DRAWING NAME:
ELEVATIONS 1-2

LGA: **NORTHERN BEACHES**

ADDRESS:
**LOT 27, NO. 2 MARETIMO STREET,
BALGOWLAH, NSW 2093**

DRAWN: MQ - JCF
DATE: 12.12.24
SCALE: 1 : 120
LODGEMENT: **CDC - LRHDC**
ISSUE: **CONSTRUCTION DRAWINGS C1**
SHEET No: **7**

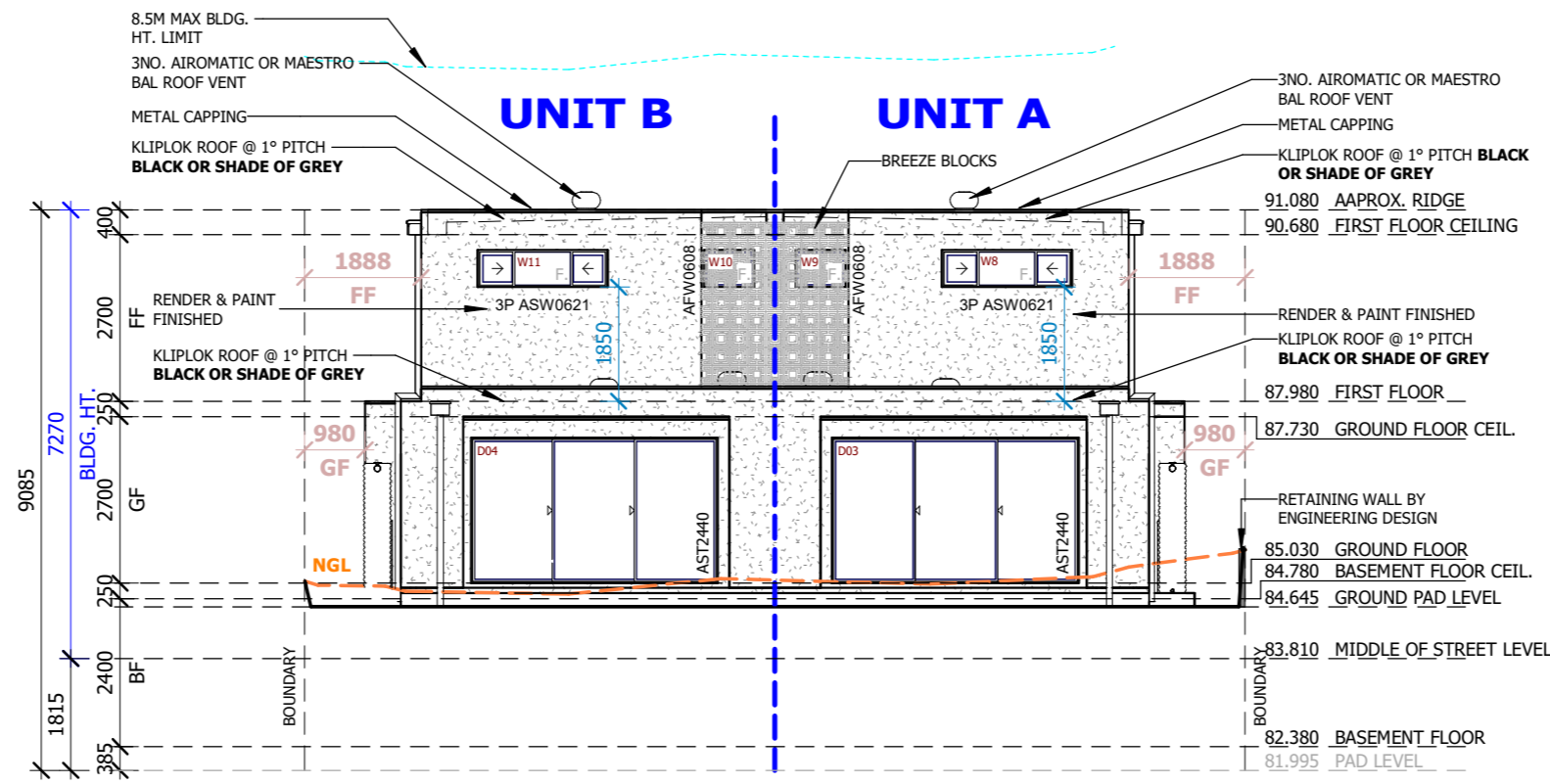
Window Schedule - UNIT B

Mark	Height	Width	Sill Height	Head Height	Comments	Location
W10	600	810	1850	2450	UNIT B	HALL
W11	600	2110	1850	2450	UNIT B	BED 2
W12	2400	610	50	2450	UNIT B	DINING
W13	600	3010	900	1500	UNIT B	KITCHEN
W14	600	810	1850	2450	UNIT B	L'DRY
W15	600	810	1850	2450	UNIT B	ENS
W16	600	2110	1850	2450	UNIT B	BED 3
W17	600	2110	1850	2450	UNIT B	BED 4
W18	600	1810	1850	2450	UNIT B	BATH
W19	2400	3010	50	2450	UNIT B	MASTER
W21	2400	610	50	2450	UNIT B	HALL
W24	600	1710	1850	2450	UNIT B	CUP'D
W26	600	3210	1850	2450	UNIT B	HALL

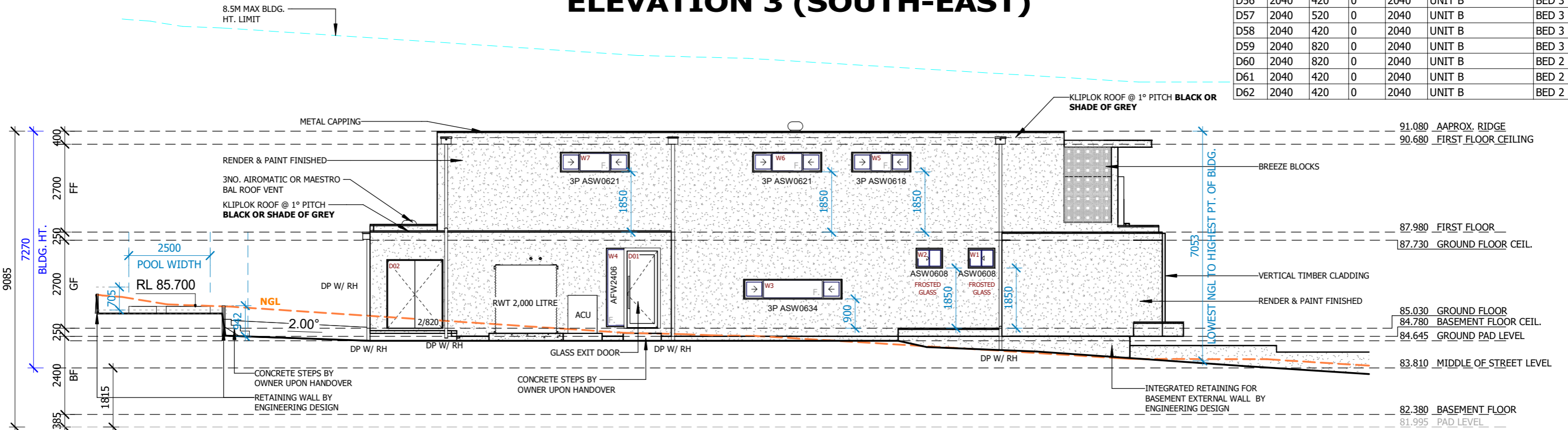
NOTE:
ROOF COLOUR TO BE BLACK OR SHADE OF GREY AS PER RESTRICTION 9.5 OF THE 88B

Door Schedule - UNIT B

Mark	Height	Width	Sill Height	Head Height	Comments	Room Name
D04	2357	4000	0	2357	UNIT B	LIVING
D05	2040	820	0	2040	UNIT B	CUP'D
D06	2340	920	0	2340	UNIT B	DINING
D07	2350	3000	-100	2250	UNIT B	GARAGE
D08	2340	1200	0	2340	UNIT B	ENTRY
D11	2357	3600	0	2357	UNIT B	O. E. AREA
D20	2400	2100	0	2400	UNIT B	SHOE STO.
D21	2400	2100	0	2400	UNIT B	SHOE STO.
D22	2040	820	0	2040	UNIT B	GARAGE
D23	2040	720	0	2040	UNIT B	CM/E STO.
D24	2040	720	0	2040	UNIT B	STO.
D25	2040	820	0	2040	UNIT B	STO.
D26	2340	920	0	2340	UNIT B	LIFT
D32	2040	720	0	2040	UNIT B	ENS
D33	2040	820	0	2040	UNIT B	MASTER
D34	2040	720	0	2040	UNIT B	P'DR
D35	2040	720	0	2040	UNIT B	L'DRY
D36	2340	920	0	2340	UNIT B	LIFT
D50	2040	820	0	2040	UNIT B	O. E. AREA
D51	2040	720	0	2040	UNIT B	BATH
D52	2040	820	0	2040	UNIT B	BED 4
D53	2040	420	0	2040	UNIT B	BED 4 BIR
D54	2040	320	0	2040	UNIT B	BED 4 BIR
D55	2340	920	0	2340	UNIT B	LIFT
D56	2040	420	0	2040	UNIT B	BED 3 BIR
D57	2040	520	0	2040	UNIT B	BED 3 BIR
D58	2040	420	0	2040	UNIT B	BED 3 BIR
D59	2040	820	0	2040	UNIT B	BED 3
D60	2040	820	0	2040	UNIT B	BED 2
D61	2040	420	0	2040	UNIT B	BED 2 BIR
D62	2040	420	0	2040	UNIT B	BED 2 BIR



ELEVATION 3 (SOUTH-EAST)



UNIT A - ELEVATION 4 (NORTH-EAST)



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CLIENT DESIGN APPROVAL:
BKEA Investment

CLIENT NAME:

CLIENT SIGNATURE: _____

BASIX Certificate

CERTIFICATE NUMBER: TBD

DRAWING NAME:
ELEVATIONS 3-4

LGA: NORTHERN BEACHES

ADDRESS:
LOT 27, NO. 2 MARETIMO STREET,
BALGOWLAH, NSW 2093

DRAWN: MQ - JCF

DATE: 12.12.24

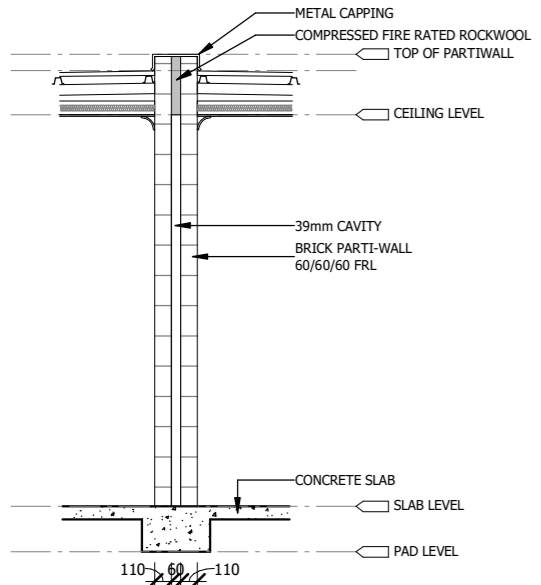
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LODGEMENT:
CDC - LRHDC

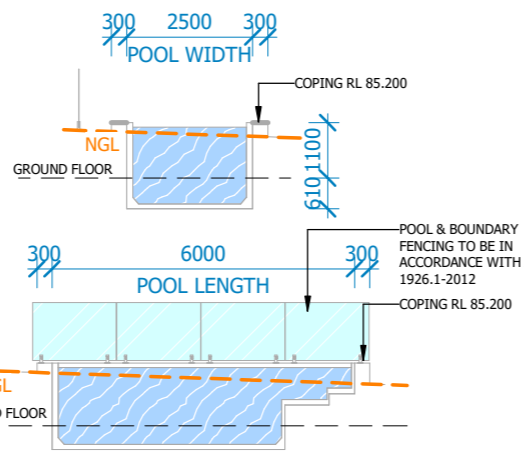
ISSUE:
CONSTRUCTION DRAWINGS **C1**

SHEET No: 8

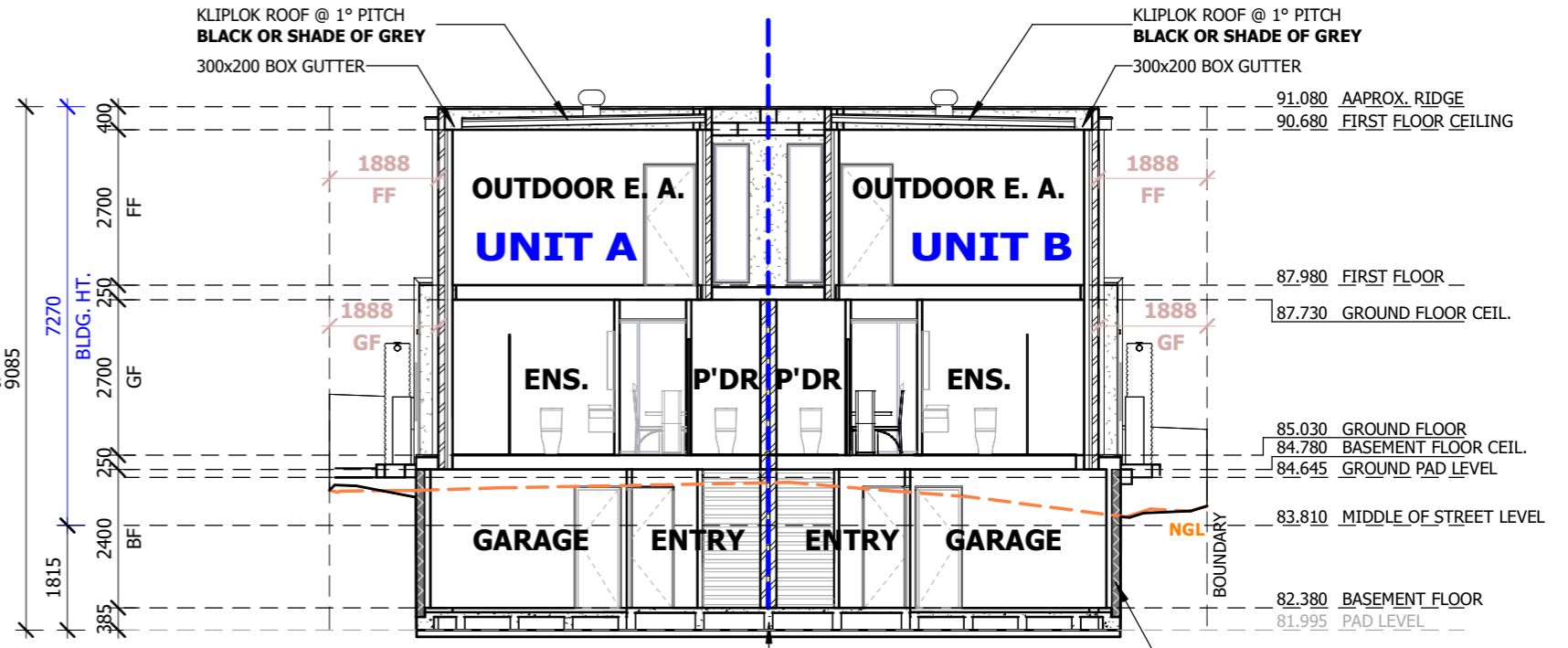
NOTES:
 - EXTERNAL WALL INSULATION - BRICK VENEER : 3.06 (3.6 INCLUDING CONSTRUCTION)
 - EXTERNAL WALL INSULATION - FRAMED : 3.20 (3.6 INCLUDING CONSTRUCTION)
 - CEILING & ROOF - 3.45(UP), 75mm FOIL BACKED BLANKET - UNVENTILATED DARK ROOF



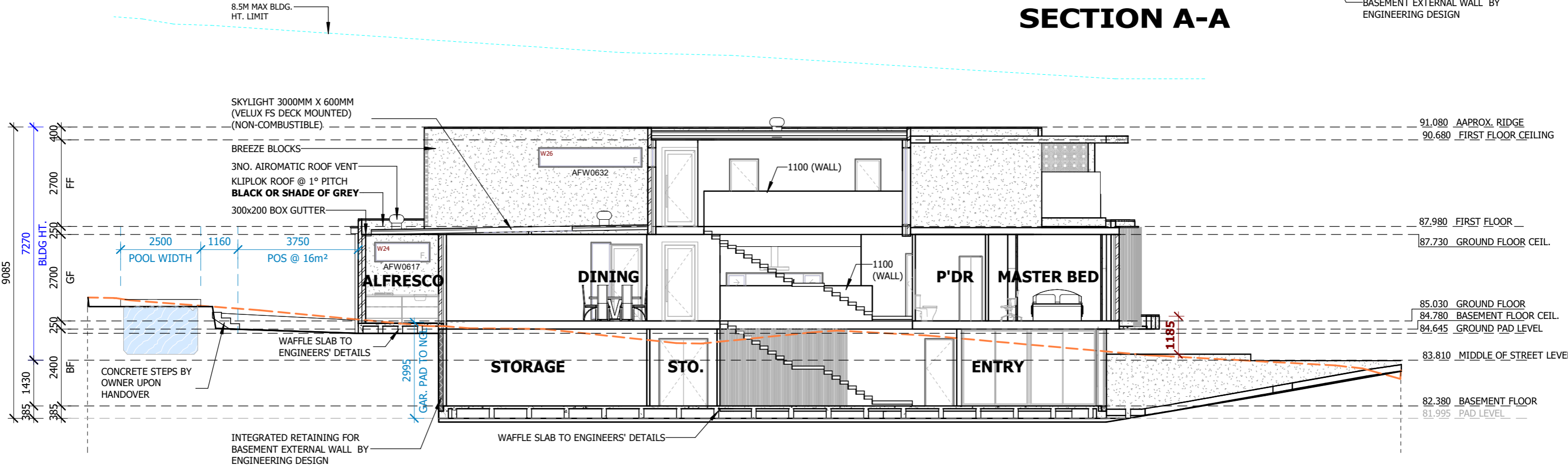
PARTY-WALL DETAILS



POOL DETAILS



SECTION A-A



SECTION B-B

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CLIENT DESIGN APPROVAL:
BKEA Investment

CLIENT NAME:

CLIENT SIGNATURE: _____

BASIX Certificate

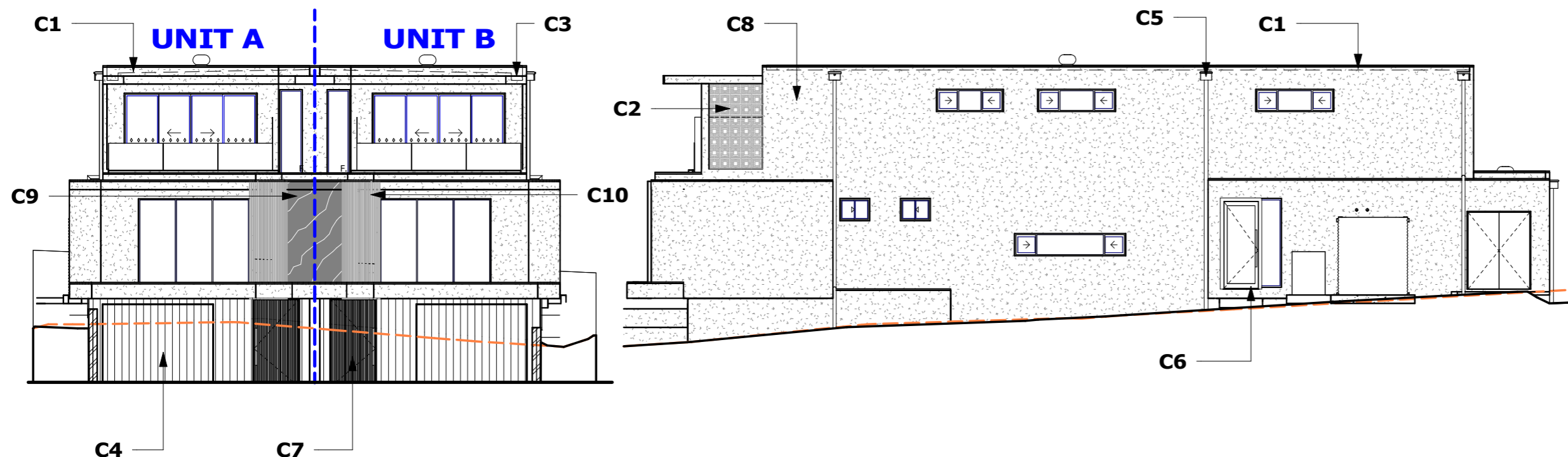
CERTIFICATE NUMBER: TBD

DRAWING NAME:
SECTIONS

LGA: **NORTHERN BEACHES**

ADDRESS:
LOT 27, NO. 2 MARETIMO STREET, BALGOWLAH, NSW 2093

DRAWN: MQ - JCF
 DATE: 12.12.24
 SCALE: As indicated
 LODGEMENT: **CDC - LRHDC**
 ISSUE: **CONSTRUCTION DRAWINGS C1**
 SHEET No: **9**



COLOUR SWATCHES

DESCRIPTION	COLOUR CODE	DESCRIPTION	COLOUR CODE
C1 KLIPLOK ROOF	BABYLON	C6 ALUMINIUM WINDOWS & DOORS	VICTORIAN ASH
C2 BREEZE BLOCKS	WHITE	C7 ENTRANCE DOOR	VICTORIAN ASH
C3 FASCIA & GUTTER	BASALT	C8 RENDER	ZINCALUME
C4 GARAGE DOOR	VICTORIAN ASH	C9 STONE CLADDING	NOSTRA
C5 DOWN PIPE	WINDSPRAY	C10 VERTICAL TIMBER WALL CLADDING	VICTORIAN ASH

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BKEA Investment

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CLIENT SIGNATURE: _____

BASIX Certificate

CERTIFICATE NUMBER: TBD

DRAWING NAME:

SCHEDULE OF COLOURS & FINISHES

LGA: NORTHERN BEACHES

ADDRESS:

LOT 27, NO. 2 MARETIMO STREET,
BALGOWLAH, NSW 2093

LODGEMENT:

CDC - LRHDC

DRAWN: MQ - JCF

DATE: 12.12.24

SCALE: 1 : 130

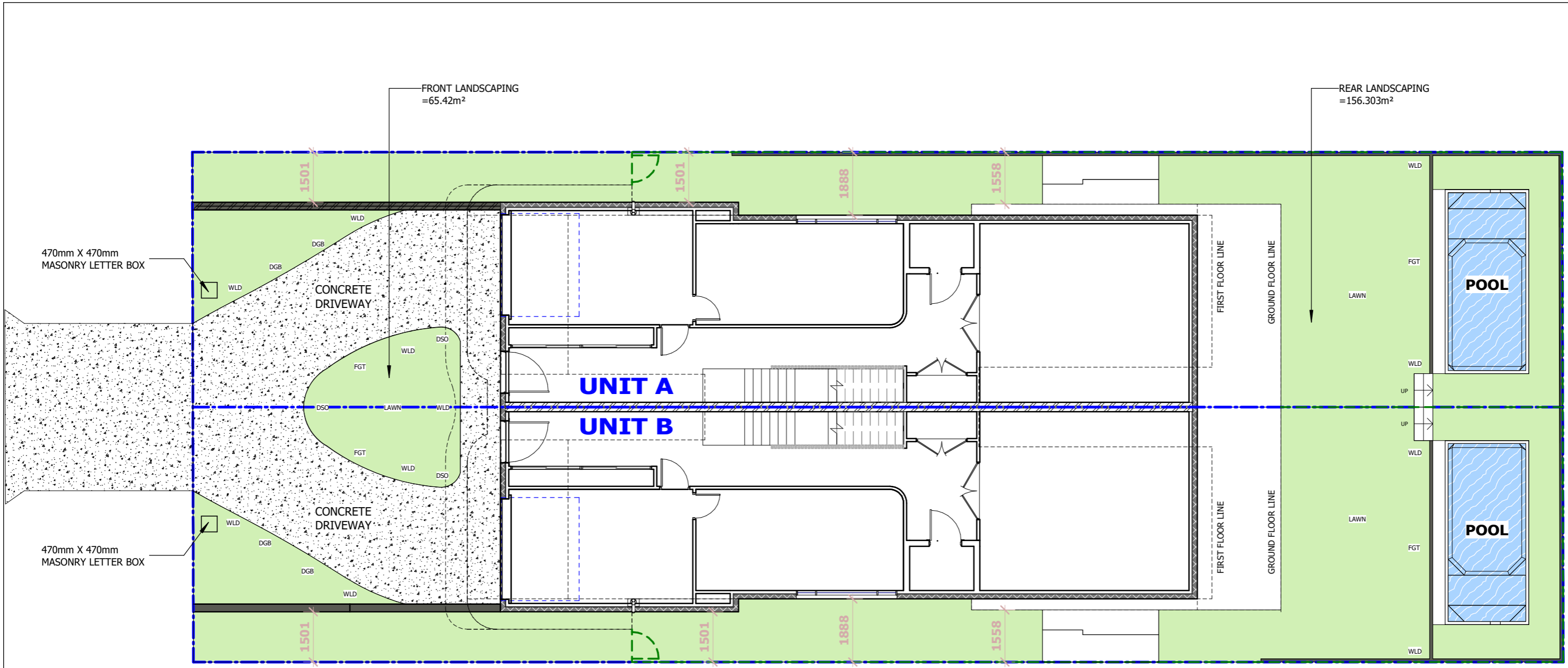
ISSUE:

CONSTRUCTION
DRAWINGS

C1

SHEET No:

10



Tree planting requirement to be complete by owner prior to occupation certificate as per following:

- in the area opposite the boundary to which the front of the dwelling house faces—that is capable of achieving a height of at least 8m at maturity, and
- in the area opposite the rear boundary of the dwelling house—that is capable of achieving a height of at least 5m at maturity

FLOOR AREA TABLE -UNIT A / B		
BASEMENT FLOOR	102.11	m ²
GROUND FLOOR	125.45	m ²
FIRST FLOOR	87.41	m ²
GARAGE	18.75	m ²
ALFRESCO	14.32	m ²
BALCONY	9.50	m ²
SITE AREA	619.70	m ²
DRIVEWAY & PATH	70.52	m ²
CROSSOVER	28.30	m ²
ROOF AREA	202.24	m ²
FRONT LAWN AREA	65.422	m ²
BACK LAWN AREA	156.303	m ²
TOTAL LAWN AREA	221.16	m ²

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CERTIFICATE NUMBER: TBD





DRAWING NAME:
CONCEPT LANDSCAPE PLAN

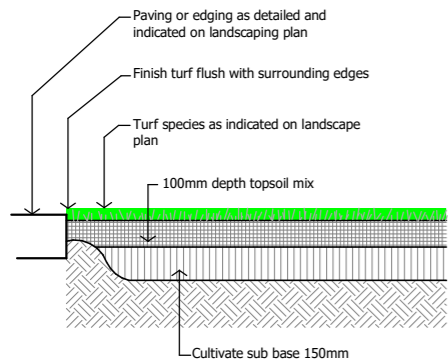
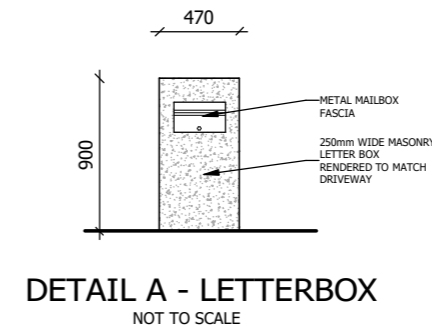
LGA: **NORTHERN BEACHES**

ADDRESS:
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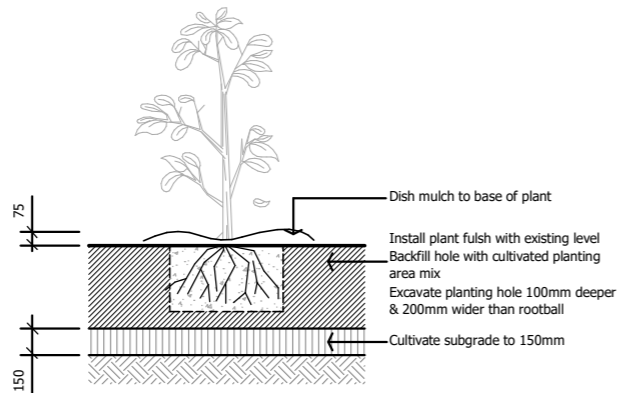
DRAWN: MQ - JCF
DATE: 12.12.24
SCALE: 1 : 120
LODGEMENT: CDC - LRHDC
ISSUE: CONSTRUCTION DRAWINGS **C1**
SHEET No: **11**

PLANTING SCHEDULE

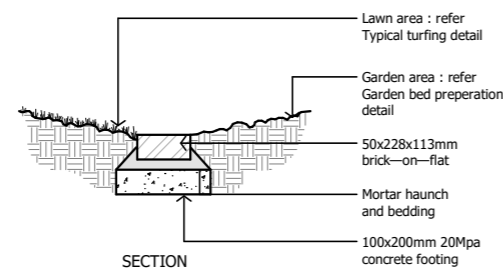
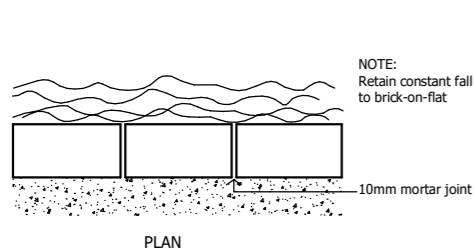
CODE	COMMON NAME	BOTANICAL NAME	IMAGE	QUANTITY
DGB	DWARF GREEN FLOWERING BOTTLEBRUSH	CALLISTEMON PACHYPHYLLUS GREEN		4
DSO	DWARF SPIDER OAK	GREVILLA LEIOPHYLLA		3
FGT	FLOWERING GUM	CORYMBIA		4
WLD	WEDGE LEAFED DAMPIERA	DAMPIERA CORONATA		11



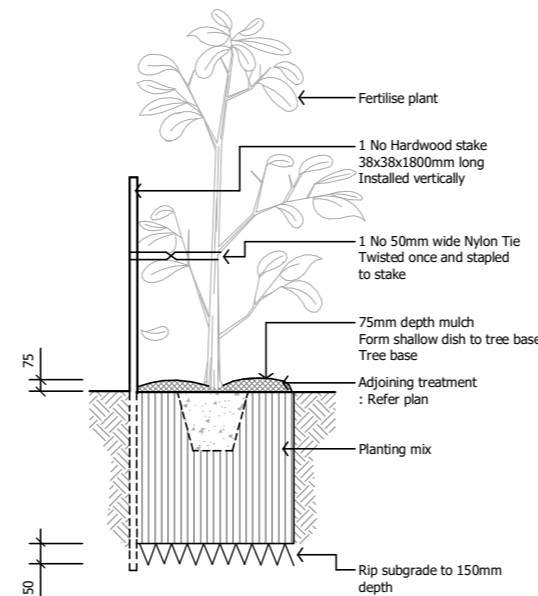
Ground preparation
Grassed area: turf using imported topsoil
Detail. Not To Scale.



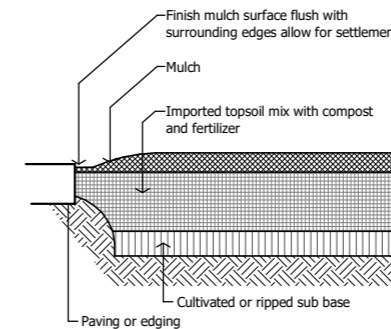
Planting in garden beds
Detail. Not To Scale.



Brick garden edge
Detail.



15 - 35 litre Tree planting
Detail. Not To Scale.



Ground preparation
Planting area using imported topsoil
Detail. Not To Scale.



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BASIX Certificate

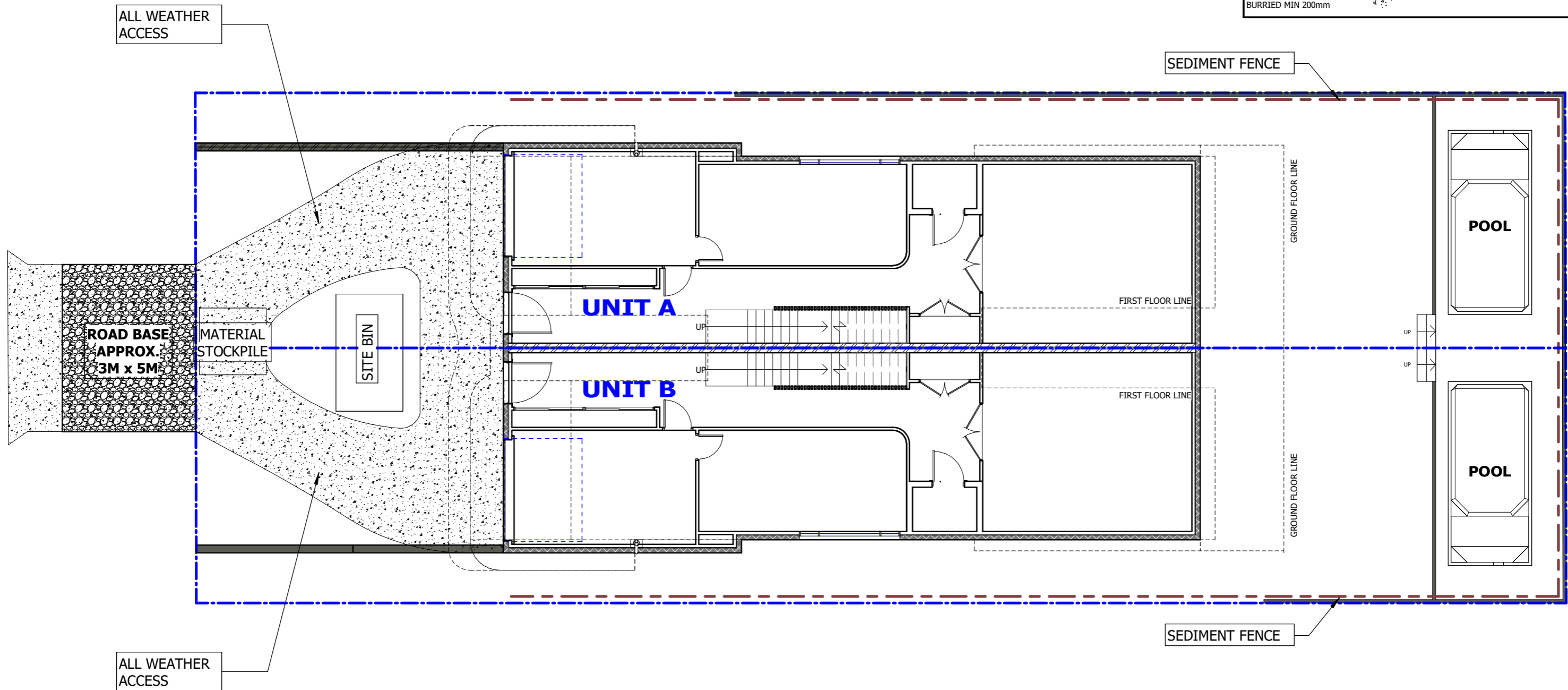
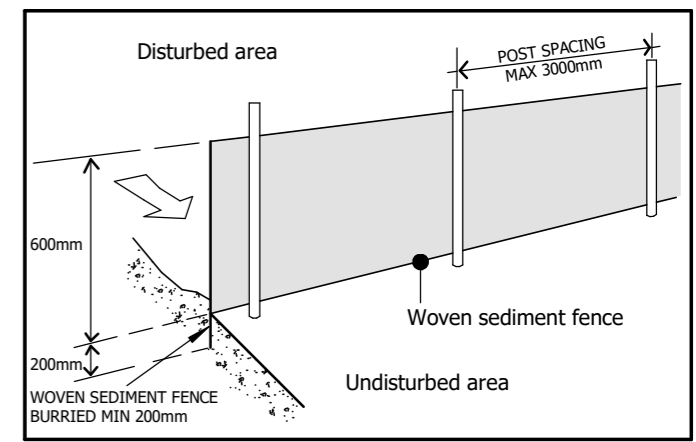
CERTIFICATE NUMBER: TBD

DRAWING NAME:
PLANTING SCHEDULE

LGA: **NORTHERN BEACHES**

ADDRESS:
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BALGOWLAH, NSW 2093**

DRAWN: MQ - JCF
DATE: 12.12.24
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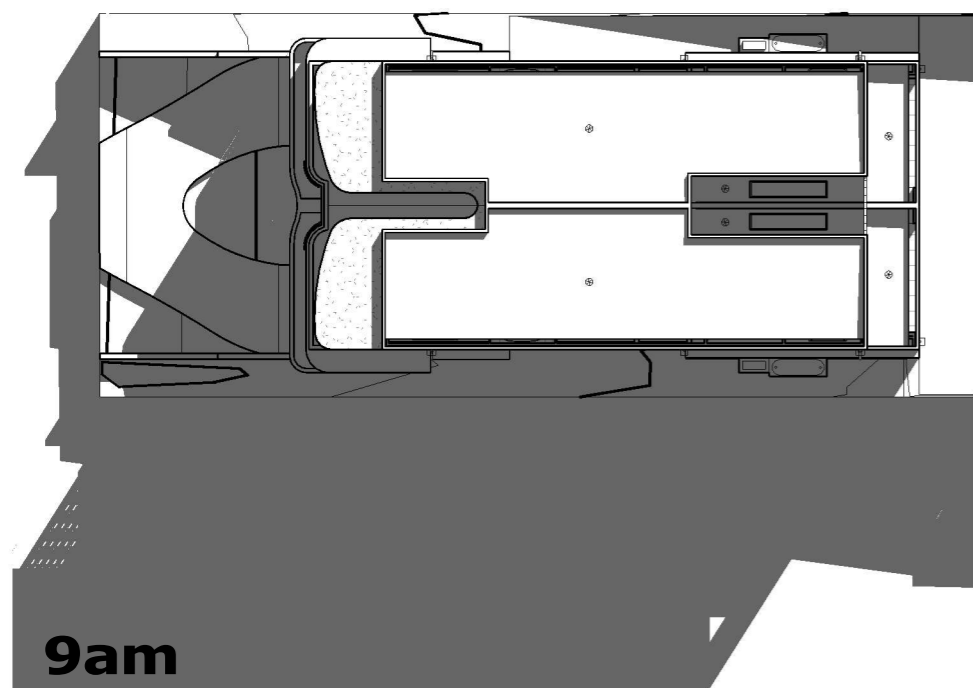
CERTIFICATE NUMBER: TBD

DRAWING NAME:
SEDIMENT CONTROL PLAN

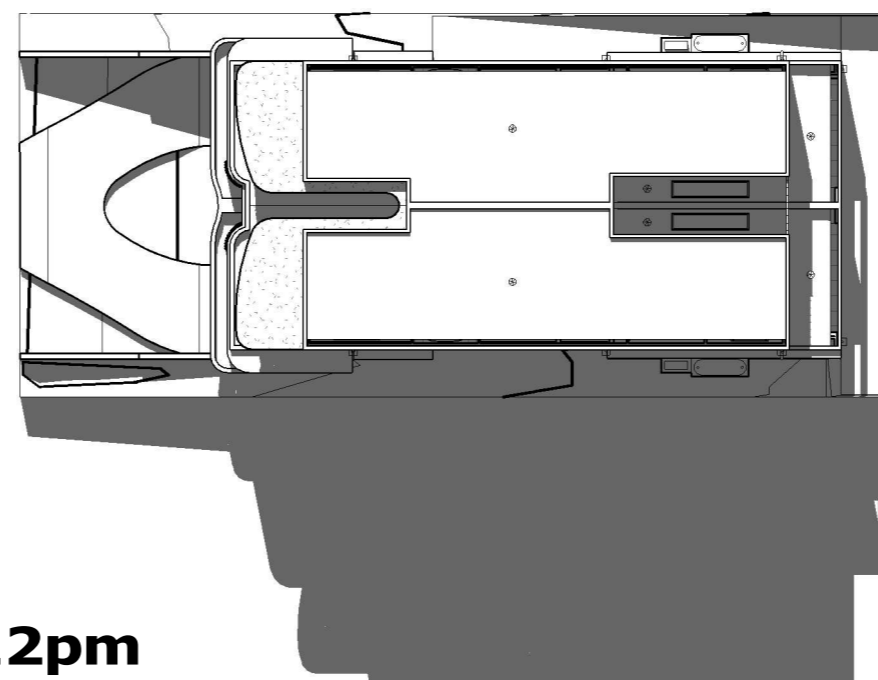
LGA: **NORTHERN BEACHES**

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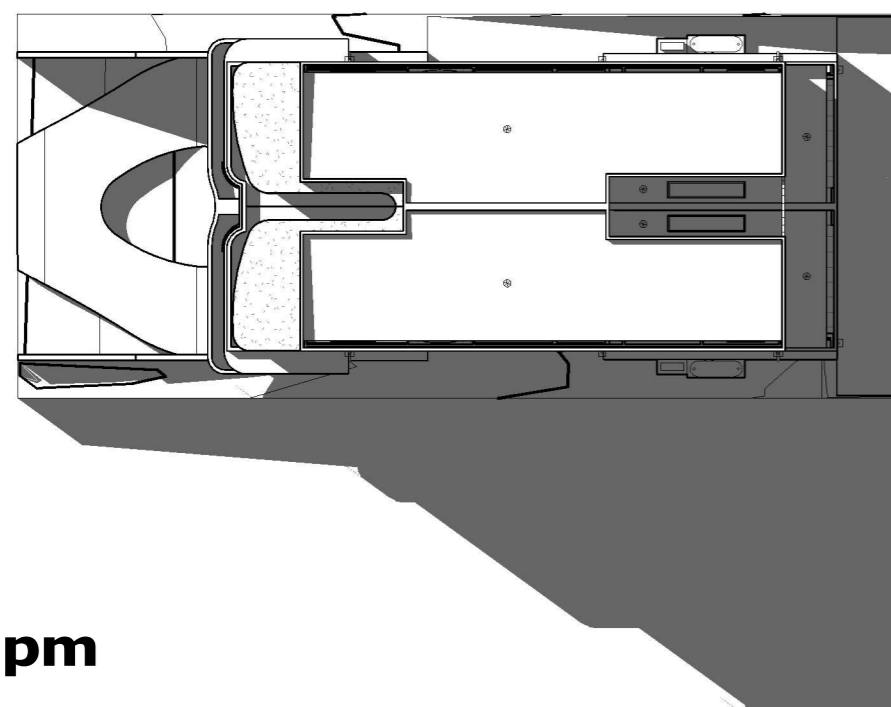
DRAWN: MQ - JCF
DATE: 12.12.24
SCALE: As indicated
LODGEMENT: CDC - LRHDC
ISSUE: CONSTRUCTION DRAWINGS **C1**
SHEET No: 13



9am



12pm



3pm

CLIENT DESIGN APPROVAL:
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BASIX Certificate

CERTIFICATE NUMBER: TBD

DRAWING NAME:

SHADOW DIAGRAMS

LGA: NORTHERN BEACHES

ADDRESS:

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 BALGOWLAH, NSW 2093

LODGEMENT:

CDC - LRHDC

DRAWN: MQ - JCF

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SCALE: 1 : 300

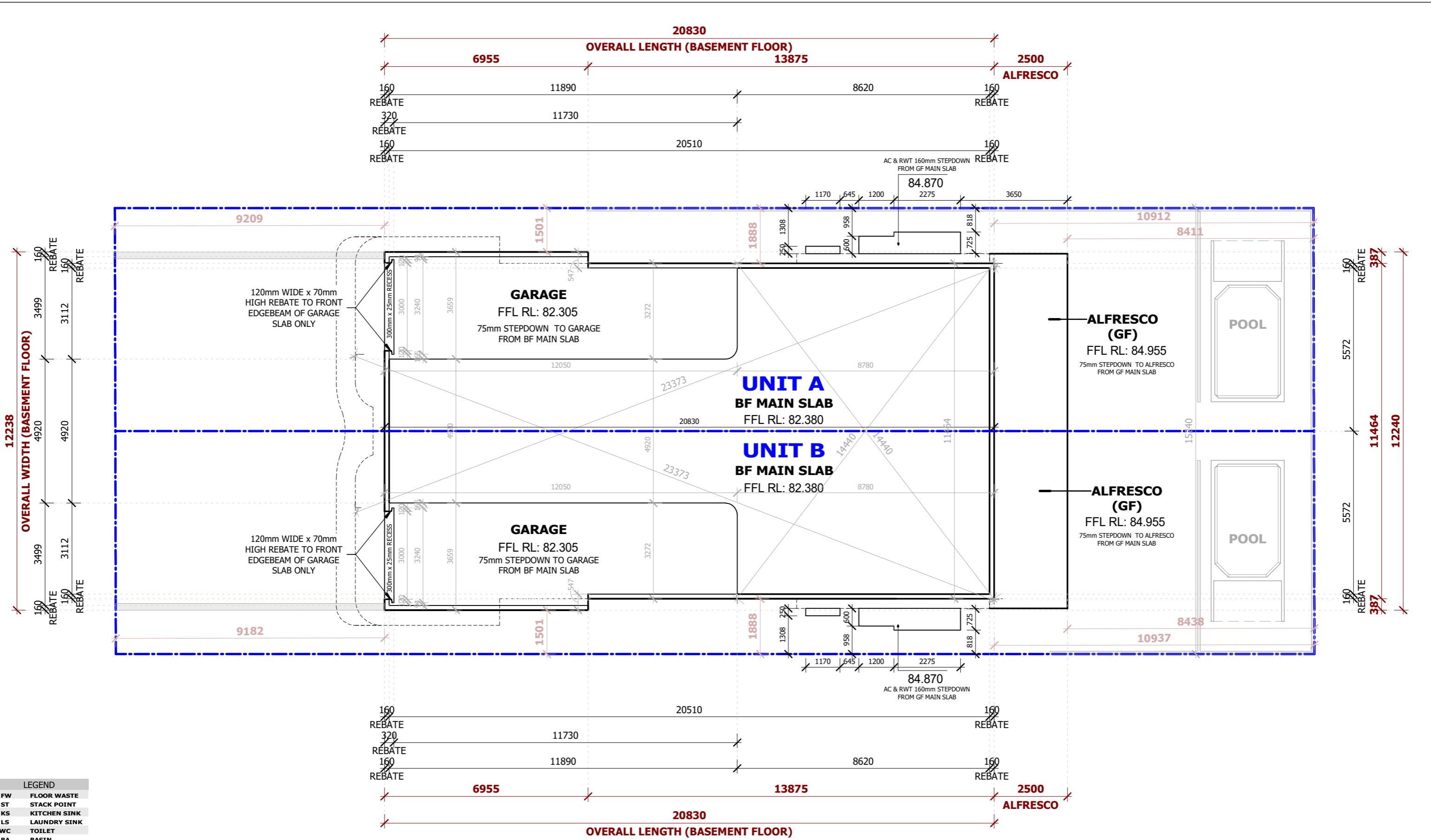
ISSUE:

CONSTRUCTION
 DRAWINGS

C1

SHEET No:

14



LEGEND

- FW FLOOR WASTE
- ST STACK POINT
- KS KITCHEN SINK
- LS LAUNDRY SINK
- WC TOILET
- BA BASIN

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CLIENT NAME:

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BASIX Certificate

CERTIFICATE NUMBER: TBD

DRAWING NAME:
SLAB SETOUT PLAN

LGA: NORTHERN BEACHES

ADDRESS:
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DRAWN: MQ - JCF

DATE: 12.12.24

SCALE: 1 : 120

LODGEMENT:
CDC - LRHDC

ISSUE:
CONSTRUCTION DRAWINGS **C1**

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